



CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022

PLANNING COMMISSION MEETING AGENDA

DATE: Monday, November 14, 2016
PLACE: Bryant City Office Complex
TIME: 6:00 p.m.

.....
Chairman to call the meeting to order.

Approval of October 10, 2016 Planning Commission Minutes.

ANNOUNCEMENTS:

NONE

DRC REPORT:

- **LANDMARK PROPERTY GROUP** - Requesting Sign Permit Application approval. **APPROVED**
- **1st COMMERCIAL RESOURCES** - Requesting Sign Permit Application approval. **APPROVED**
- **CHURCH OF BRYANT** - Requesting to construct a bus barn at rear of property. Current zoning is C-2 (Highway Commercial). **APPROVED**
- **UNITED STATES MARINE CORP** - Requesting Sign Permit Application approval. **APPROVED**
- **CUSTOM OUTDOOR ADVERTISING** - Requesting Sign Permit Application approval. **APPROVED**
- **WAYNE MOORE - FIRST BAPTIST CHURCH OF BRYANT** - Requesting to construct a bus barn at rear of property. Current zoning is C-2 (Highway Commercial). **APPROVED**
- **SALINE COUNTY AIRPORT** - Requesting Sign Permit Application approval. **RECOMMEND APPROVAL**

APPLICATIONS:

NONE

PUBLIC HEARING:

1. **GLOBAL SURVEYING - 6021 SPRINGHILL ROAD** - Application requesting to rezone property to C-1 (Neighborhood Commercial). Current zoning is R-2 (Single Family).
2. **HOPE CONSULTING - SAGE CREEK (Formerly Park View Addition)** - Application requesting to rezone property to PUD (Planned Unit Development). Current zoning is R-1.5 (Single Family).
3. **AMENDMENT TO THE ZONING REGULATIONS**

OLD BUSINESS:

Phone: 501-943-0301
Fax: 501-943-0992

e-mail: cobintern@cityofbryant.com

NONE

NEW BUSINESS:

4. **HOPE CONSULTING - SAGE CREEK (Formerly Park View Addition) - Requesting Final Plat Approval.**
5. **BRAD PETERSON - HUNTER'S CROSSING - Requesting Final Plat approval. Current zoning is PUD (Planned Unit Development).**
6. **CHARLIE BEST - ARKANSAS EARLY LEARNING, SALINE COUNTY - Requesting Site Plan approval.**
7. **VERNON WILLIAMS - BENJAMIN GROVE - Requesting Final Plat approval.**
8. **MARK REDDER - REYNOLDS CENTRE - Requesting Site Plan Approval.**
9. **ELECT NOMINATING COMMITTEE FOR ELECTION OF CHARIMAN AND VICE CHAIRNMAN FOR 2016 PLANNING COMMISSION**

ADJOURN



CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022

**PLANNING COMMISSION MEETING
MINTUES**

DATE: Monday, October 10, 2016
PLACE: Bryant City Office Complex
TIME: 6:00 p.m.

.....
Chairman to call the meeting to order.

Approval of September 12, 2016 Planning Commission Minutes.

Commissioner Brunt motioned to approve September 12, 2016 Planning Commission Meeting Minutes as written; motion was seconded by Commissioner Erwin. Motion passed unanimously.

ANNOUNCEMENTS:

NONE

DRC REPORT:

- **BURTHA'S & BUBBA'S PAWN - DBA EVERYTHING FOR MOTORCYCLES** - Requesting Sign Permit Application approval. **APPROVED**
- **SHIPLEY DONUTS - 7301 ALCOA ROAD #3** - Requesting Sign Permit Application approval. **APPROVED**
- **MCFARLAND EYE CENTER - 319 BRYANT AVENUE** - Requesting Sign Permit Application approval for a pole sign (4' x 12'). **APPROVED**
- **MCFARLAND EYE CENTER - 319 BRYANT AVENUE** - Requesting Sign Permit Application approval for a wall sign (3' x 16'). **APPROVED**
- **MCFARLAND EYE CENTER - 319 BRYANT AVENUE** - Requesting Sign Permit Application approval for a wall sign (4' x 20'). **APPROVED**
- **NORTH BRYANT BAPTIST CHURCH - 2710 N. PRICKETT ROAD** - Requesting approval to construct a covered drop off area on church property. **APPROVED**
- **KENSINGTON PLACE SUBDIVISION** - Requesting Preliminary Plat approval. **RECOMMEND APPROVAL**
- **CORNERSTONE PHARMACY - 2203 N. REYNOLDS ROAD** - Requesting Sign Permit Application approval. **APPROVED**
- **CENTRAL ARKANSAS FAMILY PRACTICE - 2301 SPRINGHILL ROAD** - Requesting Sign Permit Application approval. **APPROVED**

- **REMAX - 22461 I-30** - Requesting Sign Permit Application approval. **APPROVED**
- **611 SW 2nd STREET** - Requesting a replat of Lots 4-6 of Block 6, Morden's Subdivision. **RECOMMEND APPROVAL**
- **BIG RED - SOUTH REYNOLDS ROAD** - Requesting Site Plan approval. **APPROVAL**
- **MIDTOWN** - Requesting a replat of Lot 2, Block 16. **RECOMMEND APPROVAL**
- **SAGE CREEK (Formerly Park View Addition)** - Requesting to rezone to PUD. **RECOMMEND APPROVAL**
- **GLOBAL SURVEYING - 6021 SPRINGHILL ROAD** - Requesting to rezone to C-1 (Neighborhood Commercial). **RECOMMEND APPROVAL**

APPLICATIONS:

1. **GLOBAL SURVEYING - 6021 SPRINGHILL ROAD** - Application requesting to rezone property to C-1 (Neighborhood Commercial). Current zoning is R-2 (Single Family).

The Public Hearing will be held on November 14, 2016 at 6:00 p.m. at the regularly scheduled Planning Commission meeting here at Bryant City Hall.

2. **HOPE CONSULTING - SAGE CREEK (Formerly Park View Addition)** - Application requesting to rezone property to PUD (Planned Unit Development). Current zoning is R-1.5 (Single Family).

The Public Hearing will be held on November 14, 2016 at 6:00 p.m. at the regularly scheduled Planning Commission meeting here at Bryant City Hall.

PUBLIC HEARING:

NONE

OLD BUSINESS:

NONE

NEW BUSINESS:

3. **JONATHAN HOPE - MIDTOWN** - Requesting a replat of Lot 2, Block 16. Current zoning is TND (Traditional Neighborhood District).

Mr. Hope explains the desire to take Lot 2 and split it into four different tracks. The owner is asking to split the track in order to sell parts of the track off.

Chairman Penfield explains the process of splitting the track because it was originally platted as one track and based on the TND overlay district, it must have approval of the planning commission.

Width of the lots being 26.5 feet.

Chairman Penfield gives a brief history of the building and what was in them.

Commissioner Erwin asks about the restrictions with the overlay district, and Chairman Penfield answered stating that there would be no changes to the building or the restrictions. Mr. Hope concurred.

A roll call vote was taken to approve replat - Roll call vote passed 6-0.

- 4. VERNON WILLIAMS - KENSINGTON SUBDIVISION** - Requesting Preliminary Plat approval. Current zoning is R-1.S (Single Family).

Mr. Williams explains that this is the first phase of the subdivision with 36 lots.

Commissioner Erwin asks if this is the plan that was requested to have extra notes on it. Chairman Penfield confirms that this plan has language to allow for more improvements to Wise Road beyond half street improvements as the project continues toward Wise road. There was also a note that will see the removal of trees that obscures the sightline coming out of the subdivision.

Interim Planning Director James Walden made a point to note that the developer has gone above and beyond to help traffic on North Lake by incorporating a left turn bay into the development itself.

Chairman Penfield notes that the detention pond is outside phase one.

Chairman Penfield reads the specific notes from the plan.

A roll call vote was taken to Approve Concept Plan - Roll call vote passed 6-0.

A roll call vote was taken to Approve Preliminary Plat of Phase 1- Roll call vote passed 6-0.

- 5. CHARLIE BEST - BIG RED - SOUTH REYNOLDS ROAD** - Requesting Site Plan approval. Current zoning is C-2 (Highway Commercial).

This item was removed by staff because it did not need approval by the planning commission.

Before adjournment, Chairman Penfield asks if the zoning is appropriate for the Dollar General being C-2 zoning. Mr. Walden confirms that it is the less intense commercial zone and that it will work.

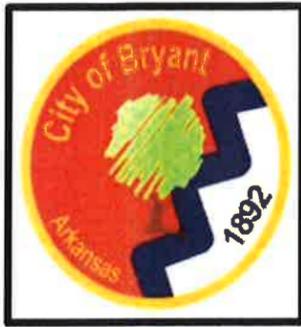
Chairman Penfield asked if there was a last motion to adjourn.

Vice Chairman Erwin motioned to adjourn; motion was seconded by Commissioner Brunt. Motion passed unanimously.

ADJOURN

Lance Penfield
Chairman

Truett Smith
Secretary

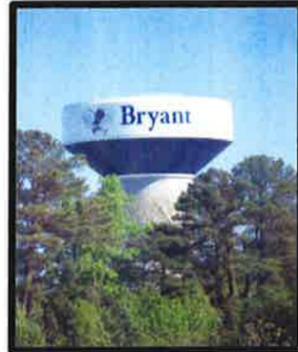


City of Bryant

Planning Commission
Meeting

November 14, 2016

6021 SPRINGHILL ROAD



**APPLICATION
FOR CHANGE IN
ZONING DISTRICT BOUNDARIES**

Applicant Name: Paxton R. Singleton, Global Surveying Consultants, Inc

Spouse Name: N/A

Property Address: 6021 Springhill Road, Bryant, AR

Legal Description: Shown in attached Exhibit "A".

Existing Zoning Classification: R-2 (Single Family)

Requested Change: to C-1 (Neighborhood Commercial)

Plat of Property is Attached Boundary Survey attached.

Vicinity Map of property is attached Yes

The undersigned designates the following process agent or attorney to represent
the applicant at all hearings:

This 19th day of September, 2016

Paxton R Singleton
Applicant SDR

Spouse of Applicant

6511 Heilman Court
Address

North Little Rock, AR

501-455-4984
Phone

Exhibit A

SUBJECT PROPERTY DESCRIPTION: (AS PER SURVEY)

A TRACT OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 14 WEST, OF THE 5TH PRINCIPAL MERIDIAN, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 8, THENCE, NORTH 87 DEGREES 51 MINUTES 53 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 329.75 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 01 DEGREES 35 MINUTES 18 SECONDS EAST A DISTANCE OF 326.13 FEET; THENCE SOUTH 88 DEGREES 04 MINUTES 48 SECONDS EAST A DISTANCE OF 332.62 FEET TO A POINT ON THE EAST LINE OF SECTION 8; THENCE SOUTH 02 DEGREES 05 MINUTES 32 SECONDS WEST, ALONG THE EAST LINE THEREOF, A DISTANCE OF 327.36 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 108,212 SQUARE FEET OR 2.484 ACRES MORE OR LESS.

Global Surveying Consultants, Inc.

Professional Land Surveyors

6511 Heilman Court • North Little Rock, AR 72118
Phone: 501.455.4984 • Fax: 501.455.8158

September 19, 2016

Tina Davis, Planning Coordinator
City of Bryant
210 S.W. 3rd Street
Bryant, AR 72022

RE: Rezone – PBGH - 6021 Springhill Road, Alexander, AR

Ms. Davis,

Please accept this letter to serve as our application for the above referenced submittal. We wish for this application to be reviewed and accepted by the Planning Department and placed on the October 10, 2016 Planning Commission Meeting Agenda. It is our understanding that our application will go through the Planning Commission Meeting on October 10th to be added to the Agenda to be heard and approved at the Planning Commission Meeting on November 14th.

The site currently consists of one lot located at 6021 Springhill Road and is being used as a residence. It is currently zoned R-2 (Single Family), and is described as follows:

A TRACT OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 14 WEST, OF THE 5TH PRINCIPAL MERIDIAN, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 8, THENCE, NORTH 87 DEGREES 51 MINUTES 53 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 329.75 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 01 DEGREES 35 MINUTES 18 SECONDS EAST A DISTANCE OF 326.13 FEET; THENCE SOUTH 88 DEGREES 04 MINUTES 48 SECONDS EAST A DISTANCE OF 332.62 FEET TO A POINT ON THE EAST LINE OF SECTION 8; THENCE SOUTH 02 DEGREES 05 MINUTES 32 SECONDS WEST, ALONG THE EAST LINE THEREOF, A DISTANCE OF 327.36 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 108,212 SQUARE FEET OR 2.484 ACRES MORE OR LESS.

The tract is adjoined by on the north and west sides by residential properties, the property across Springhill Road that is vacant, and to the south (across Northlake Road) is the Big Red Gas Station. This area is currently shown on the City of Bryant Comprehensive Growth Plan as being planned for commercial use. We are requesting approval to rezone the property from R-2 to Neighborhood Commercial District (NCD) C-1 for a planned commercial use. Approval of this application to rezone will allow our client to develop this approximately 2.484 acre lot into a 9,100 sq. ft. general merchandise retail store. The approval of this development and rezone application will allow for more economic growth for the city, as well as, serve the community.

Our proposed site plan has been designed with one access drive being on Springhill Road and one on Northlake Road. The building is designed with the HVAC units on top of the building. We have screened in the dumpster area with wood fencing and placed it near the back of the property. With the above in mind, in addition to the site being located on Minor Arterial and Collector Streets, it is our opinion that this area lends itself for this type of development and would be a good addition for the city and the neighborhood.

If you have any questions, please do not hesitate to contact us.

Thanks,

A handwritten signature in cursive script that reads "Sebrina Ricks".

Sebrina Ricks, Office Manager
Global Surveying Consultants, Inc.

City of Bryant
Appointment of Agent Affidavit

We, The Royce and Maudie Loveless Revocable Trust (Property Owner(s)), certify by our signature that we hereby authorize Global Surveying Consultants, Inc. (Authorized Representative) to act as my agent regarding the rezoning, variances, annexation, platting, easement/Right-of-Way/Alley/Street abandonments, and/or dedications of the below described property.

Property described as: A TRACT OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 14 WEST, OF THE 5TH PRINCIPAL MERIDIAN, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 8, THENCE, NORTH 87 DEGREES 51 MINUTES 53 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 329.75 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 01 DEGREES 35 MINUTES 18 SECONDS EAST A DISTANCE OF 326.13 FEET; THENCE SOUTH 88 DEGREES 04 MINUTES 48 SECONDS EAST A DISTANCE OF 332.62 FEET TO A POINT ON THE EAST LINE OF SECTION 8; THENCE SOUTH 02 DEGREES 05 MINUTES 32 SECONDS WEST, ALONG THE EAST LINE THEREOF, A DISTANCE OF 327.36 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 108,212 SQUARE FEET OR 2.484 ACRES MORE OR LESS.

<u>Signature is forthcoming, Per Phone Call w/ Lance Perfi</u> Signature of Title Holder	_____	Date
_____	_____	Date

Dequina Ricks
9/19/16

Subscribed and sworn to me, a Notary Public on this ____ day _____ of, 2016.

Notary Public: _____

My commission expires: _____

Bryant (Springhill Rd.)

6021 Springhill Rd.



Google earth

© 2016 Google
© 2016 Europa Technologies

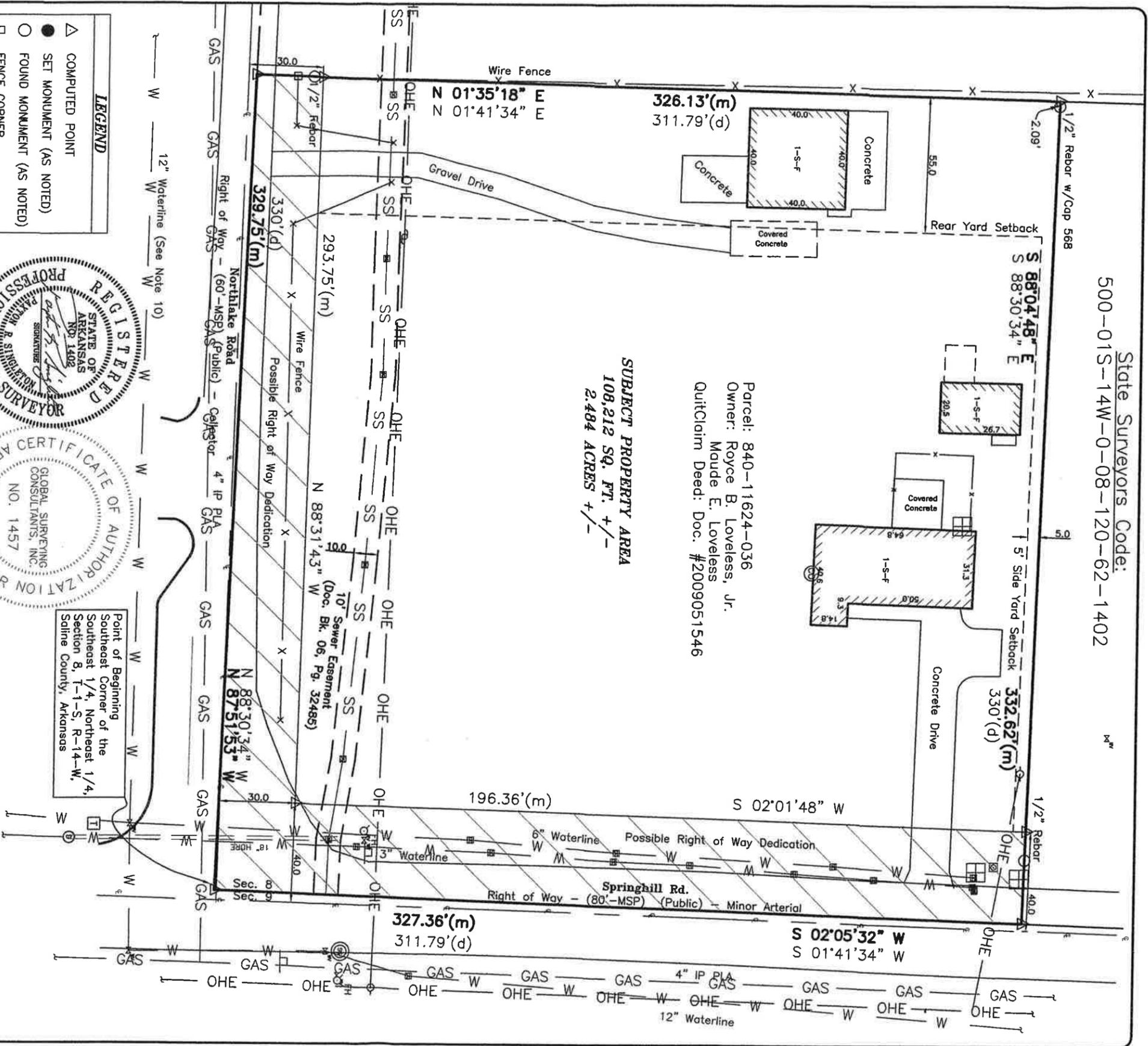
1000 ft



State Surveyors Code:
500-01S-14W-0-08-120-62-1402

Parcel: 840-11624-036
Owner: Royce B. Loveless, Jr.
Maude E. Loveless
Quitclaim Deed: Doc. #2009051546

SUBJECT PROPERTY AREA
108,212 SQ. FT. +/-
2.484 ACRES +/-



NOT VALID IF SIGNATURE IS NOT IN ORIGINAL RED INK.



Point of Beginning
Southeast Corner of the
Section 8, 1-1-S, R-14-W,
Saline County, Arkansas

SUBJECT PROPERTY DESCRIPTION: (AS PER SURVEY)

A TRACT OF LAND BEING A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 14 WEST, OF THE 5TH PRINCIPAL MERIDIAN, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: OF SAID SECTION 8, BEING MORE BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 8, THENCE NORTH 87 DEGREES 51 MINUTES 53 SECONDS WEST, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 329.75 FEET; THENCE LEAVING SAID SOUTH LINE, NORTH 01 DEGREES 35 MINUTES 18 SECONDS EAST A DISTANCE OF 326.13 FEET; THENCE SOUTH 88 DEGREES 04 MINUTES 49 SECONDS EAST A DISTANCE OF 332.62 FEET TO A POINT ON THE EAST LINE OF SECTION 8; THENCE SOUTH 02 DEGREES 05 MINUTES 32 SECONDS WEST ALONG THE EAST LINE THEREOF, A DISTANCE OF 327.36 FEET BACK TO THE POINT OF BEGINNING; SAID TRACT CONTAINING 108,212 SQUARE FEET OR 2.484 ACRES MORE OR LESS.

FLOOD STATEMENT:

BY GRAPHIC PLOTTING OF THE INFORMATION SHOWN ON FLOOD INSURANCE RATE MAP NO. 05125C0225D, DATED JUNE 19, 2012, COMMUNITY BRVANT CITY OF: NUMBER 050308, PANEL 0225; SUFFIX D INDICATES THAT THE PROPERTY SHOWN ON SURVEY LIES WITHIN:

ZONE X (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

*FLOOD STATEMENT DOES NOT GUARANTEE AGAINST LOCALIZED FLOODING.

- LEGEND**
- △ COMPUTED POINT
 - SET MONUMENT (AS NOTED)
 - FOUND MONUMENT (AS NOTED)
 - FENCE CORNER
- Use Symbols As Applicable

CERTIFICATION:

I, PLATON R. SINGLETON, PS #1402, HEREBY CERTIFY THAT THIS SURVEY/PLAT CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE BOUNDARY MARKERS SHOWN HEREON ACTUALLY EXIST AND THE LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN. NO INDEPENDENT SEARCH OF WAY OR OTHER RESTRICTIONS REGARDING EASEMENTS, RIGHTS OF WAY OR OTHER RESTRICTIONS OF RECORD THAT AN ACCURATE TITLE SEARCH MIGHT DISCLOSE.

Global Surveying Consultants, Inc.

Land Surveying • Planning • GPS • Subdivision • Design
6511 Healdman Court
North Little Rock, Arkansas 72118
TEL: (501) 453-4984 FAX (501) 455-8158
www.global-surveying.com



SALINE COUNTY,

BOUNDARY SURVEY
FOR USE & BENEFIT OF:
PB GENERAL HOLDINGS, LLC

ARKANSAS

DATE:	REVISIONS:	NAME:

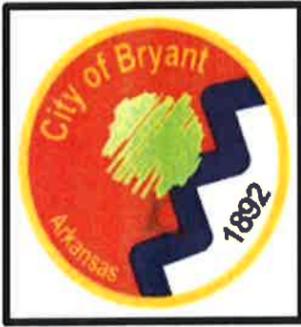


Scale 1" = 40'

Bearing are based on GPS Observation. ARSouth Zone. NAD83

DATE:	SCALE:
9/19/16	1"=40'
9/19/16	1"=40'
9/19/16	1"=40'

ALL PLANS, DESIGNS, AND IDEAS SHOWN ON THIS DRAWING ARE THE PROPERTY OF GLOBAL SURVEYING CONSULTANTS, INC., AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN PERMISSION OF GSC, INC.



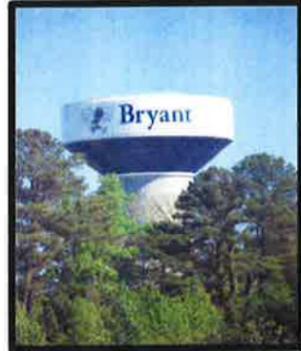
City of Bryant

Planning Commission

Meeting

November 14, 2016

SAGE CREEK



**APPLICATION
FOR CHANGE IN
ZONING DISTRICT BOUNDARIES**

Applicant Name: LANDMARK Properties GROUP

Spouse Name: _____

Property Address: PART OF
SW 1/4 SECTION 26 Township 1 South Range 14 West

Legal Description: Attached

Existing Zoning Classification: R-1.5

Requested Change: PUD

Plat of Property is Attached Yes

Vicinity Map of property is attached Yes

The undersigned designates the following process agent or attorney to represent
the applicant at all hearings:

JONATHAN HOPE

This 22 day of September, 2016

Landmark Properties Group

Applicant

Spouse of Applicant

310 Sherry Ann Court

Address

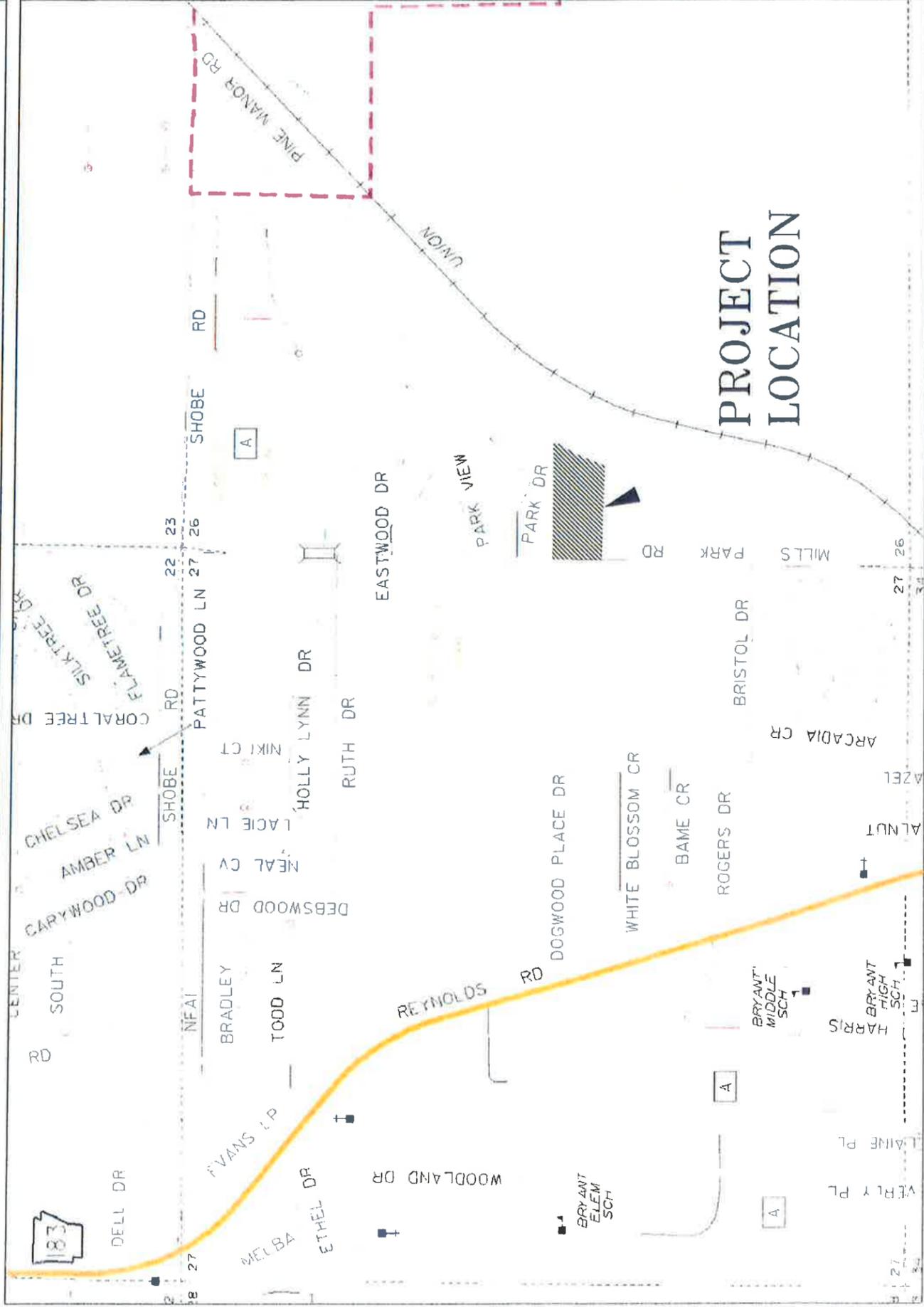
ALEXANDER, AR 72002

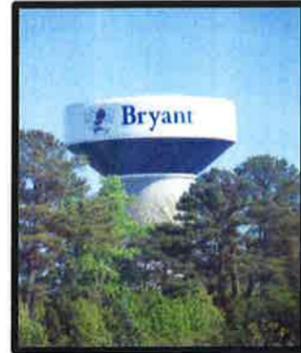
Phone

LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER SECTION 26, TOWNSHIP 1 SOUTH, RANGE 14 WEST, ALL IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 26, THENCE N04°00'47"E 1831.58 FEET; THENCE S86°11 '36"E 21.55 FEET TO THE POINT OF BEGINNING; THENCE BEARING N03°19'53"E A DISTANCE OF 486.17 FEET; THENCE BEARING S88°08'08"E A DISTANCE OF 104.35 FEET; THENCE BEARING S88°08'39"E A DISTANCE OF 1119.86 FEET; THENCE BEARING S33°49'19"W A DISTANCE OF 84.94 FEET; THENCE BEARING S31°36'22"W A DISTANCE OF 111.99 FEET; THENCE BEARING S29°21'28"W A DISTANCE OF 111.04 FEET; THENCE BEARING S27°11'00"W A DISTANCE OF 103.92 FEET; THENCE BEARING S25°00'54"W A DISTANCE OF 105.37 FEET; THENCE BEARING S22°55'41 "W A DISTANCE OF 65.00 FEET; THENCE BEARING N86°11 '36"W A DISTANCE OF 330.90 FEET; THENCE BEARING N86°11 '36"W A DISTANCE OF 645.33 TO THE POINT OF BEGINNING. CONTAINING 549,277 SQUARE FEET OR 12.61 ACRES

VICINITY MAP:





City of Bryant
Planning Commission
Meeting
November 14, 2016

AMENDMENT TO THE
ZONING REGULATIONS

SECTION 17.5 – Residential Design Standards

The following standards shall apply to all single-family dwellings (excluding manufactured homes and mobile homes) located in R-1, R-1.S, R-2, R-E, R-X, C-1, or C-2 districts

A. Purpose

1. To ensure harmonious and compatible residential design that protects the health, safety, and welfare of the community.
2. To implement the provisions of the City's Comprehensive Plan.
3. To limit the development of houses that detract from the visual and aesthetic quality of the community.
4. To achieve a streetscape that contributes to lessening the impacts of the houses with protruding garages.
5. To promote livability in residential streetscapes.
6. To encourage alternatives to protruding front-loading garages, such as side-loading or rear-loading garages.

