



Bryant Planning Commission Meeting

Boswell Municipal Complex - City Hall Court Room

210 SW 3rd Street

YouTube: <https://www.youtube.com/c/bryantarkansas>

Date: June 10, 2024 - **Time:** 6:00 PM

Call to Order

Approval of Minutes

1. Bryant Planning Commission Meeting Minutes 5/13/2024

- [2024-05-13 Planning Commission Meeting Minutes.pdf](#)

Announcements

DRC Report

2. A-1 Fireworks - 25612 I-30 - Temporary Business License

Joan Rey - Requesting Approval for TBL for Firework Stand - APPROVED

- [0864-APP-01.pdf](#)

3. 25631 I-30 - Fencing

McDonald Fencing - Requesting Approval for New Fencing on Site - APPROVED

- [0866-PLN-01.jpg](#)

4. 2312 Bishop Road - Site Plan Addition

Giron Builders - Requesting Approval for New Building Addition - APPROVED with Granted Administrative Waiver on the one Facade of new addition. APPROVED fencing around site as proposed in meeting, contingent upon review of commercial fencing permit.

- [0861-PLN-01.pdf](#)
- [0861-PLN-02.pdf](#)

5. Marketplace II Subdivison Phase 3 - Lots 17R, 18R, 22R Site Plans

GarNat Engineering - Requesting Site Plan Approval, APPROVED, Contingent upon Replat Approval by Planning Commission and Facades Provided for Building Permits

- [0874-pln17r-01.pdf](#)
- [0874-pln18r-01.pdf](#)
- [0874-pln22r-01.pdf](#)
- [0874-lnd17r-01.pdf](#)
- [0874-lnd18r-01.pdf](#)
- [0874-lnd22r-01.pdf](#)

6. Creekside Addition Ph. 2 - Replat

GarNat Engineering - Requesting Approval for a Replat to fix a wording error on Plat, APPROVED

- [0875-PLT-01.pdf](#)

7. Seven Brew Coffee - 2202 Reynolds Road - Sign Permit

Springfield Signs - Requesting Sign Permit Approval - APPROVED

- [92377-SGNAPP-01.pdf](#)

8. Practical Wellness Clinic - 205 Progress Way Ste 100 - Sign Permit

L Graphics - Requesting Sign Permit Approval - STAFF APPROVED

- [92303-SGNAPP-05032024112017.pdf](#)

9. Evie Brooks - 3507 Market Place Ste 100 - Sign Permit

L Graphics - Requesting Sign Permit Approval - STAFF APPROVED

- [092301-SGNAPP-01.pdf](#)

10. Splash Carwash - 107 Bryant Ave - Sign Permit

Arkansas Sign and Neon - Requesting Sign Permit Approval - STAFF APPROVED

- [92304-SGNAPP-01.pdf](#)

11. Empire Vape and Tobacco - 319 Bryant Ave - Sign Permit

Doug Blanford - Requesting Sign Permit Approval - STAFF APPROVED

- [EMPIRE VAPE-05032024111613.pdf](#)

12. Gassy's Fuel Station - 6101 HWY 5 - Sign Permit

Drew Files - Requesting Sign Permit Approval - STAFF APPROVED

- [92376-SGNAPP-01.pdf](#)

13. Edward Jones - 2305 Springhill Road - SIGN PERMIT

Arkansas Sign & Neon - Requesting Sign Permit Approval - STAFF APPROVED

- [20419908-APPLICATION-EDWARD JONES-SPRINGHILL.pdf](#)
- [20419919-18231-ART5-M.pdf](#)

14. Hill Valley Estates

Hope Consulting - Requesting Approval for PUD Zoning Plan. Project previously named "Legacy Woods - PUD" - RECOMMENDED APPROVAL, Based on Completed Application Requirements

15. 1710 Shoal Road - Rezoning R-E to R-1

William Kalkbrenner - Requesting Approval for Rezoning from R-E to R-1 - RECOMMENDED APPROVAL, Based on Completed Application Requirements

16. 3927 Springhill Road - Rezoning R-2 to R-1.S

Tim Lemons - Requesting Approval for Rezoning from R-2 to R-1.S - RECOMMENDED APPROVAL, Based on Completed Application Requirements

17. 307 SW 4th Street - Conditional Use Permit

Bill Gray - Requesting Approval of CUP for Additional Square Footage of Accessory Structure - RECOMMENDED APPROVAL, Based on Completed Application Requirements

18. 2806 Hurricane Lake Road - Two Lot Subdivison

Hope Consulting - Requesting Approval for Two Lot Subdivison - RECOMMENDED APPROVAL

19. Springhill Retail - Commercial Center - Springhill and HWY 5

Phillip Lewis Engineering - Requesting Approval for Commercial Subdivison Plat, Waiver on Building Multi-Use Trail along the

Springhill Road Frontage, and Site Plan. RECOMMENDED APPROVAL of Site Plan and Waiver. APPROVED Site Plan contingent upon updated plat and engineering review of drainage plan.

20. Marketplace II Subdivison Phase 3 - Lots 17, 18, & 22

GarNat Engineering - Requesting Approval for Replat - RECOMMENDED APPROVAL

Public Hearing

21. Hill Valley Estates - PUD

Hope Consulting - Requesting Approval for PUD Zoning Plan. Project listed as "Legacy Woods - PUD" in DRC report.

- [0855-ZPLN-03.pdf](#)
- [0855-PLN-01.pdf](#)
- [0855-LND-02.pdf](#)
- [0855-LND-01.pdf](#)
- [0855-ZPLN-02.pdf](#)
- [0855-SRVY-01.pdf](#)
- [0855-APP-02.pdf](#)
- [0855-APP-01.pdf](#)
- [0855-LTR-01.pdf](#)

22. 1710 Shoal Road - Rezoning R-E to R-1

William Kalkbrenner - Requesting Approval for Rezoning from R-E to R-1

- [0872-APP-01.pdf](#)
- [0872-SVY-01.pdf](#)
- [0872-LTR-01.pdf](#)

23. 3927 Springhill Road - Rezoning R-2 to R-1.S

Tim Lemons - Requesting Approval for Rezoning from R-2 to R-1.S

- [0868-LST-01.pdf](#)
- [0868-CRR-01.pdf](#)
- [0868-APP-01.pdf](#)
- [0868-LTR-02.pdf](#)
- [0868-SRVY-01.pdf](#)
- [0868-LGL-01.docx](#)
- [0868-LTR-01.pdf](#)

24. 307 SW 4th Street - Conditional Use Permit

Bill Gray - Requesting Approval of CUP for Additional Square Footage of Accessory Structure

- [0865-APP-01.pdf](#)

Old Business

New Business

25. 2806 Hurricane Lake Road - 2 Lot Subdivison

Hope Consulting - Requesting Approval for Two Lot Subdivison

- [0876-PLT-02.pdf](#)
- [0876-LTR-01.pdf](#)

26. Springhill Retail - Commercial Center - Springhill and Highway 5

Phillip Lewis Engineering - Requesting Approval for Commercial Subdivison Plat and Waiver on Building Multi-Use Trail along the Springhill Road Frontage

- [0871-PLN-02.pdf](#)
- [0871-DRN-01.pdf](#)
- [0871-LTR-02.pdf](#)

27. Marketplace II Subdivision Phase 3 - Replat Lots 17, 18, & 22

GarNat Engineering - Requesting Approval for Replat

- [0869-RPLT-01.pdf](#)
- [0869-APP-01.pdf](#)
- [0869-LTR-01.pdf](#)

28. Planning Commission By-Law Revisions

Discussion on Revisions to Commission By-Laws

Adjournments



Bryant Planning Commission Meeting Minutes

Monday, May 13th, 2024

Boswell Municipal Complex – City Hall Courtroom

6:00 PM

Agenda

CALL TO ORDER

- Chairman Lance Penfield calls the meeting to order.
- Commissioners Present: Penfield, Hooten, Statton, Johnson, Burgess, Edwards, Erwin, Speed
- Commissioners Absent: None

ANNOUNCEMENTS

Interim Director of Community Development, Colton Leonard, spoke briefly about the June 3rd workshop. The workshop is to discuss the trail system in Bryant.

APPROVAL OF MINUTES

1. Planning Commission Meeting Minutes 4/11/2024

Motion to Approve Minutes made by Commissioner Stratton, Seconded by Commissioner Edwards. Voice Vote, 8 Yays, 0 nays. 0 Absent.

Vice-Chairman Hooten read the DRC Report.

DRC REPORT

2. Bryant Schools - High School- Building Addition
Minton Engineering - Requesting Site Plan Approval - RECOMMENDED APPROVAL
3. Roman Heights Subdivision- Phase 2
Hope Consulting - Requesting Approval for a Suspension on the Requirement to Build Multi-Use Trail along North Side of Subdivision - RECOMMENDED APPROVAL

4. Starbucks Coffee - 20701 I-30- Revised Site Plan
Nina Berg - Requesting Approval for Revisions to Site Plan - APPROVED
5. Senior Tequila - 2919 N Reynolds- Site Plan Revision
Requesting Approval for adjusting location of retaining wall to create patio area - APPROVED
6. Meramec Specialties Co. - 6139 HWY 5- Temporary Business *Kevin Bailey*
Requesting Approval for Temporary Business for Fireworks Stand
7. TNT Fireworks - 400 Bryant Ave- Temporary Business
Heather Whaley - Requesting Approval for Temporary Business for Fireworks Stand
8. Marketplace II Subdivision Lot 16 and Lot 19- Site Plan Approval *GarNat Engineering*
Requesting Approvals for Site Plans for lots 16 and lot 19
9. The Breakroom - 1812 N Reynolds Road- Sign Permit
Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED
10. Magnolia Title - 3417 Market Place Ave- Sign Permit
Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

NEW BUSINESS

11. Bryant Schools - High School - Building Addition

Minton Engineering - Requesting Site Plan Approval

The building will be 4 stories, 64,000 sq feet, will provide parking and driveway all the way around the building. This is a major change. Will be demoing the existing building. Will leave the parking and grassy area. Canopy will extend out further. The south end will provide a safe room. This work will start around July or August and will be completed August 2026.

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. Voice Vote, 8 Yays, 0 nays. 0 Absent.

12. Roman Heights Subdivision - Phase 2

Hope Consulting - Requesting Approval for a Suspension on the Requirement to Build Multi-Use Trail along North Side of Subdivision

Recommendation from DRC is to suspend the requirement to build the Multi-Use Trail along the north side of the property for a period of one year. Giving the city time to have workshops with developers and council to look at updates for requirements of the Walk, Bike, Drive Master Transportation Plan. Depending on the outcome of those meetings, Bull Development would either be required to build the trail, pay the in-lieu fee, or fall under the new requirements that are set by the city as an outcome of these meetings.

After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. Voice Vote, 8 Yays, 0 nays. 0 Absent.

ADJOURNMENT

Motion to Adjourn made by Commissioner Burgess, Seconded by Commissioner Stratton. After brief discussion on the item, Chairman Penfield Called for a roll call vote to approve. Voice Vote, 8 Yays, 0 nays. 0 Absent.

Chairman, Lance Penfield

Date

Secretary, Tracy Picanco

Date



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: May 1, 2024

Business Information:

Name A-1 Fireworks
 Federal Tax Employer ID Number 26-1711923
 Arkansas State Sales Tax Number 00318073-45
 Location of Proposed Temporary Business 25612 I-30 Bryant, AR 72022

Business Owner:

Name Michael Gongola
 Address 21341 State Hwy 10 East
01A, AR 72853
 Phone 479-489-3298
 Email mihogongola65@gmail.com

Contact Person:

Name Joan Rey
 Address 21341 State Hwy 10 East
01A, AR 72853
 Phone 479-747-9304
 Email joanrey@A1Fireworks.com

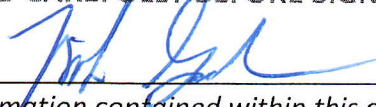
Checklist for Submission

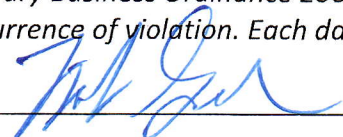
- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
 - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I , do hereby certify that all information contained within this application is true and correct. I further certify that I agree too and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature 



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
4/30/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Acrisure, LLC dba Britton Gallagher 3737 Park East Dr. STE 204 Beachwood OH 44122	CONTACT NAME: PHONE (A/C, No, Ext): 216-658-7100 E-MAIL ADDRESS:	FAX (A/C, No): 216-658-7101
	INSURER(S) AFFORDING COVERAGE	
INSURED Winco Fireworks International LLC 12521 15th Street Grandview MO 64030	INSURER A: Everest Indemnity Insurance Co. NAIC # 10851	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
INSURER F:		


COVERAGES **CERTIFICATE NUMBER:** 2008908817 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC			816ML02067-231	12/31/2023	12/31/2024	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS 8166972217						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below			N/A			WC STATUTORY LIMITS <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.I. EACH ACCIDENT \$ E.I. DISEASE - EA EMPLOYEE \$ E.I. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
For premise liability - this certificate reflects coverage for the dates and location noted below only.
For product liability - this certificate reflects coverage for product purchased from the above referenced named insured only

Additional Insured extension of coverage is provided by above referenced General Liability policy where required by written agreement.
Dates of Coverage for 4th of July Season: 06/20/24 through 07/10/24
Dates of Coverage for Christmas/New Year Season: 12/10/24 through 12/31/24
Location: 25612 I-30 Bryant, AR 72022
See Attached...

CERTIFICATE HOLDER A-1 Fireworks 24341 Highway 10 East Ola AR 72853	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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AGENCY CUSTOMER ID: _____
LOC #: _____



ADDITIONAL REMARKS SCHEDULE

AGENCY Acrisure, LLC dba Britton Gallagher		NAMED INSURED Winco Fireworks International LLC 12521 15th Street Grandview MO 64030	
POLICY NUMBER		EFFECTIVE DATE: _____	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Operator: Carrie Simmons
Landowner: Dion Simpson
Additional Insured: Dion Simpson; A-1 Fireworks; Carrie Simmons

A-1 FIREWORKS

COMMERCIAL LEASE

This lease is made between Dion Simpson
(Lessor Name)

Of 25550 I-30, Bryant, AR. 72022
(Mailing Address)

Herein called Lessor, and A-1 Fireworks of **24341 Hwy 10 East, Ola, Arkansas 72853**, herein called Lessee.

Lessee hereby offers to lease from Lessor the premises situated in
Or near the *City of* Bryant
County of Saline
State of: Arkansas

Described as: 25612 I-30, Bryant, AR. 72022

(Physical Location Address)

- 1. Term and Rent:** Lessor demises the above premises as well As allowing use of power pole for a term of 45 days per year, Commencing June 1st, and terminating on July 15th for the Selling season of June 20th to July 5th 2024 or sooner and/or For a term of 31 days per year commencing December 15th 2024 and terminating January 15th 2025 as provided herein At the annual rental of;

\$ 3,000.00 Payable, 100% at the time lease is signed and Returned.

Initial


Initial

1. All rental payments shall be made to Lessor, at the address Specified on front page.
- 2: **Use.** Lessee shall use and occupy the premises for Retail Sales of Fireworks. The premises shall be used for no Other purpose. Lessor represents that the premises may Lawfully be used for such purpose. Lessee may, at the Lessee's Expense, erect tents, utility poles, signs, banners, Balloons, Pendants, flags and other such paraphernalia as Deemed useful to aid in the selling of fireworks. All such Paraphernalia remains the property of the Lessee and will be Removed at the end of the lease agreement.
- 3: **Care and Maintenance of Premises:** Lessee acknowledges That the premises are in good order and repair, unless Otherwise indicated herein. Lessee shall, at his own Expense and at all times, maintain the premises in good Condition and shall surrender the same, at termination Hereof, in as good condition as received, normal wear and Tear excepted.
- 4: **Ordinances and Statutes:** Lessee shall comply with all Statutes, ordinances and requirements of all municipal State and federal authorities now in force, or which may Hereafter be in force, pertaining to the premises, Occasioned by or affecting the use thereof by Lessee.
- 5: **Assignment and Subletting:** Lessee shall not assign this Lease or sublet any portion of the premises without prior Written consent of the Lessor, which shall not be Unreasonably withheld. Any such assignment or Subletting without consent shall be void and, at the option Of the Lessor, may terminate this lease.

6: **Notices:** Any notice, which either party may or is Required to give shall be given by mailing the same, Postage prepaid, to Lessee or Lessor at The address specified on front page, or at such other places As may be designated by the parties from time to time.

7: **Heirs, Assigns, and Successors:** This lease is binding Upon and inures to the benefit of the heirs, assigns and Successors in interest to the parties.

8. **Waiver of Liability:** This agreement releases Dion Simpson From all liability relating to injuries or damages that may occur During the lease of property for the retail sales of fireworks. By Signing this agreement, I agree to hold Dion Simpson entirely free From any liability, including financial responsibility for injuries or Damages incurred, regardless of whether injuries are caused by Negligence.

9: **Entire Agreement:** The foregoing constitutes the entire Agreement between the parties and may be modified only By a writing signed by both parties. The following exhibits, If any, have been made a part of this Lease before the Parties' execution hereof:

Signed this 23 day of April year 2024.

By: Dion Simpson (Lessor)

By: [Signature] (Lessee)

A-1 Fireworks
Commercial Lease

Insurance:

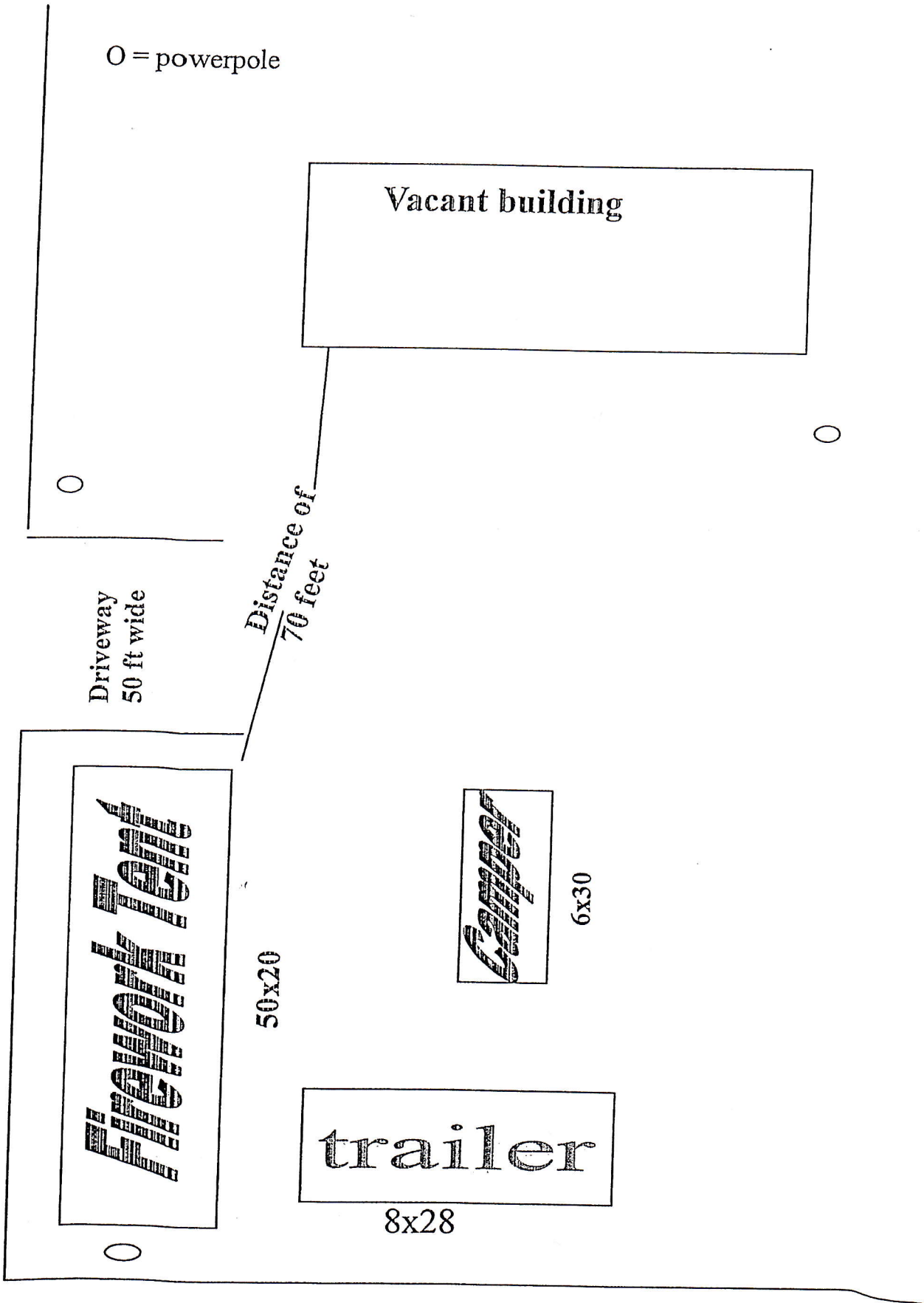
Lessee, at his expense, shall maintain liability insurance including Bodily injury and property damage insuring Lessee and Lessor With minimum coverage as follows: \$500,000.00

Lessee shall provide Lessor with a certificate of insurance showing Lessor as additional insured.

Signed: Don Simpson
Dated: 4-23-24

Signed: Ken Rev
Dated: April 30, 2024

O = powerpole



Vacant building

Driveway
50 ft wide

Distance of
70 feet

Front Lot

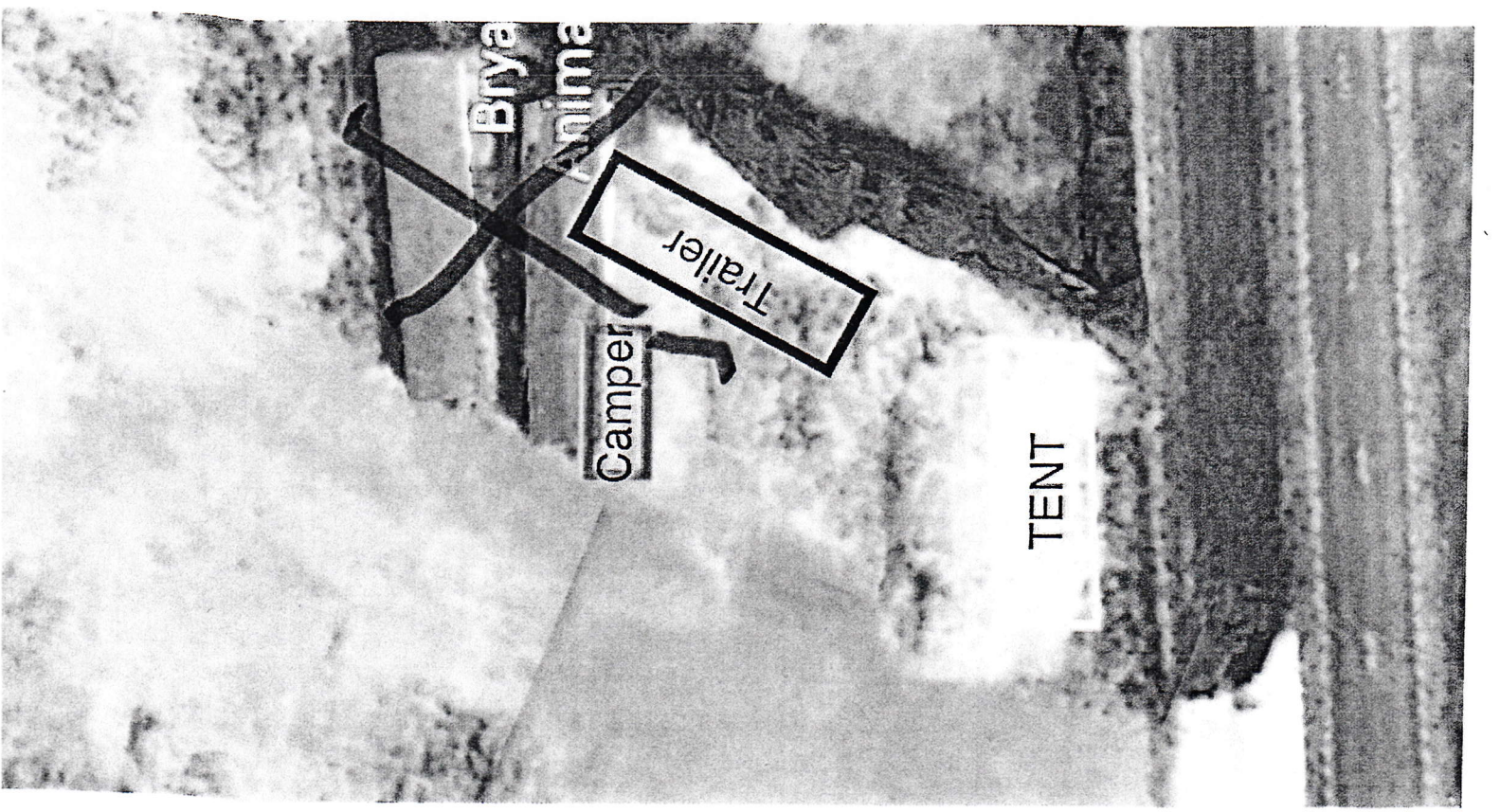
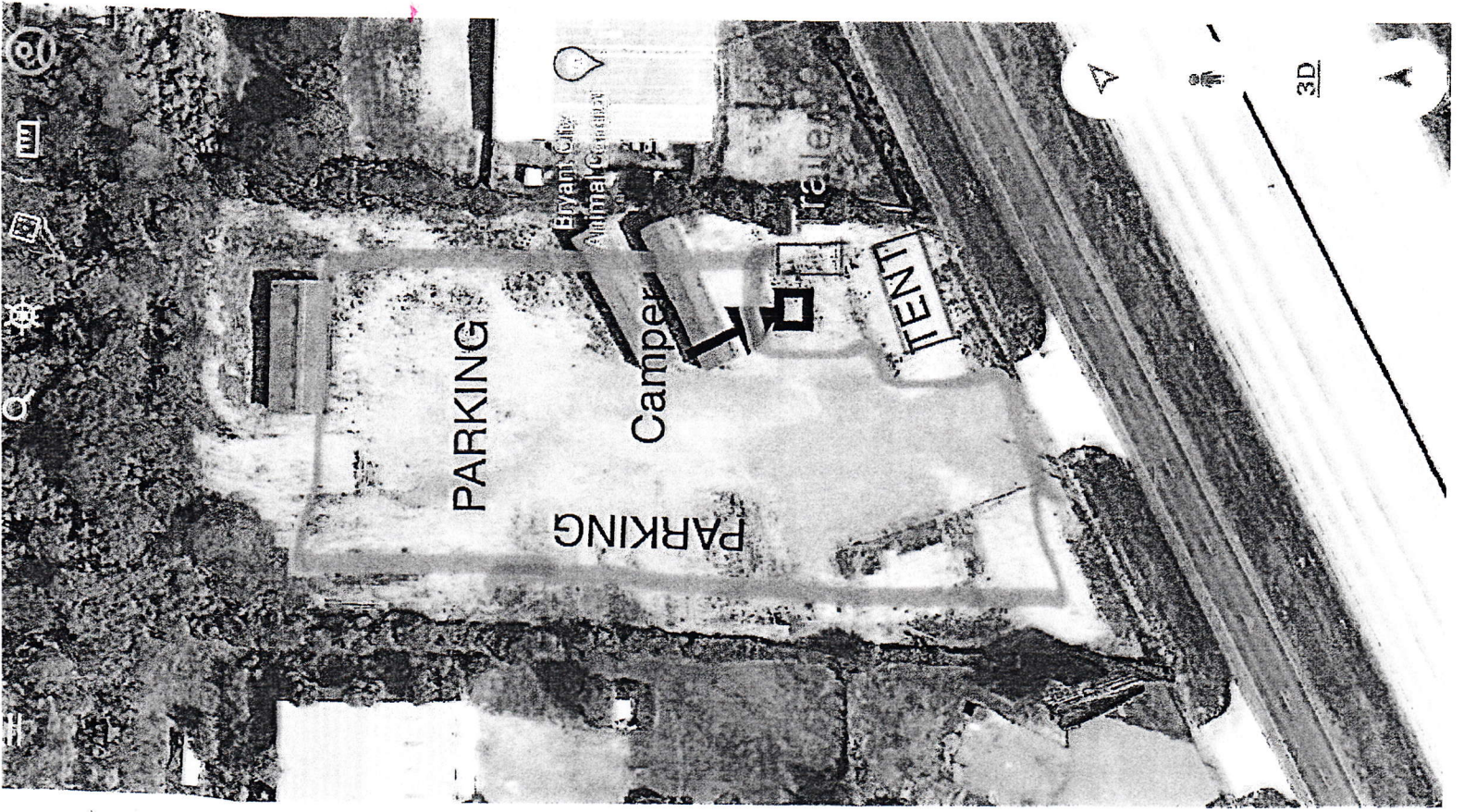
50x20

Camper

6x30

trailer

8x28





THIS LICENSE MUST BE CONSPICUOUSLY DISPLAY IN PLACE OF BUSINESS

Office of Fire Services

State Fire Marshal



Permit Number
FWJ.0001200

Date of Issue
05/01/2023

FIREWORKS LICENSE

This is to certify that
A-1 Fireworks

is duly license to transact business in the State of Arkansas as a Fireworks:
JOBBER-WHOLESALE LICENSE

LICENSE EXPIRES

04/30/2025



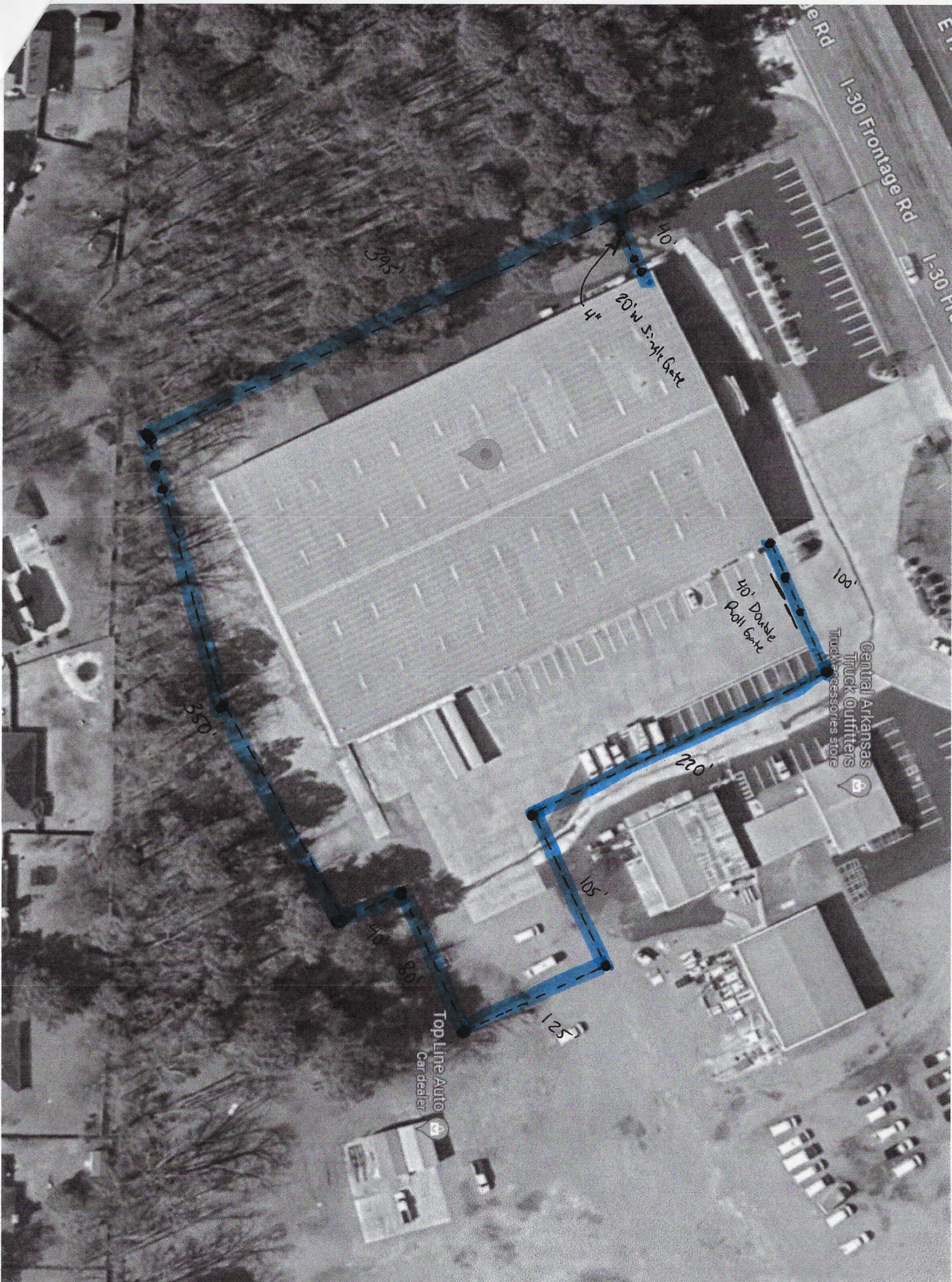
AJ GARY

DIRECTOR and STATE
HOMELAND SECURITY ADVISOR

Jake Dennis Free

Jake Dennis Free
STATE FIRE MARSHAL

NON TRANSFERABLE



395

40'

40' W Single Gate

4'

40' Double Roll Gate

100'

Central Arkansas
Truck Outfitters
Truck accessories store

220'

105'

125'

Top Line Auto
Car dealer

350'

40'

80'

I-30 Frontage Rd
I-30

N 01°51'47" E 854.44'

BISHOP ROAD
(60' R/W)

P.O.B. TRACT
RB W/CAP

S 88°13'48" E 60.02' (M)
S 87°58'34" E 59.98' (D)

60D NAIL
5.72'
6.43'