B. Standards

1. There shall be no more than eight (8) feet from the front vertical plane of the garage door to the vertical plane of front door when the garage is at the front of the dwelling.
2. To encourage front porches to reduce the impact of the snout house, the eight (8) foot setback may be measured from the middle or median of the depth of any covered front porch to provide for a greater depth to the front entrance wall, when the porch has a minimum horizontal width of eight (8) feet. There is no maximum width required for the front porch. A minimum front porch depth of five (5) feet of clearance between the front door of the residence and the back of any required porch railing and/or porch posts shall be required for front porches.
3. There shall be no deep well entrance to a set-back front door from the front entrance wall more than one-half the depth of the front porch.
4. Single-family dwellings in R-1, R-1.S, and R-2 districts that provide the required parking behind the primary structure or at the rear or side of the structure shall be granted a five (5) foot reduction in the required front setback.
5. All single-family dwellings built after adoption of this code revision shall be clad in rock, stone, brick, stucco, Exterior Insulation Finishing Systems (EIFS), wood, or vinyl siding. Other architectural materials may be used upon approval of the Planning Commission. Existing structures shall only be re-clad in conformance with these standards.

Snout House: A residence constructed with a distance greater than eight (8) feet between the vertical plane of the front door and the vertical plane of the front of the garage door.

Discouraged



Encouraged



SECTION 19 – Amendments

This code may be amended by changing the text, the Official Zoning Map, or both in accordance with these procedures.

A. Requests for Amendments

The following may initiate a request to amend this Code:

1. A member or members of the City Council.
2. A member or members of the Planning Commission.
3. The owner of a property or his/her appointed agent.

B. Amendments initiated by the City Council

1. The City Council may refer a request for amendment to the Planning Commission to be considered in accordance with the procedures outlined in paragraph B, below.

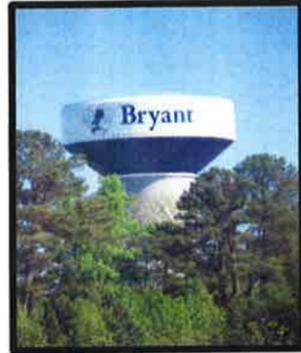
C. Amendments initiated by the Planning Commission

1. The Planning Commission may consider amendments or additions to the Zoning Code.
2. If the proposed amendments are not consistent with the comprehensive plan, the Planning Commission must first consider and adopt any necessary changes to the plan.
3. The Planning Commission will hold a public hearing to consider amendments to the Zoning Code and amendments to the comprehensive plan, if required.
4. Notice of such hearing shall be published at least one time not less than fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant.
5. Changes in zoning classifications initiated by the Planning Commission shall be considered comprehensive changes affecting the entire city and notice to individual property owners shall be not be made unless by Planning Commission decision. The Planning Commission shall make a map and/or documents indicating the proposed changes available in City Hall for review by interested citizens and property owners at least fifteen (15) days prior to the public hearing at which the changes will be considered.
6. Following the public hearing, the proposed amendments may be approved as presented, or in modified form, by a majority of the entire Planning Commission.
7. Following its adoption of the amendments to the Zoning Code or adopted plans, the commission shall certify the adopted plans and/or recommended zoning changes to the City Council for its adoption. Approval shall require of a majority of the entire City Council.

D. Amendments initiated by Property Owners

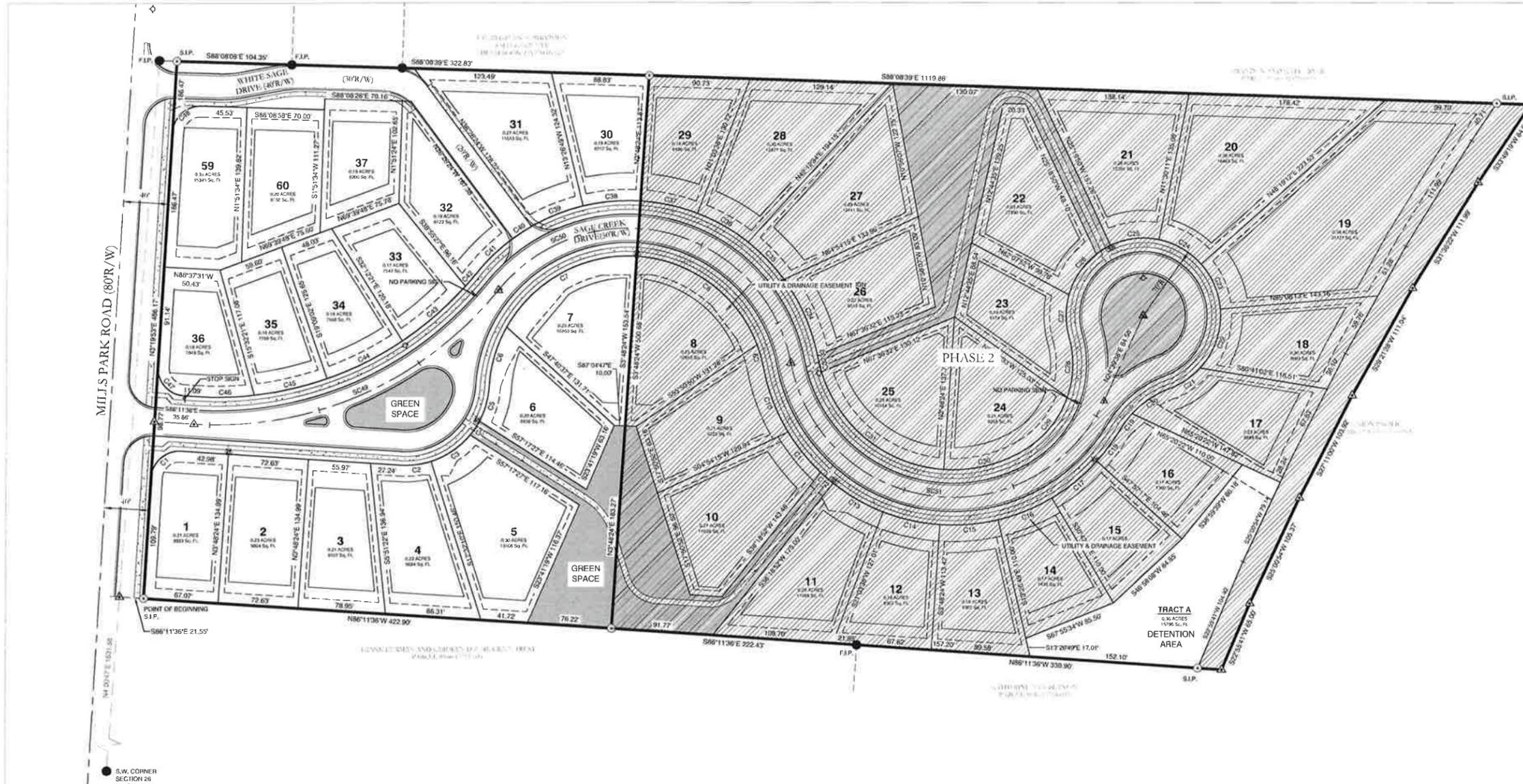
1. Application: An application for amendment shall be filed with the required fee with the Administrative Official at least thirty (30) days in advance of the date of the Planning Commission meeting at which the application will be heard. The application for a Zoning Amendment shall be provided by the Administrative Official on forms developed by the City of Bryant.
2. Public Hearing Notice: Upon receiving the application, the Administrative Official shall set a date for the public hearing for the application at the next regularly scheduled Planning Commission meeting.

- A. **Publication:** Notice of the public hearing shall be published at least one time at least fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant. The applicant shall bear the cost of such advertising. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - B. **Posting of the Property:** Notice of the public hearing shall be made by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - C. **Notification of Adjacent Land Owners:** The applicant shall attempt to inform, by certified letter, return receipt requested, all owners of land within three hundred (300) of any boundary of the subject property of the public hearing. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. A certified list of property owners, all return receipts, and a copy of the notice shall be provided to Administrative Official at least five (5) days prior to the public hearing.
3. **Finding of Fact:** Within thirty (30) days following the public hearing, the Planning Commission shall make a specific finding as to whether or not the change is consistent with the objectives of the Zoning Code, and the Plans adopted by the Planning Commission. The Planning Commission shall approve or deny the amendment application by a majority of the entire Planning Commission. If denied by the Planning Commission, the application will not be heard by the City Council unless the decision is appealed by the applicant.
 4. **Authorization by City Council:** If approved by the Planning Commission, the application shall be heard by the City Council at the next City Council meeting following the Planning Commission's approval. For approval, the application will require approval by a majority of the entire City Council via ordinance.
 5. **Effect of Denial of Amendment:** No application for an amendment which has been denied wholly or partly by the City Council shall be resubmitted for a period of one (1) year from the date of said denial, except upon decision by the Planning Commission if substantial changes in conditions have occurred. A change of ownership of the subject property will not be deemed a substantial change of conditions.



City of Bryant
Planning Commission
Meeting
November 14, 2016

SAGE CREEK
FINAL PLAT



CITY OF BRYANT CERTIFICATIONS

OWNER: LANDMARK PROPERTIES GROUP
DEVELOPER: LANDMARK PROPERTIES GROUP
Name: LANDMARK PROPERTIES GROUP
Address: 310 HERRY ANN COURT, ALEXANDER, AR 72002

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid out, plotted and subdivided, and in conformity of plat and subdivision and not otherwise accordance with the plan.

Date of Execution: _____
 Name: _____
 Address: 310 HERRY ANN COURT, ALEXANDER, AR 72002
 Source of Title: BOOK 2015 PAGE 08447

CERTIFICATE OF SURVEYING ACCURACY:
 I, Jonathan L. Hope, hereby certify that this plan correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all measures for lines have been adjusted to "best conditions" and are accurately described on the plan and identified on the ground in terms of length and direction of the property side as required in accordance with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution: _____
 Name: Jonathan L. Hope
 Registered Professional Land Surveyor No. 1782
 Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:
 I, William W. McFadden, hereby certify that this plan correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.

Date of Execution: _____
 Name: William W. McFadden
 Registered Professional Engineer, No. 14318
 Arkansas

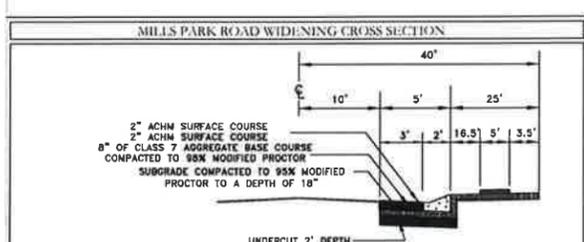
CERTIFICATE OF FINAL PLAT APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date of Execution: _____
 Name: CHAIRMAN
 BRYANT PLANNING COMMISSION

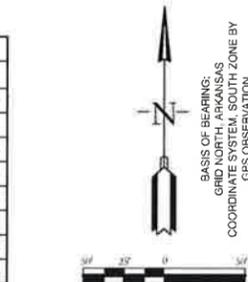
PROPERTY SPECIFICATIONS

OWNER: LANDMARK PROPERTIES GROUP 310 HERRY ANN COURT ALEXANDER, AR 72002	NUMBER OF LOTS: 37 SOURCE OF WATER: CITY OF BRYANT
DEVELOPER: LANDMARK PROPERTIES GROUP 310 HERRY ANN COURT ALEXANDER, AR 72002	SOURCE OF SEWER: CITY OF BRYANT
ENGINEERS: HOPE CONSULTING, INC. 117 S. MARKET STREET BENTON, AR 72015	SOURCE OF GAS: CENTERPOINT ENERGY
NAME OF SUBDIVISION: SAGE CREEK SUBDIVISION (PHASE 1)	RECORDING INSTRUMENT: PLAT 14W-0474
ZONING OR REGULATION: R-13	REAR YARD SETBACK: 5' OR AS SHOWN
SOURCE OF TITLE: NAME COUNTY DOCUMENT BOOK 2015 PAGE 08447	SIDE YARD SETBACK: 5' OR AS SHOWN
	STREET RIGHT OF WAY: 50' OR AS SHOWN
	STREET WIDTH: 70' OR AS SHOWN
	LOT CORNER SETTING: RECORD PLAT CAP

- NOTES:**
- TRACT A IS DESIGNATED AS DRAINAGE & DETENTION AREA
 - TRACT A, GREEN SPACES AND EMERGENCY ENTRANCE TO BE MAINTAINED BY THE POA.



Curve Table				Curve Table				Curve Table			
Curve #	Length	Radius	Delta	Curve #	Length	Radius	Delta	Curve #	Length	Radius	Delta
C1	39.477	25.000	90.4754	C21	32.993	70.000	27.0054	C41	44.727	175.000	14.8440
C2	27.938	75.000	21.3430	C22	57.832	70.000	47.3385	C42	15.621	300.000	2.9833
C3	42.928	75.000	32.7947	C23	44.980	70.000	38.8170	C43	75.609	300.000	14.4403
C4	15.029	75.000	11.4809	C24	44.980	70.000	38.8170	C44	75.973	300.000	14.5098
C5	32.594	75.000	24.9000	C25	44.980	70.000	38.8170	C45	87.532	300.000	12.8978
C6	58.228	125.000	25.7723	C26	80.098	70.000	49.1906	C46	52.872	300.000	10.0597
C7	141.255	125.000	64.7463	C27	38.599	70.000	31.5937	C47	37.827	25.000	86.8935
C8	142.318	125.000	65.2336	C28	55.103	90.000	35.0796	C48	32.536	21.068	86.4848
C9	21.753	125.000	9.9707	C29	63.289	90.000	40.2908				
C10	82.340	175.000	20.4103	C30	75.343	125.000	34.5346				
C11	46.943	175.000	15.3892	C31	150.883	125.000	69.0880				
C12	15.018	175.000	4.9171	C32	13.387	125.000	6.1362				
C13	52.699	175.000	17.2539	C33	1.794	175.000	0.5874				
C14	52.699	175.000	17.2539	C34	75.728	175.000	24.7938				
C15	52.699	175.000	17.2539	C35	48.778	175.000	15.3153				
C16	52.699	175.000	17.2539	C36	52.699	175.000	17.2539				
C17	52.699	175.000	17.2539	C37	52.699	175.000	17.2539				
C18	34.442	175.000	11.2765	C38	52.699	175.000	17.2539				
C19	19.088	90.000	12.1504	C39	50.194	175.000	16.4306				
C20	41.720	90.000	25.5598	C40	20.044	175.000	6.5624				



PROPERTY DESCRIPTION: OVERALL

PART OF THE NORTHWEST QUARTER, SOUTHWEST QUARTER SECTION 26, TOWNSHIP 1 SOUTH, RANGE 14 WEST, ALL IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 26, THENCE: N84°00'47"E 183.58 FEET; THENCE: S86°11'36"E 21.55 FEET TO THE POINT OF BEGINNING; THENCE BEARING N03°19'53"E A DISTANCE OF 486.17 FEET; THENCE BEARING S88°09'08"E A DISTANCE OF 104.35 FEET; THENCE BEARING S88°09'08"E A DISTANCE OF 119.86 FEET; THENCE BEARING S33°49'09"W A DISTANCE OF 84.94 FEET; THENCE BEARING S31°02'21"W A DISTANCE OF 141.99 FEET; THENCE BEARING S29°21'21"W A DISTANCE OF 111.04 FEET; THENCE BEARING S27°11'00"W A DISTANCE OF 103.92 FEET; THENCE BEARING S23°00'54"W A DISTANCE OF 105.37 FEET; THENCE BEARING S22°53'51"W A DISTANCE OF 65.00 FEET; THENCE BEARING N86°11'36"W A DISTANCE OF 330.90 FEET; THENCE BEARING N86°11'36"W A DISTANCE OF 645.33 TO THE POINT OF BEGINNING, CONTAINING 549,277 SQUARE FEET OR 12.61 ACRES.

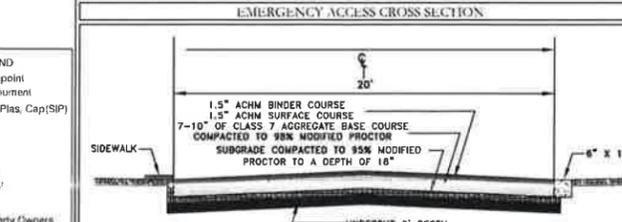
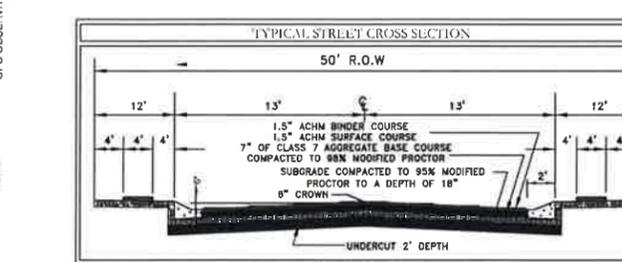
PROPERTY DESCRIPTION: PHASE 1

PART OF THE NORTHWEST QUARTER, SOUTHWEST QUARTER SECTION 26, TOWNSHIP 1 SOUTH, RANGE 14 WEST, ALL IN SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 26, THENCE: N04°00'47"E 183.58 FEET; THENCE: S86°11'36"E 21.55 FEET TO THE POINT OF BEGINNING; THENCE BEARING N03°19'53"E A DISTANCE OF 486.17 FEET; THENCE BEARING S88°09'08"E A DISTANCE OF 104.35 FEET; THENCE BEARING S33°49'09"W A DISTANCE OF 84.94 FEET; THENCE BEARING S31°02'21"W A DISTANCE OF 141.99 FEET; THENCE BEARING S29°21'21"W A DISTANCE OF 111.04 FEET; THENCE BEARING S27°11'00"W A DISTANCE OF 103.92 FEET; THENCE BEARING S23°00'54"W A DISTANCE OF 105.37 FEET; THENCE BEARING S22°53'51"W A DISTANCE OF 65.00 FEET; THENCE BEARING N86°11'36"W A DISTANCE OF 330.90 FEET; THENCE BEARING N86°11'36"W A DISTANCE OF 645.33 TO THE POINT OF BEGINNING, CONTAINING 209,673 SQUARE FEET OR 4.81 ACRES.



LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas, Cap(SIP)
- (M) - Measured
- (R) - Record
- (P) - Platted
- ⊙ - Street Light
- ⊙ - Fire Hydrant
- ⊙ - Stop Sign
- - Property Owners Association



FLOODPLAIN CERTIFICATION:

By affixing my seal and signature, I, Jonathan L. Hope, PLS No. 1782, hereby certify that this drawing correctly depicts a survey completed under my supervision.

NOTE: This survey was based on legal descriptions and site work furnished by others and does not represent a site visit.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County, unincorporated area, map no. 150320020001, dated 6/19/2012, no portion of Phase 1 is located within flood zones.

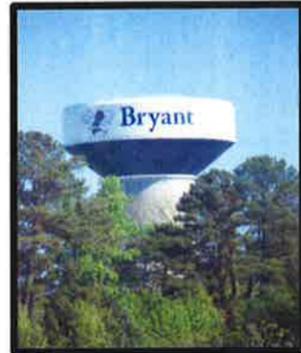
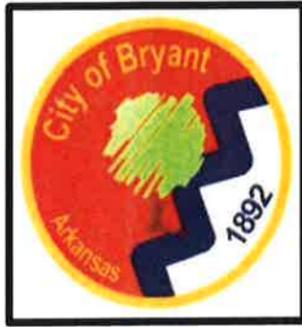
HOPE CONSULTING ENGINEERS - SURVEYORS

117 S. Market Street,
 Benton, Arkansas 72015
 P.O. Box 117
 (501) 315-2626
 FAX (501) 315-0024
 www.hopeconsulting.com

FOR USE AND BENEFIT OF:
LANDMARK PROPERTIES GROUP

FINAL PLAT
SAGE CREEK SUBDIVISION, PHASE 1
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: FEBRUARY 23, 2016 C.A.D. BY: D. JOHNSON DRAWING NUMBER:
 REVISIONS: 1. 11/17/15 2. 11/17/15 3. 11/17/15 4. 11/17/15 5. 11/17/15 6. 11/17/15 7. 11/17/15 8. 11/17/15 9. 11/17/15 10. 11/17/15 11. 11/17/15 12. 11/17/15 13. 11/17/15 14. 11/17/15 15. 11/17/15 16. 11/17/15 17. 11/17/15 18. 11/17/15 19. 11/17/15 20. 11/17/15 21. 11/17/15 22. 11/17/15 23. 11/17/15 24. 11/17/15 25. 11/17/15 26. 11/17/15 27. 11/17/15 28. 11/17/15 29. 11/17/15 30. 11/17/15 31. 11/17/15 32. 11/17/15 33. 11/17/15 34. 11/17/15 35. 11/17/15 36. 11/17/15 37. 11/17/15 38. 11/17/15 39. 11/17/15 40. 11/17/15 41. 11/17/15 42. 11/17/15 43. 11/17/15 44. 11/17/15 45. 11/17/15 46. 11/17/15 47. 11/17/15 48. 11/17/15 49. 11/17/15 50. 11/17/15 51. 11/17/15 52. 11/17/15 53. 11/17/15 54. 11/17/15 55. 11/17/15 56. 11/17/15 57. 11/17/15 58. 11/17/15 59. 11/17/15 60. 11/17/15 61. 11/17/15 62. 11/17/15 63. 11/17/15 64. 11/17/15 65. 11/17/15 66. 11/17/15 67. 11/17/15 68. 11/17/15 69. 11/17/15 70. 11/17/15 71. 11/17/15 72. 11/17/15 73. 11/17/15 74. 11/17/15 75. 11/17/15 76. 11/17/15 77. 11/17/15 78. 11/17/15 79. 11/17/15 80. 11/17/15 81. 11/17/15 82. 11/17/15 83. 11/17/15 84. 11/17/15 85. 11/17/15 86. 11/17/15 87. 11/17/15 88. 11/17/15 89. 11/17/15 90. 11/17/15 91. 11/17/15 92. 11/17/15 93. 11/17/15 94. 11/17/15 95. 11/17/15 96. 11/17/15 97. 11/17/15 98. 11/17/15 99. 11/17/15 100. 11/17/15 101. 11/17/15 102. 11/17/15 103. 11/17/15 104. 11/17/15 105. 11/17/15 106. 11/17/15 107. 11/17/15 108. 11/17/15 109. 11/17/15 110. 11/17/15 111. 11/17/15 112. 11/17/15 113. 11/17/15 114. 11/17/15 115. 11/17/15 116. 11/17/15 117. 11/17/15 118. 11/17/15 119. 11/17/15 120. 11/17/15 121. 11/17/15 122. 11/17/15 123. 11/17/15 124. 11/17/15 125. 11/17/15 126. 11/17/15 127. 11/17/15 128. 11/17/15 129. 11/17/15 130. 11/17/15 131. 11/17/15 132. 11/17/15 133. 11/17/15 134. 11/17/15 135. 11/17/15 136. 11/17/15 137. 11/17/15 138. 11/17/15 139. 11/17/15 140. 11/17/15 141. 11/17/15 142. 11/17/15 143. 11/17/15 144. 11/17/15 145. 11/17/15 146. 11/17/15 147. 11/17/15 148. 11/17/15 149. 11/17/15 150. 11/17/15 151. 11/17/15 152. 11/17/15 153. 11/17/15 154. 11/17/15 155. 11/17/15 156. 11/17/15 157. 11/17/15 158. 11/17/15 159. 11/17/15 160. 11/17/15 161. 11/17/15 162. 11/17/15 163. 11/17/15 164. 11/17/15 165. 11/17/15 166. 11/17/15 167. 11/17/15 168. 11/17/15 169. 11/17/15 170. 11/17/15 171. 11/17/15 172. 11/17/15 173. 11/17/15 174. 11/17/15 175. 11/17/15 176. 11/17/15 177. 11/17/15 178. 11/17/15 179. 11/17/15 180. 11/17/15 181. 11/17/15 182. 11/17/15 183. 11/17/15 184. 11/17/15 185. 11/17/15 186. 11/17/15 187. 11/17/15 188. 11/17/15 189. 11/17/15 190. 11/17/15 191. 11/17/15 192. 11/17/15 193. 11/17/15 194. 11/17/15 195. 11/17/15 196. 11/17/15 197. 11/17/15 198. 11/17/15 199. 11/17/15 200. 11/17/15 201. 11/17/15 202. 11/17/15 203. 11/17/15 204. 11/17/15 205. 11/17/15 206. 11/17/15 207. 11/17/15 208. 11/17/15 209. 11/17/15 210. 11/17/15 211. 11/17/15 212. 11/17/15 213. 11/17/15 214. 11/17/15 215. 11/17/15 216. 11/17/15 217. 11/17/15 218. 11/17/15 219. 11/17/15 220. 11/17/15 221. 11/17/15 222. 11/17/15 223. 11/17/15 224. 11/17/15 225. 11/17/15 226. 11/17/15 227. 11/17/15 228. 11/17/15 229. 11/17/15 230. 11/17/15 231. 11/17/15 232. 11/17/15 233. 11/17/15 234. 11/17/15 235. 11/17/15 236. 11/17/15 237. 11/17/15 238. 11/17/15 239. 11/17/15 240. 11/17/15 241. 11/17/15 242. 11/17/15 243. 11/17/15 244. 11/17/15 245. 11/17/15 246. 11/17/15 247. 11/17/15 248. 11/17/15 249. 11/17/15 250. 11/17/15 251. 11/17/15 252. 11/17/15 253. 11/17/15 254. 11/17/15 255. 11/17/15 256. 11/17/15 257. 11/17/15 258. 11/17/15 259. 11/17/15 260. 11/17/15 261. 11/17/15 262. 11/17/15 263. 11/17/15 264. 11/17/15 265. 11/17/15 266. 11/17/15 267. 11/17/15 268. 11/17/15 269. 11/17/15 270. 11/17/15 271. 11/17/15 272. 11/17/15 273. 11/17/15 274. 11/17/15 275. 11/17/15 276. 11/17/15 277. 11/17/15 278. 11/17/15 279. 11/17/15 280. 11/17/15 281. 11/17/15 282. 11/17/15 283. 11/17/15 284. 11/17/15 285. 11/17/15 286. 11/17/15 287. 11/17/15 288. 11/17/15 289. 11/17/15 290. 11/17/15 291. 11/17/15 292. 11/17/15 293. 11/17/15 294. 11/17/15 295. 11/17/15 296. 11/17/15 297. 11/17/15 298. 11/17/15 299. 11/17/15 300. 11/17/15 301. 11/17/15 302. 11/17/15 303. 11/17/15 304. 11/17/15 305. 11/17/15 306. 11/17/15 307. 11/17/15 308. 11/17/15 309. 11/17/15 310. 11/17/15 311. 11/17/15 312. 11/17/15 313. 11/17/15 314. 11/17/15 315. 11/17/15 316. 11/17/15 317. 11/17/15 318. 11/17/15 319. 11/17/15 320. 11/17/15 321. 11/17/15 322. 11/17/15 323. 11/17/15 324. 11/17/15 325. 11/17/15 326. 11/17/15 327. 11/17/15 328. 11/17/15 329. 11/17/15 330. 11/17/15 331. 11/17/15 332. 11/17/15 333. 11/17/15 334. 11/17/15 335. 11/17/15 336. 11/17/15 337. 11/17/15 338. 11/17/15 339. 11/17/15 340. 11/17/15 341. 11/17/15 342. 11/17/15 343. 11/17/15 344. 11/17/15 345. 11/17/15 346. 11/17/15 347. 11/17/15 348. 11/17/15 349. 11/17/15 350. 11/17/15 351. 11/17/15 352. 11/17/15 353. 11/17/15 354. 11/17/15 355. 11/17/15 356. 11/17/15 357. 11/17/15 358. 11/17/15 359. 11/17/15 360. 11/17/15 361. 11/17/15 362. 11/17/15 363. 11/17/15 364. 11/17/15 365. 11/17/15 366. 11/17/15 367. 11/17/15 368. 11/17/15 369. 11/17/15 370. 11/17/15 371. 11/17/15 372. 11/17/15 373. 11/17/15 374. 11/17/15 375. 11/17/15 376. 11/17/15 377. 11/17/15 378. 11/17/15 379. 11/17/15 380. 11/17/15 381. 11/17/15 382. 11/17/15 383. 11/17/15 384. 11/17/15 385. 11/17/15 386. 11/17/15 387. 11/17/15 388. 11/17/15 389. 11/17/15 390. 11/17/15 391. 11/17/15 392. 11/17/15 393. 11/17/15 394. 11/17/15 395. 11/17/15 396. 11/17/15 397. 11/17/15 398. 11/17/15 399. 11/17/15 400. 11/17/15 401. 11/17/15 402. 11/17/15 403. 11/17/15 404. 11/17/15 405. 11/17/15 406. 11/17/15 407. 11/17/15 408. 11/17/15 409. 11/17/15 410. 11/17/15 411. 11/17/15 412. 11/17/15 413. 11/17/15 414. 11/17/15 415. 11/17/15 416. 11/17/15 417. 11/17/15 418. 11/17/15 419. 11/17/15 420. 11/17/15 421. 11/17/15 422. 11/17/15 423. 11/17/15 424. 11/17/15 425. 11/17/15 426. 11/17/15 427. 11/17/15 428. 11/17/15 429. 11/17/15 430. 11/17/15 431. 11/17/15 432. 11/17/15 433. 11/17/15 434. 11/17/15 435. 11/17/15 436. 11/17/15 437. 11/17/15 438. 11/17/15 439. 11/17/15 440. 11/17/15 441. 11/17/15 442. 11/17/15 443. 11/17/15 444. 11/17/15 445. 11/17/



City of Bryant
Planning Commission
Meeting
November 14, 2016

HUNTER'S CROSSING



received
10/13/16

October 12, 2016

Tina L. Davis
Planning Coordinator/Planning Commission Secretary
Planning & Community Development
City of Bryant
210 SW 3rd Street
Bryant, AR 72022

Re: Final Plat
Hunter Crossing, Ph. II
CTA Job No. 14801801

Dear Ms. Davis:

Please accept this letter to serve as our application for the above referenced submittal. We wish to be placed on the next available Planning Commission agenda.