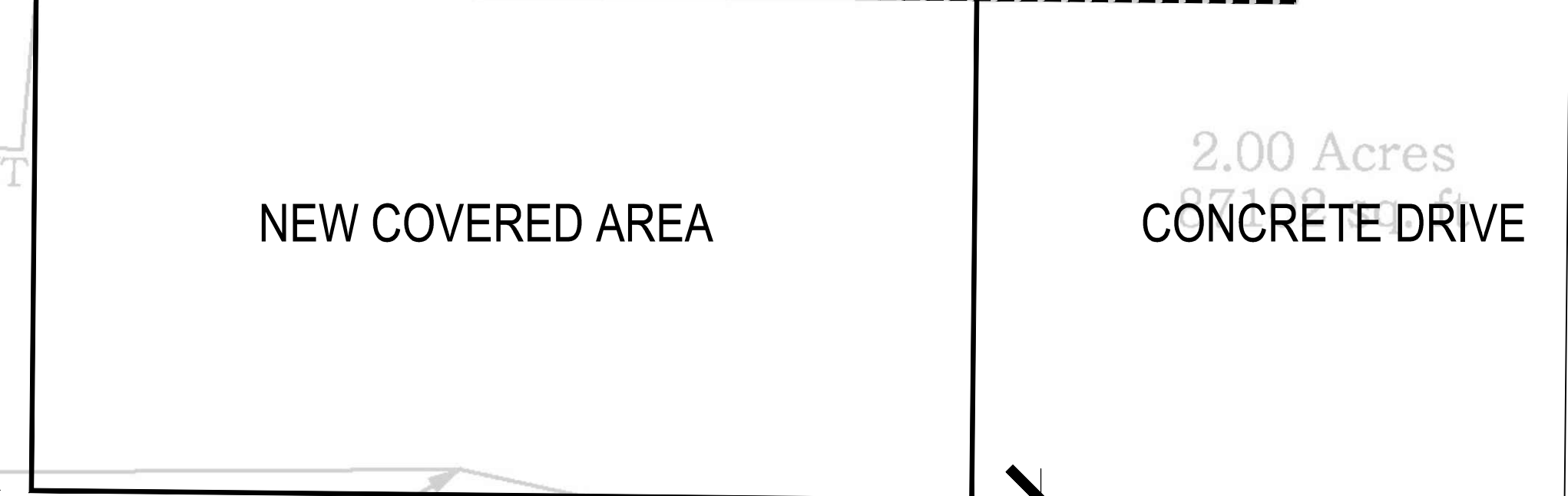
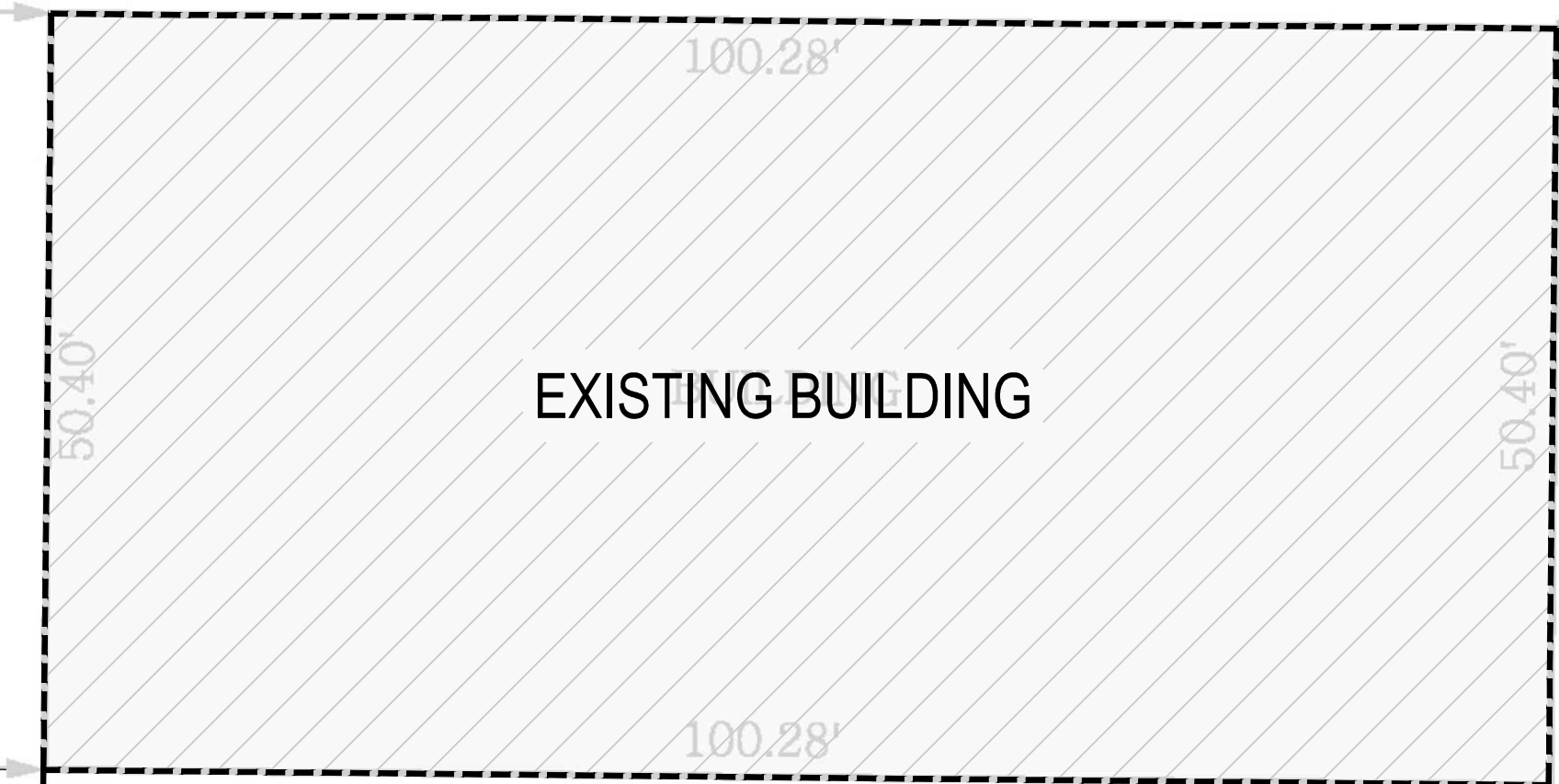
S 87°58'32" E 393.98' (DEED)
S 88°06'43" E 393.66' (MEAS.)

EDGE OF PAVEMENT

N 02°01'28" E 221.08' (DEED)
N 01°58'23" E 221.15' (MEAS.)

33.13'

34.36'



2.00 Acres
CONCRETE DRIVE

EDGE OF PAVEMENT

35'-3"

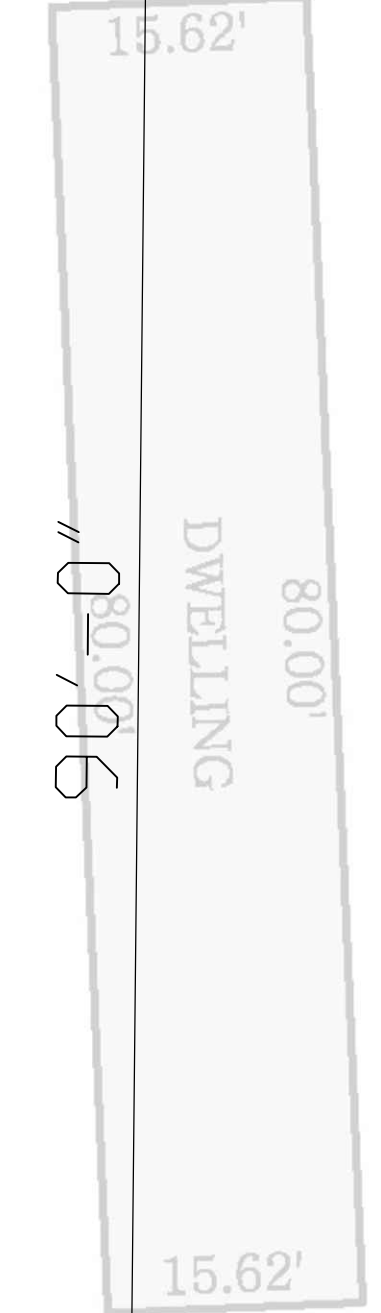
75'-0"

51'-2"

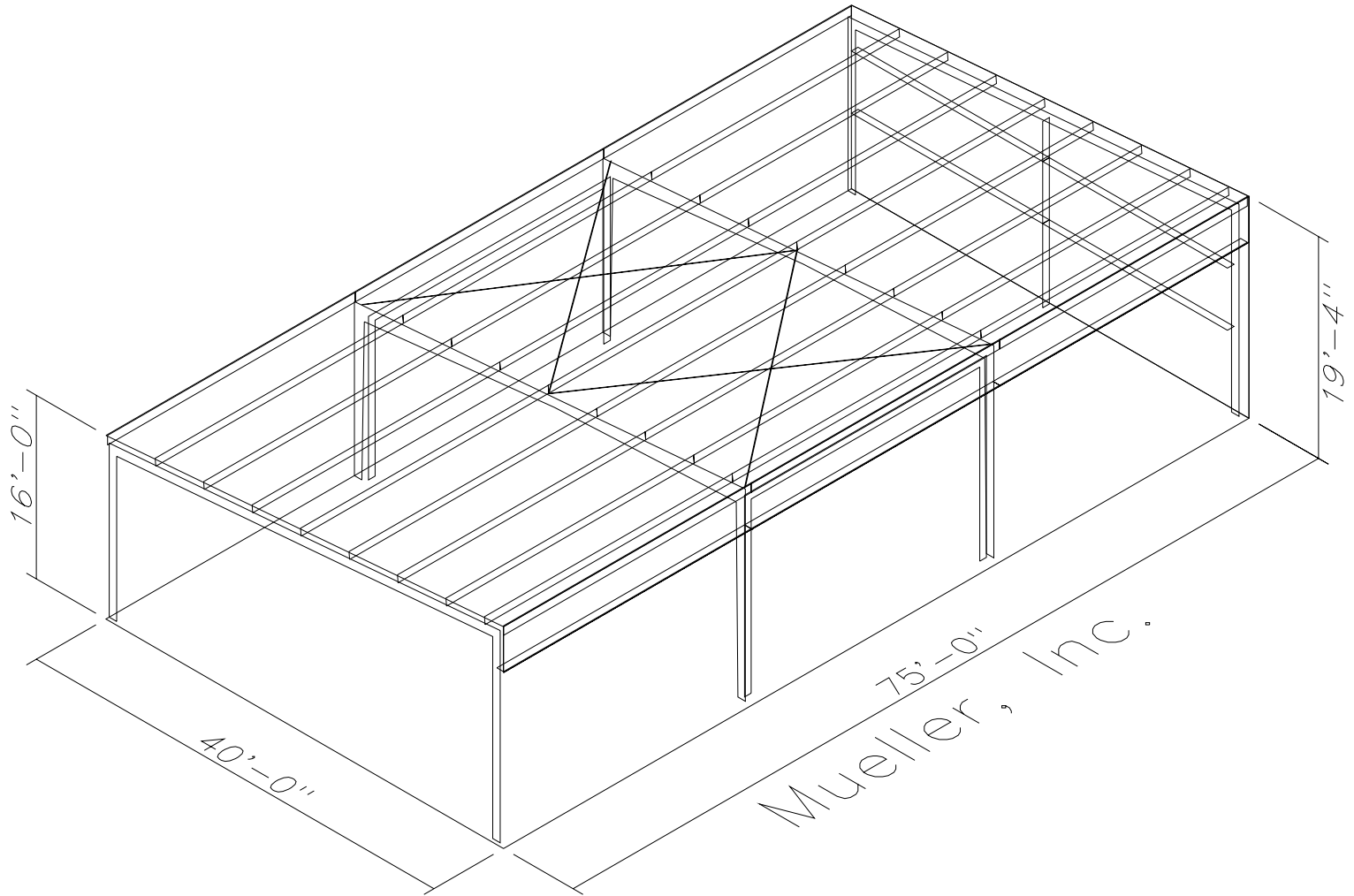
52'-11"

48'-0"

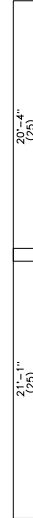
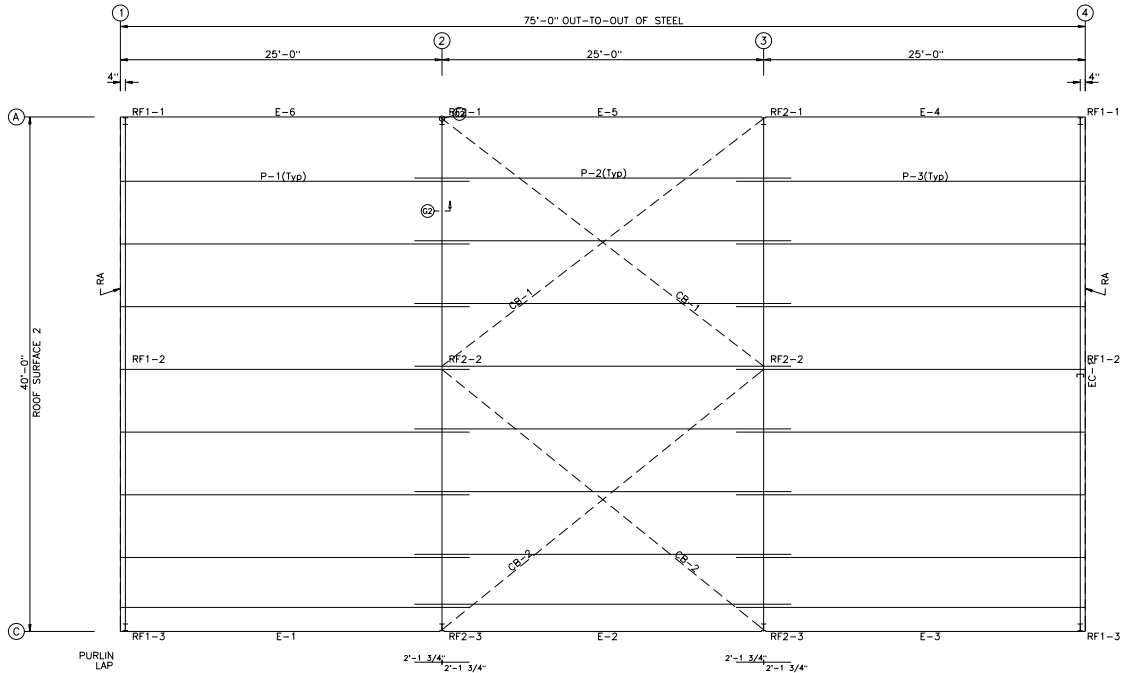
22'-0"



N 88°07'25" W 394.19' (MEAS.)
N 87°58'32" W 394.15' (DEED)



Unless noted, drawings are for conceptual purposes only.
Please review for building dimensions and framed openings accuracy.
All other aspects such as wall girt and roof purlin spacing, wind
bracing locations, etc. may change during engineered design unless
noted in the "Special Requirements" section of the contract.



ROOF FRAMING PLAN

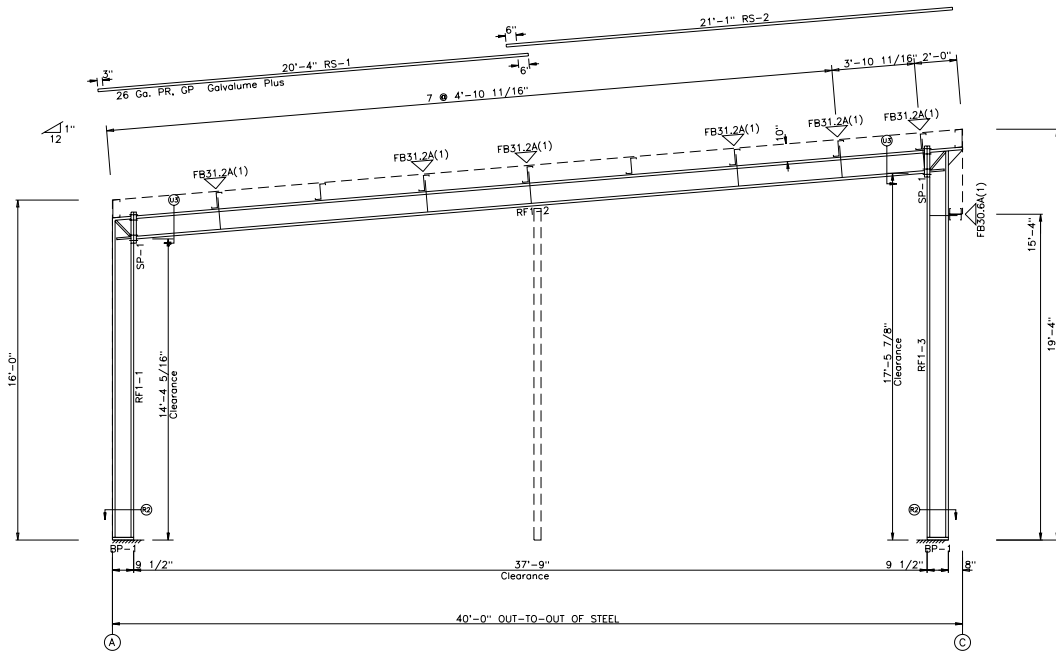
ROOF SHEETING
 PANELS: 26 Ga. PBR
 GP Galvalume Plus

		MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087 (325) 365-8103 (Fax)					
		DESCRIPTION	ROOF FRAMING	#File			
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"		ROOF SLOPE	1:0.12			
CUSTOMER	Giron Builders, Inc.						
LOCATION	Project Address 2						
DRAWN BY	OK'D BY	DATE	SCALE	SALESMAN	JOB NO.	SHEET NO.	REV.
ACT		4/19/24	NONE	Damon Morris	96067918_MBS	000000	01

SPLICE PLATE & BOLT TABLE										
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	4	0	A325	0.750	2.50	6"	1/2"	1'-4	1/2"


BASE PLATE TABLE			
Col	Plate	Size	Length
Mark	Width	Thick	Length
BP-1	6"	1/2"	10"

▽ FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Side; (2) Two Sides
 A - FB2X2X12



RIGID FRAME ELEVATION: FRAME LINE 1 4

**** THIS ENDWALL FRAME IS NOT EXPANDABLE ****
 (Will be verified during renumbering)

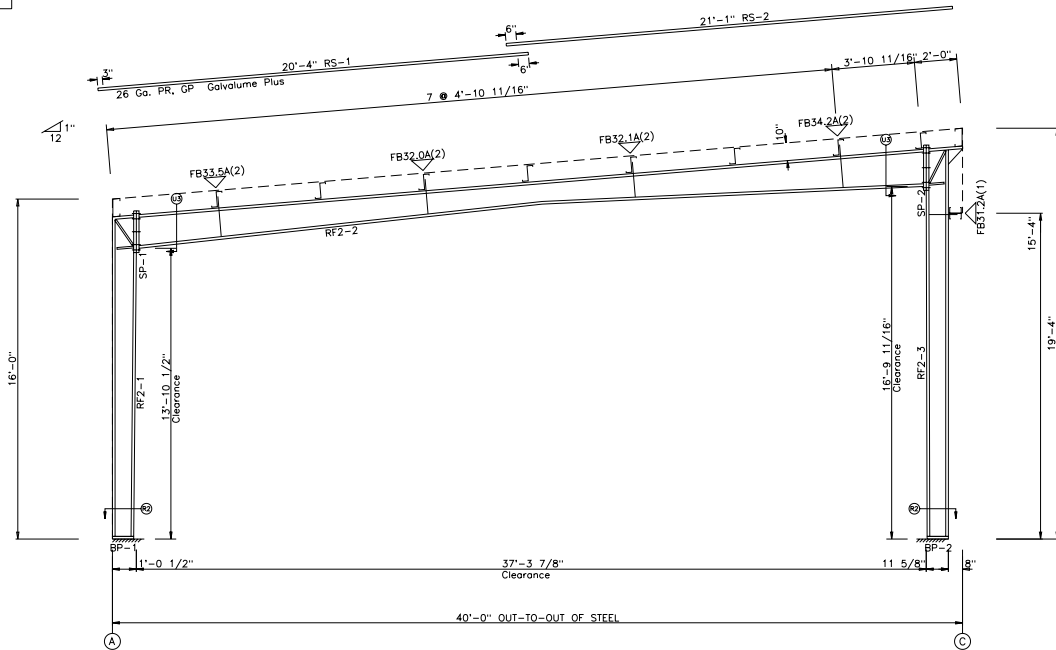
		MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087 (325) 365-8103 (Fax)	
		DESCRIPTION	RIGID FRAME ELEVATION
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"	ROOF SLOPE	1.0:12
CUSTOMER	Giron Builders, Inc.		
LOCATION	Project Address 2		
DATE	DATE	SCALE	SALESMAN
ACT	OK'D BY	4/19/24	NONE
			Damon Morris
			96067918_MBS

			REV.

SPLICE PLATE & BOLT TABLE										
Mark	Qty	Top	Bot	Int	Type	Dia	Length	Width	Thick	Length
SP-1	4	4	2	A325	0.750	2.50	6"	1/2"	1'-10"	1/2"
SP-2	4	4	2	A325	0.750	2.50	6"	1/2"	2'-0"	1/2"


BASE PLATE TABLE				
Col	Plate Size			
Mark	Width	Thick	Length	
BP-1	6"	1/2"	10"	
BP-2	6"	1/2"	10"	

▽ FLANGE BRACES: FBxx (1 or 2)
 xx=length(in)
 (1) One Sides (2) Two Sides
 A - FB2X2X12



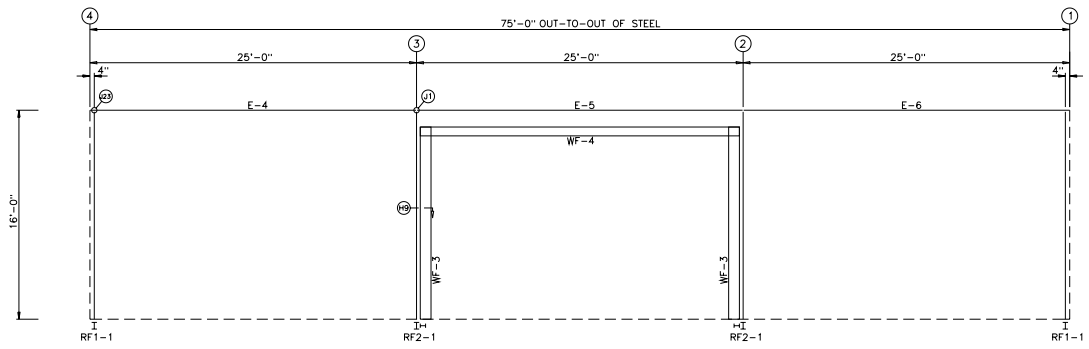
RIGID FRAME ELEVATION: FRAME LINE 2 3

**** THIS ENDWALL FRAME IS NOT EXPANDABLE ****
 (Will be verified during renumbering)

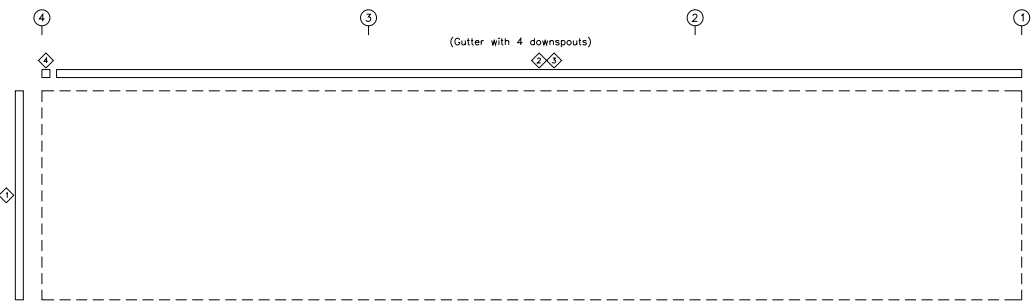
		MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087 (325) 365-8103 (Fax)	
		DESCRIPTION	RIGID FRAME ELEVATION
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"	CUSTOMER	Giron Builders, Inc.
LOCATION	Project Address 2	DATE	SCALE
DRAWN BY	ACT	DATE	SCALE
SALESMAN	JOB NO.	SHEET NO.	REV.
Damon Morris	96067918_MBS	000000	0R

BOLT TABLE				
FRAME LINE A				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-3 - WF-4	8	A325	3/4"	2 1/2"
WF-3 - RF2-1	10	A325	3/4"	2 1/2"

TRIM TABLE		
FRAME LINE A		
OID	PART	DETAIL
1	#0350	Open End
2	#0500	Gutter
3	#0800	Eave
4	#1471	Corner Box



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

GENERAL NOTES:

****CAUTION****

UP TO \emptyset BDS ADDITIONAL LINEAR FEET (MEASURED HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE SIDEWALL PANELS.

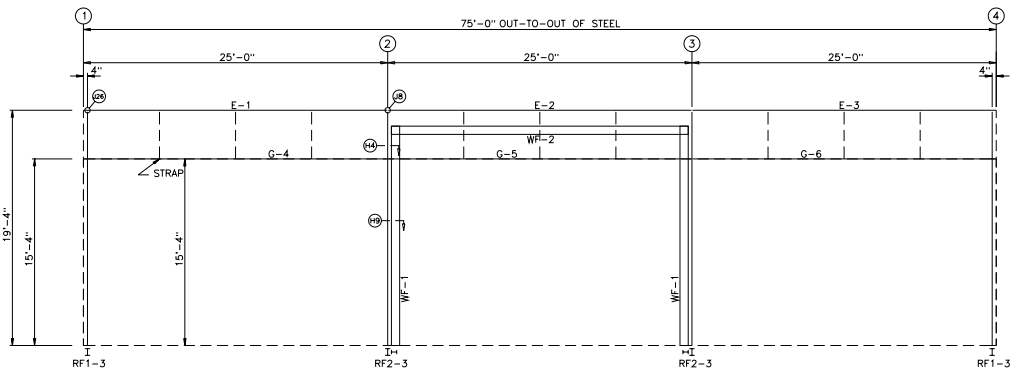
MUELLER, INC.
 STEEL BUILDING SYSTEMS & COMPONENTS

1913 Hutchins Ave. Ballinger, TX 76821
 (800) 527-1087 (325) 365-8103 (Fax)

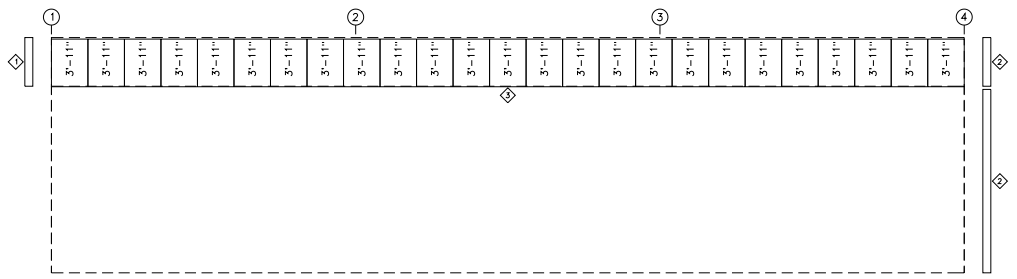
DESCRIPTION		SIDEWALL FRAMING		#File
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"			ROOF SLOPE 1:0.12
CUSTOMER Giron Builders, Inc.				
LOCATION Project Address 2				
DRN. BY	OK'D BY	DATE	SCALE	SALESMAN
ACT		4/19/24	NONE	Damon Morris
JOB NO.		96067918_MBS	SHEET NO. 000000	
REV.			0R	

BOLT TABLE			
FRAME LINE C			
LOCATION	QUAN	TYPE	DIA. LENGTH
WF-1 - WF-2	8	A325	3/4" x 2 1/2"
WF-1 - RF2-3	12	A325	3/4" x 2 1/2"

TRIM TABLE		
FRAME LINE C		
QID	PART	DETAIL
1	#0350	Open End
2	#0161	Corner
3	#0300	Hegder



SIDEWALL FRAMING: FRAME LINE C




SIDEWALL SHEETING & TRIM: FRAME LINE C

PANELS: 26 Ga. PR - LGR Lt Gray

GENERAL NOTES:

****CAUTION****

UP TO @FDS ADDITIONAL LINEAR FEET (MEASURED HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE SIDEWALL PANELS.

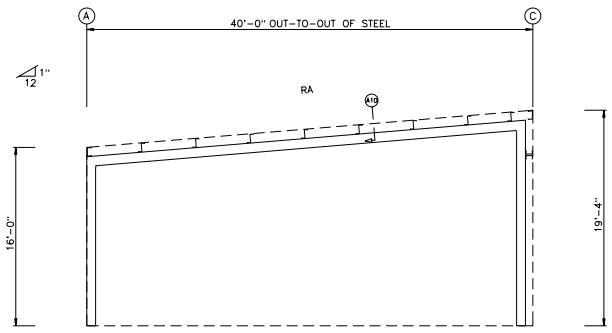


MUELLER, INC.
STEEL BUILDING SYSTEMS & COMPONENTS

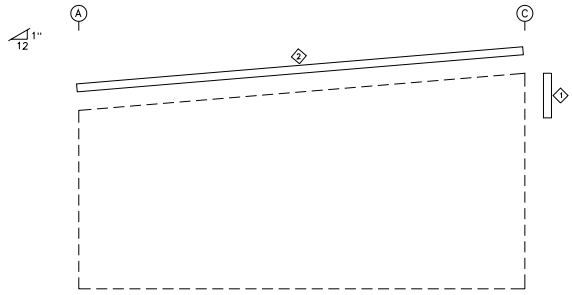
1913 Hutchins Ave. Ballinger, TX 76821
(800) 527-1087 (325) 365-8103 (Fax)

DESCRIPTION		SIDEWALL FRAMING		#File
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"			ROOF SLOPE 1:0.12
CUSTOMER		Giron Builders, Inc.		
LOCATION		Project Address 2		
DRWG. BY	DATE	SCALE	SALESMAN	JOB NO.
ACT	4/19/24	NONE	Damon Morris	96067918_MBS
				SHEET NO.
				1:0.12
				REV.

TRIM TABLE		FRAME LINE 1
OID	PART	DETAIL
1	#0350	Open End
2	#0440	Rake



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

GENERAL NOTES:

ROOF SLOPES GREATER THAN 1:12 REQUIRE ENDWALL PANELS BE FIELD CUT TO MATCH ROOF SLOPE.

****CAUTION****

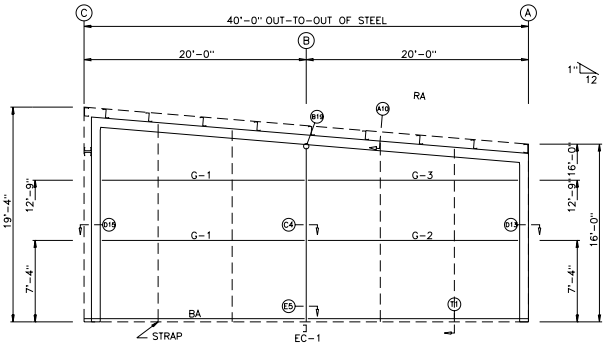
UP TO @LDS ADDITIONAL LINEAR FEET (MEASURED HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE ENDWALL PANELS.

ALL ENDWALL COLUMNS AND JAMBS ARE DESIGNED AS "POSTS" AS DEFINED BY OSHA AND ARE NOT INTENDED TO BE CLIMBED ON UNTIL FULLY BRACED.

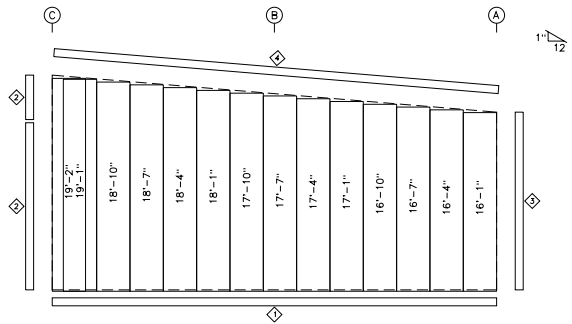
MUELLER, INC. STEEL BUILDING SYSTEMS & COMPONENTS 1913 Hutchins Ave. Ballinger, TX 76821 (800) 527-1087 (325) 365-8103 (Fax)			
			#File
DESCRIPTION	ENDWALL FRAMING	ROOF SLOPE	1.0:12
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"		
CUSTOMER	Giron Builders, Inc.		
LOCATION	Project Address 2		
DRW. BY	OK'D BY	DATE	SCALE
ACT		4/19/24	NONE
SALESMAN	JOB NO.	SHEET NO.	REV.
Damon Morris	96067918_MBS	000000	0R

BOLT TABLE			
FRAME LINE 4			
LOCATION	QUAN	TYPE	DIA LENGTH
Columns/Raft	2	A325	5/8" 2"

TRIM TABLE		
FRAME LINE 4		
ID	PART	DETAIL
1	#0330	Base
2	#0161	Corner
3	#0350	Open End
4	#1440	Rake



ENDWALL FRAMING: FRAME LINE 4



ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 26 Ga. PR - LGR Lt Gray

GENERAL NOTES:

ROOF SLOPES GREATER THAN 1:12 REQUIRE ENDWALL PANELS BE FIELD CUT TO MATCH ROOF SLOPE.

****CAUTION****

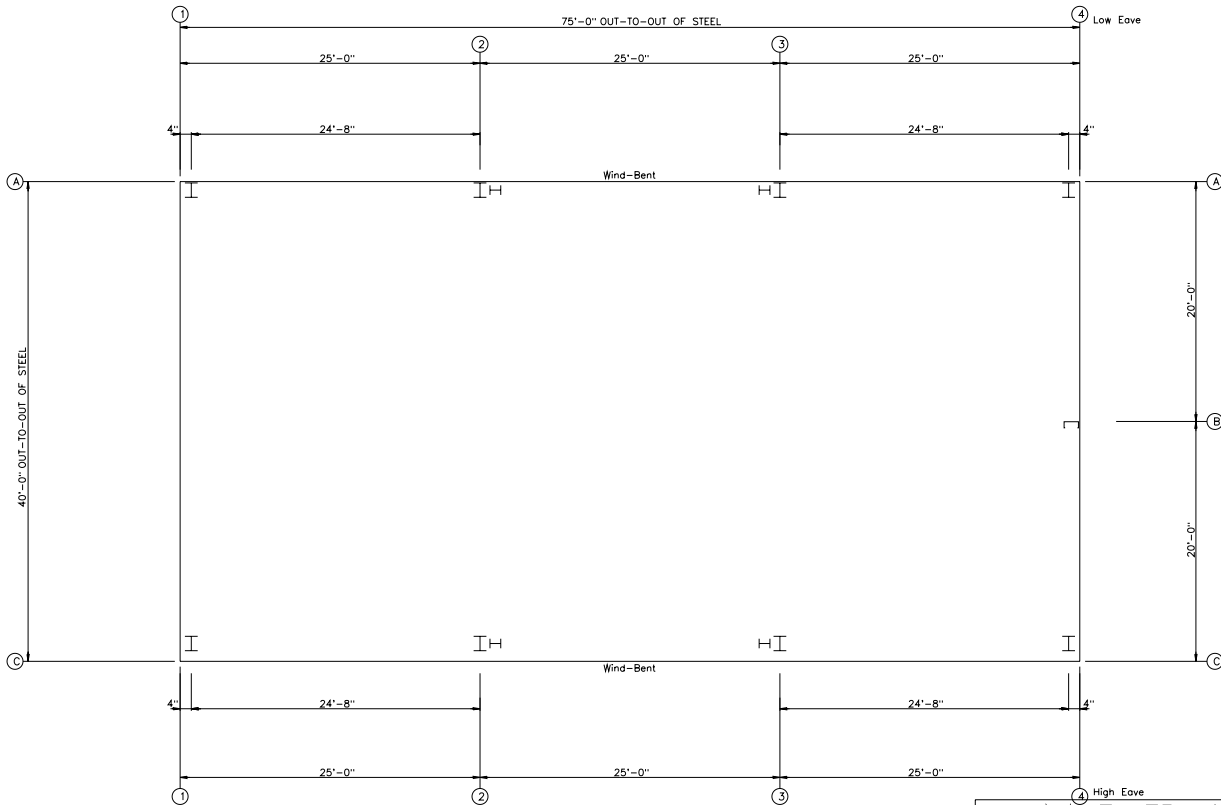
UP TO @RDS ADDITIONAL LINEAR FEET (MEASURED HORIZONTALLY) OF PANELS MAY BE REMOVED FOR FIELD LOCATED FRAMED OPENINGS WITHOUT AFFECTING THE DIAPHRAGM STRENGTH OF THE ENDWALL PANELS.