Attached you will find 20 copies of Final Plat, an electronic copy on CD, and a completed PUD Final Plat Checklist with supporting information.

Should you have any questions, or require any additional information, please contact us at your convenience.

Sincerely,

Brad Peterson
VP - Infrastructure



210 S.W. 3rd Street
Bryant, AR 72022
PHONE: 501-847-5559 ext. #505
FAX: 501-847-5332
EMAIL: ljones@cityofbryant.com

Subdivision Checklist

Subdivision Name Hunter Crossing, Phase II

Contact Person Brad Peterson, PE - Crafton Tull & Assoc. Phone (501)664-3245

Mailing Address 10825 Financial Center Parkway, Ste. 300, Little Rock, AR 72211

I. BASIC INFORMATION NEEDED ON THE PLAT

- 1. Name of Subdivision/Project
- 2. Current zoning C1/C2
- 3. Name and Address of owner of Record
- 4. Illustrate Source of Title giving deed record book and page number
- 5. Name & address of the sub-divider
- 6. Date of Survey
- 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- 8. Legal description of the property with exact boundary lines
- 9. Acreage of property
- 10. Number of Lots
- 11. Lot area in square feet
- 12. Lot lines with appropriate dimensions
- 13. Building setback lines
- 14. Preliminary Engineering certificate seal and signature on each page
- 15. Certificate of Engineering Accuracy
- 16. Certificate of Owner
- 17. Certificate of Final Plat Approval
- 18. Certificate of Recording
- 19. Show scale (not less than 1" = 100')
- 20. North Arrow
- 21. Show Title block
- 22. Show adjoining property owners
- 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- 24. Layout of all subdivision entrance street upgrades
- 25. Layout of all proposed alleys
- 26. Layout of all proposed sidewalk systems
- 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation.
(Provide Corp of Engineers 404 Permit if required)
- 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose

- 29. Layout accommodates Master Street Plan segments within the boundaries
- 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- 31. Street width and right-of-way properly shown for each functional classification
- 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- 33. Typical cross section of streets
- 34. Location and name of existing streets
- 35. New street names that are not similar to existing street names
- ~~N/A~~ 36. Show street lights
- ~~N/A~~ 37. Show Fire Hydrant placement
- 38. Show and label all permanent & proposed easements
- 39. Any proposed open space must be shown
- ~~N/A~~ 40. Show the direction and flow of all water courses entering the tract
- ~~N/A~~ 41. Show the direction and flow of all water courses leaving the tract
- ~~N/A~~ 42. The drainage area of all water courses above the points of entry.
- ~~N/A~~ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ~~N/A~~ 44. Show source of water supply
- ~~N/A~~ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ~~N/A~~ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- 53. ADA Accessibility Standard Form completed (and attached)
- 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- 58. Letter to Planning Commission stating your request
- 59. Completed Checklist
- 60. Completed agreement to provide performance assurance
- 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- 62. Landscaping plan of any proposed common open space

- 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- 66. Copy of Stormwater Detention approval
- 67. 2 copies Plan and profile of all streets
- 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- 71. Letter to Planning Commission stating your request
- 72. Completed Checklist
- 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- 76. Copy of Water & Sewer Commission approval or....
- 77. State Health Department approval of any new water supply and/or sewage system.
- 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- 79. Infrastructure Maintenance Bond or Cashier's check.
- 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

Hunter Crossing, Phase II
Name of Subdivision

Crafton Tull & Associates
Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

Owner Signature


Engineer Signature

CITY USE

Preliminary Plat Approved Yes Planning Commission Meeting Date November 10, 2014

Final Plat Approved _____ Planning Commission Meeting Date _____

Received Proof of Recording _____ By _____



Arkansas Department of Health

4815 West Markham Street • Little Rock, Arkansas 72205-3867 • Telephone (501) 661-2000
Governor Asa Hutchinson
Nathaniel Smith, MD, MPH, Director and State Health Officer

Engineering Section, Slot 37
www.healthy.arkansas.gov

Ph 501-661-2623

Fax 501-661-2032
After Hours Emergency 501-661-2136

March 30, 2016

Brad Peterson PE
Crafton, Tull & Associates, Inc.
10825 Financial Centre Parkway, Suite 300
Little Rock, Arkansas 72211-3554

RE: Hunter Crossing Phase 2 (Lots 25 - 43) – Water Extension
Bryant, Saline County
ADH Project No. 95120

Dear Mr. Peterson:

The plans for the above-captioned project dated 12-5-14, and submitted to the Engineering Section on 1-12-14, have been reviewed and are hereby approved with the following conditions:

1. The Engineering Section relied upon the statements and representations made in the engineer's report, plans and specifications. In case any statement or representation in the aforementioned documents is found to be incorrect, this Approval may be revoked.
2. There shall be no deviation from the plans and specifications unless revised plans and specifications have been first submitted for review and written consent given.
3. The review and approval of the plans and specifications were for functional and sanitary features and in no way constitute an analysis of the structural design.
4. If construction on this project is not started within one year of the date affixed hereto, this Letter of Approval is void.
5. Construction shall be performed according to the Bryant standard specifications and details.
6. Construction inspection for this project shall be the responsibility of Brad Peterson PE (Crafton, Tull & Associates).
7. All materials and components installed after January 3, 2014 in drinking water systems are required to comply with the federal definition of "lead free" contained in Public Law 111-380.

One set of the plans is being retained for our files and a set is being returned to you. When submitting correspondence pertaining to this project, please include our reference number 95120.

Sincerely,

Robert D. Arthur, P.E.
Engineer Supervisor
Engineering Section

RDA: SGB: sgb

cc: Bryant Waterworks (PWS 486)
Saline County Sanitarian
Protective Health Codes

Received

APR 01 2016

Crafton, Tull & Assoc.

October 12, 2016

City of Bryant Public Works
1017 SW 2nd St.
Bryant, AR 72022

RE: As-Built Certification
Hunter Crossing, Phase II
Bryant, AR
CTA No. 14801801

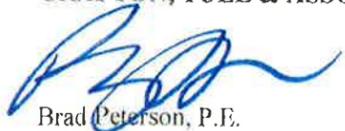
To whom it may concern:

I hereby certify that the all public portions of the water and sewer system that are part of the of the above referenced project have been installed in accordance with the City of Bryant Sewer and Water Specifications, locations of which are accurately shown on the attached as-built drawing.

Should you have any questions, please feel free to contact us.

Sincerely,

CRAFTON, TULL & ASSOCIATES, INC.



Brad Peterson, P.E.
Vice President – Infrastructure

October 12, 2016

Mr. Les Price
Crist Engineers, Inc.
205 Executive Court
Little Rock, AR 72205

RE: As-Built Certification
Hunter Crossing, Phase II
Bryant, AR
CTA No. 14801801

Dear Mr. Price:

Please find attached three copies of the street and drainage as-builts for the above referenced project. PDF and AutoCAD compatible file are included on the attached CD.

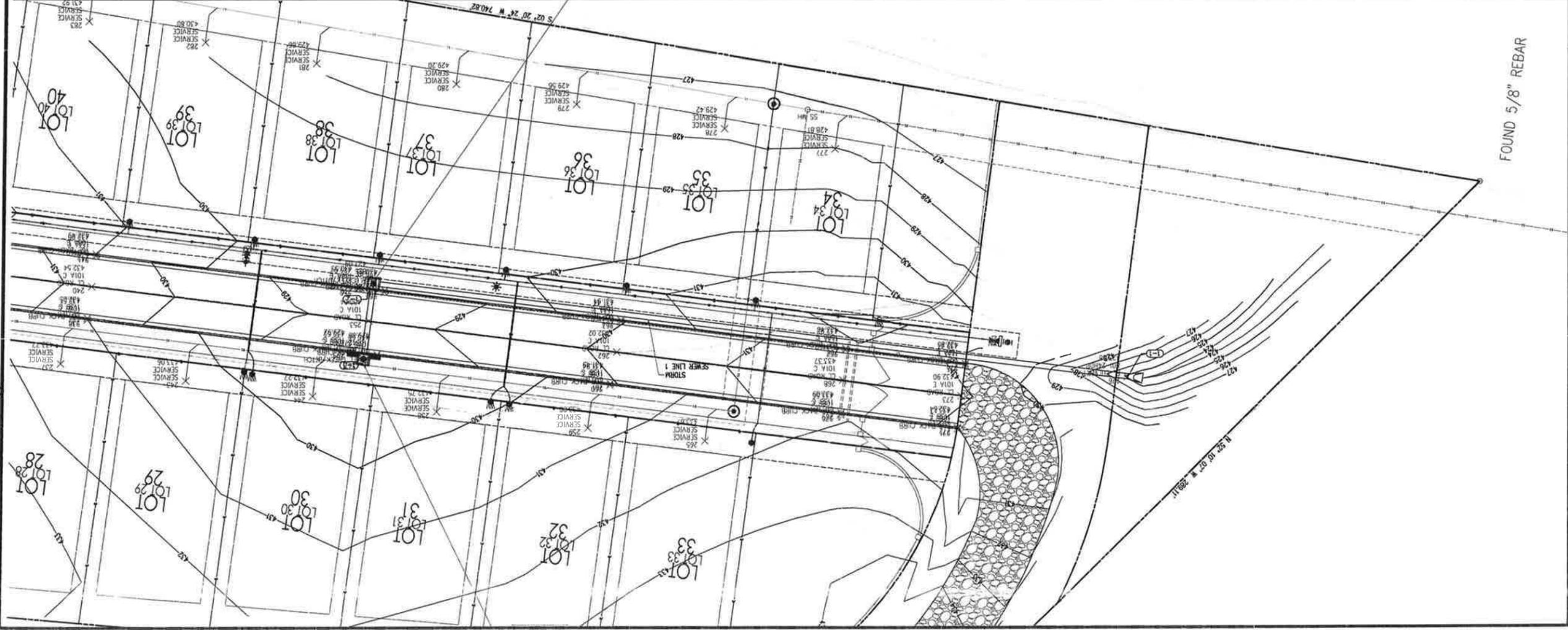
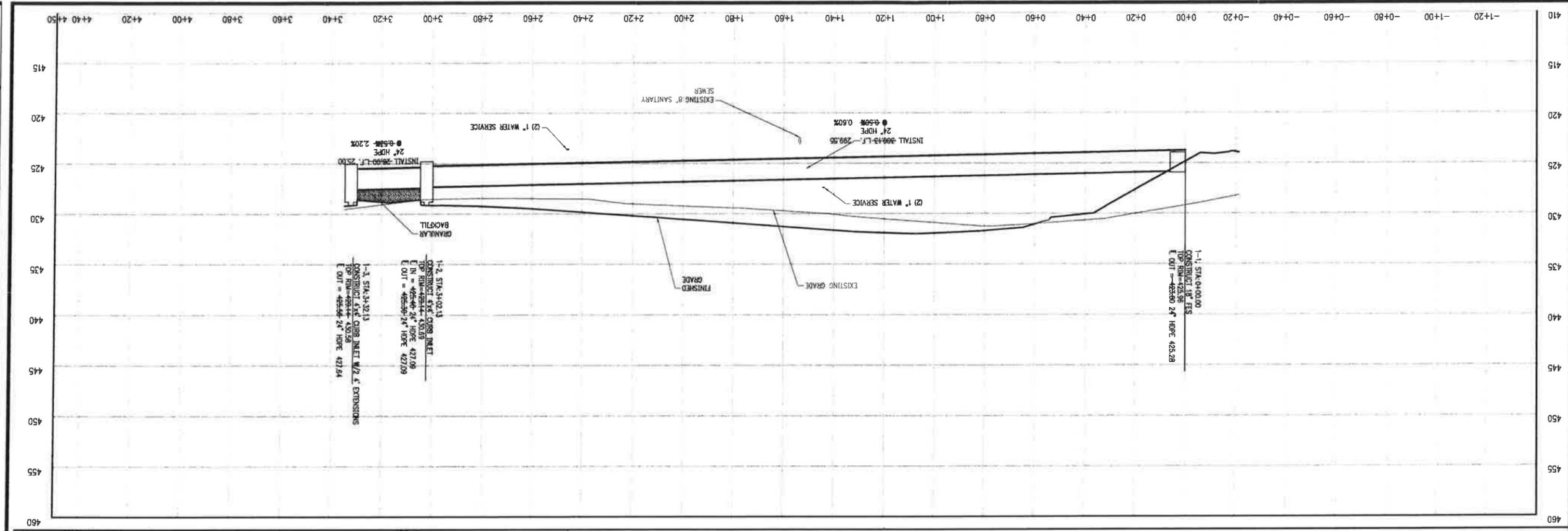
I hereby certify that construction of the street and drainage systems was done so in accordance with the approved construction drawings.

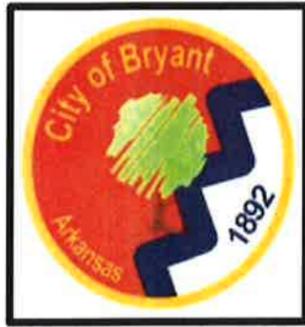
Should you have any questions, please feel free to contact us.

Sincerely,
CRAFTON, TULL & ASSOCIATES, INC.



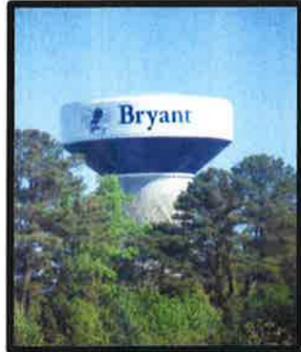
Brad Peterson, P.E.
Vice President Infrastructure





City of Bryant
Planning Commission
Meeting
November 14, 2016

ARKANSAS EARLY
LEARNING



Hurricane Valley, Inc.
Professional Engineering Consultants
P.O. Box 118 (72089) 1506 Prickett Road
Bryant, AR
501-847-7282

October 21, 2016

City of Bryant Planning Commission
210 S.W. 3rd Street
Bryant, AR 72022

Bryant Planning Commission:

I am requesting the review of the attached Site plan for a proposed AEL-Saline County children learning center to be located at 1110 Reynolds Road.

Enclosed are the following:

- Checklist
- Copy of survey.
- 3 copies of the civil drawings, Front & Rear Elevations, and Floor Plan.
- CD with pdf. copies of drawings
- Detention calculations with \$250 check for the review fee.

Sincerely:



Charles Best, P.E.

Bryant Planning Commission

SMALL SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0309

PC MEETING DATE: THURSDAY OF EACH WEEK
TIME: 9:00 A.M.
PLACE: ADMINISTRATION CONFERENCE ROOM-BRYANT OFFICE
COMPLEX
AGENDA DEADLINE: 5:00 P.M. FRIDAY PRIOR TO SCHEDULED MEETING DATE

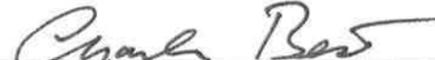
REQUIREMENTS FOR SUBMISSION

1. COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
2. ADA/ABA FORM COMPLETED
3. TWO FULL SETS OF BUILDING PLANS
4. 12 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
 - A. VICINITY MAP
 - B. LEGAL DESCRIPTION
 - C. LANDSCAPING PLAN
5. 12 FOLDED COPIES OF FLOOR PLAN
6. 12 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
7. A CD IN .PDF FORMAT
8. COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
9. 2 COPIES OF STORMWATER DETENTION PLAN
10. \$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.


SIGNATURE

10/21/16
DATE

City of Bryant Commercial Building Checklist

Name of Development AEL - SALINE County
Site Location 1110 REYNOLDS ROAD Current zoning C-2
Owner ARMSTRONG EARLY LEARNING INC Phone 501-847-7282

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ▲ 1. Name of Development
- ▲ 2. Current zoning
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- ▲ 5. Date of preparation of the plan
- ▲ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 7. Legal description of the property with exact boundary lines
- ▲ 8. North arrow & Scale
- ▲ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- ▲ 10. Lot area in square feet
- ▲ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- ▲ 12. Existing streams, drainage channels, and other bodies of water
- ▲ 13. Drainage easements for stormwater run-off and detention shown & labeled
- ▲ 14. Location and name of existing streets
- ▲ 15. Show source of water supply
- ▲ 16. Show location of waste water connection to municipal system & sanitary sewer layout
- ▲ 17. Fire Hydrant placement
- ▲ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- ▲ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- ▲ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- ▲ 21. Location, massing and pattern of existing vegetation to be retained
- ▲ 22. Existing structures on the site
- ▲ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- ▲ 25. Any variance approvals

II ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front <u>50</u> ft. Side <u>25</u> ft. CNR Side _____ ft. Back <u>25</u> ft.		
Parking requirements can be satisfied <u>Occupied Space 9258/300=31</u>	✓	
Floor Space <u>13067</u> sq.ft. divided by 300 = <u>44</u> (no. of parking spaces required)		
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)		
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation	✓	
Will there be a dumpster located on the site?	✓	
Will there be a construction site office?		✓
Have you made "One Call"?		✓
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines	✓	
Design complies with Arkansas Plumbing Code and National Electric Code requirements	✓	
Foundation and structure meet earthquake requirements for Zone 1.	✓	
Structure meets Arkansas Energy Code for specified use.	✓	
Complies with Arkansas Fire Prevention Code	✓	
Complies with International Code Council regulations	✓	
Will a Site Clearance Permit be required? (City Ordinance 2002-03)	✓	
Are you granted any variances by the Board of Adjustment?		✓
If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	✓	—
Spacing will be 40' between trees	✓	—
Tree must be a minimum 3" in diameter at the base and 12' + tall	✓	—
Existing trees meeting the minimum size can be counted to meet above criteria	✓	—
No trees can be planted within 30 feet of a property corner or driveway	✓	—
Shrubs along street right-of-way lines cannot exceed 30 inches in height	✓	—

IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	✓	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	✓	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required <i>C-2 Zone 25' Corner Lot.</i>	✓	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	✓	_____
Parking: one space per each <u>300 sq. ft.</u> of occupied space	✓	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	✓	_____
3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____

V. SITE PLAN ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 26. Letter to Planning Commission stating your request
- ▲ 27. Completed Checklist
- ▲ 28. Completed ADA/ABA Form
- ▲ 29. Two full sets of Building Plans
- ▲ 30. 20 copies of Site Plan (folded to no larger than 8 ½ X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- ▲ 31. 20 copies of Landscaping Plan (folded to no larger than 8 ½ X 14 size)
- ▲ 32. 20 copies of building floor plan (folded to no larger than 8 ½ X 14 size)
- ▲ 33. Copy of Stormwater Detention approval
- ▲ 34. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- ▲ 35. IBM compatible diskette or CD with data in PDF format.
- ▲ 36. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of _____ in the City of Bryant, Arkansas complies with the above regulations, laws and codes.

_____	<i>Chuck Best</i>
Owner	Engineer/Architect
_____	847-7282
Mailing Address	Phone #
_____	10/21/16
City	Date

CITY USE

Action Taken:

Special Conditions:

Permit Issued: Date _____ Sq.Ft. _____ Amount \$ _____
--

Construction Completed Certified For Occupancy: Date: _____
Inspector: _____

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

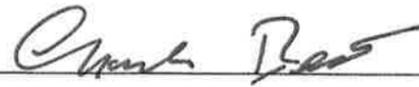
The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor
or Authorized Agent _____



Date 10/21/16

Signature of Owner
(if owner-builder) _____

Date _____

Application of Permit Approved: _____

Commission - Chairman

Date _____

Bryant Water & Sewer Department

GREASE TRAP STANDARDS

The City of Bryant requires all commercial buildings comply with plumbing codes found in the Arkansas State Plumbing Code, Latest Edition. All new construction, remodeling, and modifications must conform to these plumbing standards for places of public accommodation and commercial facilities. These guidelines contain general design standards for construction and site elements relating to plumbing.

As of 7/27/04, the Bryant Sewer & Water Commission requires stringent specification standards for commercial or public businesses that involve any food preparation on the premise. The new standard requires calculations, and associated data to be submitted to the Bryant Water Utilities General Manager concurrent with the proposed building plumbing plans along with a grease trap calculation form. Building Permits will not be issued until this form has been received and approved by the Bryant Water Utilities General Manager.

All new buildings or strip centers containing sections designated for commercial enterprise are encouraged to provide a stub-out for a separate waste line for future grease interceptor installation. The owner of a new strip center shall consider suitable physical property space and sewer gradient that will be conducive for the installation of an exterior, in-ground grease interceptor(s) for any flex space contained within the strip center. Physical Property Restrictions and sewer gradient shall not be a defense for failure to install an exterior, in-ground grease interceptor.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the City of Bryant Water & Sewer Department. I further understand that copies of the Grease Interceptor Design and Structural Criteria regulations will be available from the Bryant Water/Wastewater Plant (501-847-8083) during business hours.

Project Name _____

Signature of Contractor
or Authorized Agent _____ Date _____

Signature of Owner
(if owner-builder) _____ Date _____

Calculations
Approved: _____ Date _____
Bryant Water Utilities General Manager

Hurricane Valley, Inc.
Professional Engineering Consultants
P.O. Box 118 (72089) 1506 Pricket Road
Bryant, AR
Tel 501-847-7282

STORM WATER DETENTION PLAN

AEL –Saline Count
1110 Reynolds Road
Bryant, Arkansas

October 21, 2016

PROJECT DESCRIPTION

This project consists of the construction of a 1.83-acre early learning center, parking and drives.

DETENTION PLAN

The construction activity consists of grading approximately 1.83 acres of surface area; placements of fill material, construction of a building, and parking areas.

During grading hay bales and/or silt screen will be placed around the construction area as required.

DETENTION POND CALCULATIONS

The present runoff coefficient for the existing undisturbed area is about 0.45. The runoff coefficient of the site after construction is completed is expected to be 0.92 for the parking area and 0.92 for the roof area. Of the 1.83 acres approximately 75% will be pavement and buildings with the remaining 25% in vegetation.

Pre-development

West Detention

Flow Dist. $L = 250$ ft.

Slope = 7%

Total Area = 1 acres

Conc. Time (T_c) = 14 min.

Return Period = 25 years Intensity = 6.5 in/hr

Return Period = 100 years Intensity = 8 in/hr

Coefficient (undev) = 0.45

Q (undev) = $Aci = 1 \times 0.45 \times 8 = 3.6$ cfs

Discharge Design

Q (undev) = $Aci = 1 \times 0.45 \times 6.5 = 2.92$ cfs

East Detention

Flow Dist. L = 250 ft.

Slope = 9%

Total Area = 1 acres

Conc. Time (Tc) = 12 min.

Return Period = 25 years Intensity = 6.9 in/hr

Return Period = 100 years Intensity = 8.5 in/hr

Coefficient (undev) = 0.45

$Q(\text{undev}) = Aci = .83 \times 0.45 \times 8.5 = 3.17 \text{ cfs}$

Discharge Design

$Q(\text{undev}) = Aci = .83 \times 0.45 \times 6.9 = 2.58 \text{ cfs}$

Post Development

West Detention

Flow Dist. L = 250 ft. Slope = 2%

Conc. Time (Tc) = 5 min.

Return Period = 100 years Intensity = 10.0 in/hr

Coefficient (undev) = 0.92

$Q(\text{dev}) = Aci \quad 1 \times 0.75 \times 0.92 \times 10.0 = 6.9 \text{ cfs}$

$Q(\text{dev}) = Aci \quad 1 \times 0.25 \times 0.45 \times 10.0 = \frac{1.12 \text{ cfs}}{8.02 \text{ cfs}}$

Detention Pond Volume Required

$\text{Diff.} = 8.02 - 3.6 = 4.42 \text{ cfs}$

Total Required V = 4.42 x 5 x 60 = 1326 CF

Discharge

low-flow pipe discharge allowed 2.92 cfs (see " Discharge Design" above)

Try 8 inch PVC pipe h = 1.33 ft

$Q=CA(2gh)^{1/2}=0.6(.348)((2)(32.2)(1.33))^{1/2} = 1.93 < 2.92 \text{ cfs OK}$

Use 8" PVC Pipe.

Spillway

Return Period = 100 years Intensity = 10 in/hr

$8.02 \text{ cfs} - 1.93 \text{ cfs} = 6.09 \text{ cfs}$

5 LF with 7" deep flow = 7.26 cfs > 6.09 cfs OK

East Detention

Flow Dist. L = 250 ft. Slope = 2%
Conc. Time (Tc) = 5 min.
Return Period = 100 years Intensity = 10.0 in/hr
Coefficient (undev) = 0.92

$Q(\text{dev}) = Aci \quad 0.83 \times 0.75 \times 0.92 \times 10.0 = 5.73 \text{ cfs}$
 $Q(\text{dev}) = Aci \quad 0.83 \times 0.25 \times 0.45 \times 10.0 = \underline{0.93 \text{ cfs}}$
6.66 cfs

Detention Pond Volume Required

Diff. = 6.66 - 3.17 = 3.49 cfs

Total Required V = 3.49 x 5 x 60 = 1047 CF

Discharge

low-flow pipe discharge allowed 2.58 cfs (see "Discharge Design" above)

Try 8 inch PVC pipe h = 1.33 ft
 $Q = CA(2gh)^{1/2} = 0.6(.348)((2)(32.2)(1.33))^{1/2} = 1.93 < 2.58 \text{ cfs OK}$

Use 8" PVC Pipe.

Spillway

Return Period = 100 years Intensity = 10 in/hr

6.66 cfs - 1.93 cfs = 4.73 cfs

5 LF with 7" deep flow = 7.26 cfs > 4.73 cfs OK

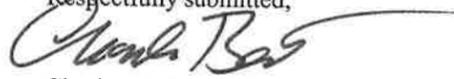
CONTRACTOR

Not selected at this time.

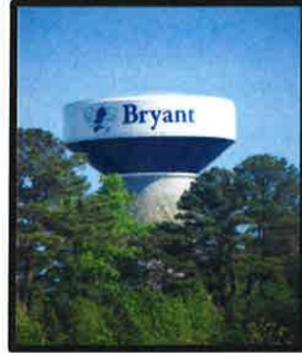
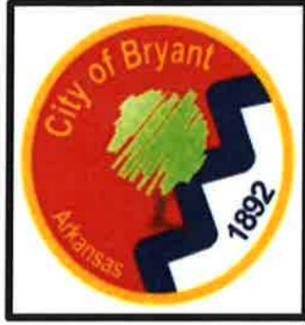
SKETCH

See site plan.

Respectfully submitted,



Charles F. Best, P.E.



City of Bryant
Planning Commission
Meeting
November 13, 2016

BENJAMIN GROVE

November 9, 2016

Mr. Charles Best
Hurricane Valley Inc.
P.O. Box 118
Bryant, Arkansas 72089

RE: Bryant Sewer System Capacity
Arkansas Early Learning Center

This letter is to confirm that the City of Bryant Wastewater System does have the capacity to accept wastewater from the Arkansas Early Learning Center project located at Dogwood Place Drive and Highway 183 as proposed on the plans you provided.