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MUELLER, INC.
 STEEL BUILDING SYSTEMS & COMPONENTS

1913 Hutchins Ave. Ballinger, TX 76821
 (800) 527-1087 (325) 365-8103 (Fax)


DESCRIPTION		ENDWALL FRAMING		#File
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"			ROOF SLOPE 1:0.12
CUSTOMER Giron Builders, Inc.				
LOCATION Project Address 2				
DRW. BY	OK'D BY	DATE	SCALE	SALESMAN
ACT		4/19/24	NONE	Damon Morris
JOB NO.	SHEET NO.	REV.		
96067918_MBS	000000	0R		



FLOOR PLAN

Preliminary
Not for Construction

MUELLER, INC.
STEEL BUILDING SYSTEMS & COMPONENTS
1913 Hutchins Ave. Ballinger, TX 76821
(800) 527-1087 (325) 365-8103 (Fax)



DESCRIPTION		FLOOR PLAN		#File
SIZE	40'-0" x 75'-0" x 16'-0" x 19'-4"			ROOF SLOPE 1.0:12
CUSTOMER Giron Builders, Inc.				
LOCATION	Project Address 2			
DATE	4/19/24	SCALE	NONE	SALESMAN Damon Morris
JOB NO.	96067918_MBS	SHEET NO.	000000	REV.

P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

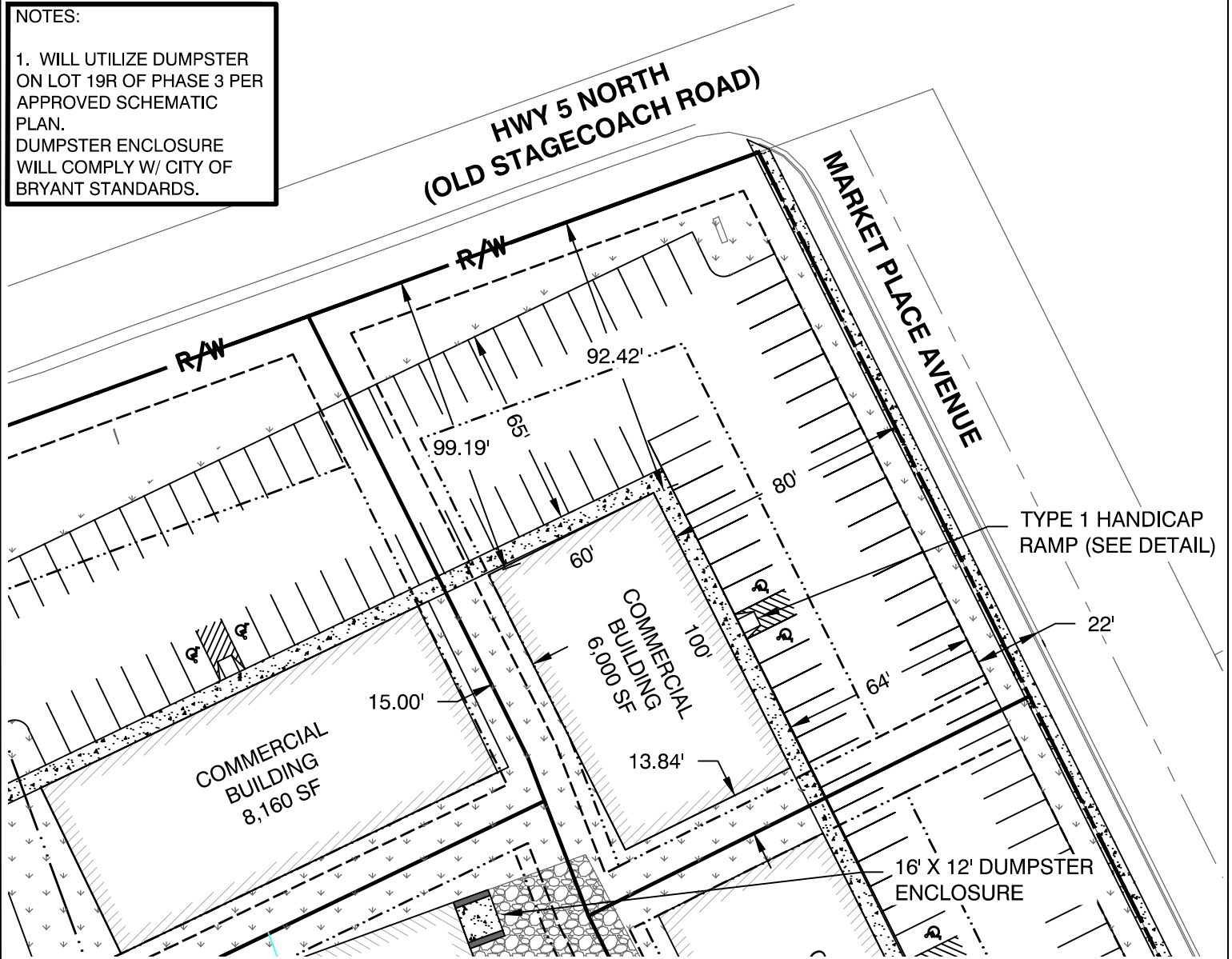
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19R OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



PROPERTY DESCRIPTION:

LOT 17R



JOB NUMBER:

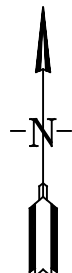
**18087
 MARKET PLACE II
 PHASE 3**

05/08/24

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.



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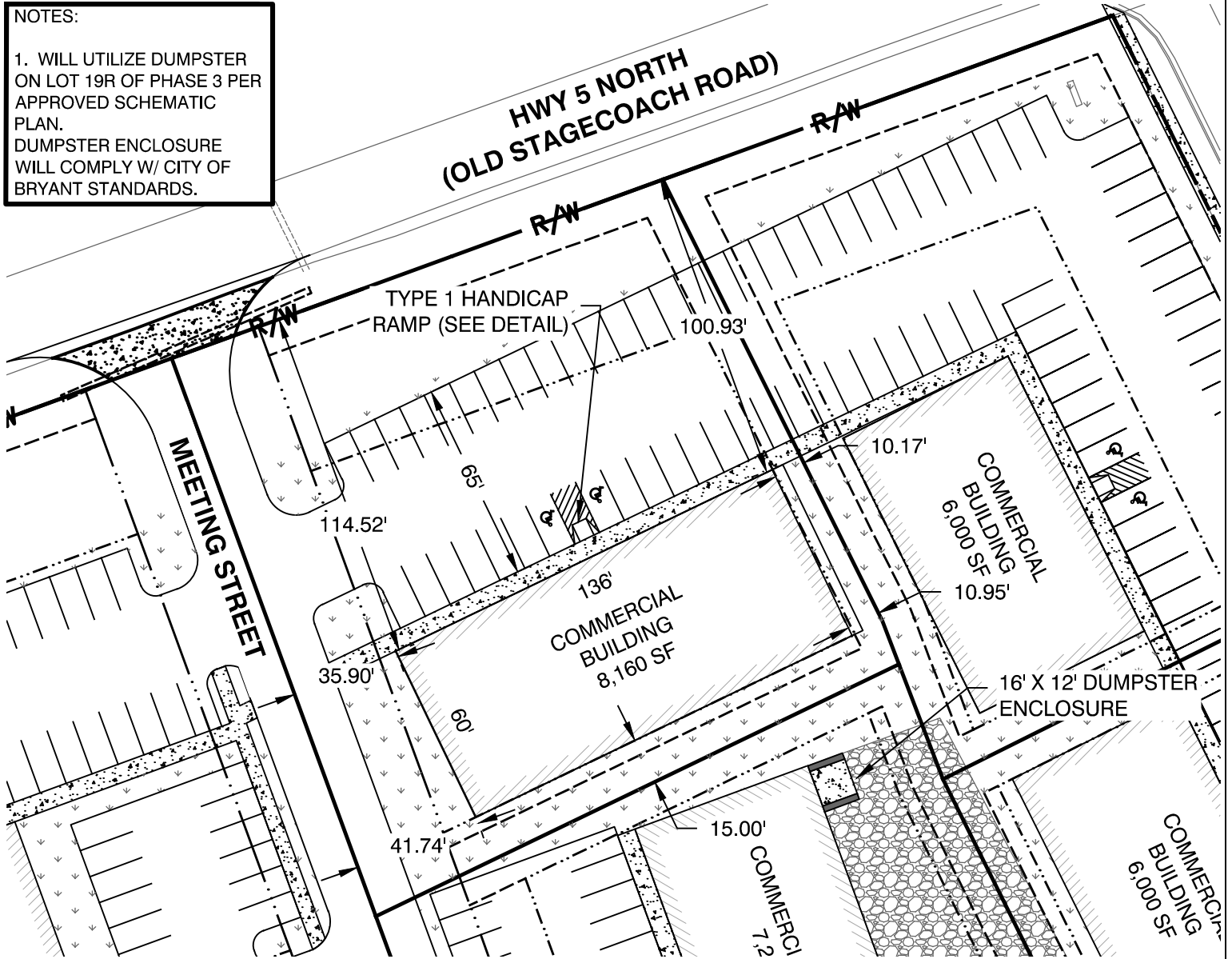
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19R OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



PROPERTY DESCRIPTION:

LOT 18R



JOB NUMBER:

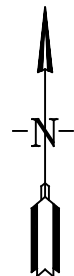
**18087
 MARKET PLACE II
 PHASE 3**

05/08/24

PLOT PLAN

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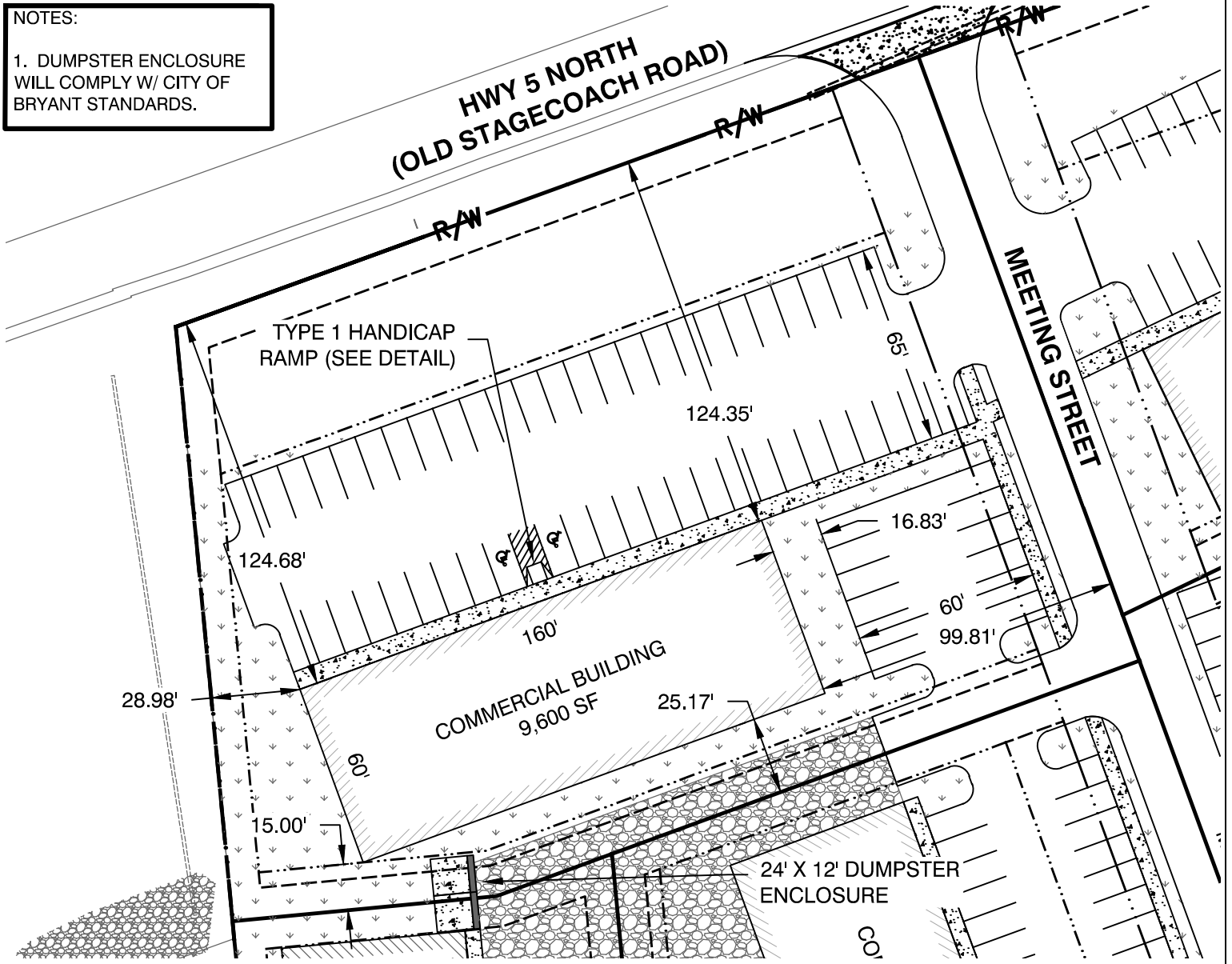
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

NOTES:

1. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



PROPERTY DESCRIPTION:

LOT 22R



JOB NUMBER:

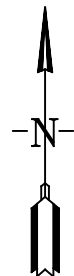
**18087
 MARKET PLACE II
 PHASE 3**

05/08/24

PLOT PLAN

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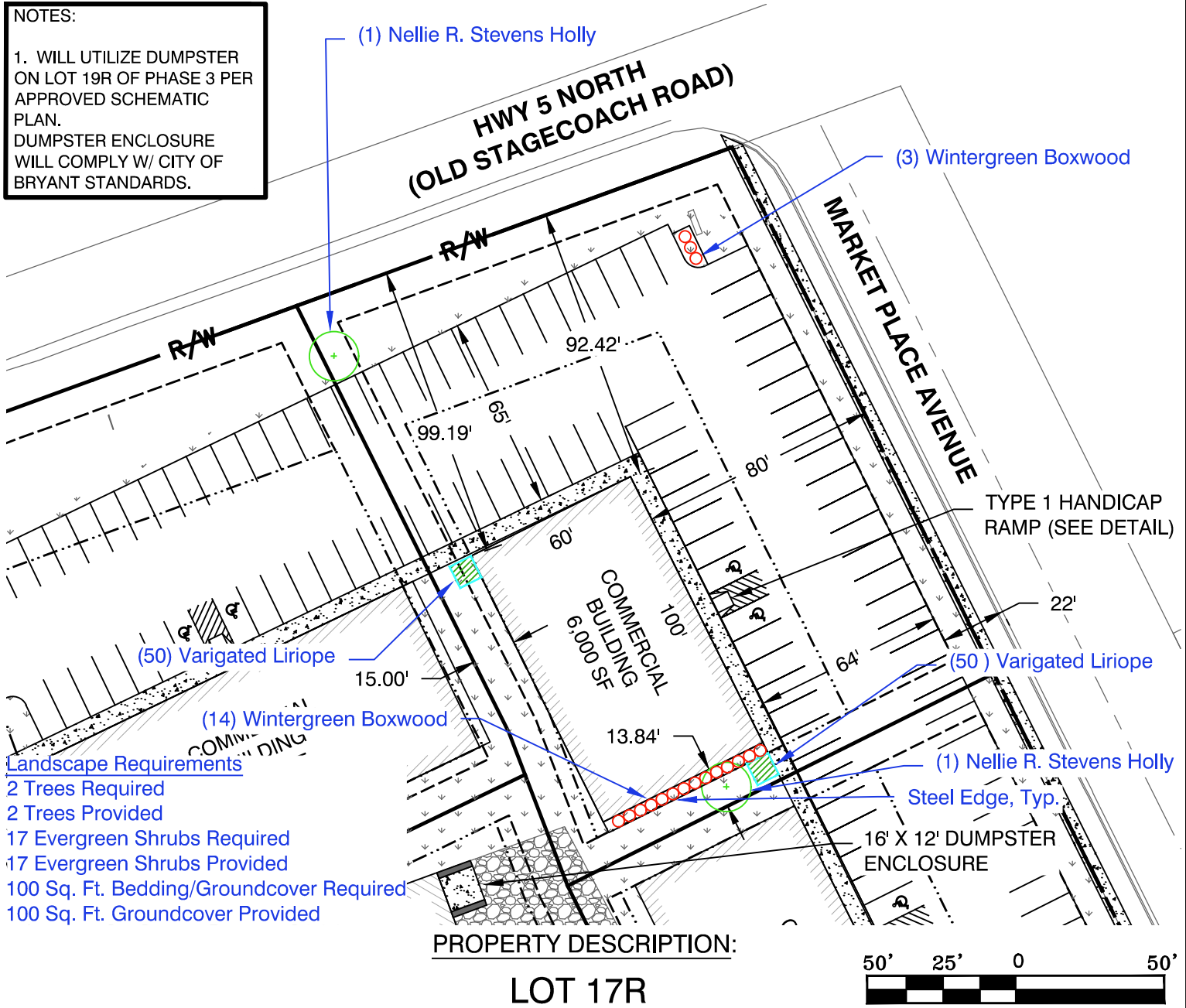
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19R OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



- Landscape Requirements
- 2 Trees Required
 - 2 Trees Provided
 - 17 Evergreen Shrubs Required
 - 17 Evergreen Shrubs Provided
 - 100 Sq. Ft. Bedding/Groundcover Required
 - 100 Sq. Ft. Groundcover Provided

JOB NUMBER:

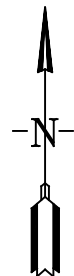
**18087
 MARKET PLACE II
 PHASE 3**

05/08/24

PLOT PLAN

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FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19R OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.