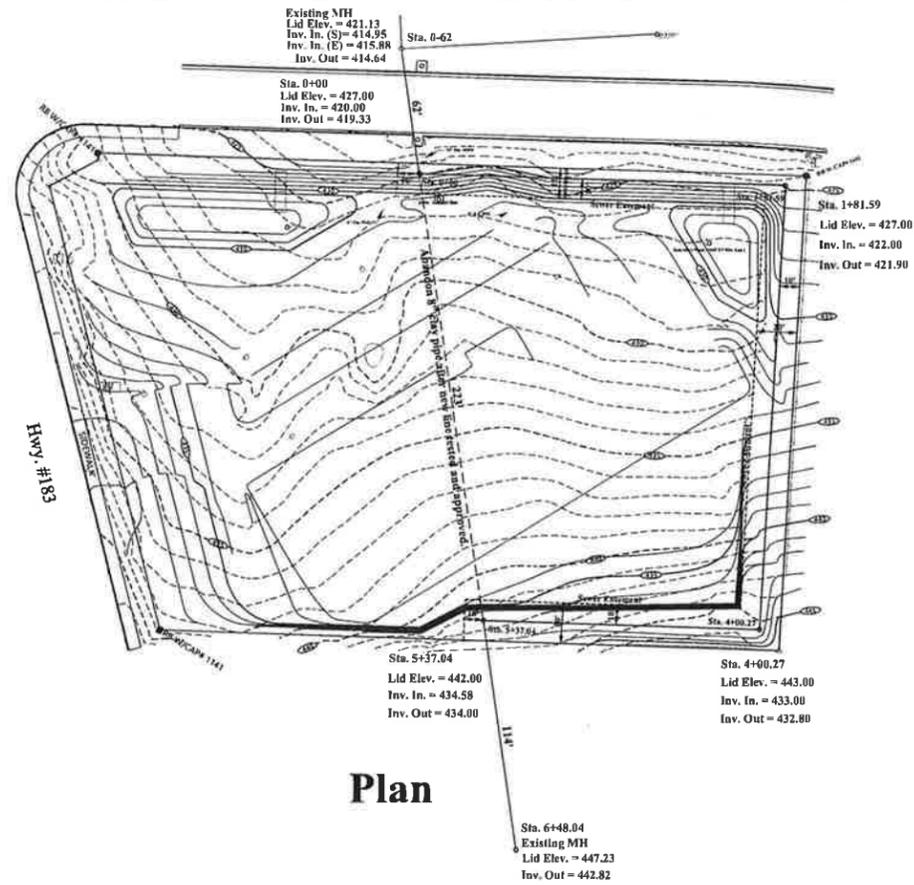
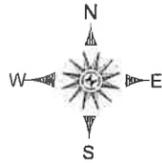
Cordially,

Mark Grimmett
Public Utilities director

cc: Scott Chandler, Bryant Wastewater Collection Superintendent
Gregg Asher, Bryant Wastewater Treatment Superintendent

Legend

- Handrail
- Power Pole
- Set. Corner
- Finish Elev. Outer
- Sewer
- Centerline
- Water Line
- Powerline
- Proposed Curb
- Concrete
- Property Line
- Rip-Rap

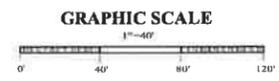
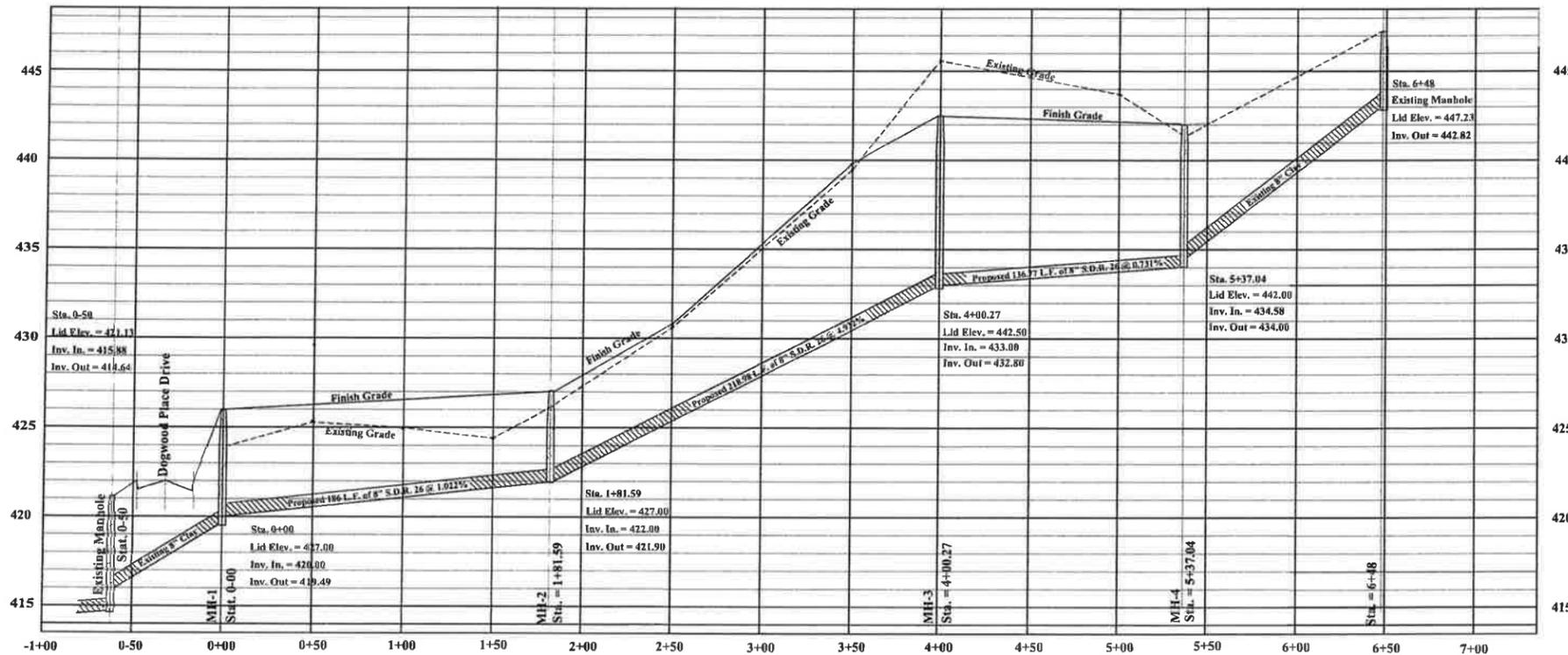


Notes:

- 1) Construction methods and materials shall be in accordance with the latest version of the City of Bryant; STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS.
- 2) Location of subsurface utilities (gas, phone, cable water, etc.) shown on the are approximate and based upon visual inspection and information from various utilities. Contractor is responsible for contacting One Call and satisfying himself as to the exact location of the utilities shown or not shown.
- 3) Contractor is responsible for repairs to any damaged utilities.
- 4) All streets, drives, drainage structures, walks, fences, etc. shall be restored to their original or better condition using similar or better materials. Cost of such repairs shall be the responsibility of the Contractor.
- 5) Contractor shall coordinate with each utility company prior to any excavation.
- 6) Should conflicts exist between plans and specifications the specifications shall govern.

Note:

Location of subsurface utilities (gas, phone, cable water , etc) shown on the are approximate and based upon visual inspection and information from various utilities. Contractor is responsible for contacting One Call and satisfying himself as to the exact location of the utilities



Profile

Scale:
Hort. 1" = 40'
Vert. 1" = 5'

Client	Ark. Early Learning, Inc.	Dsgn. By	Charles Best	HURRICANE VALLEY INC. PROFESSIONAL ENGINEERING CONSULTANTS P.O. BOX 118 BRYANT, ARKANSAS 501-847-7282	Arkansas Early Learning, Inc. Sanitary Sewer Relocation Hwy. 183 & Dogwood Place Drive Bryant, Arkansas
Address		Dwn. By			
JOB NO.	15073	Chkd By		DWG. NO.	SHEET
Date	11-9-16	Appr By	1" = 40'		

NO.	DESCRIPTION



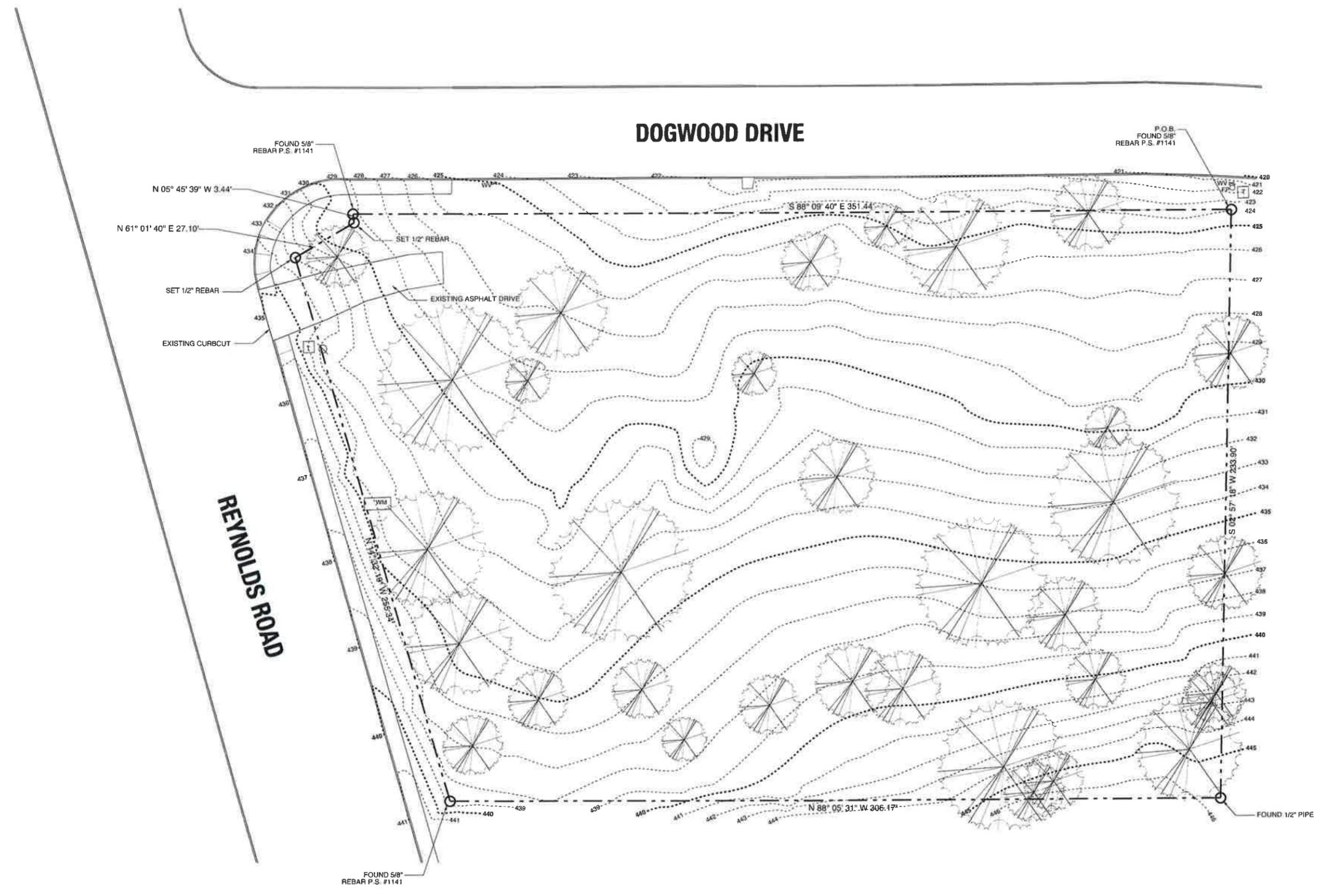
ARKANSAS EARLY LEARNING - SALINE COUNTY
 1100 NORTH RAYNOLDS RD. BRYANT, AR 72022

PRELIMINARY:
 NOT FOR
 CONSTRUCTION

EXISTING TOPOGRAPHY
 09-21-2016

C100

DOGWOOD DRIVE

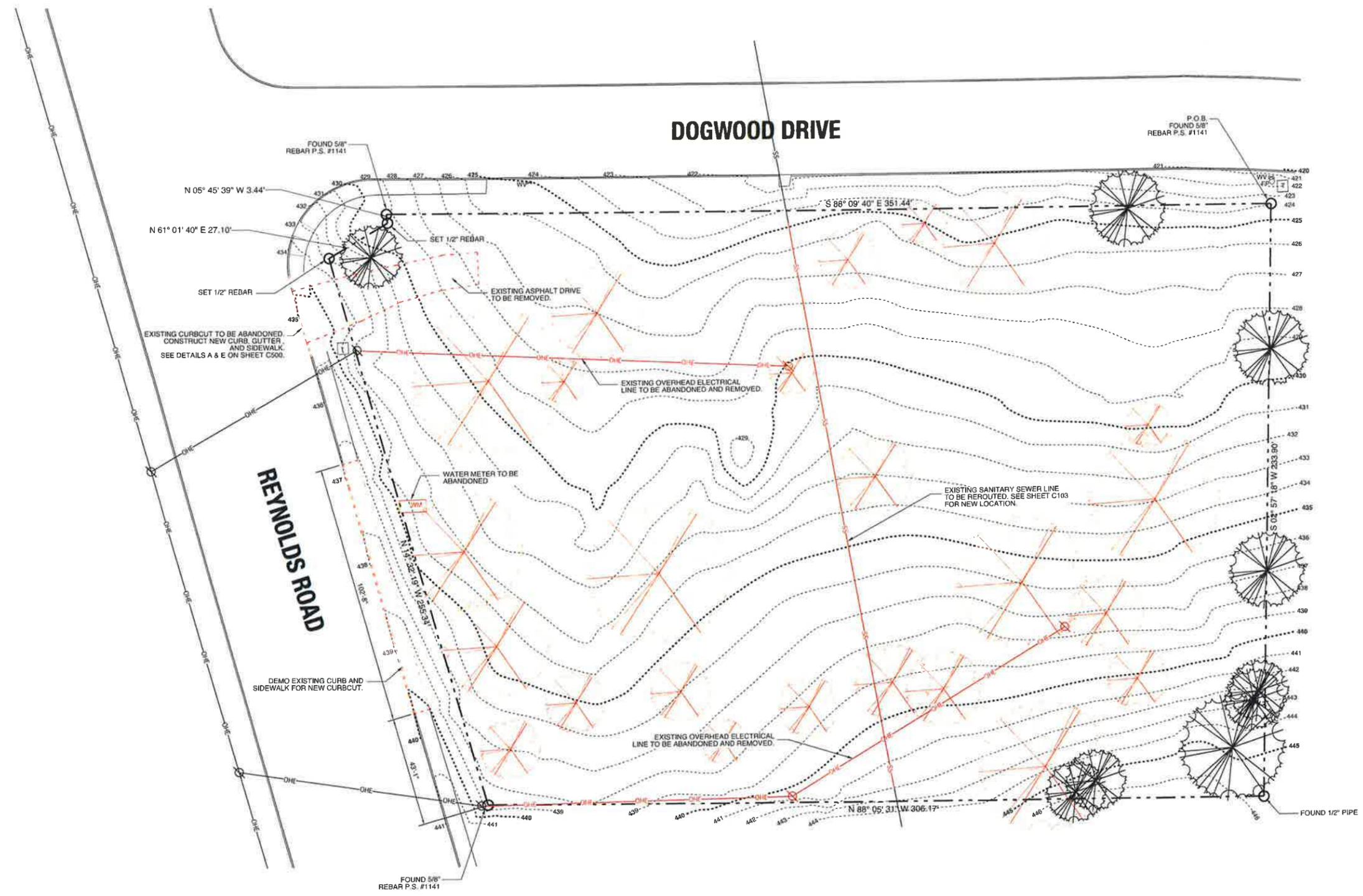


LEGEND
 - - - - - EXISTING INTERMEDIATE TOPOGRAPHY LINE
 EXISTING INDEX TOPOGRAPHY LINE





**PRELIMINARY:
NOT FOR
CONSTRUCTION**



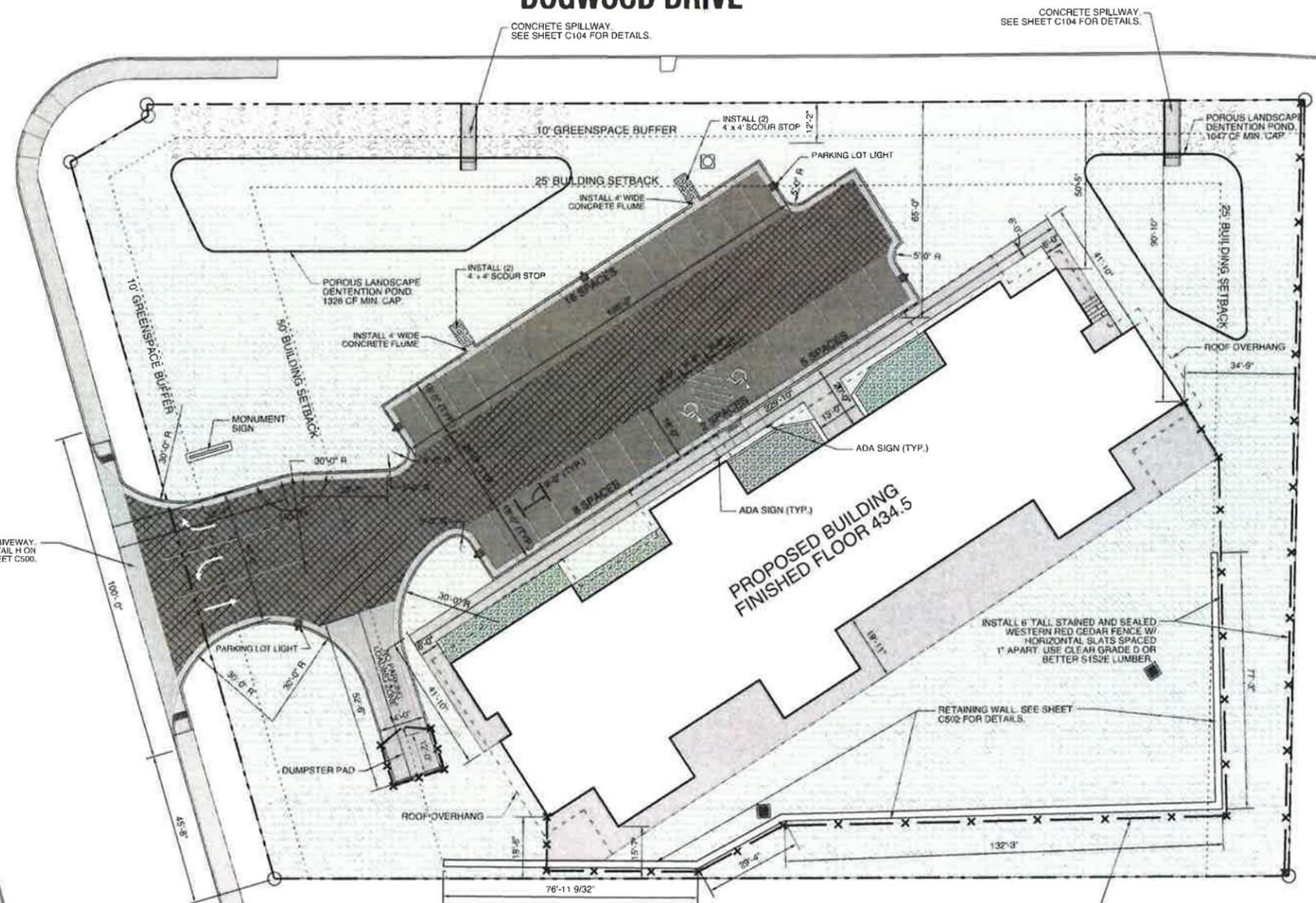
- LEGEND**
- DEMOLITION
 - EXISTING
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED

SITE DEMOLITION PLAN
1" = 20'-0"

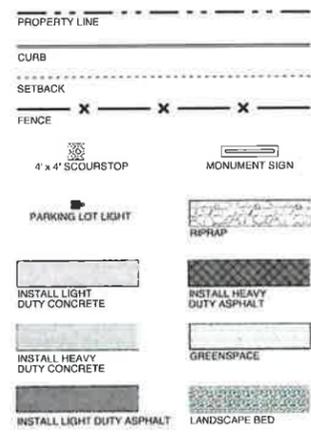


DOGWOOD DRIVE

REYNOLDS ROAD



LEGEND

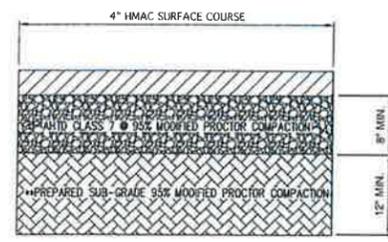


SITE NOTES

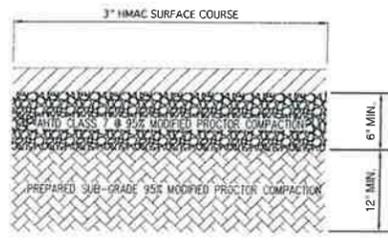
1. THE SUBGRADE UNDER PAVEMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
2. AFTER PROOF ROLLING WITH A LOADED TANDEM AXLE DUMP TRUCK AND PREPARING DEEP SUBGRADE DEFICIENCIES, THE ENTIRE SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 8" AND UNIFORMLY COMPACTED TO AT LEAST 95% OF MODIFIED PROCTOR.
3. AGGREGATE BASE COURSE MIXTURES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. ASPHALTIC SURFACE AND BINDER COURSES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. PORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM WITH THE REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. THE CONTRACTOR SHALL APPLY A TACK COAT TO THE FACE OF THE CONCRETE GUTTER WHERE THE GUTTER CONTACTS ASPHALT.
7. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/ COUNTY/ STATE/ FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
8. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS PRECISE BUILDING DIMENSIONS.
10. ALL DIMENSIONS AND REDUCTIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
11. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
12. ALL CURB/ SIDEWALK/ HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
13. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO START OF CONSTRUCTION.
14. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
15. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

PROPERTY DESCRIPTION

PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 27, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A FOUND 2 INCH PIPE USED FOR THE NORTHEAST CORNER OF THE SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SECTION 27, THENCE SOUTH 02 DEGREES 57 MINUTES 18 SECONDS WEST 198.00 FEET TO A FOUND FIVE EIGHTHS INCH REBAR ON THE SOUTH RIGHT OF WAY LINE OF DOGWOOD PLACE DRIVE AND THE POINT OF BEGINNING, THENCE DEPARTING SAID SOUTH RIGHT OF WAY SOUTH 02 DEGREES 57 MINUTES 18 SECONDS WEST 233.90 FEET TO A FOUND ONE-HALF INCH PIPE, THENCE NORTH 88 DEGREES 05 MINUTES 31 SECONDS WEST 306.17 FEET TO A FOUND FIVE EIGHTHS INCH REBAR ON THE EAST RIGHT OF WAY LINE OF REYNOLDS ROAD (ARKANSAS STATE HIGHWAY NO. 100), THENCE ALONG SAID RIGHT OF WAY LINE NORTH 14 DEGREES 32 MINUTES 19 SECONDS WEST 225.24 FEET TO A SET ONE-HALF INCH REBAR, THENCE NORTH 01 DEGREES 01 MINUTES 40 SECONDS EAST 27.10 FEET TO A SET ONE-HALF INCH REBAR, THENCE NORTH 05 DEGREES 45 MINUTES 39 SECONDS WEST 3.44 FEET TO A FOUND FIVE EIGHTHS INCH REBAR ON THE SAID SOUTH RIGHT OF WAY LINE OF DOGWOOD PLACE DRIVE, THENCE ALONG SAID SOUTH RIGHT OF WAY LINE SOUTH 88 DEGREES 09 MINUTES 40 SECONDS EAST 351.44 FEET TO THE POINT OF BEGINNING, CONTAINING 79,802 SQUARE FEET OR 1.83 ACRES MORE OR LESS.



B TYP. HEAVY DUTY ASPHALT SECTION
N.T.S.



A TYP. LIGHT DUTY ASPHALT SECTION
N.T.S.

PAVEMENT DESIGN

LIGHT DUTY ASPHALT PAVING	3" ASPHALT SURFACE COURSE 6" CRUSHED STONE BASE COURSE 12" COMPACTED SUBGRADE (MIN. CBR 8)
HEAVY DUTY ASPHALT PAVING	3" ASPHALT SURFACE COURSE 8" CRUSHED STONE BASE COURSE 12" COMPACTED SUBGRADE (MIN. CBR 8)
LIGHT DUTY CONCRETE PAVING	5" CONCRETE PAVEMENT 8" CRUSHED STONE BASE COURSE 24" COMPACTED SUBGRADE (MIN. CBR 8)
HEAVY DUTY CONCRETE PAVING	6" ASPHALT SURFACE COURSE 8" CRUSHED STONE BASE COURSE 24" COMPACTED SUBGRADE (MIN. CBR 8)



**PRELIMINARY:
NOT FOR
CONSTRUCTION**



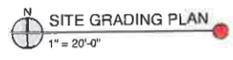
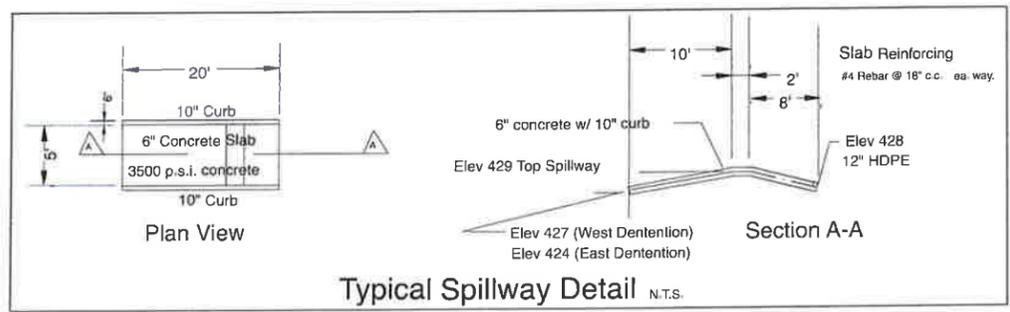
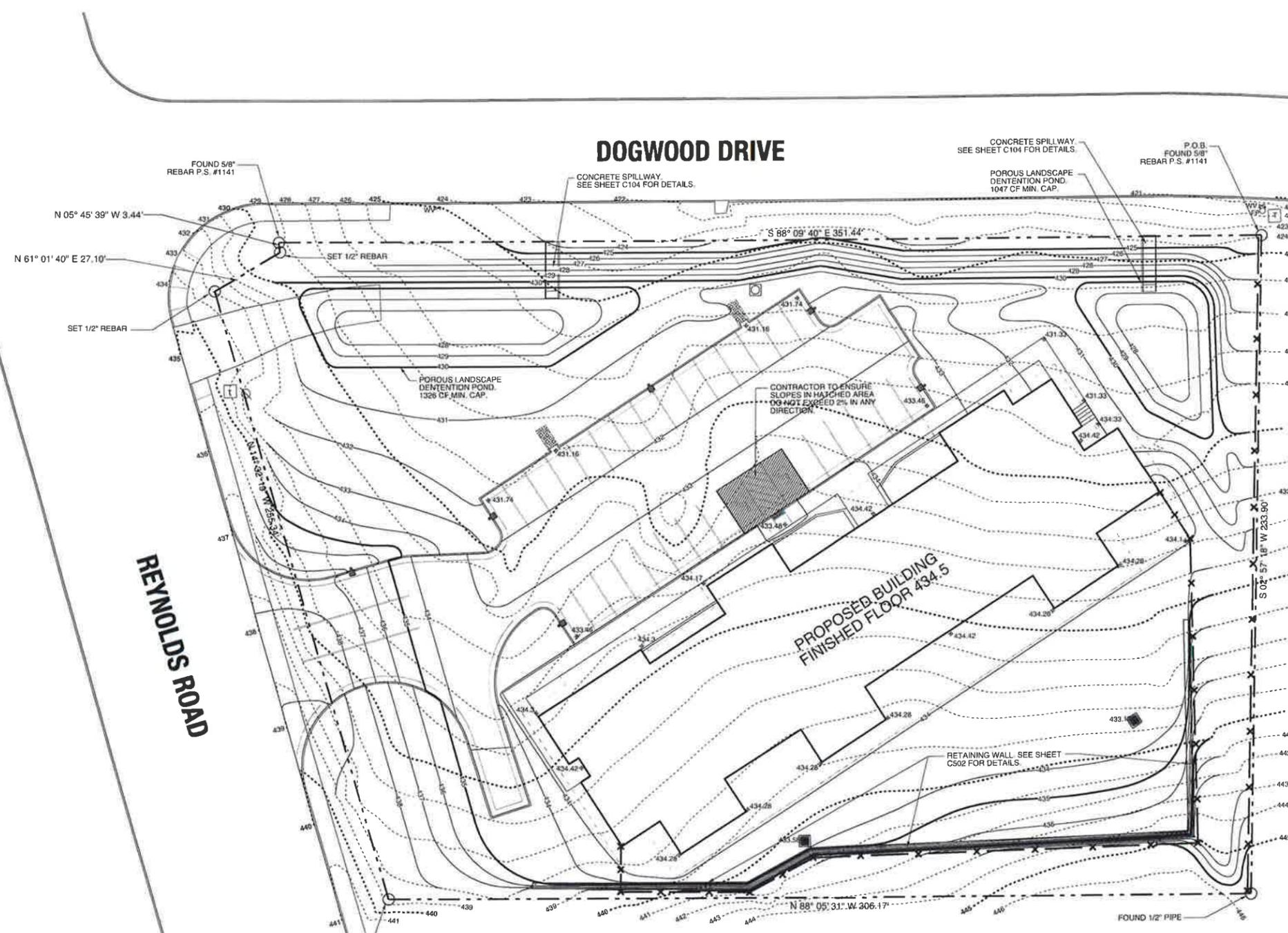
**PRELIMINARY:
NOT FOR
CONSTRUCTION**

LEGEND

	CURB
	NEW INTERMEDIATE TOPOGRAPHY LINE
	NEW INDEX TOPOGRAPHY LINE
	EXISTING INTERMEDIATE TOPOGRAPHY LINE
	EXISTING INDEX TOPOGRAPHY LINE

GRADING AND DRAINAGE NOTES:

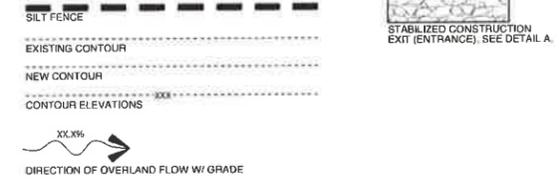
1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
3. THE CONTRACTOR SHALL COORDINATE UTILITIES INSTALLATION WITH THE VARIOUS UTILITY COMPANIES AS APPROPRIATE.
4. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
5. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
6. ALL CUT OR FILL SLOPES SHALL BE A MAX 2:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER. EXISTING STRUCTURES INCLUDE BUT ARE NOT LIMITED TO STREETS, WALKS, DRIVES, DRAINAGE STRUCTURES, FENCES, UTILITIES, ETC.
8. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
9. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
11. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO LANDSCAPE PLAN.
13. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
14. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
15. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
16. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
17. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
18. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
19. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING SIDEWALKS, DRIVES, ETC., CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
20. PROTECTED AREAS ARE DEFINED AS ANY AREA OUTSIDE DESIGNATED WORK LIMITS.
21. IMPACTED TREES MUST BE WATERED AND KEPT MOIST DURING DRY PERIODS.
22. PRESERVE AND PROTECT EXISTING TREES SHOWN WITHIN THE DEVELOPMENT PLANS. REMOVAL OF ANY TREE WHETHER SHOWN ON PLANS OR NOT, REQUIRES APPROVAL FROM ARCHITECT OR OWNER.
23. THE REFERENCE "UTILITY" LINES INCLUDES WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND T.V. CABLE.





PRELIMINARY:
NOT FOR
CONSTRUCTION

LEGEND

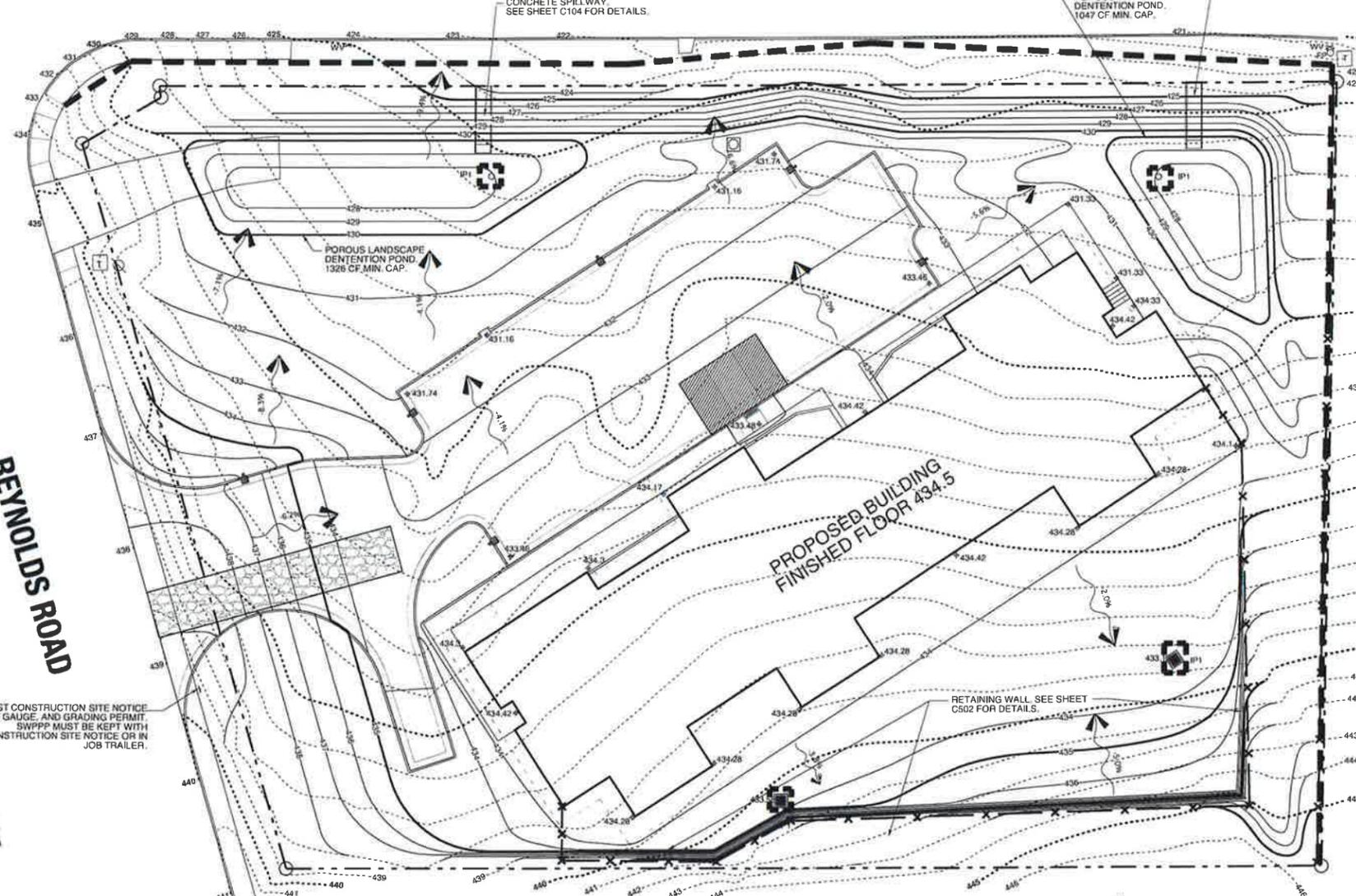


GENERAL EROSION NOTES:

- 1. BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AND APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
2. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON THE SITE AT ALL TIMES.
3. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
4. GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INITIATED AS SOON AS POSSIBLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARY SEEDED.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
12. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.
13. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
14. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
15. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.
16. SLOPES SHALL BE LEFT IN A ROUGHED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
17. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
18. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

DOGWOOD DRIVE

REYNOLDS ROAD

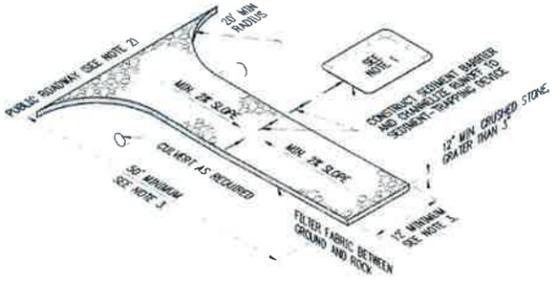
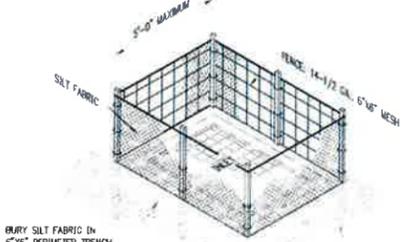
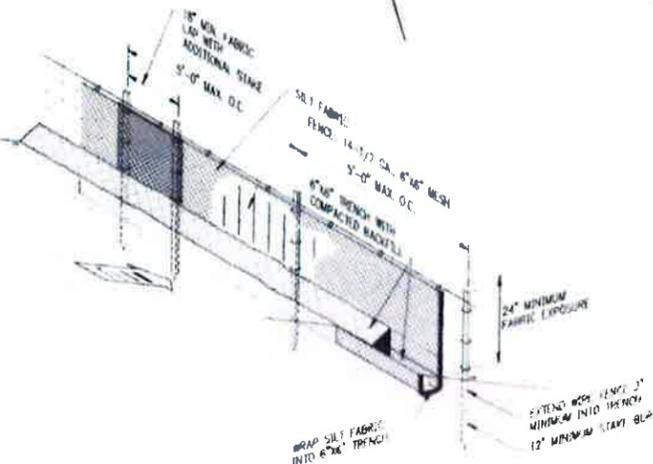


EROSION CONTROL PLAN
1" = 20'-0"

SILT FENCE DETAIL
N.T.S.

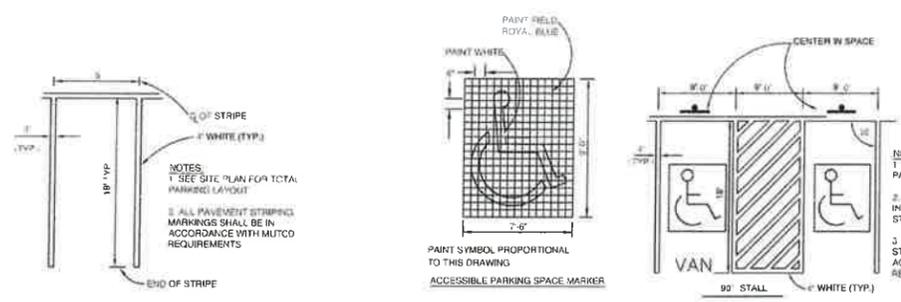
IP1 - SILT FENCE INLET PROTECTION
N.T.S.

STABILIZED CONSTRUCTION EXIT (ENTRANCE)
N.T.S.



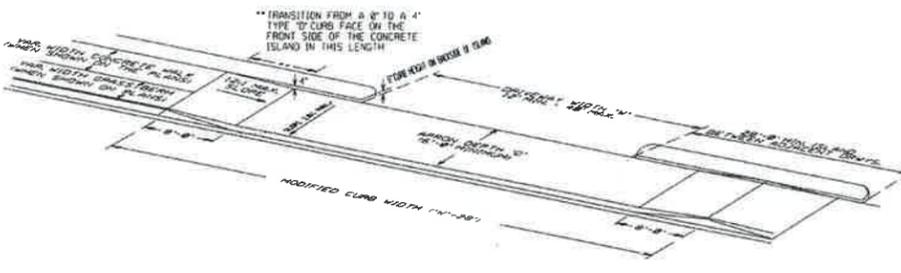
- 1. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. LENGTH AND WIDTH TO SUIT SITE, CONSTRUCTION TRAFFIC AND EFFECTIVENESS.

PRELIMINARY:
 NOT FOR
 CONSTRUCTION

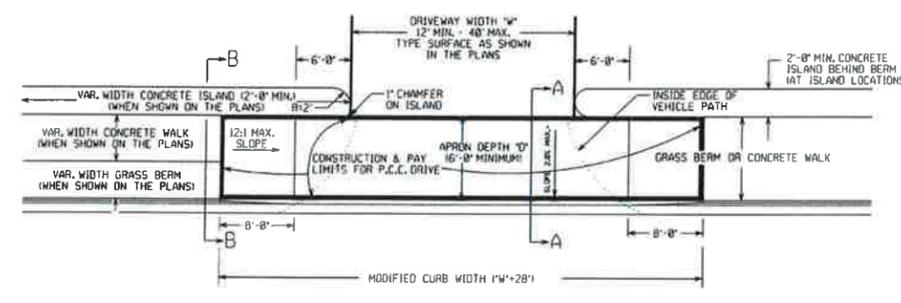


P PARKING SPACE STRIPING
 N.T.S.

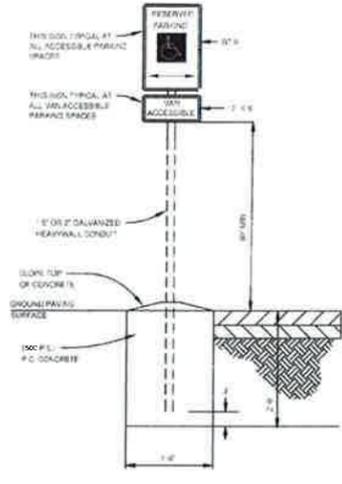
Q VAN ACCESSIBLE PARKING STRIPING DETAILS
 N.T.S.



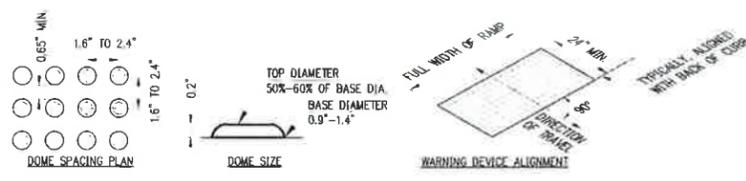
M TYP. DRIVEWAY ISOMETRIC DETAIL
 N.T.S.



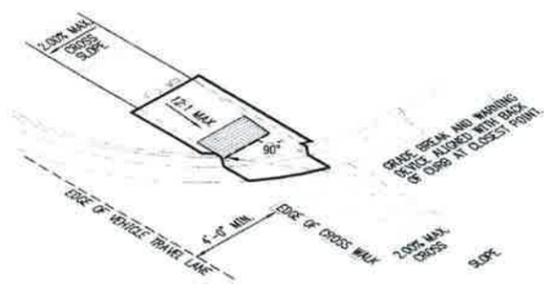
H TYP. DRIVEWAY PLAN DETAIL
 N.T.S.



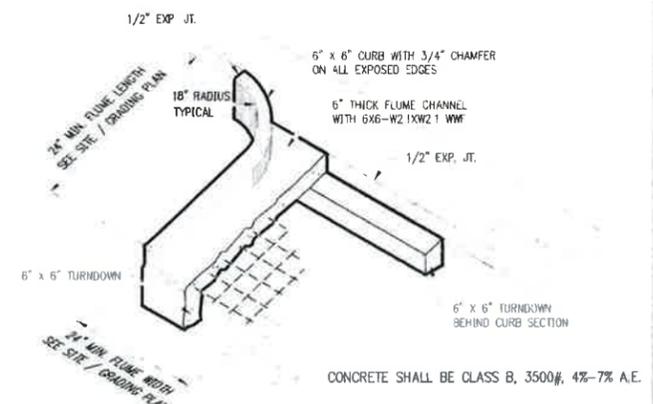
L ACCESSIBLE PARKING SIGN
 N.T.S.



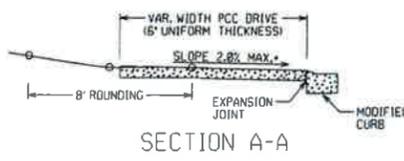
NOTES
 1. DETECTABLE WARNING SURFACES SHALL CONSIST OF TRUNCATED DOMES ALIGNED IN A SQUARE OR RADIAL GRID PATTERN AND SHALL COMPLY WITH ADA 705 GUIDELINES.
 2. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



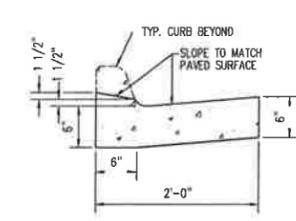
E SINGLE ADA RAMP AT LARGE RADIUS DETAIL
 N.T.S.



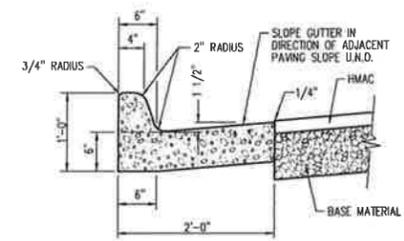
G TYP. CONCRETE FLUME DETAIL
 N.T.S.



G TYP. DRIVEWAY SECTION DETAIL
 N.T.S.



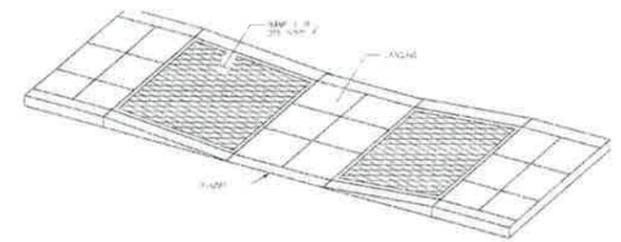
F TYP. CONCRETE CURB & GUTTER DETAIL
 N.T.S.



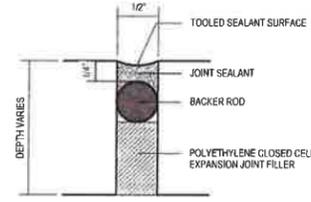
E TYP. CONCRETE CURB & GUTTER DETAIL
 N.T.S.

ADA ACCESS RAMP NOTES

- CURB RAMPS SHALL BE ISOLATED FROM ALL OTHER CONCRETE BY EXPANSION JOINTS.
- RAMPS SHALL HAVE A COURSE TEXTURED SURFACE OBTAINED WITH A 3/4" x 1 1/4" FLATTENED EXPANDED METAL MESH BEING PRESSED INTO THE STILL FRESH CONCRETE. THE LONG AXIS OF THE DIAMOND PATTERN SHALL BE ALIGNED WITH THE SLOPE OF THE RAMP.
- ADDITIONAL SIDEWALK PAVING MAY BE NECESSARY IN THE PLANTING STRIP OR AT THE TOP OF SIDEWALK TO ACCOMMODATE ACCESS TO THE RAMP. A MINIMUM 4'-0" x 8'-0" 2% MAX. GRADE LANDING SHALL BE PROVIDED AT THE TOP OF THE RAMP.
- THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH BOTH WINGS AND BOTH RAMPS.
- THE WINGS SHALL HAVE A SLIGHTLY BRUSHED FINISH PARALLEL TO THE CURB.
- MIN. LATERAL CLEARANCE FROM INLETS, POLES, HYDRANTS AND OTHER ABOVE GROUND OBSTACLES SHALL BE 1'-0" FROM THE SCORED OR DETECTABLE WARNING PORTION OF THE CURB RAMP.
- INLETS SHALL BE SO LOCATED THAT GUTTER FLOW DOES NOT FLOW PAST THE CURB RAMP.

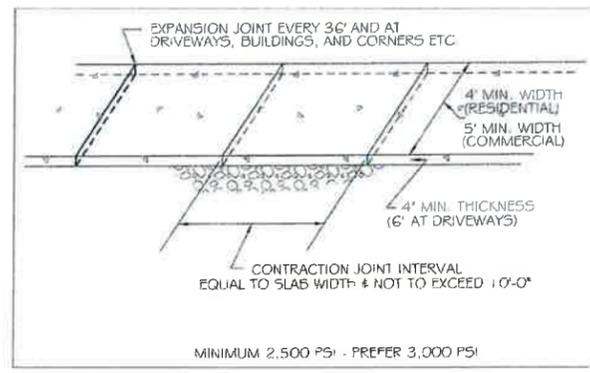


C TYP. ADA ACCESS RAMP DETAILS
 N.T.S.



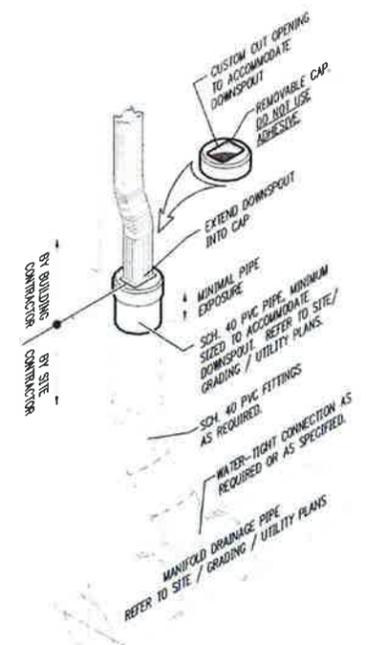
B SIDEWALK ISOLATION JOINT & EXPANSION JOINT DETAIL
 N.T.S.

NOTES ON ISOLATION AND EXPANSION JOINTS:
 1. SEALANT SHALL BE ELASTOMERIC POLYURETHANE (DOWBORN 96.1 OR APPROVED EQUAL). CONCRETE SURFACES SHALL BE CLEANED, PRIMED AND CURED IN ACCORDANCE WITH SEALANT MANUFACTURER'S RECOMMENDATIONS.
 2. JOINT SEALANT, BACKER ROD & JOINT FILLER SHALL BE A COMPATIBLE SYSTEM IN ACCORDANCE WITH SEALANT MANUFACTURER'S RECOMMENDATIONS.



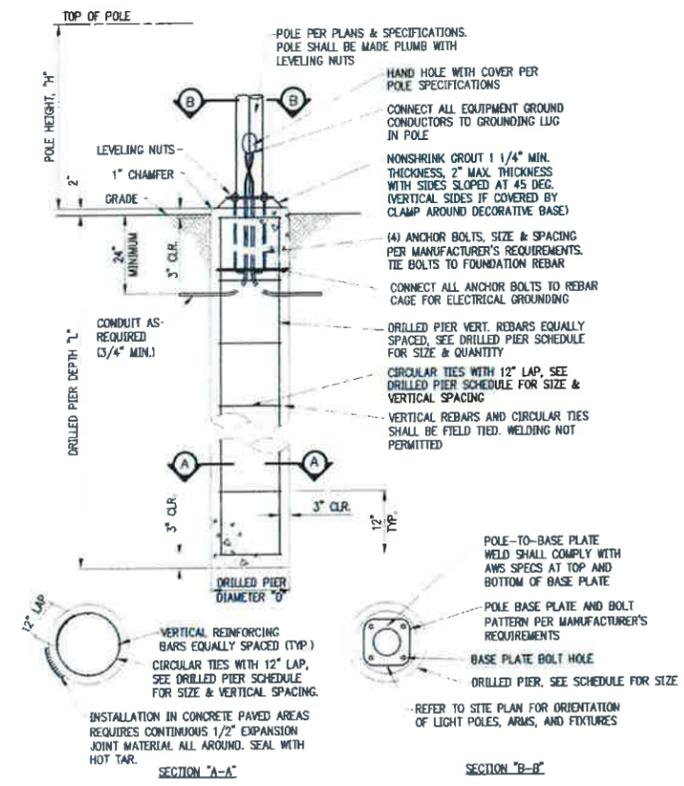
A TYP. SIDEWALK DETAIL
 N.T.S.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**



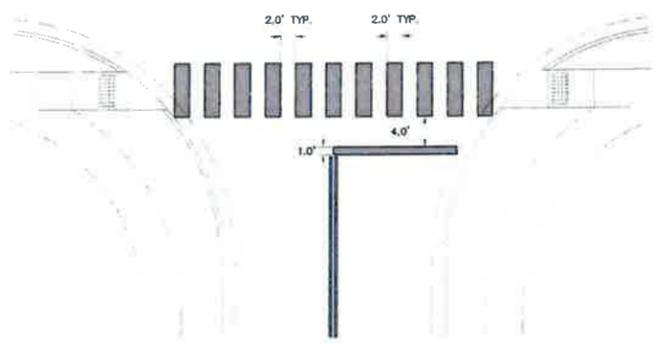
TYP. DOWNSPOUT COLLECTOR DETAIL
N.T.S.

DRILLED PIER SCHEDULE				
POLE HEIGHT "H"	DRILLED PIER DIAMETER "D"	DRILLED PIER DEPTH "L"	DRILLED PIER VERT. REBAR	CIRCULAR TIES
UP TO 9'-0"	18"	2'-8"	(6)-#5	#3 @ 12" OC VERT
12'-0"	18"	3'-0"	(6)-#5	#3 @ 12" OC VERT
20'-0"	24"	8'-0"	(8)-#5	#3 @ 12" OC VERT
30'-0"	24"	8'-3"	(8)-#5	#3 @ 12" OC VERT
40'-0"	30"	9'-0"	(8)-#7	#3 @ 12" OC VERT



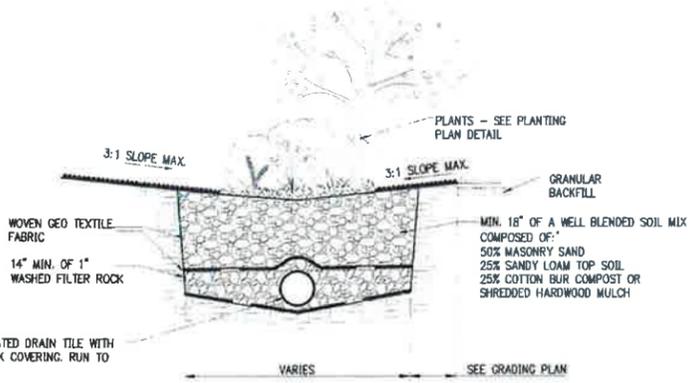
- NOTES:
- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONC. WITH GRADE 60 RE-BARS.
 - FOUNDATION EXCAVATION SHALL BE BY AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS. SIZE OF AUGER SHALL MATCH DIAMETER OF PIER.
 - IF GROUNDWATER IS PRESENT IN AUGER HOLE, REMOVE BEFORE POURING CONCRETE.
 - DESIGN CRITERIA:
 - IN PLACE SOIL IS ASSUMED TO BE CLASS 5 OF IBC 2006, TABLE 1804.2 WITH INCREASED ALLOWABLE LATERAL BEARING OF 200 PSF/FT PER SECTION 1804.3.1.
 - BASIC WIND SPEED (3 SECOND GUST) = 90 MPH
 - EXPOSURE CATEGORY C
 - IMPORTANCE FACTOR = 1.0

TYP. LIGHT POLE DETAIL
N.T.S.



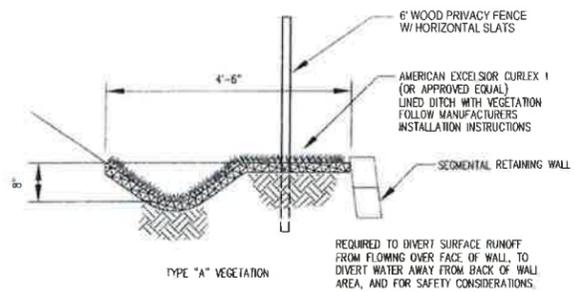
TYP. CROSSWALK DETAIL
N.T.S.

- WIDTH OF THE CROSSWALK STRIPING SHALL BE THE WIDTH OF THE SIDEWALK PLUS TWO (2) FEET, ONE (1) FOOT EXTRA ON EACH SIDE OF RAMP.
- CROSSWALK STRIPING SHALL BE CENTERED ON THE RAMP.
- CROSSWALKS SHALL BE PLACED AT ALL STREET INTERSECTIONS WHERE THERE ARE ADA RAMPS.
- ALL CROSSWALKS AND STOP BARS SHALL BE WHITE THERMOPLASTIC.
- CROSSWALKS ARE TO BE INSTALLED PERPENDICULAR TO THE STREET UNLESS APPROVED BY THE CITY.
- CROSSWALK PANELS SHALL BE PLACED PARALLEL WITH THE ROAD CENTERLINE.
- ALL MARKINGS SHALL COMPLY WITH THE CURRENT EDITION OF MUTCD.

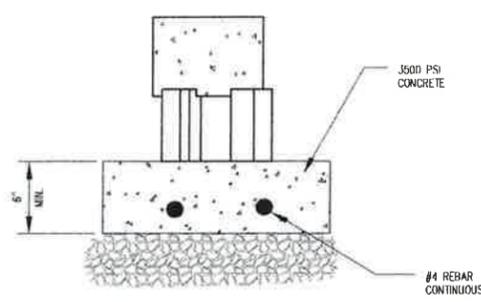


BIORETENTION DETAIL
N.T.S.

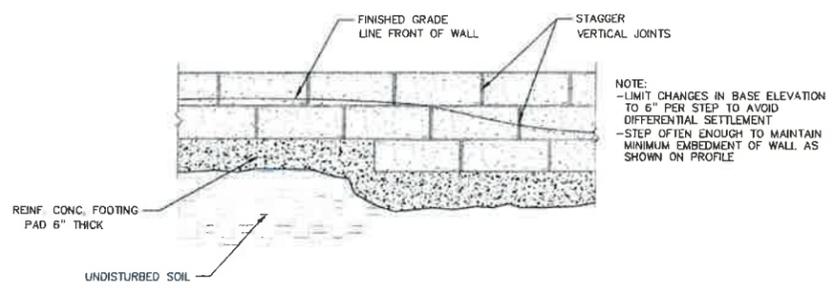
- NOTES:
- WOVEN GEOTEXTILE FABRIC SHALL MEET ASTM D4751 - AOS U.S. STD. SEIVE #50 TO #70, ASTM D4633 MIN. TRAPEZOIDAL TEAR STRENGTH 100 X 60 LBS. MIN. CORPS OF ENGINEERS (COE) SPECIFIED OPEN AREA OF 4%.
 - NO TREES SHALL BE PLANTED IMMEDIATELY WITHIN THE BIORETENTION CELL AS DEFINED BY THE WOVEN GEOTEXTILE, BUT MAY BE PLANTED ALONG THE SLOPES DESCENDING TO EACH AREA. PROVIDE A MINIMUM OF 3' OF CLEARANCE FOR ALL TREE PLANTING (IF NEEDED).



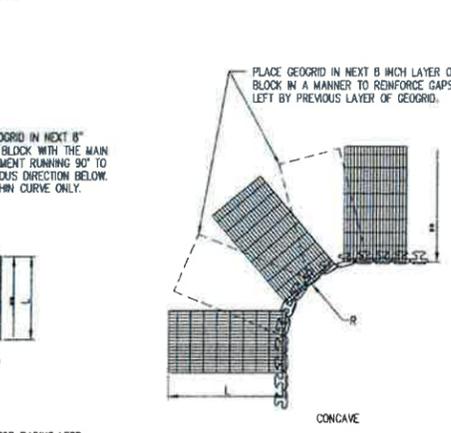
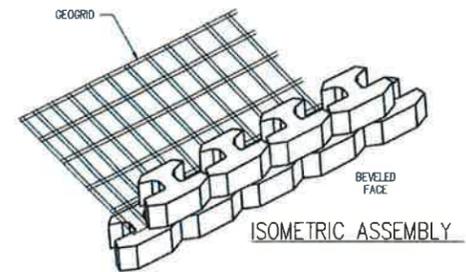
E DRAINAGE DITCH DETAIL
N.T.S.



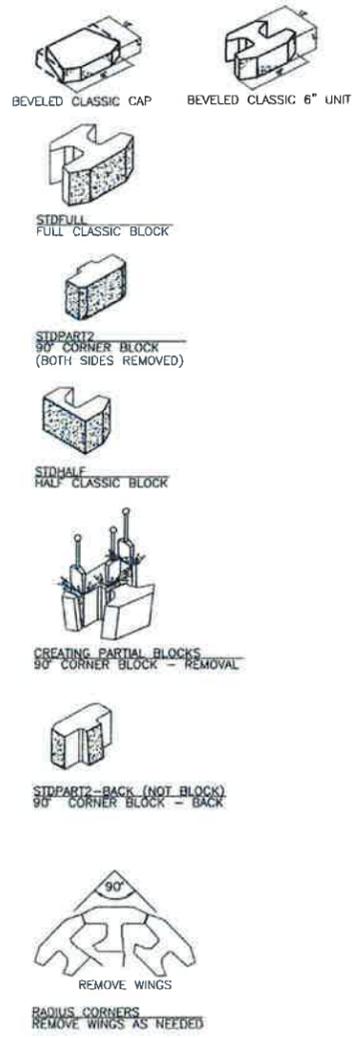
D LEVELING PAD DETAIL
N.T.S.