Landscape Requirements

- 2 Trees Required
- 2 Trees Provided
- 17 Evergreen Shrubs Required
- 17 Evergreen Shrubs Provided
- 100 Sq. Ft. Bedding/Groundcover Required
- 100 Sq. Ft. Groundcover Provided

(1) Nellie R. Stevens Holly

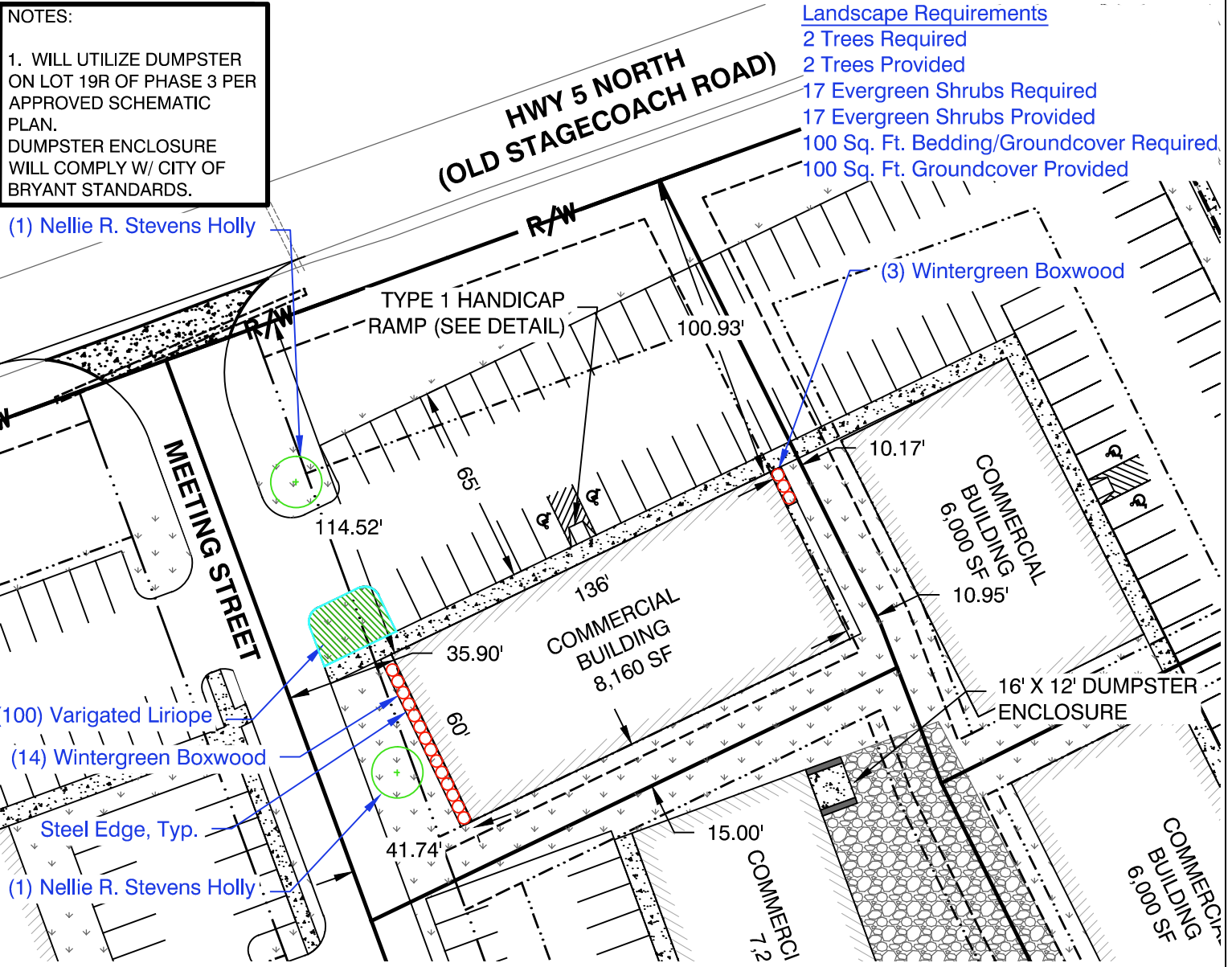
(3) Wintergreen Boxwood

(100) Varigated Liriope

(14) Wintergreen Boxwood

Steel Edge, Typ.

(1) Nellie R. Stevens Holly



PROPERTY DESCRIPTION:

LOT 18R



JOB NUMBER:

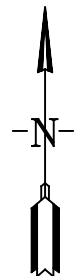
**18087
 MARKET PLACE II
 PHASE 3**

05/08/24

PLOT PLAN

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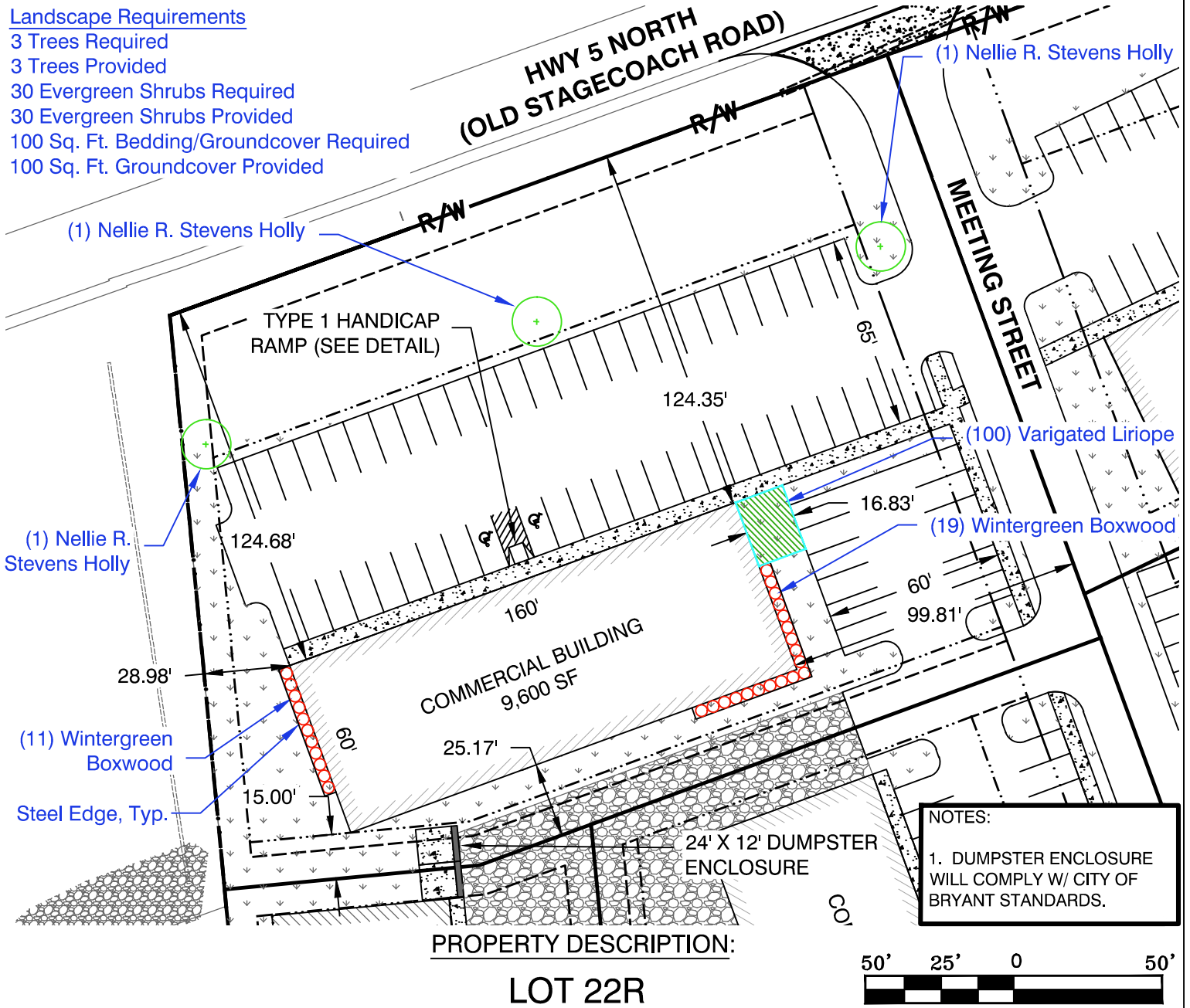
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

Landscape Requirements

- 3 Trees Required
- 3 Trees Provided
- 30 Evergreen Shrubs Required
- 30 Evergreen Shrubs Provided
- 100 Sq. Ft. Bedding/Groundcover Required
- 100 Sq. Ft. Groundcover Provided



JOB NUMBER:

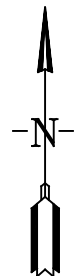
**18087
 MARKET PLACE II
 PHASE 3**

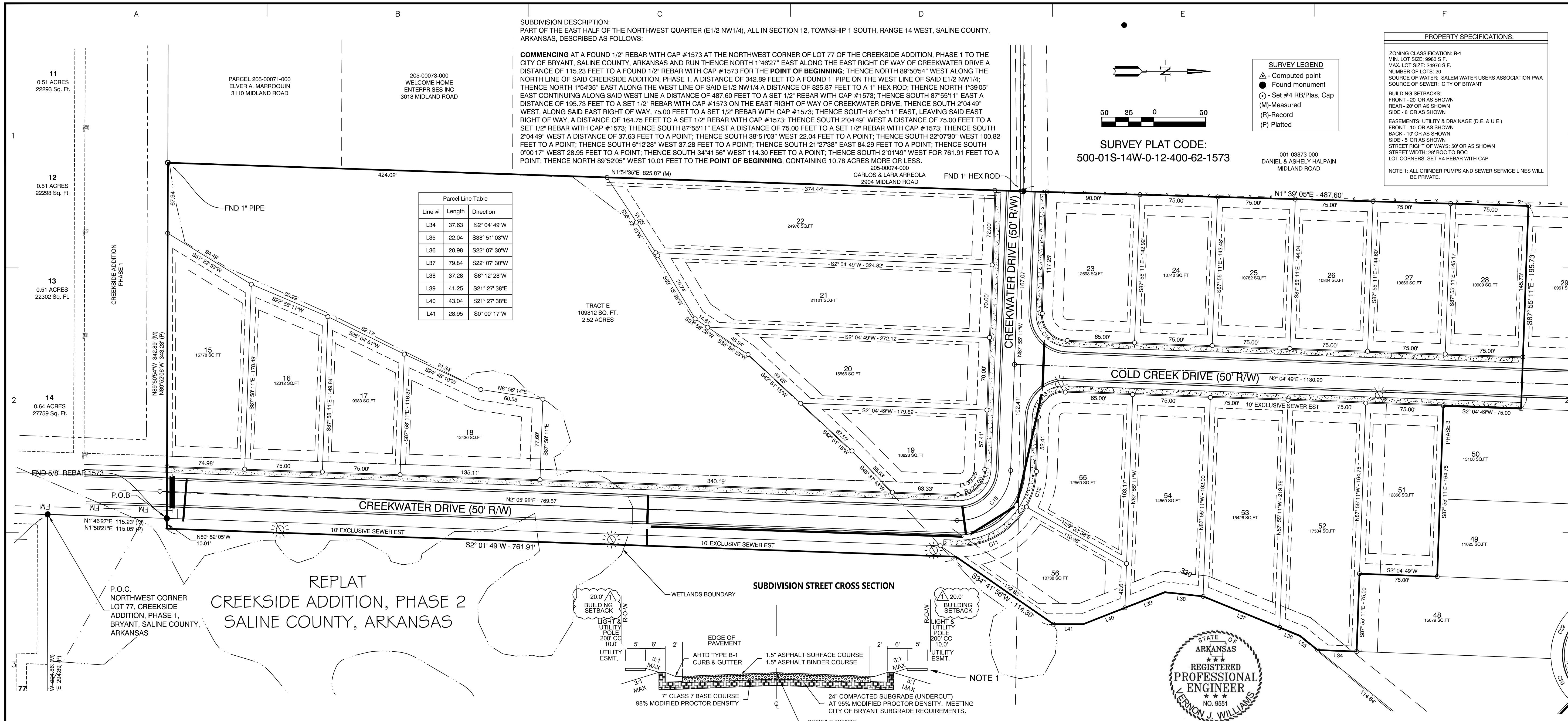
05/08/24

PLOT PLAN

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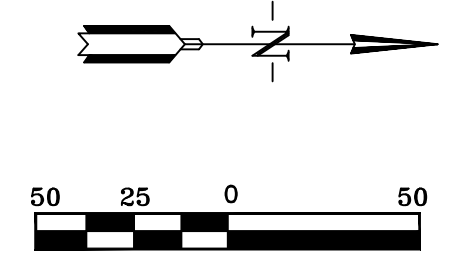
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SUBDIVISION DESCRIPTION:
PART OF THE EAST HALF OF THE NORTHWEST QUARTER (E1/2 NW1/4), ALL IN SECTION 12, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 1/2" REBAR WITH CAP #1573 AT THE NORTHWEST CORNER OF LOT 77 OF THE CREEKSIDE ADDITION, PHASE 1 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS AND RUN THENCE NORTH 1°46'27" EAST ALONG THE EAST RIGHT OF WAY OF CREEKWATER DRIVE A DISTANCE OF 115.23 FEET TO A FOUND 1/2" REBAR WITH CAP #1573 FOR THE POINT OF BEGINNING; THENCE NORTH 89°50'54" WEST ALONG THE NORTH LINE OF SAID CREEKSIDE ADDITION, PHASE 1, A DISTANCE OF 342.85 FEET TO A FOUND 1" PIPE ON THE WEST LINE OF SAID E1/2 NW1/4; THENCE NORTH 1°54'35" EAST ALONG THE WEST LINE OF SAID E1/2 NW1/4 A DISTANCE OF 825.87 FEET TO A 1" HEX ROD; THENCE NORTH 1°39'05" EAST CONTINUING ALONG SAID WEST LINE A DISTANCE OF 487.60 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST A DISTANCE OF 195.73 FEET TO A SET 1/2" REBAR WITH CAP #1573 ON THE EAST RIGHT OF WAY OF CREEKWATER DRIVE; THENCE SOUTH 2°04'49" WEST, ALONG SAID EAST RIGHT OF WAY, 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST, LEAVING SAID EAST RIGHT OF WAY, A DISTANCE OF 164.75 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 2°04'49" WEST A DISTANCE OF 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 87°55'11" EAST A DISTANCE OF 75.00 FEET TO A SET 1/2" REBAR WITH CAP #1573; THENCE SOUTH 2°04'49" WEST 22.04 FEET TO A POINT; THENCE SOUTH 22°07'30" WEST 100.82 FEET TO A POINT; THENCE SOUTH 67°12'28" WEST 37.28 FEET TO A POINT; THENCE SOUTH 21°27'38" EAST 84.29 FEET TO A POINT; THENCE SOUTH 0°01'17" WEST 28.95 FEET TO A POINT; THENCE SOUTH 34°41'56" WEST 114.30 FEET TO A POINT; THENCE SOUTH 2°01'49" WEST FOR 761.91 FEET TO A POINT; THENCE NORTH 89°52'05" WEST 10.01 FEET TO THE POINT OF BEGINNING, CONTAINING 10.78 ACRES MORE OR LESS.



SURVEY PLAT CODE:
500-01S-14W-0-12-400-62-1573

- SURVEY LEGEND**
- ▲ - Computed point
 - - Found monument
 - - Set #4 RB/Plas. Cap
 - (M) - Measured
 - (R) - Record
 - (P) - Platted

PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: R-1
MIN. LOT SIZE: 9883 S.F.
MAX. LOT SIZE: 24976 S.F.
NUMBER OF LOTS: 20
SOURCE OF WATER: SALEM WATER USERS ASSOCIATION PWA
SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN

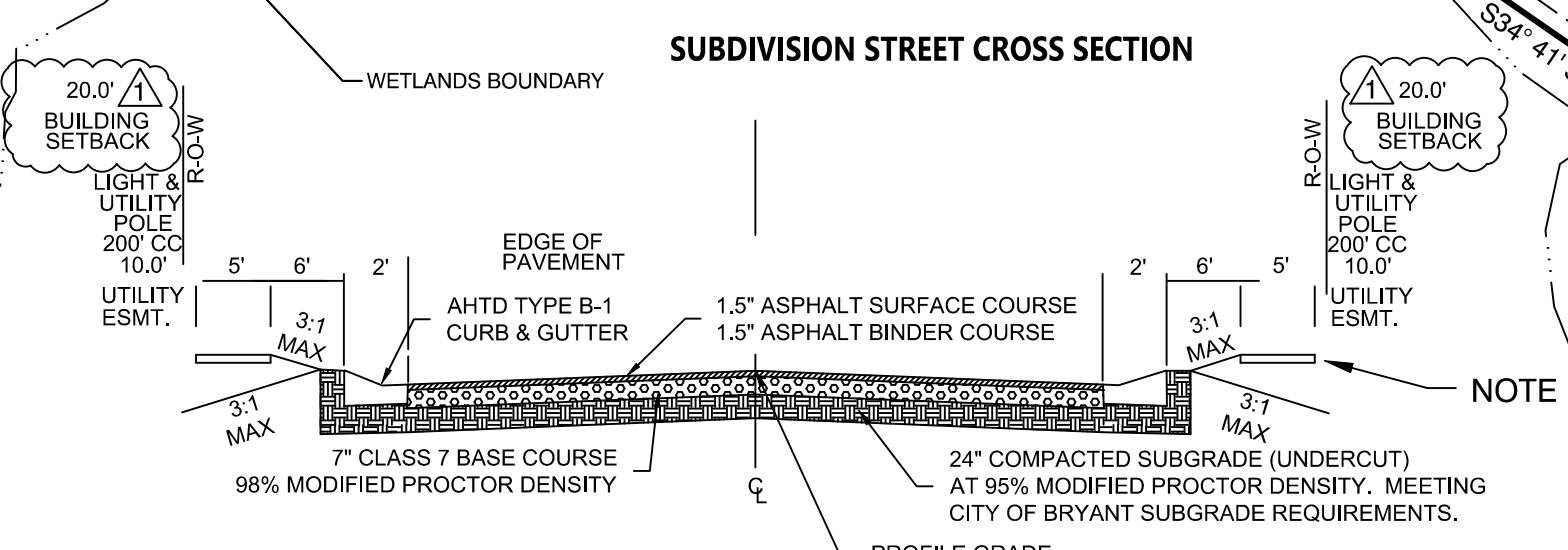
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
BACK - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN

STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 20' TO 50' TO BOC
LOT CORNERS: SET #4 REBAR WITH CAP

NOTE 1: ALL GRINDER PUMPS AND SEWER SERVICE LINES WILL BE PRIVATE.