C STEPPING BASE DETAIL
N.T.S.

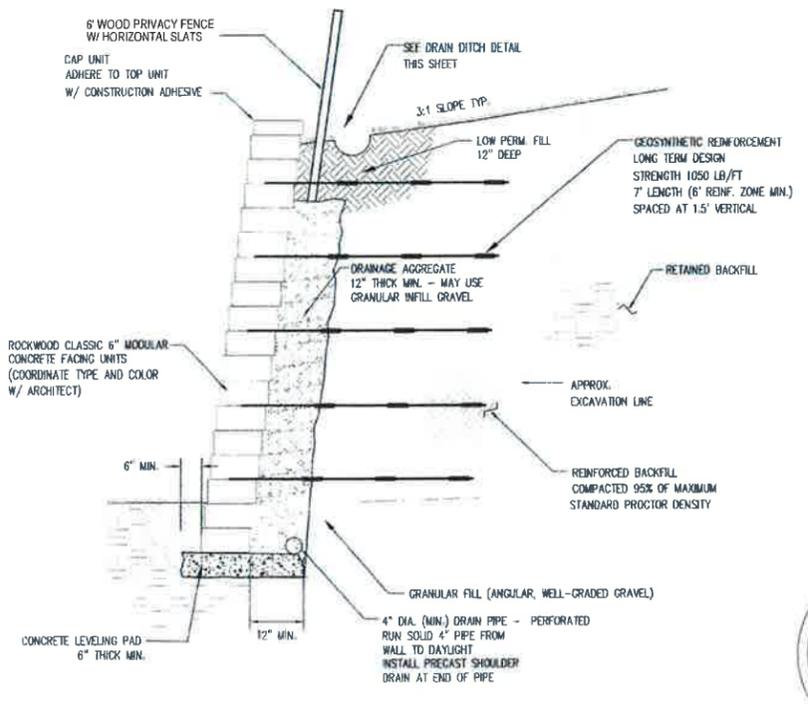


B GEGRID DETAILS
N.T.S.



GENERAL NOTES

1. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
2. BENCH CUT ALL EXCAVATED SLOPES.
3. DO NOT OVER EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOIL.
4. LEVELING PAD SHALL CONSIST OF REINFORCED CONCRETE OVER COMPACTED CRUSHED GRAVEL 6" THICK MIN.
5. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 6" FOR WALL HEIGHTS UNDER 4 FT. AND 12" FOR WALLS OVER 4 FT. UNLESS SHOWN DIFFERENTLY.
6. FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
7. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 12" OF THE TOP OF THE WALL.
8. COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY, (ASTM D-699)
9. COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE ONCE PER 100' WALL PER LIFT.
10. COMPACTION OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
11. GEOSYNTHETIC SHALL BE PLACED WITH STRONGEST DIRECTION PERPENDICULAR TO WALL. FOLLOW GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
12. CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
13. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
14. FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
15. SHOULD SITE CONDITIONS REQUIRE DEVIATIONS FROM CONDITIONS STATED IN THESE DRAWINGS AND SPECIFICATIONS THE CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



A TYPICAL RETAINING WALL DETAIL
N.T.S.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

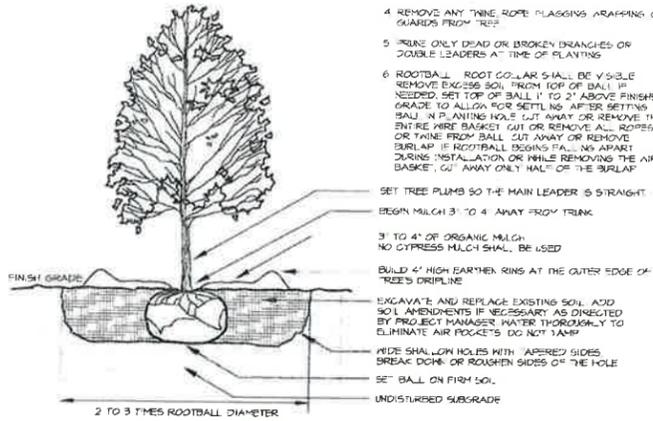
LANDSCAPE CALCULATIONS

TOTAL LOT SQ. FT. = 79,801.00 SQ. FT.
 SQ. FT. DEVOTED TO BEDDING PLANTS/GROUND COVER = MIN 100 SQ. FT.
 TOTAL TREES / EVERGREENS = 16 TREES/ 45 EVERGREENS
 TREE CALCULATION: 1 EACH 1/2 ACRE = 4 TOTAL FOR 1.83 ACRES
 EVERGREEN CALCULATION: 1 PER 2,000 SQ. FT = 40 EVERGREEN FOR 80,000 ACRES
 MAXIMUM LOT COVERAGE FOR ALL PRINCIPAL AND ACCESSORY BUILDINGS SHALL BE 35% OF TOTAL AREA OF THE SITE: 13,660.57/79,801.00 = 16.3%
 ABSORPTION (NON-IMPERVIOUS) AREA MUST COVER A MINIMUM OF 10% OF THE LOT: 45,908/79,801.00 = 57.5%

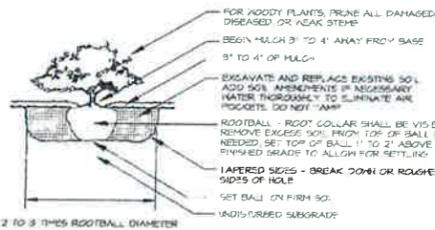
PLANT MATERIAL LIST

COMMON NAME	BOTANICAL NAME	#	SIZE	NOTES
DESERT ZINNIA	ZINNIA AEROSA	24	2 GAL	FULL
CREeping OREGON GRAPE	MAHONIA REPENS	21	2 GAL	FULL

- NOTES:
- TREES SHALL BE 2" CALIPER MINIMUM
 - THE HOLES FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL
 - STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE PROJECT MANAGER
 - REMOVE ANY TREE SOPE FLAGGING WRAPPING OR GUARDS FROM TREE
 - PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING
 - ROOTBALL - ROOT COLLAR SHALL BE VISIBLE REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED; SET TOP OF BALL 1" TO 2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING AFTER SETTING BALL IN PLANTING HOLE; CUT AWAY OR REMOVE THE ENTIRE FIRE BASKET; CUT OR REMOVE ALL ROOTS OR TAPE FROM BALL; CUT AWAY OR REMOVE BURLAP IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WHILE REMOVING THE FIRE BASKET; CUT AWAY ONLY HALF OF THE BURLAP



A TREE PLANTING DETAIL
N.T.S.



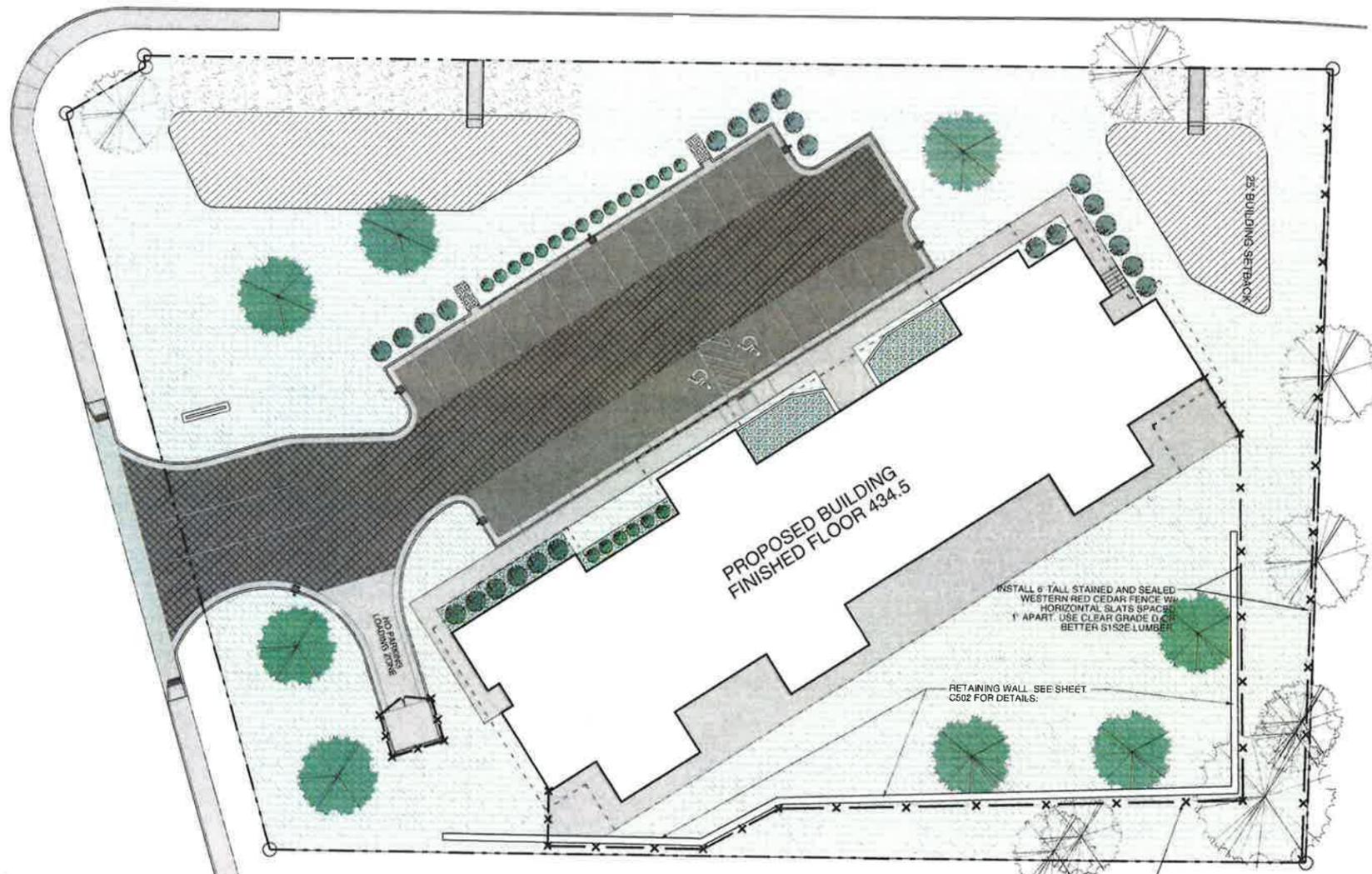
B SHRUB PLANTING DETAIL
N.T.S.

GENERAL NOTES

- CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ARKANSAS ONE-CALL TO CONFIRM ALL UTILITIES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS AND FREE OF PESTS AND DISEASE.
- STANDARDS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON THE PLANT LIST.
- ALL REQUIRED TREES SHALL BE 2" MINIMUM CALIPER WITH SINGLE DOMINANT CENTRAL LEADER. MULTI-LEADERED TREES WILL NOT BE ACCEPTABLE WITHOUT PRIOR APPROVAL FROM URBAN FORESTRY.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED. LEAVES SPECIFIED OTHERWISE, AND MUST MEET ALL REQUIREMENTS SPECIFIED ON PLANS.
- ALL TREES AND SHRUBS SHALL BE INSTALLED PER STANDARD CITY OF BRYANT PLANTING DETAILS.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED WITH 4" LAYER OF ORGANIC HARDWOOD MULCH. MULCH SHALL BE NOT BE PLACED IMMEDIATELY ADJACENT TO TREE TRUNKS, BUT SHALL BE KEPT AT LEAST 3" FROM ROOT COLLAR AT THE SOIL LINE.
- ALL PROPOSED PLANTING AREAS COVERED BY GRASS SHALL HAVE THE SOD COMPLETELY REMOVED BEFORE PLANTING BEGINS.
- ALL PLANTING BEDS SHALL BE CONTAINED BY EROSION MATERIAL OTHER THAN VEGETATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL, INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF THREE (3) YEARS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, CURBS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE CONSTRUCTION BEGINS.
- ALL AREAS TO BE SEEDED SHALL RECEIVE 4" OF TOPSOIL AND BE GRADED PER THE GRADING PLAN.
- IRRIGATION SHALL BE EITHER AN UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'.
- MAINTENANCE: THE CURRENT OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE ONGOING MAINTENANCE OF REQUIRED LANDSCAPING.
- REPLACEMENT LANDSCAPING: REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED SHALL BE REMOVED AND REPLACED BY THE CURRENT OWNER OF THE PROPERTY. THE OWNER SHALL HAVE 30 DAYS FROM THE RECEIPT OF WRITTEN NOTICE ISSUED BY THE CITY TO REMOVE AND REPLACE ANY REQUIRED LANDSCAPING THAT DIES OR IS DAMAGED.

REYNOLDS ROAD

DOGWOOD DRIVE



LEGEND

PROPERTY LINE	EXISTING TREE TO REMAIN
CURB	INSTALL LIGHT DUTY CONCRETE
SETBACK	INSTALL HEAVY DUTY ASPHALT
FENCE	INSTALL HEAVY DUTY CONCRETE
4' x 4' SCOURSTOP	GREENSPACE
MONUMENT SIGN	INSTALL LIGHT DUTY ASPHALT
PARKING LOT LIGHT	BEDDING PLANTS/GROUND COVER
CREeping OREGON GRAPE (EVERGREEN)	RRAP
DESERT ZINNIA (EVERGREEN)	POROUS LANDSCAPE DETENTION POND
NEW TREE (TO BE SELECTED FROM CITY OF BRYANT'S RECOMMENDED PLANT LIST)	

LANDSCAPE PLAN
1" = 20'-0"

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

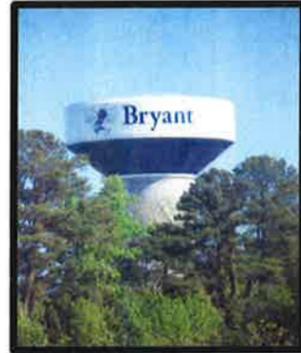
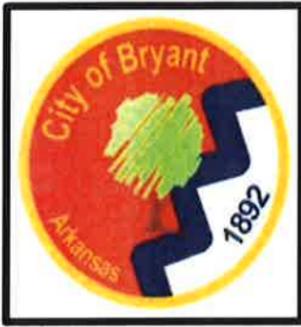
REVISIONS

NO.	DESCRIPTION

HARRIS ARCHITECTURE
 1108 NORTH RAYNOLDS RD. BRYANT, AR 72022
 501.683.4444
 harrisarch.com

ARKANSAS EARLY LEARNING - SALINE COUNTY
 1108 NORTH RAYNOLDS RD. BRYANT, AR 72022

LANDSCAPE PLAN
09-21-2016
L100



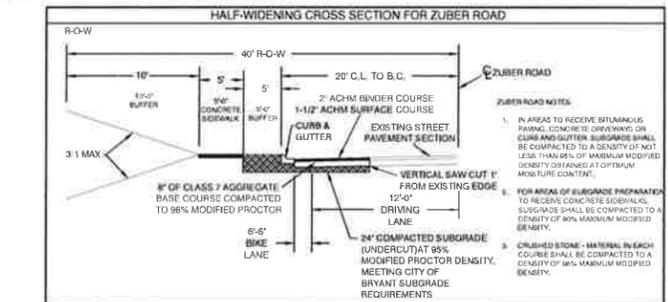
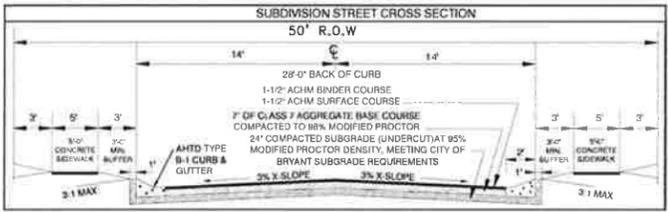
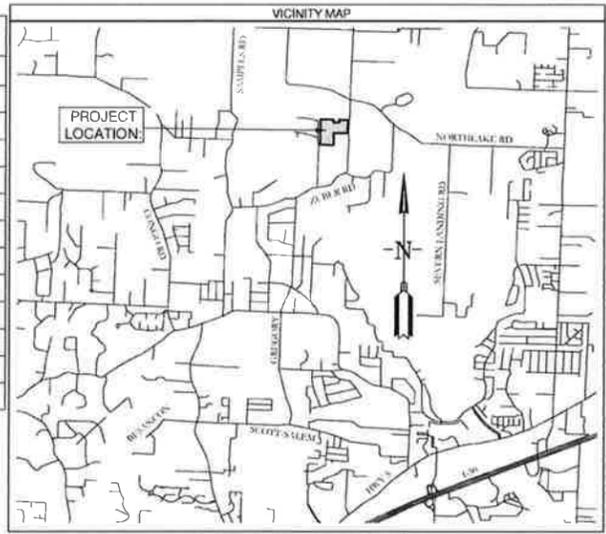
City of Bryant Planning Commission Meeting November 14, 2016

BENJAMIN GROVE



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	38.58	25.00	88°24'49"	N47°38'40"E	34.86
C2	39.96	25.00	91°35'11"	N42°21'20"W	35.84
C3	38.58	25.00	88°24'49"	N47°38'40"E	34.86
C4	39.96	25.00	91°35'11"	S42°21'20"E	35.84
C5	39.28	25.00	90°00'48"	N46°50'41"E	35.36
C6	39.28	25.00	89°59'12"	S43°09'19"E	35.35
C7	7.36	50.00	8°25'57"	S0°32'25"E	7.35
C8	74.39	50.00	85°14'36"	S47°22'42"E	67.72
C9	71.16	50.00	81°32'27"	N49°13'46"E	65.30
C10	73.27	50.00	83°5'43"	N33°31'18"W	66.89
C11	15.67	14.00	64°08'11"	N43°26'04"W	14.87
C12	3.23	14.00	13°12'16"	N4°45'51"W	3.22



BASIS OF BEARINGS:
 BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS' ONLINE POSITIONING USER SERVICE' (OPUS).

CERTIFICATIONS:
 By affixing my seal and signature, I Kelly D. Vanlandingham, PLS No. 1447, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0225D dated 6/19/2012, no portion, dated of the property described herein does lie within the 100 year flood hazard boundary.



PROPERTY SPECIFICATIONS

ZONING CLASSIFICATION: R-1.5
 MIN. LOT SIZE: 7,650 S.F.
 NUMBER OF LOTS: 41
 SOURCE OF WATER: SALEM WATER
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 25' OR AS SHOWN
 REAR - 22' OR AS SHOWN
 SIDE - 10' OR AS SHOWN
 EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT - 10' OR AS SHOWN
 REAR - 10' OR AS SHOWN
 SIDE - 5' OR AS SHOWN
 STREET RIGHT OF WAY: 50' OR AS SHOWN
 STREET WIDTH: 20' TO 30' TO ROAD
 LDT CORNERS: SET #4 REBAR WITH CAP

PLAT CERTIFICATES:

OWNER:
 Name: Thomas D.B. Collins, Ltd.
 Address: 39 Walnut Valley, Little Rock, AR 72211

DEVELOPER:
 Name: Thomas D.B. Collins, Ltd.
 Address: 39 Walnut Valley, Little Rock, AR 72211

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

CERTIFICATE OF ENGINEERING ACCURACY:
 I, Kelly D. Vanlandingham, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

CERTIFICATE OF RECORDING:
 This document, number _____ is filed for record this _____ day of _____, 20____, at _____ a.m./p.m. in Plat or Deed Book _____ Page _____ For Bill of Assurance see Deed Record Book _____ Page _____

CERTIFICATE OF FINAL PLAT APPROVAL:
 Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____ 2016. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: _____
 Name, Chairman
 Bryant Planning Commission

Approval of the final plat shall become null and void unless said plat is filed for record within one hundred twenty (120) days from the date of execution of this certificate.

PROPERTY DESCRIPTION:

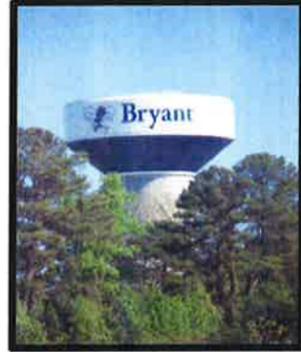
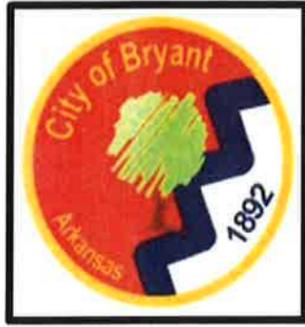
PROPERTY DESCRIPTION (DATE OF SURVEY JUNE 2016)
 A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12; TOWNSHIP 1 SOUTH; RANGE 15 WEST; SALINE COUNTY, ARKANSAS; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 12; THENCE N 1° 30' 03" E A DISTANCE OF 630.67 FEET ALONG THE EAST LINE OF SAID SECTION 12 TO A POINT; THENCE N 88° 06' 35" W A DISTANCE OF 105.90 FEET, BEING ON THE WEST RIGHT OF WAY LINE OF ZUBER ROAD AND THE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT OF WAY, N 88° 06' 35" W A DISTANCE OF 644.88 FEET; THENCE N 1° 30' 03" E A DISTANCE OF 575.72 FEET; THENCE S 89° 09' 55" E A DISTANCE OF 01.73 FEET; THENCE N 1° 51' 05" E A DISTANCE OF 115.00 FEET; THENCE S 89° 08' 55" E A DISTANCE OF 635.82 FEET, BEING ON THE WEST RIGHT OF WAY LINE OF ZUBER ROAD; THENCE ALONG SAID WEST RIGHT OF WAY LINE, S 3° 26' 16" W A DISTANCE OF 691.41 FEET TO THE POINT OF BEGINNING, CONTAINING 10.33 ACRES, OR 449,955 SQ. FEET, MORE OR LESS.

- SURVEY LEGEND**
- (•) - Computed point
 - (●) - Found monument
 - (○) - Set #4 RB/Plas, Cap
 - (M) - Measured
 - (R) - Record
 - (P) - Platted

GarNat Engineering, LLC
 Designing our client's success
 P.O. Box 116 (72018)
 406 W. South St. Suite B
 BRYANT, AR 72015
 Ph (501) 408-4650
 Fx (888) 900-3068
 gmatengrctng@gmail.com

FINAL PLAT

PROJECT NO: 16025
 DATE: NOV 2016
 SHEET NO: 1



City of Bryant Planning Commission Meeting November 14, 2016

REYNOLDS CENTRE

Civil Construction Plans Reynolds Centre City of Bryant, Saline County, AR For: Davids Real Estate

OCTOBER 31, 2016

GENERAL NOTES:

These drawings consist of Construction Plans for the site work and initial site improvements for Reynolds Centre located in the City of Bryant, Arkansas

These drawings and associated Technical Specifications have been prepared by Holloway Engineering for the use and benefit of Reynolds Centre. Use or dissemination of information contained herein without authorization by Reynolds Centre or Holloway Engineering is prohibited.

When applicable, existing site features are shown light-lined or screened. Proposed features are shown as dark lined or are indicated in bold or face print.

These drawings and the associated construction contract address general site work pertaining to:

- clearing and site preparation
- grading, including but not limited to common excavation and compacted earthen fill
- storm sewer system installation
- water service installation
- sanitary sewer installation

The locations and types of existing utilities shown on these drawings are approximate and should be field verified by the Contractor prior to initiation the site work described herein.

Arkansas One-Call Service should be contacted to mark existing utilities before proceeding with any excavation or detailing at the site. Arkansas One-Call Service can be reached by calling 1-800-482-8998.

Existing contours shown are approximate and area based on a field survey by Holloway Engineering.

Contractor shall be licensed by the State of Arkansas to perform the work described herein.

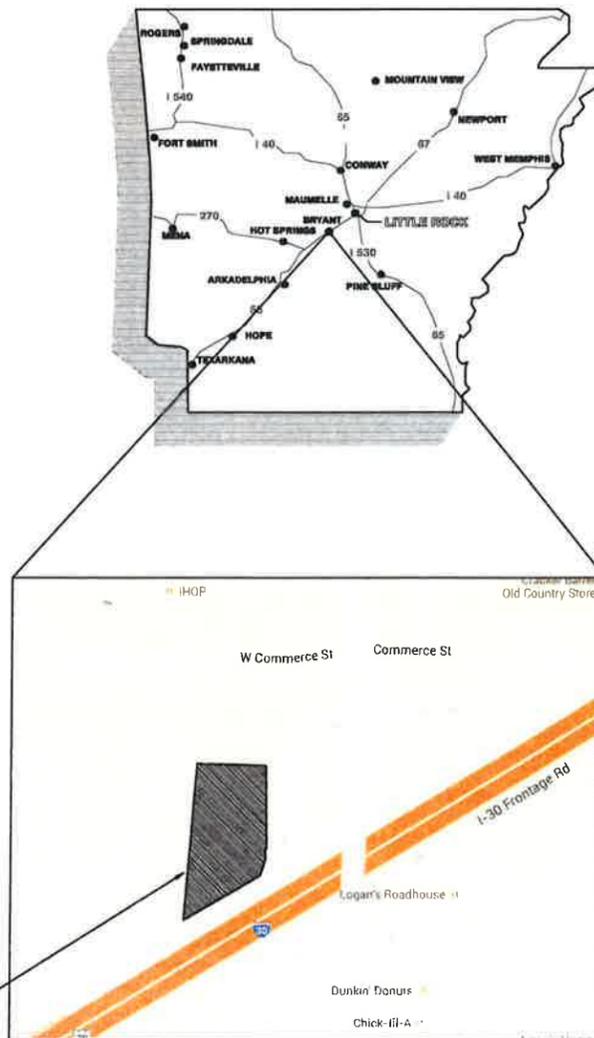
Contractor shall be responsible for the methods, sequences, equipment, and procedures used to complete the construction described herein. Contractor is responsible for the safety of all workers and subcontractors employed for this project. Contractor shall also control and/or restrict unauthorized access to the site by the public to the extent necessary to protect public health and safety. Contractor shall be responsible for complying with all applicable regulations adopted and enforced by the Occupational Safety and Health Administration (OSHA).

Contractor shall apply for and secure all the necessary licenses and permits required to complete the work described herein. This includes all licenses and/or permits required to control and manage discharges of storm water from the active construction site. A preliminary site Storm Water Pollution Prevention Plan (SWPPP) is included in this plan set. The methods and procedures shown on the Stormwater Management and Site Details drawing are considered minimum and are to be expanded as necessary to control erosion and pollution of storm water run-off related to construction activity.

The City of Bryant, Arkansas shall be notified at least 24 hours prior to any construction initiation so that an inspector may be assigned to the project. Contractor shall check with Holloway Engineering before making such notification to respective municipalities. All utility mains and their appurtenances shall be reviewed and accepted by the city and/or the local utility company prior to any backfill.

Materials and installation methods will be reviewed, analyzed, documented, and tested during the construction of the referenced utilities to insure compliance with the appropriate utility company.

As-built drawings showing all Water & Sewer improvements will be submitted as required to the City of Bryant, Arkansas for the project. The As-built drawings will be submitted in media as required by the City of Bryant.