Parcel Line Table

Line #	Length	Direction
L34	37.63	S2° 04' 49"W
L35	22.04	S38° 51' 03"W
L36	20.98	S22° 07' 30"W
L37	79.84	S22° 07' 30"W
L38	37.28	S6° 12' 28"W
L39	41.25	S21° 27' 38"E
L40	43.04	S21° 27' 38"E
L41	28.95	S0° 00' 17"W



PLAT CERTIFICATES:

OWNER:
Name: Diamond Development II
Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

DEVELOPER:
Name: Diamond Development II
Address: 1599 Lawson Oaks Drive, Little Rock, AR 72210

CERTIFICATE OF RECORDING:

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
Jim Hastings
1599 Lawson Oaks Drive, Little Rock, AR 72210

Date: _____ Signed: _____
Michael A. Lake
1599 Lawson Oaks Drive, Little Rock, AR 72210

Source of Title: SALINE COUNTY, ARKANSAS
Saline County Document# 2014-25641 & 2004-112595

CERTIFICATE OF ENGINEERING ACCURACY:
I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____
Vernon J. Williams
Registered Professional Engineer
No. 9551, Arkansas

CERTIFICATE OF FINAL PLAT APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date: _____ Signed: _____
Lance Penfield, Chairman
Bryant Planning Commission

Curve Table

Curve #	Length	Radius	Chord Direction	Chord Length
C15	78.50	50.00	N42° 56' 41"W	70.68
C11	81.79	75.00	N29° 12' 46"W	77.80
C12	35.95	75.00	N74° 11' 16"W	35.61
C13	39.27	25.00	N42° 55' 11"W	35.36
C14	39.27	25.00	S47° 04' 49"W	35.36
C16	12.25	25.00	S11° 57' 22"E	12.13
C17	48.18	60.00	S2° 59' 15"E	46.90
C18	48.61	60.00	S43° 13' 31"W	47.29
C19	61.35	60.00	N84° 16' 23"W	58.71
C20	123.28	60.00	N3° 52' 51"E	102.71
C21	23.55	25.00	S60° 56' 08"E	22.69
C22	62.02	60.00	S63° 33' 50"E	347.10
C23	45.59	60.00	N65° 03' 27"E	344.88
C24	47.08	60.00	N20° 48' 40"E	45.88
C25	46.87	60.00	N24° 02' 55"W	45.69
C26	48.89	60.00	N69° 48' 22"W	47.55
C27	51.07	60.00	S62° 29' 51"W	49.54
C28	23.55	25.00	S65° 05' 46"W	22.69

NOTES:

- NO SIDEWALK ON EAST SIDE OF ROAD PRIOR TO LOT 56 PER VARIANCE APPROVAL BY THE CITY OF BRYANT.

- DOCUMENTS USED:**
- SURVEY PLAT OF RECORD RASBERRY SURVEYING 10/23/2014
 - DEED OF RECORD 2014 PAGE 25641 WILLIAMS TO DIAMOND DEVELOPMENT II
 - DEED OF RECORD 2004 PAGE 112595 THOMAS TO DIAMOND DEVELOPMENT II
 - SURVEY PLAT OF RECORD MIDLAND FARM SUBDIVISION BY HENRY N. CONWAY 8/13/1951

BASIS OF BEARINGS:

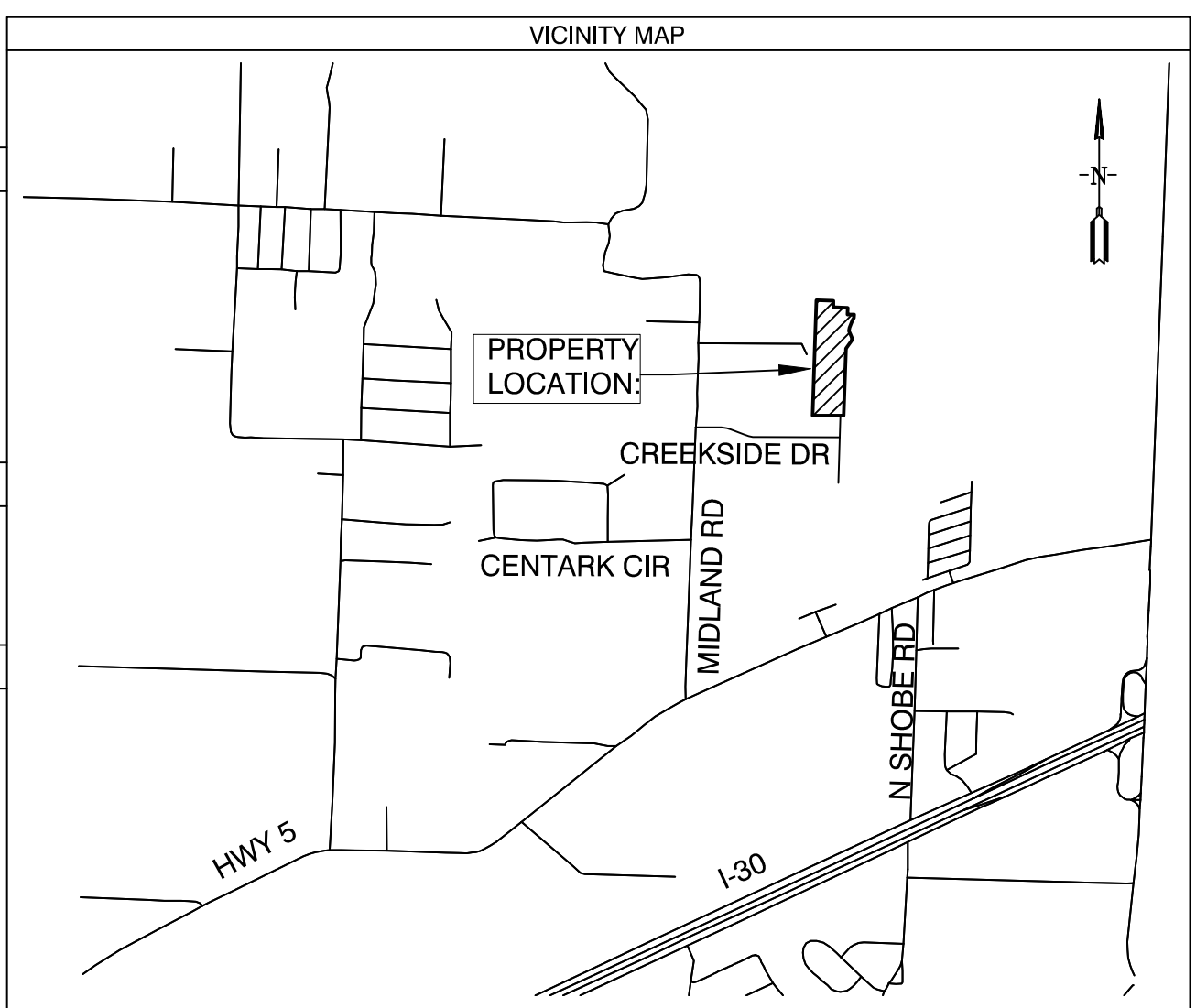
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO. 1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON OCTOBER 12, 2022.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOW ON THIS PLAT IS LOCATED IN ZONE "X" AND ZONE "AE" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 5, 2020.



BY: GPW

REVISION: 1

DATE: 05-17-24

REVISED PER CITY OF BRYANT:

GNE Designing our client's success

GarNat Engineering, LLC
P.O. Box 116 (72018) Ph (501) 408-4650
3825 Mt. Carmel Road Fx (888) 900-3068
Bryant, AR 72022 gnatengineering@gmail.com

CREEKSIDE ADDITION, PHASE 2

PART OF THE EAST HALF OF THE NORTHWEST QUARTER SECTION 12, T-1-S, R-14-W, SALINE COUNTY, ARKANSAS

REGISTERED PROFESSIONAL SURVEYOR
STATE OF ARKANSAS
NO. 1673
SIGNATURE
GEORGE P. WOODEN

CONTENTS:

REPLAT CREEKSIDE ADDITION PHASE 2

PROJECT NO: 18054

DATE: MAY 17, 2024

SHEET NO: 1



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

*Staff Approved 6 Facade
 Signs. Pole Sign to be
 Approved by DRC on 5/30/24.
 Col 5/23/24*

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 5/15/2024

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name Alicia Walton - Springfield Sign
 Address 4825 E. Kearney St
 City, State, Zip Springfield MO 65803
 Phone 417-862-2454
 Email Address aliciaw@springfieldsign.com

Property Owner

Name Michael Lannon
 Address 529 N Prince Lane
 City, State, Zip Springfield MO 65803
 Phone 417-860-4714
 Email Address michael.lannon@cmcmmod.com

GENERAL INFORMATION

Name of Business Seven Brew
 Address/Location of sign 2202 Reynolds Dr Bryant AR
 Zoning Classification C-2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Alicia Walton, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

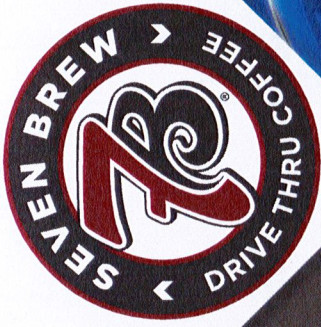
Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Front Wall	6' x 6'	28.27 36	16' 10.2"	10' 10.2"	
B	Drive Thru wall	3' 2 1/8 x 10'	31.76	20' 3.8"	12' 4.5"	
B ^Q	Main wall	3' 2 1/8 x 10'	31.76	20' 3.8"	12' 4.5"	
D ^E	Front panel	1' 7 3/8 x 4'9"	7.66	2' 5.375"	10'	
C ^F	Side panel x 2	1' 7 3/8 x 4'9"	7.66	9' 11.3	8'4.5"	
E ^G	Pole sign	9' 4" x 9' 6"	63.62 88.63	25'	16	

Round logo
"Seven Brew"
"Seven Brew"
Front "Drive"
THRU
Side "Drive Thru"

According to sign Code, All Signage is Measured as a Rectangle.

211.13 Total SF on site



SEVEN BREW
2202 REYNOLDS DR
BRYANT, AR
SIGN PACKAGE
0052134
#21399



springfieldsign.com



LinkedIn



Facebook

PRESENTED BY
SHAUNCRAWFORD
o: 417.862.2454
c: 417.705.2122
e: ShaunC@springfieldsign.com

a: 4825 E. Kearney St.
Springfield, MO 65803



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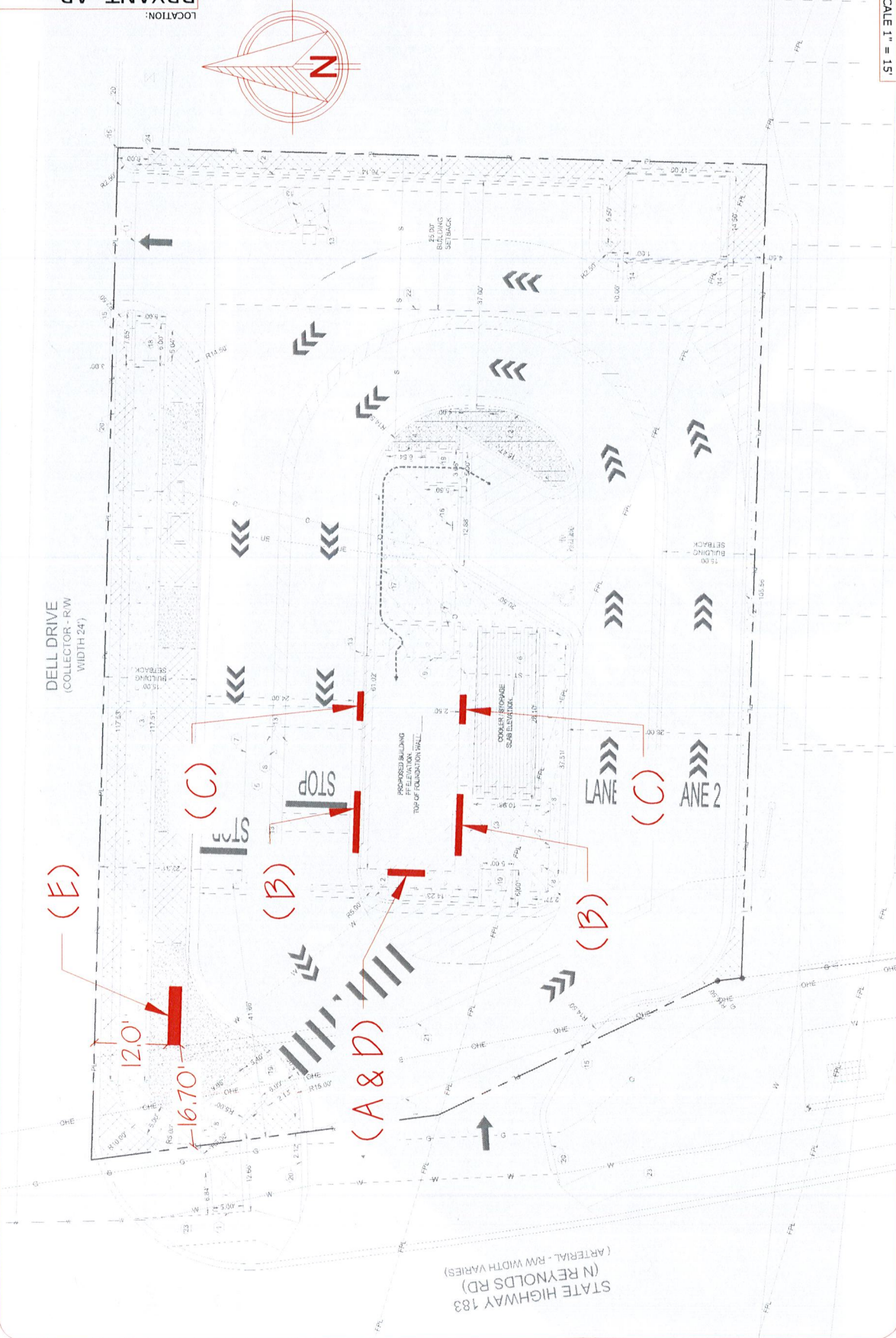
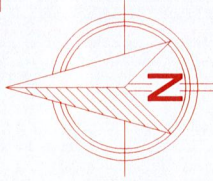
SCALE 1" = 15'

Project Number: 52134
Drawn By: CHM
Reviewed By: MW
Date: 5-1-24

7 BREW
NEW-SIGNAGE
2202 REYNOLDS RD.
BRYANT, AR, 72022
SIGN PLACEMENT PLAN
1 OF 1

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

LOCATION:
BRYANT, AR.