THIS PROJECT

VICINITY MAP
NTS

SHEET INDEX

C0.00	COVER SHEET
C1.00	SITE PLAN
C2.00	GRADING PLAN
C2.01	DRAINAGE PLAN
C2.02	DRAINAGE PROFILES
C3.00	EROSION CONTROL PLAN
C4.00	LANDSCAPE PLAN
C4.01	LANDSCAPE DETAILS AND NOTES
C5.00	UTILITY PLAN
C5.01	SANITARY SEWER PROFILES
C6.00	PAVING PLAN
C7.00	CONSTRUCTION DETAILS
C7.01	TYPICAL CONSTRUCTION DETAILS - SHEET 1 OF 2
C7.02	TYPICAL CONSTRUCTION DETAILS - SHEET 2 OF 2
C8.00	DECEL LANE CONSTRUCTION

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\CoverSheet 2016-083.pro
10/31/2016 Mon Oct 31, 2016
2:55:48PM

HOLLOWAY ENGINEERING
Surveying, & Civil Design, PLLC



(501) 851-3966
admin@holloway-eng.com
200 Casey Drive
Maumelle, Arkansas 72113

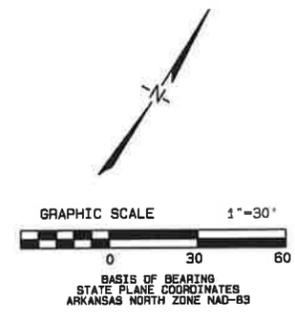
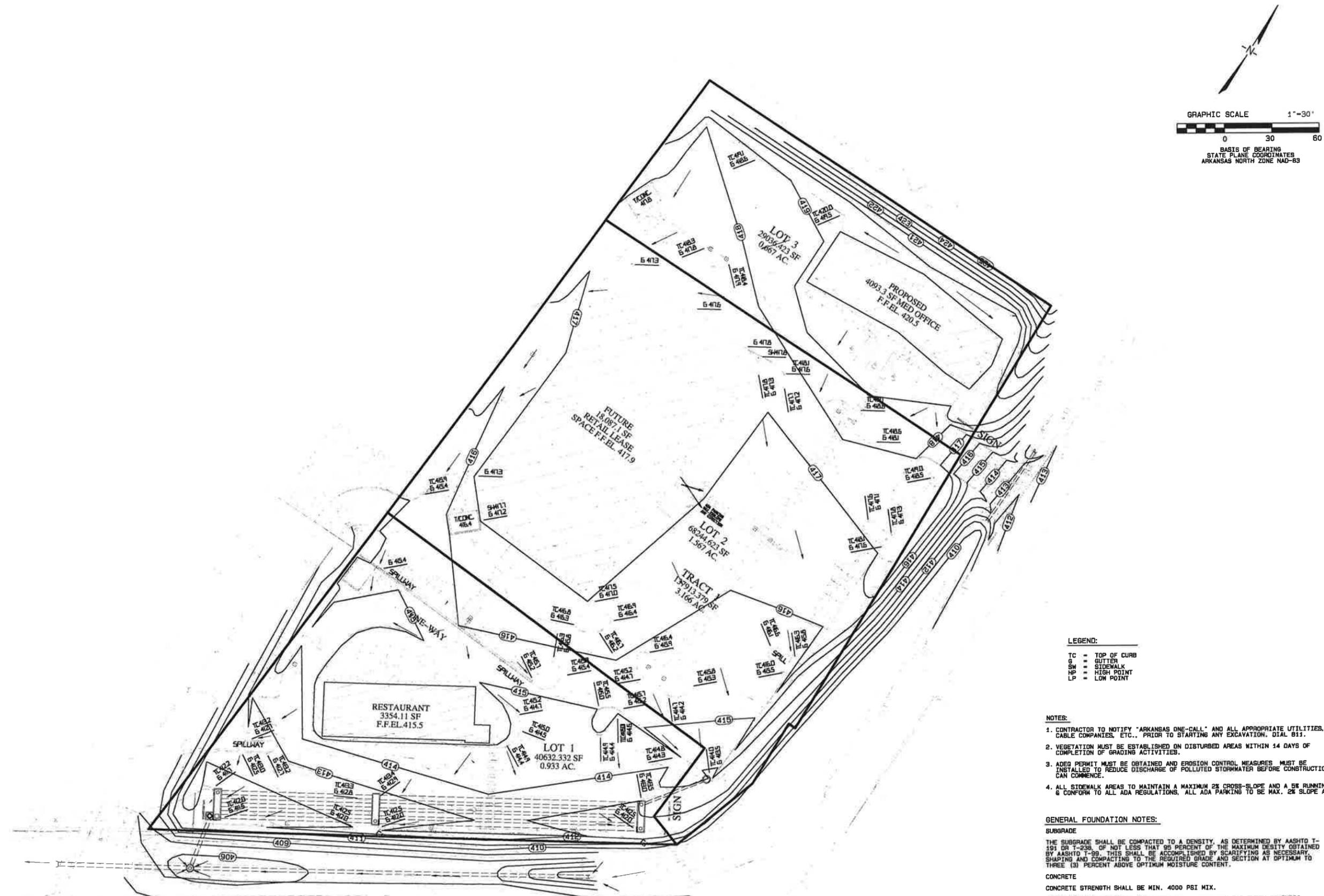
Cover Sheet of the
Reynolds Centre
City of Bryant, Saline County, Arkansas
for: David's Real Estate, LLC

date	revisions	int.

C0.00

dwg by: MDR	checked: DLW	date: 10/31/2016	scale: noted
-------------	--------------	------------------	--------------

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\GradingPlan2016-083.dwg
 10/31/2016
 2:31:05PM



LEGEND:
 TC = TOP OF CURB
 G = GUTTER
 SW = SIDEWALK
 HP = HIGH POINT
 LP = LOW POINT

- NOTES:**
- CONTRACTOR TO NOTIFY "ARKANSAS ONE-CALL" AND ALL APPROPRIATE UTILITIES, CABLE COMPANIES, ETC., PRIOR TO STARTING ANY EXCAVATION, DIAL 811.
 - VEGETATION MUST BE ESTABLISHED ON DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
 - ADEQ PERMIT MUST BE OBTAINED AND EROSION CONTROL MEASURES MUST BE INSTALLED TO REDUCE DISCHARGE OF POLLUTED STORMWATER BEFORE CONSTRUCTION CAN COMMENCE.
 - ALL SIDEWALK AREAS TO MAINTAIN A MAXIMUM 2% CROSS-SLOPE AND A 5% RUNNING SLOPE & CONFORM TO ALL ADA REGULATIONS, ALL ADA PARKING TO BE MAX. 2% SLOPE ALL DIRECTIONS.

GENERAL FOUNDATION NOTES:
SUBGRADE
 THE SUBGRADE SHALL BE COMPACTED TO A DENSITY, AS DETERMINED BY AASHTO T-191 OR T-238, OF NOT LESS THAN 90 PERCENT OF THE MAXIMUM DENSITY OBTAINED BY AASHTO T-99. THIS SHALL BE ACCOMPLISHED BY SCALFIFYING AS NECESSARY, SHAPING AND COMPACTING TO THE REQUIRED GRADE AND SECTION AT OPTIMUM TO THREE (3) PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
CONCRETE
 CONCRETE STRENGTH SHALL BE MIN. 4000 PSI MIX.
 THREE (3) CONCRETE TEST CYLINDERS SHALL BE TAKEN FOR EVERY 75 CUBIC YARDS OR LESS OF CONCRETE PLACED. ONE (1) ADDITIONAL TEST CYLINDER SHALL BE TAKEN DURING COLD WEATHER CONCRETING AND BE CURED IN THE JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
 CONCRETE MIX SHALL BE DESIGNED FOR A SLUMP OF 4 INCHES. ONE (1) SLUMP TEST SHALL BE TAKEN FOR EACH TRUCKLOAD OF CONCRETE.
 ADD AIR ENTRAINING AGENT TO CONCRETE MIX FOR CONCRETE WORK EXPOSED TO THE EXTERIOR.
 ALL REINFORCING STEEL SHALL BE 60 KSI YIELD GRADE, DEFORMED BILLET STEEL, BARS ASTM A 615; PLAIN FINISH. WELDED WIRE FABRIC SHALL BE PLAIN TYPE, ASTM A 185 PLAIN FINISH.

int.	date	revisions

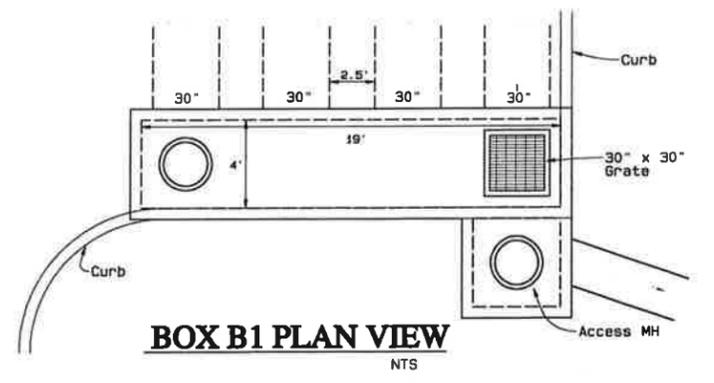
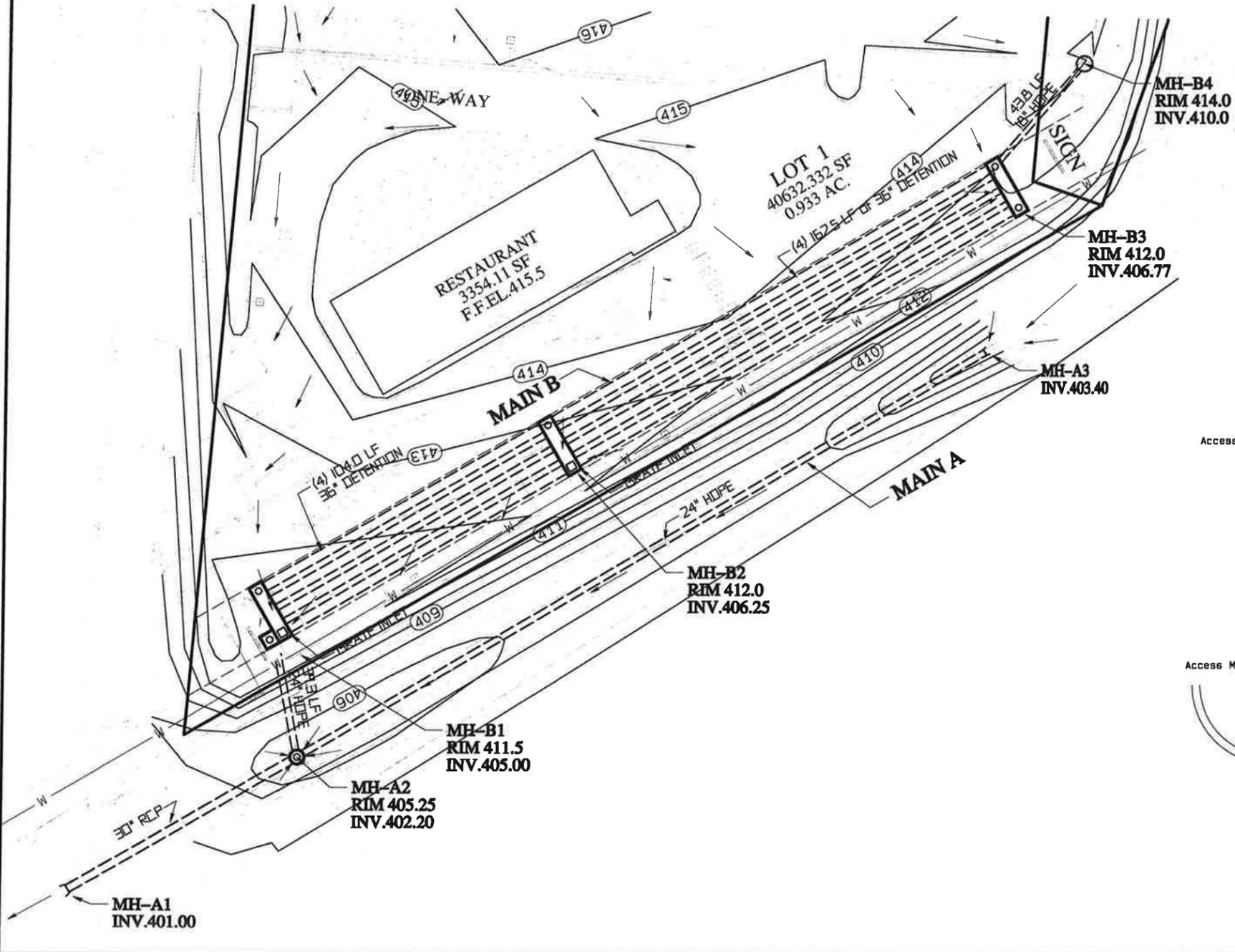
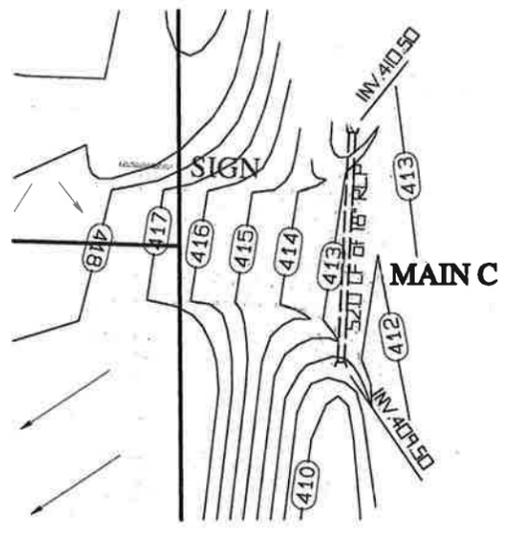
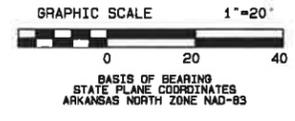
dwg by: MDR
 checked: DLW
 date: 10/31/2016
 scale: noted

C2.00

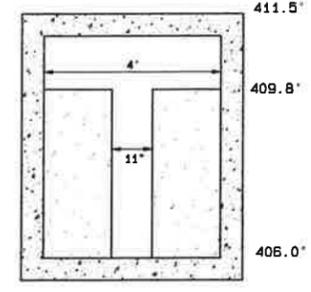
**Grading Plan of the
 Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC**

HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC
 200 Casey Drive
 Maumelle, Arkansas 72113
 (501) 851-9366
 admin@holloway-eng.com

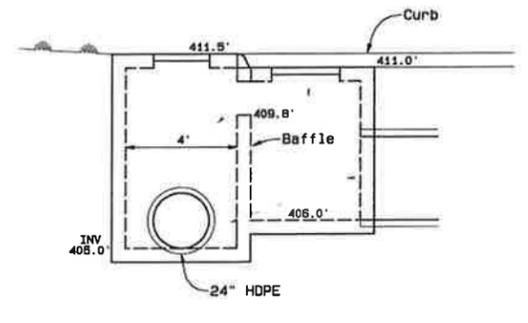
L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbuss\Drawings\Plan\2016-083.pro
 10/31/2016
 2:35:42PM



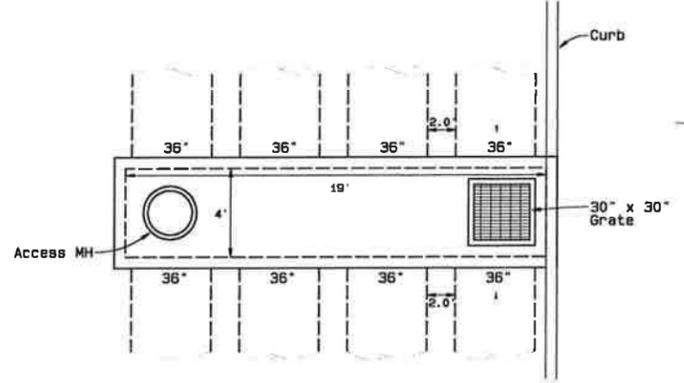
BOX B1 PLAN VIEW
NTS



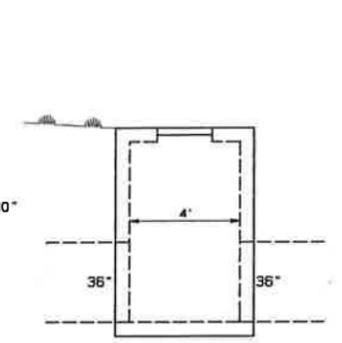
BOX B1 BAFFLE
NTS



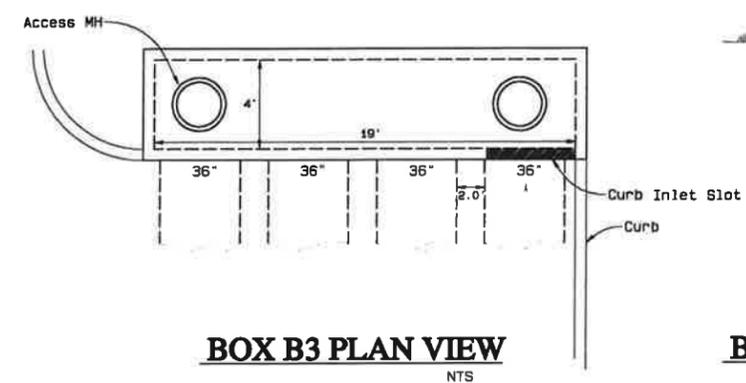
BOX B1 SIDE VIEW
NTS



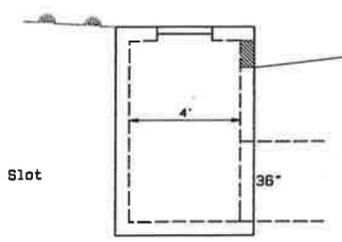
BOX B2 PLAN VIEW
NTS



BOX B1 SIDE VIEW
NTS



BOX B3 PLAN VIEW
NTS



BOX B3 SIDE VIEW
NTS

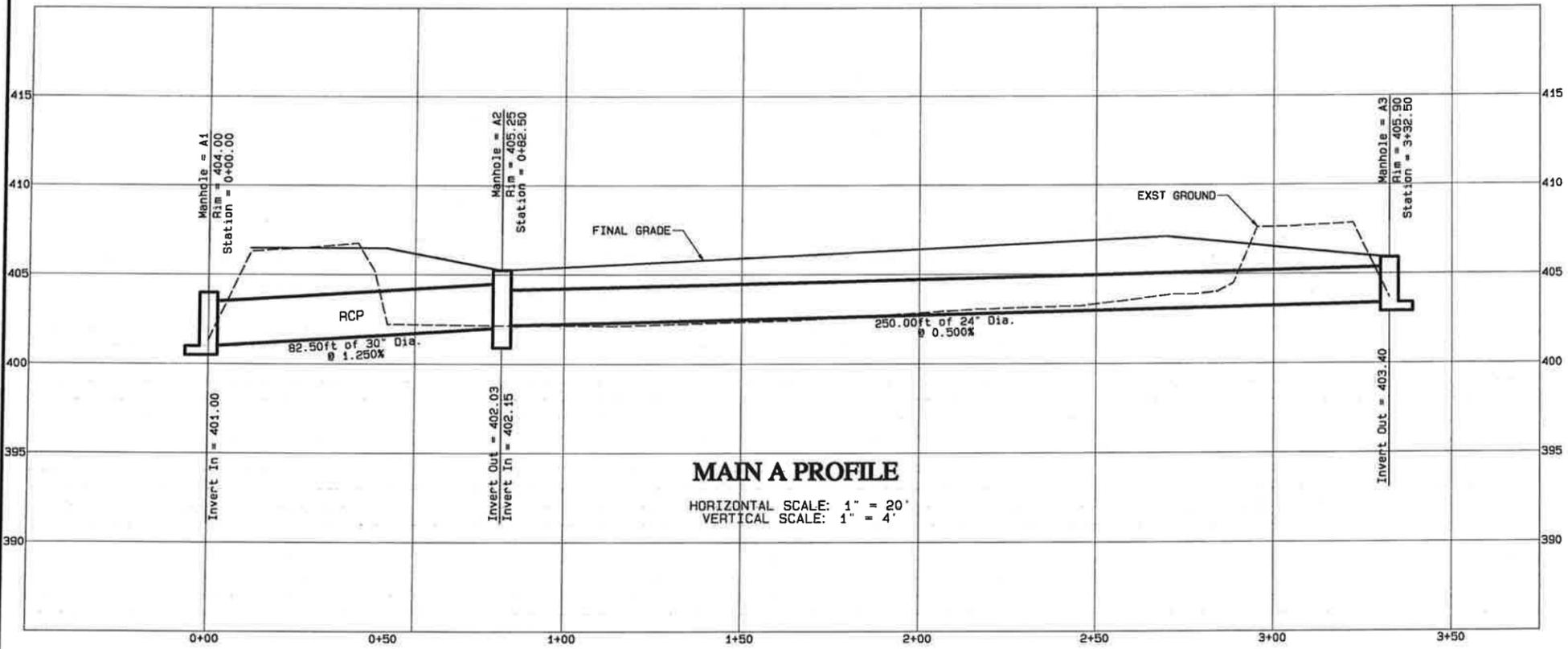
int.	date	revisions

C2.01

Drainage Plan of the
 Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC

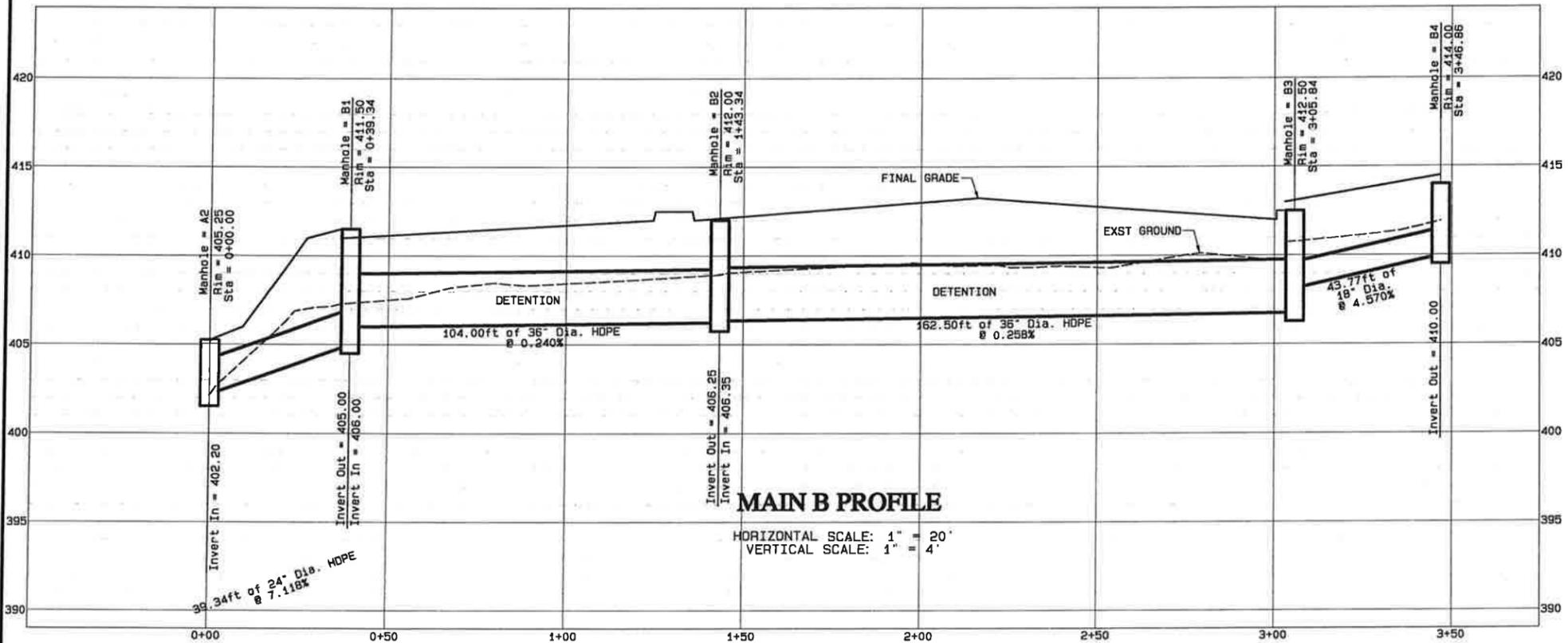
HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC
 200 Casey Drive
 Maumelle, Arkansas 72113
 (501) 851-3366
 admin@holloway-eng.com

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\DrainagePlan2016-083.pro
 10/31/2016
 2:36:22PM



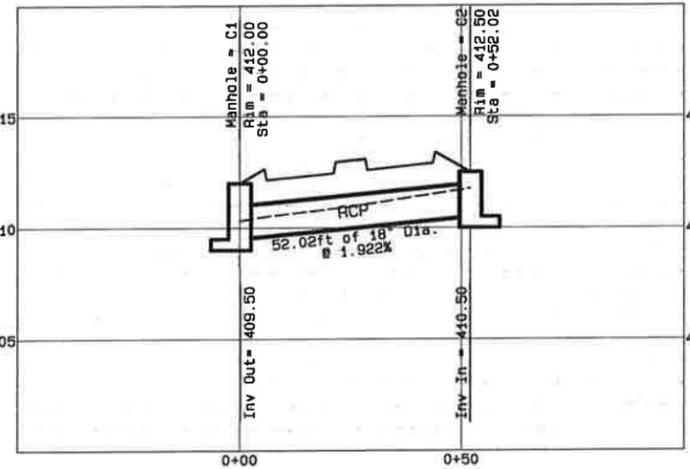
MAIN A PROFILE

HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'



MAIN B PROFILE

HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'

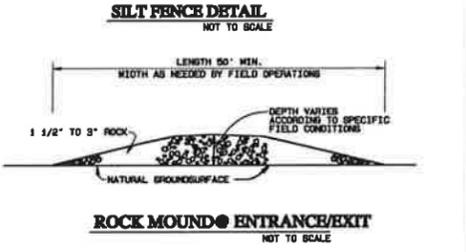
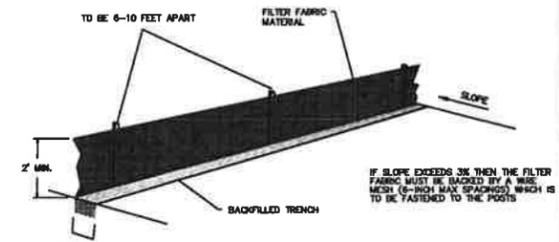
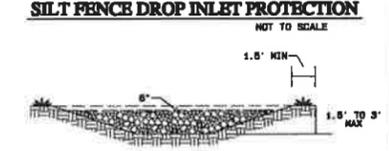
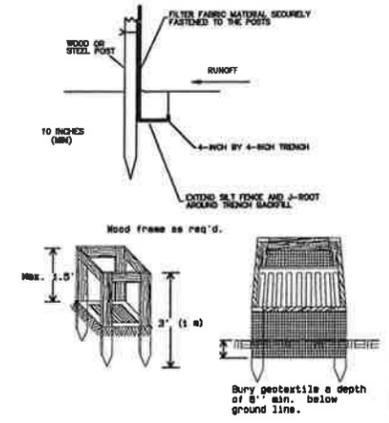
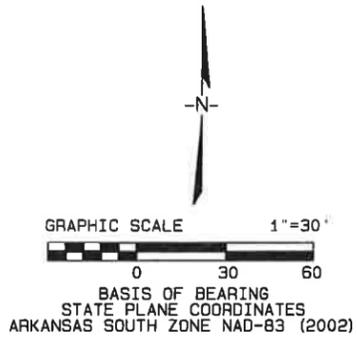
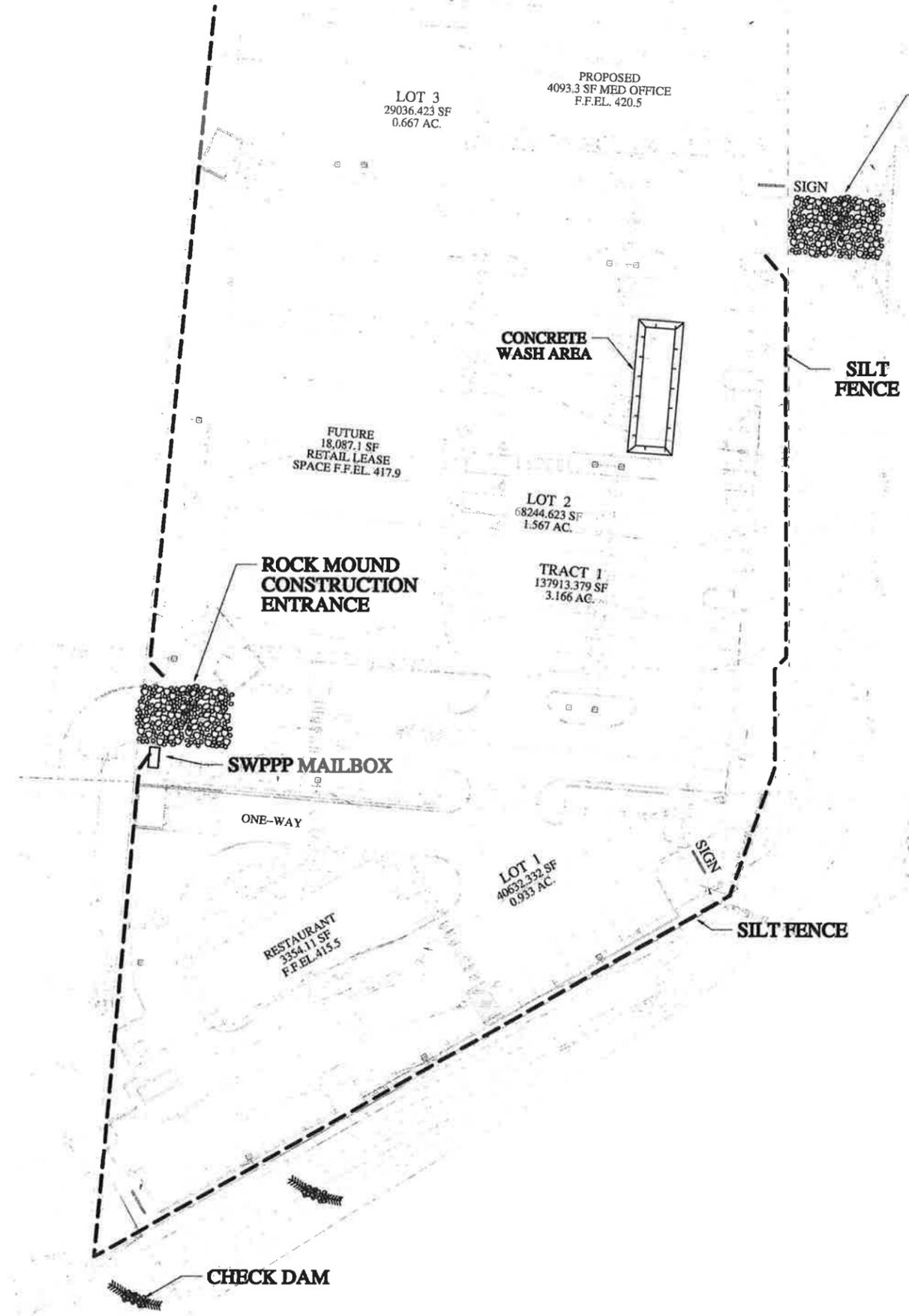


MAIN C PROFILE

HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'

dwg by: MDR	data revisions	int.
checked: DLW		
date: 10/31/2016		
scale: noted		

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\SWPPP2016-083.pro
 10/31/2016
 2:37:26PM



NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION BY CALLING ARKANSAS ONE-CALL AT 1-800-482-8998 OR 811.
2. WHEN SOIL IS EXPOSED FOR MORE THAN 21 DAYS WITH NO CONSTRUCTION ACTIVITY IMMINENT, THE SOIL SHALL BE STABILIZED WITH SEED AND MULCH.
3. ADDITIONAL EROSION CONTROL MEASURES SHALL BE EMPLOYED AS CONDITIONS WARRANT.
4. CONSTRUCTION EXITS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOW OF MUD AND DEBRIS ONTO PUBLIC RIGHT-OF-WAYS.
5. ALL EROSION CONTROL DEVICES MUST BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. THE DEVICES MUST BE REPAIRED OR REPLACED IF THEIR CONDITION WARRANTS IT. A RECORD OF ALL INSPECTIONS AND REPAIRS MUST BE KEPT ONSITE.
6. EROSION CONTROL DEVICES MUST REMAIN IN PLACE UNTIL ALL UPSTREAM GROUND HAS BEEN STABILIZED.
7. SEDIMENT MUST BE REMOVED FROM SILT FENCES, SEDIMENT TRAPS AND BASINS ONCE THE VOLUME OF SEDIMENT REACHES ONE HALF OR THE DEVICES' CAPACITY.
8. A CONCRETE WASH OUT AREA MUST BE PROVIDED BY THE CONTRACTOR IN ORDER TO ISOLATE THE WASHOUT FROM CONCRETE TRUCKS FROM INTERMINGLING WITH STORMWATER.
9. THE CONTRACTOR MUST STORE ALL ON-SITE FUELS AND HAZARDOUS MATERIALS SUCH THAT NO SPILL OF THE HAZARDOUS MATERIAL CAN CONTAMINATE STORMWATER RUNOFF, SURFACE OR GROUND WATER.

date	revisions	int.

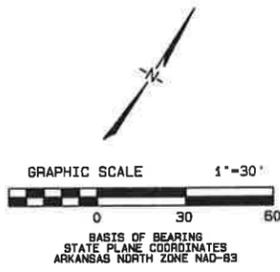
dwg by: MDR
 checked: DLW
 date: 10/31/2016
 scale: AS SHOWN

C3.00

Storm Water Pollution Prevention Plan of
 the Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC

HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC
 200 Casey Drive
 Maumelle, Arkansas 72113
 (501) 851-3365
 admin@holloway-eng.com

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\landscape\plan2016-083.ppt
 10/31/2016
 2:38:44PM



LEGEND:

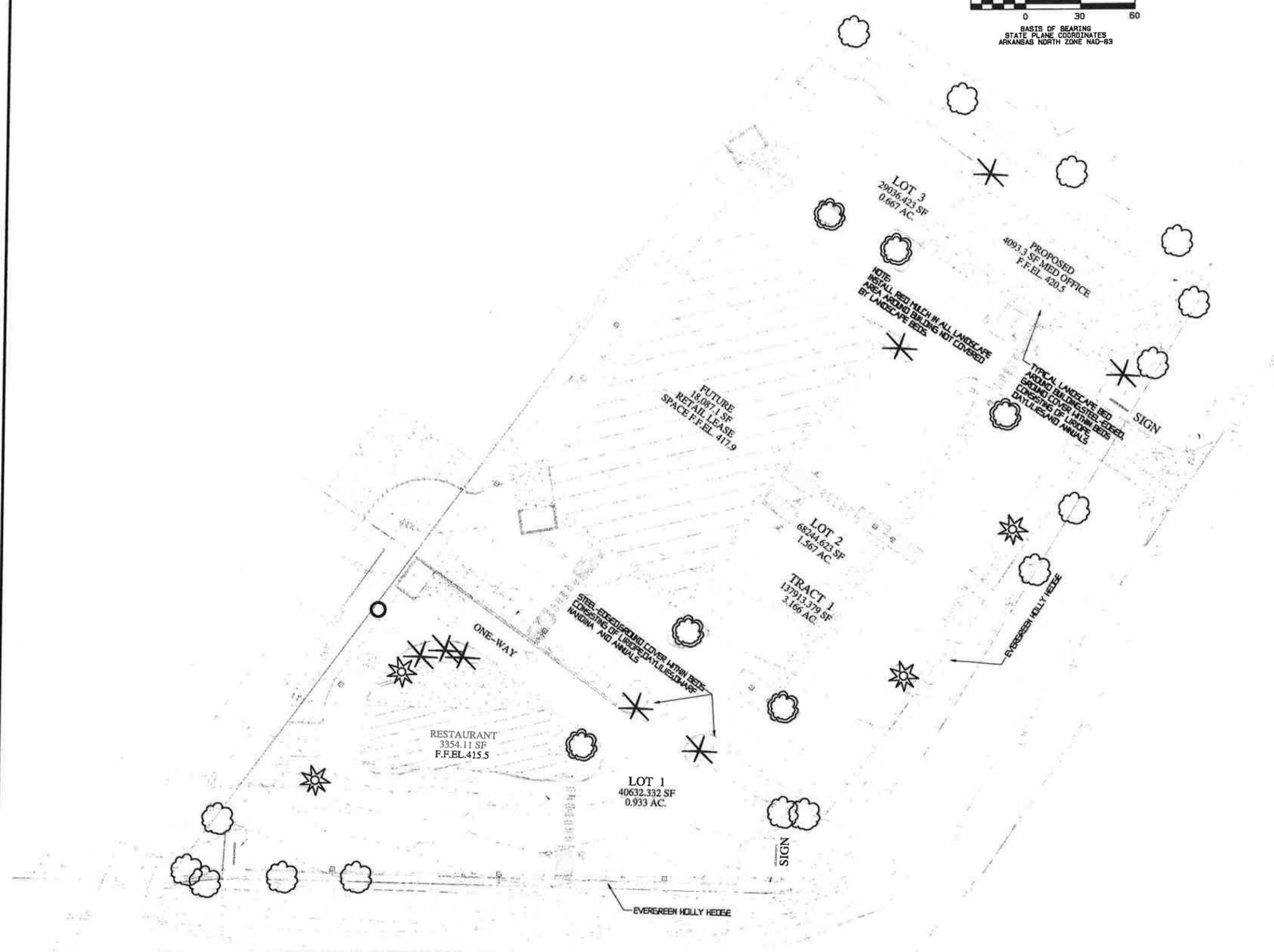
- DESCRIPTION**
- DWARF JAPANESE MAPLE (ACER PALMATUM)
 - LEYLAND CYPRESS (CYPRESS X LEYLANDII) 2" CALIPER
 - LITTLE BOY MAGNOLIA (MAGNOLIA GRANDIFLORA) 3" CALIPER
 - RED MAPLE (ACER RUBRUM SPECIES) 3" CALIPER
 - PIN OAK (PINUS TAEDA) 3" CALIPER
 - CREPE MYRTLE 'WHITE' (LAEGERSTROEMIA INDICA) MINI CANE OF 1" CALIPER EA.
 - DWARF NANDINA

GROUND COVER TO BE BERMUDA GRASS UNLESS NOTED OTHERWISE.
 ALL LANDSCAPED AREAS OF PLAN TO DRIP IRRIGATED, ACTUAL ROUTING OF IRRIGATION TO BE BY IRRIGATION INSTALLATION COMPANY DESIGN.

PLANT SPECIES MAY BE SUBSTITUTED DUE TO REGIONAL AVAILABILITY AND COST CONSIDERATION WITH PRIOR APPROVAL FROM THE CITY OF BRYANT PERMITTING DEPARTMENT.

LANDSCAPE NOTES

1. Approvals: Owner shall approve plant materials, landscape and softscape construction for conformance to specifications, placement, and quantities prior to planting.
2. Plant quality and selection shall be in accordance with latest standards set forth by the American Nurseryman's Association and the Kansas State Plant Board. Deliver plant materials to site with identification labels attached or certification of species and variety by supplier. Plant materials with broken limbs, scoured or scragged trunks, and loose root balls or loose in their containers will not be approved. Trees and shrubs indicated on the plan shall be of the same variety when alternate varieties are noted unless approved by Landscape Architect.
3. Quantities: The contractor is responsible for verifying site measurements and plant/construction material quantities. In the event of conflict, notify Owner or Owner's Representative.
4. Plant Material Installation: Install all shrubs one inch above finished grade of bed. Install all trees minimum one inch above finished grade of bed or soil.
5. Soil mix: For lawn installation use imported topsoil free of weeds, grass, rocks, roots, and construction debris. Test imported topsoil and amend as recommended by Faulkner County Extension Service for lawns. For shrub and groundcover beds, use SuperSoil. Install all plant materials in gently rounding beds (6:1 minimum). Round bed from edge of bed to building or basins of bed (See "Site Conditions" and "Drainage" below).
6. Site Conditions: It is anticipated that the site has unfavorable planting conditions. On site soils are likely to be compacted, clayey, and poorly drained or Diana fill. Shrub Planting Beds: Elevate (round) proposed beds as shown in detail for placement of SuperSoil. Lawn Areas: Excavate a minimum of 3 inches below finish grade and remove debris for placement of topsoil. IMPORTANT: Good internal soil drainage is essential to establish proposed trees, shrubs, and groundcovers.
7. Drainage: Place new soil and soil mixes. Lightly tamp to compress. Shrub Beds: Provide positive drainage away from building and toward walks, drainage channels, drainage basins, or lawn. Round beds and fine grade to create a finished slope of 6" H to 1" V. Finished grade of soil shall be at least 3" lower than finish floor elevation if building. Sod Areas: Slope all sodded areas to drain away from buildings and beds and toward walks, drainage channels, drainage basins, parking areas, or other lawns. Roof Downspouts: Extend all roof downspouts to the edge of planting beds, drainage channels, or streets.
8. Sod Placement: Remove all grass, rocks, roots, and construction debris from area to be sodded. Place topsoil and soil amendments and blend well. Lightly tamp to compact and fine grade to drain. Install sod pieces with tight joints between sections. Roll as needed to achieve a smooth, evenly graded, lawn surface free of gaps, cavities, holes, or uneven areas. Match the elevation of adjacent surfaces. Trim edges to a smooth line. Irrigate sufficiently to establish sod.
9. Irrigation system: Landscape contractor shall install an irrigation system. Avoid over-spray onto buildings and pavements. General Contractor shall install sleeving (double 4" Schedule 40 PVC pipe) under all new pavements to accommodate irrigation system and other utilities (see Landscape Plan) mark location of sleeves for future reference. Landscape Contractor shall coordinate location of irrigation meter, irrigation control box, and electrical supply with Owner or General Contractor. Owner or General Contractor shall provide a water meter or water connection for the irrigation system and a location and electrical connection for the irrigation controller. Landscape Contractor shall demonstrate full coverage performance of irrigation system for Owner's approval prior to acceptance.
10. Mulch: Install shredded bark mulch 3" deep in all planting beds and around trees. Depth shall be measured after mulch has been watered. Do not place mulch on top of groundcovers, shrubs, shrub branches, or within 1" of tree trunks and shrub or perennial crowns. Cover tree basins and soil rims with 2" of mulch "Tuck" mulch behind steel edging and behind curb to reduce erosion.
11. Steel Edging: Provide and install Ryerson steel edging or edging material manufactured by local steel supply company (3/32"x4") painted with two coats of rust inhibiting black or green paint. Provide painted stakes or hocks as needed to firmly secure edging material in clean, sharp, straight and arched lines as shown on plan.
12. Annual Beds as located by Owner preference: Delete some of the Linopae and Daylilies and prepare annual beds using 100% SuperSoil and 1" shredded bark mulch. Install seasonal annuals appropriate for the season with sufficient density to provide full coverage in the bed. (Planes at 6" o.c.)
13. Guarantee: Guarantee all work performed under the contract for a period of one year. Guarantee replacement plants and materials for a period of one year from the date of replacement.
14. Utilities: Call Kansas "ONE-CALL", Inc. (800 811) prior to any excavation to locate any existing utilities. Locate, flag, and protect existing irrigation piping, heads, valves, electric systems, sleeves, drainage, or other site improvements prior to construction if present.



Landscape Plan of the Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC

date	revisions	int.

dwg by: MDR
 checked: RDH
 date: 10/31/2016
 scale: noted

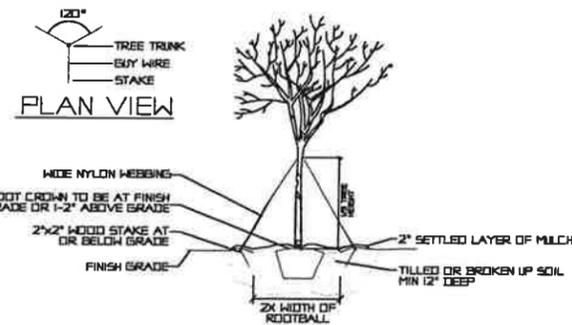
C4.00

L:\2016\2016-063 Davids Burgers Bryant - Alan Bubbus LandscapePlan2016-063.pro
 10/31/2016
 2:39:25PM



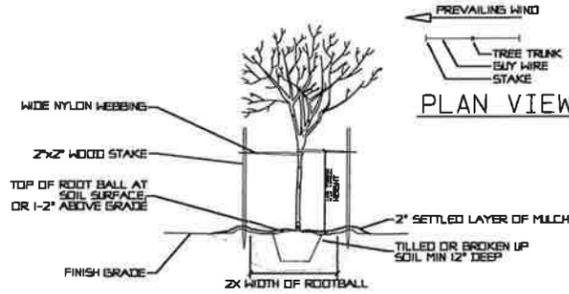
**TYP. SHRUB PLANTING:
INDIVIDUAL PLANTING HOLE**
NOT TO SCALE

- NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE
1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
 2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
 3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
 4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER, DISTURB THE ROOTS.
 5. IF BBS PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
 6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
 7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.



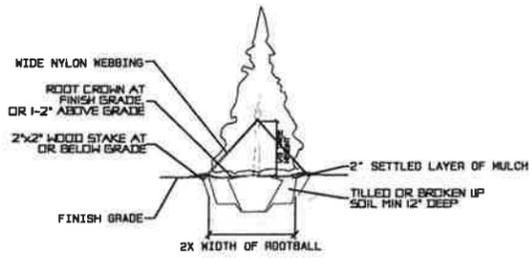
TREE PLANTING (>2" CAL.)
NOT TO SCALE

- NOTES: TREE PLANTING (>2" CAL.)
1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601-2004). PLANT ACCORDING TO ANSI AS300 PART 6.
 2. DIG THE PLANTING HOLE A MINIMUM OF 2X WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
 3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
 4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
 5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
 6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
 7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
 8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL. A MINIMUM OF 16 INCHES SPACE STAKES EQUALLY AROUND THE TREE.
 9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
 10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
 11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI AS300 SPECIFICATIONS.
 12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.



SMALL TREE PLANTING (<2" CAL.)
NOT TO SCALE

- NOTES: SMALL TREE PLANTING (<2" CAL.)
1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601-2004). PLANT ACCORDING TO ANSI AS300 PART 6.
 2. DIG THE PLANTING HOLE A MINIMUM OF 2X WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
 3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
 4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
 5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
 6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
 7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
 8. USE TWO 2" X 2" WOOD STAKES 1/2 TREE HEIGHT IN LENGTH DRIVEN INTO UNDISTURBED SOIL. A MINIMUM OF 16 INCHES STAKES SHOULD BE SPACED EQUALLY ACROSS FROM AND IN LINE WITH THE TRUNK PARALLEL TO THE PREVAILING WIND.
 9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
 10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
 11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI AS300 SPECIFICATIONS.
 12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.



EVERGREEN TREE PLANTING
NOT TO SCALE

- NOTES: EVERGREEN TREE PLANTING
1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z601-2004). PLANT ACCORDING TO ANSI AS300 PART 6.
 2. DIG THE PLANTING HOLE A MINIMUM OF 2X WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
 3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
 4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
 5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
 6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
 7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
 8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL. A MINIMUM OF 16 INCHES SPACE STAKES EQUALLY AROUND THE TREE.
 9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
 10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
 11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI AS300 SPECIFICATIONS.
 12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

date	revisions	int.

dwg by: MDR
 checked: RDH
 date: 10/31/2016
 scale: AS NOTED

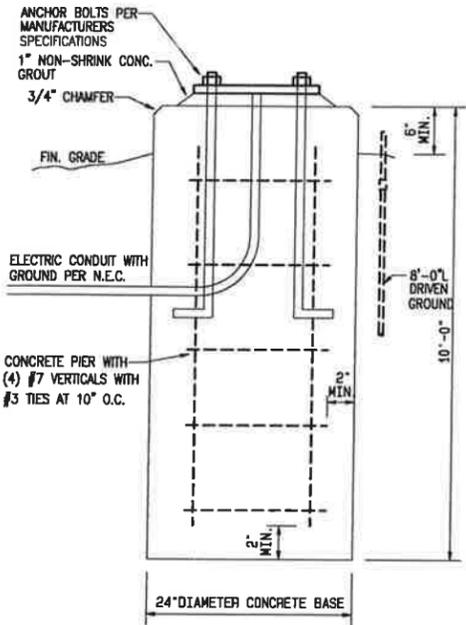
C4.01

Landscape Details and Notes
 of the Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC



HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC

200 Casey Drive
 Heuma, Arkansas 72113
 (501) 851-3366
 admin@holloway-eng.com



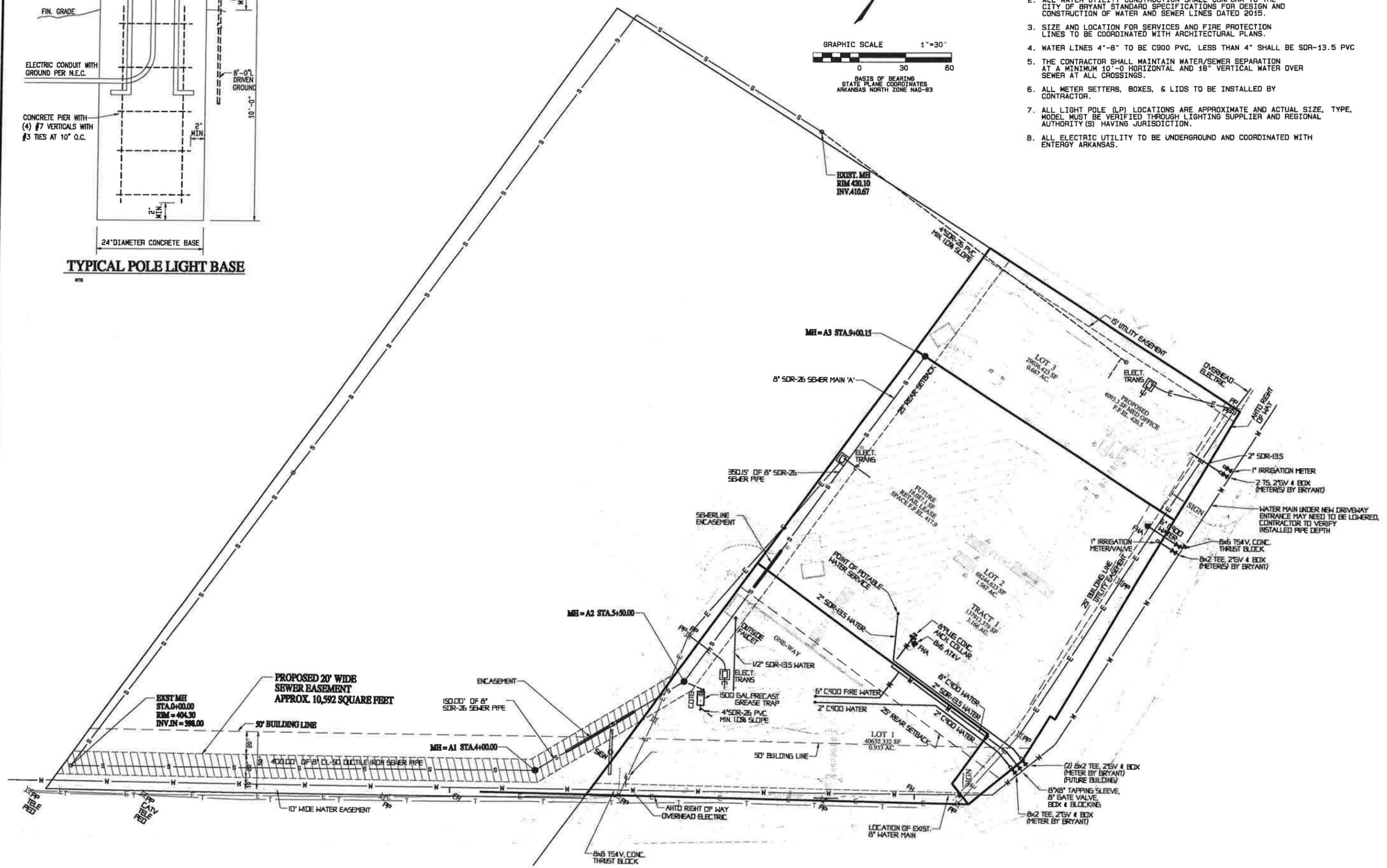
TYPICAL POLE LIGHT BASE



BASIS OF BEARINGS
STATE PLANE COORDINATES
ARKANSAS NORTH ZONE NAD-83

NOTES:

1. CONTRACTOR TO NOTIFY "ARKANSAS ONE-CALL" AND ALL UTILITY, CABLE COMPANIES, ETC. PRIOR TO COMMENCING ANY EXCAVATION. DIAL 811.
2. ALL WATER UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER AND SEWER LINES DATED 2015.
3. SIZE AND LOCATION FOR SERVICES AND FIRE PROTECTION LINES TO BE COORDINATED WITH ARCHITECTURAL PLANS.
4. WATER LINES 4"-8" TO BE C900 PVC, LESS THAN 4" SHALL BE SDR-13.5 PVC
5. THE CONTRACTOR SHALL MAINTAIN WATER/SEWER SEPARATION AT A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL WATER OVER SEWER AT ALL CROSSINGS.
6. ALL METER SETTERS, BOXES, & LIDS TO BE INSTALLED BY CONTRACTOR.
7. ALL LIGHT POLE (LP) LOCATIONS ARE APPROXIMATE AND ACTUAL SIZE, TYPE, MODEL MUST BE VERIFIED THROUGH LIGHTING SUPPLIER AND REGIONAL AUTHORITY (S) HAVING JURISDICTION.
8. ALL ELECTRIC UTILITY TO BE UNDERGROUND AND COORDINATED WITH ENERGY ARKANSAS.



L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\UtilityPlan 2016-028.pro
10/31/2016
2:40:29PM

date	revisions	int.

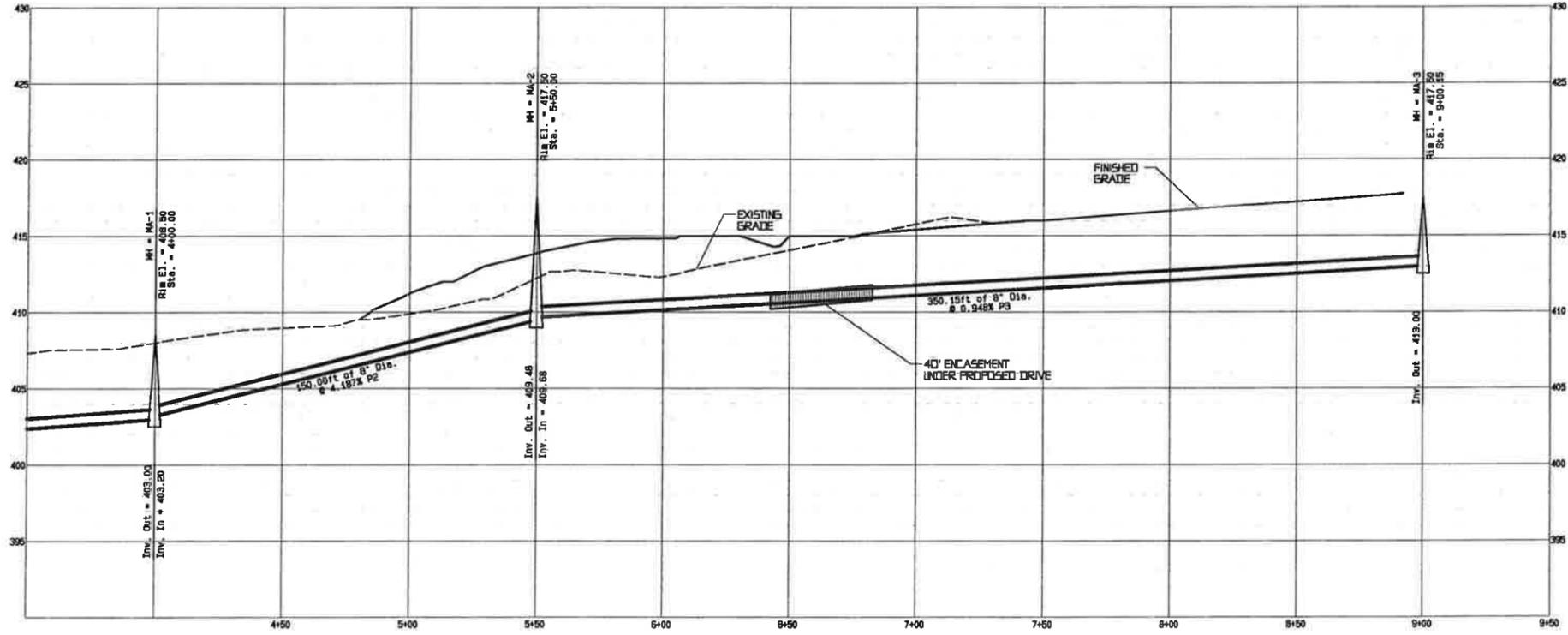
dwg by: MOR
checked: DLW
date: 01-11-16
scale: noted

C5.00

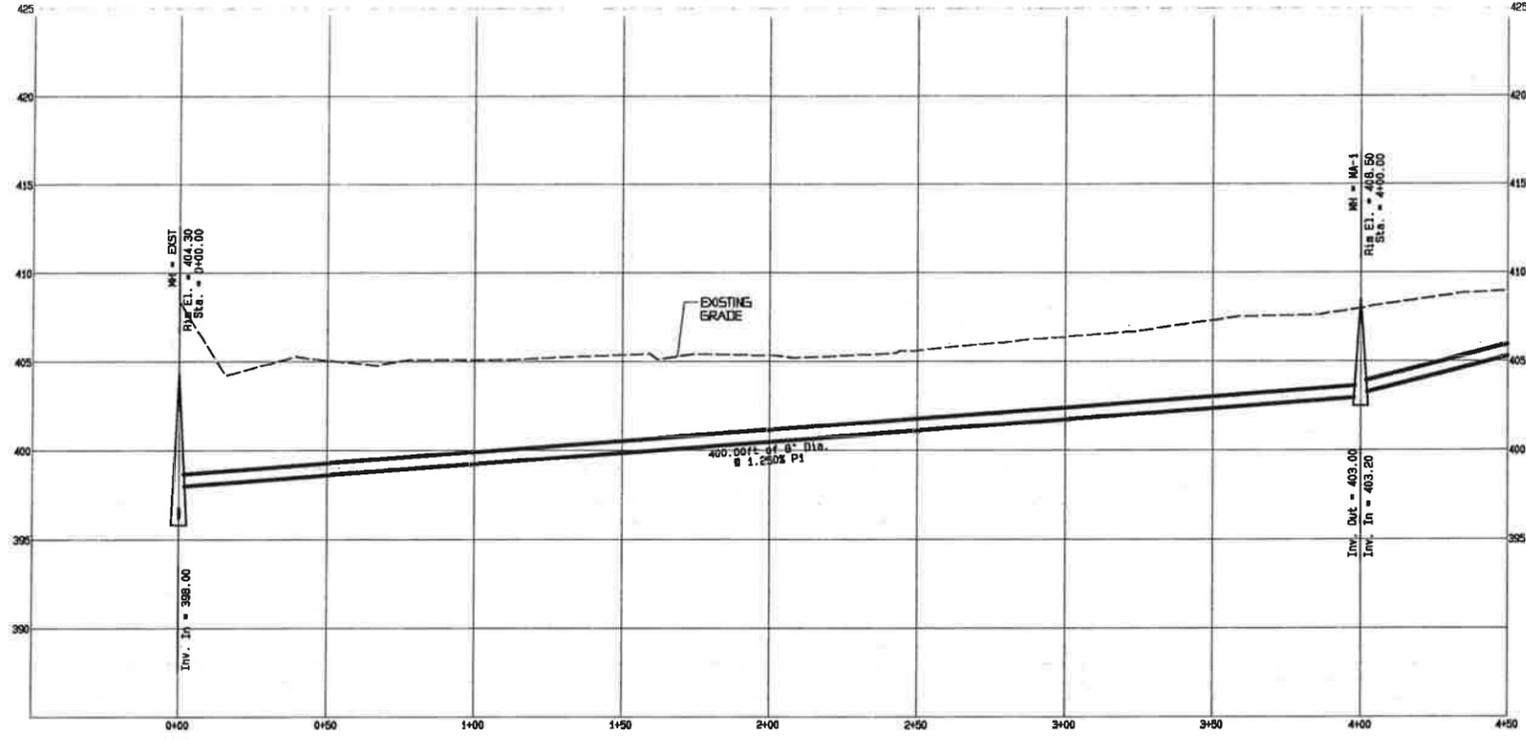
Utility Plan
David's Burgers
City of Bryant, Saline County, Arkansas
for: David's Real Estate, LLC

HOLLOWAY ENGINEERING
Surveying, & Civil Design, PLLC
200 Casey Drive
Maumelle, Arkansas 72113
(501) 851-3366
admin@holloway-eng.com

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\UtilityPlan 2016-02B.pro
 10/31/2016
 2:41:38PM



PROFILE VIEW MAIN A
 SCALE: HORIZ. - 1" = 30'
 VERT. - 1" = 5'



PROFILE VIEW MAIN A
 SCALE: HORIZ. - 1" = 30'
 VERT. - 1" = 5'

dwg by:	MDR	date	revisions	int.
checked:	DLW			
date:	01-11-16			
scale:	noted			

C5.01

Sanitary Sewer Profiles
 David's Burgers
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC



HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC

200 Casey Drive
 Maumelle, Arkansas 72113

(501) 851-3365
 admin@holloway-eng.com