ELEVATION DETAILS (FULL NICHHA)

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr. Bryant, AR

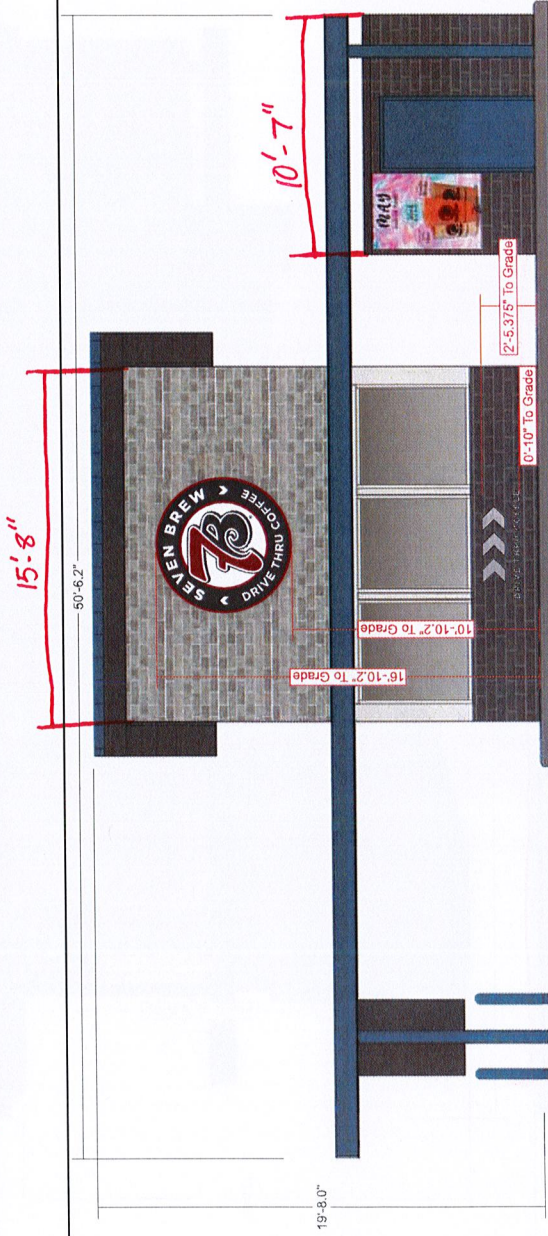
21399

DRAWING #: a052134-2

REV DATE: N/A | REV 0

EXTERIOR

SCALE: 3/16" = 1'

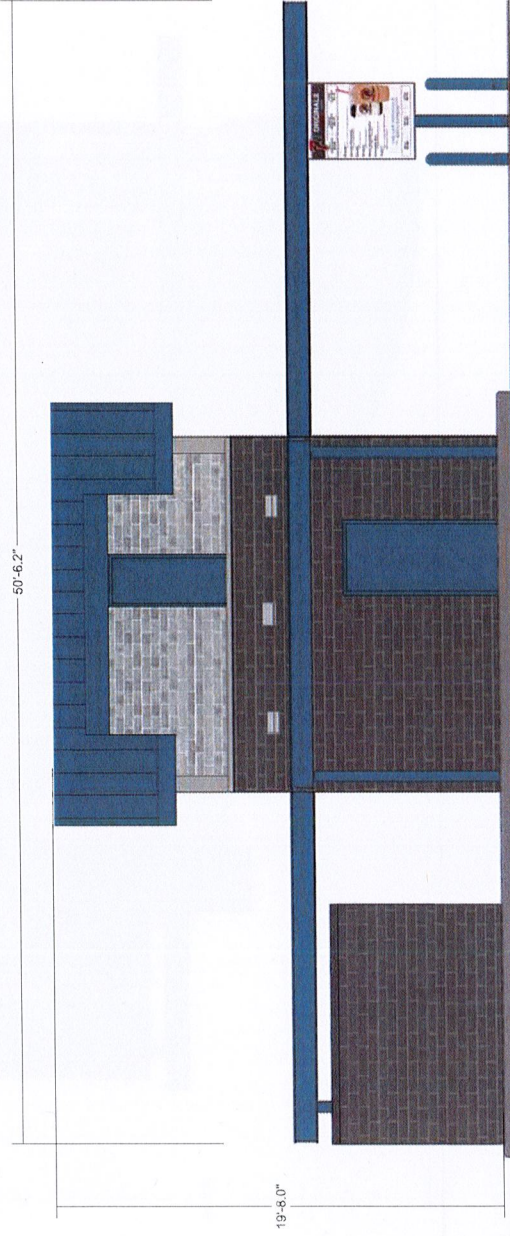


Elevation Sq. Ft. 993.49

26.24 Ft Total width Building facade

FRONT ELEVATION

SCALE: 3/16" = 1'



Elevation Sq. Ft. 993.49

REAR ELEVATION

AUTHORIZED SIGNATURE

DATE

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ELEVATION DETAILS (FULL NICHHA)

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr. Bryant, AR

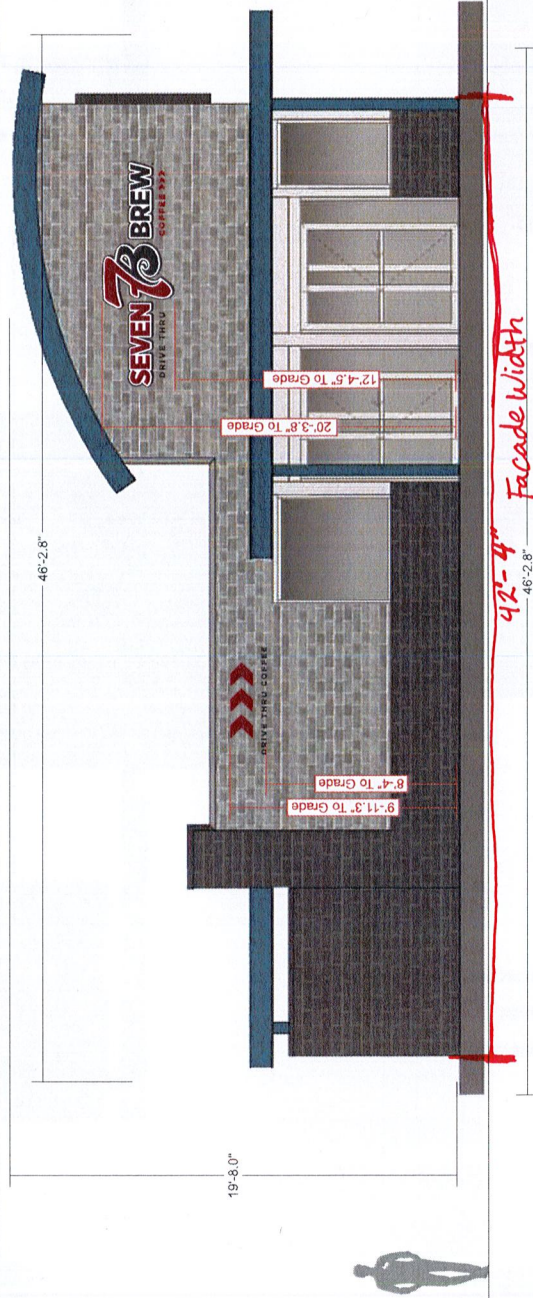
DRAWING #: ao52134-3
REV. DATE: N/A | REV. 0

EXTERIOR

SCALE: 3/16" = 1'



Elevation Sq. Ft. 909.25

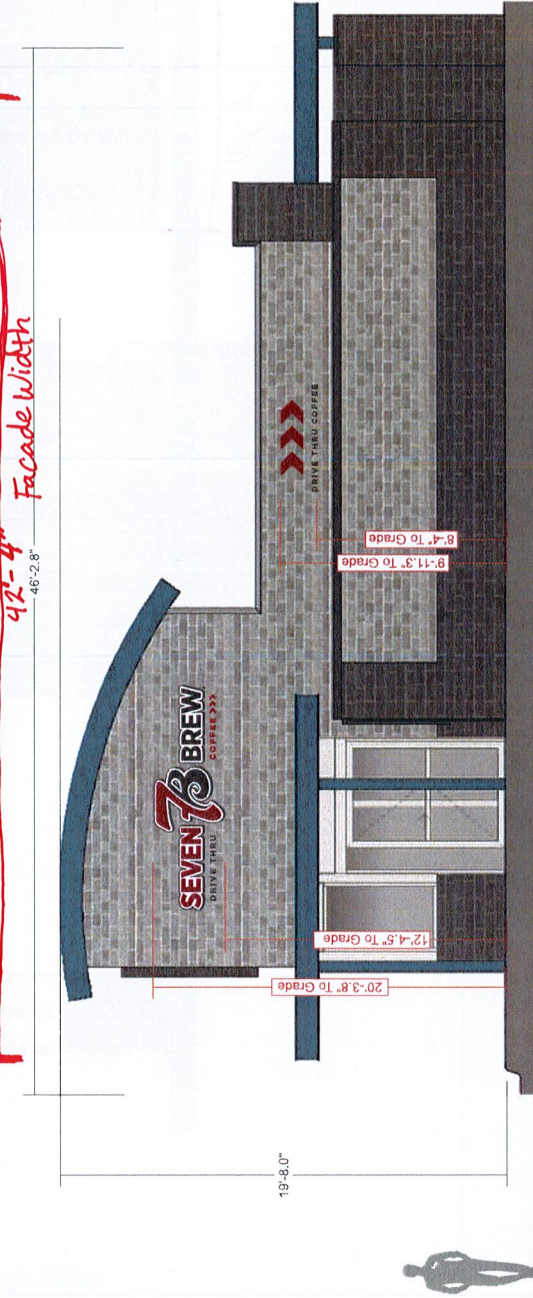


DRIVE THRU ELEVATION

SCALE: 3/16" = 1'



Elevation Sq. Ft. 909.25



MAIN ELEVATION

AUTHORIZED SIGNATURE

DATE

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CABINET SIGN

DRAWING #: **ao52134-4**
REV DATE: 12/18/23 | REV_1

21399

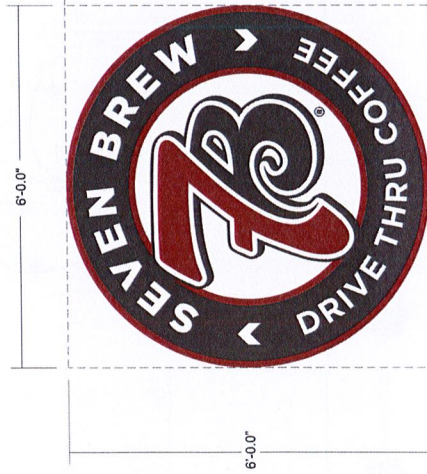
CLIENT: **7Brew**
LOCATION: 2202 Reynolds Dr Bryant, AR

SALES: Shaun Crawford | 800.845.9927
ARTIST: Joshua Kroeger | CREATED: 4/29/24

WALL SIGN

EXTERIOR

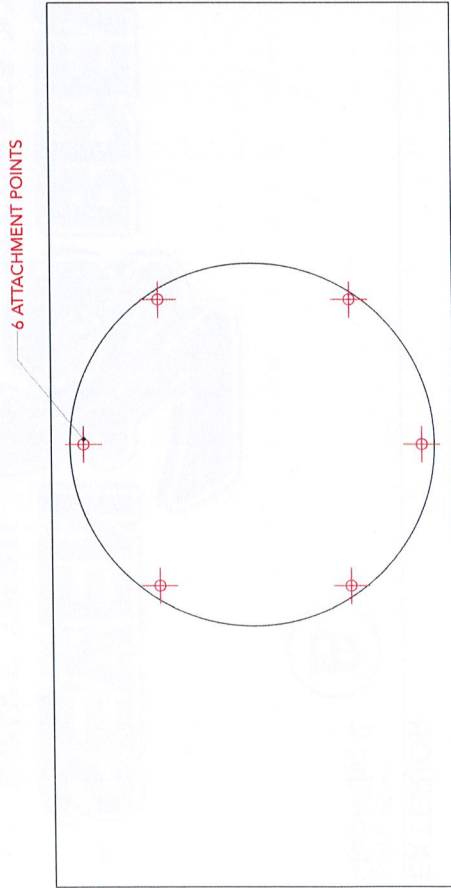
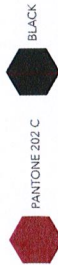
SCALE: 1/2"=1'
Quantity: 1



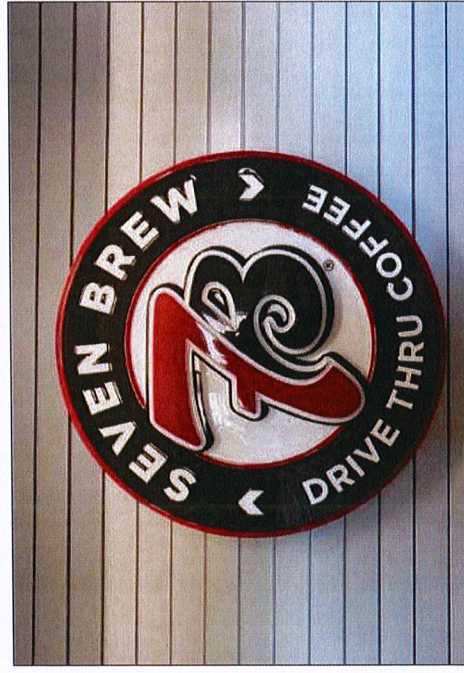
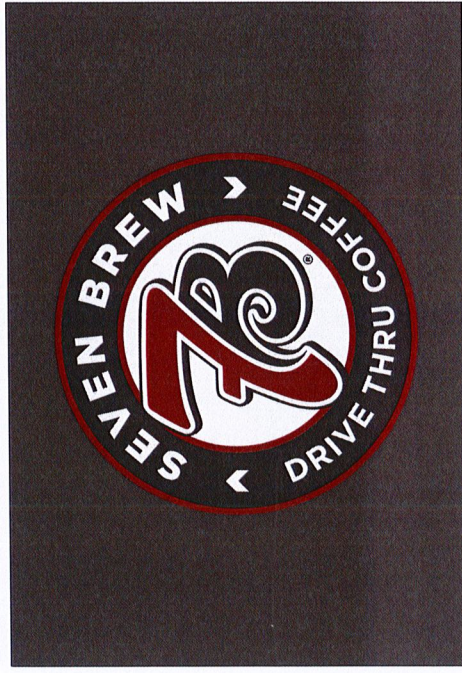
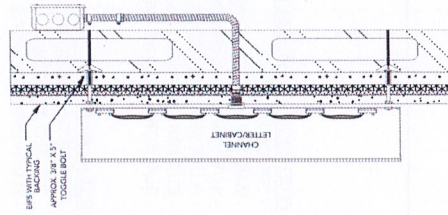
- FLUSH MOUNT CABINET
- WHITE EMBOSSED ACRYLIC PAN FACE
 - INTERNAL LED ILLUMINATION
 - FLUSH MOUNTED TO FASCIA
 - CUT VINYL APPLIED FIRST SURFACE
 - BLACK TRIM AND RETURNS

Total Sq. Ft. 28.27

36 SF → Measured as a square/rectangle



DIRECT



AUTHORIZED SIGNATURE:

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CHANNEL LETTER SIGN

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr Bryant, AR

DRAWING #: ao52134-5
REV. DATE: N/A | REV. 0

EXTERIOR

SCALE: 3/4"=1'

Quantity: 2

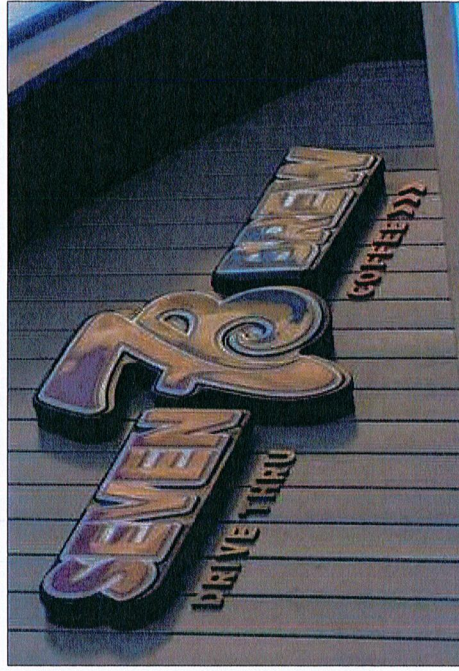
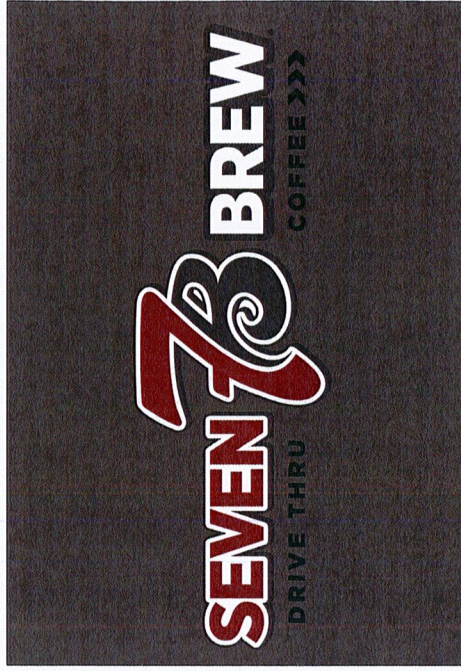
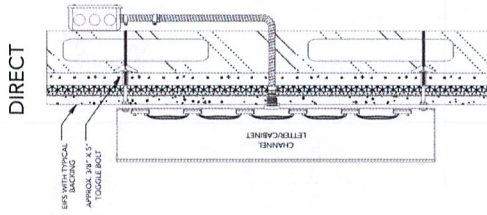
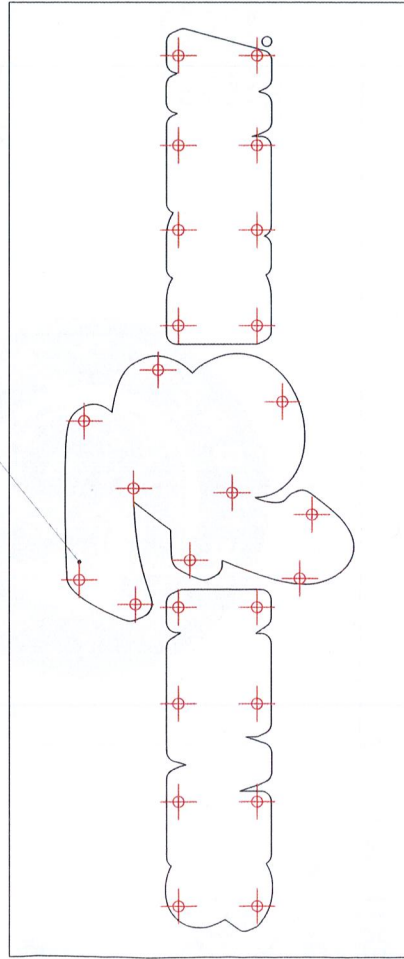


- FLUSH MOUNT CHANNEL LETTERS**
- "SEVEN 7B BREW"
 - WHITE EMBOSSED ACRYLIC PAN FACE
 - INTERNAL LED ILLUMINATION
 - FLUSH MOUNTED TO FASCIA
 - CUT VINYL APPLIED FIRST SURFACE
 - BLACK TRIM AND RETURNS
- FLUSH MOUNT FCO**
- "DRIVE THRU" AND "COFFEE >>>"
 - PAINTED AS SHOWN
 - FLUSH MOUNTED FCOs

Total Sq. Ft. 31.76



26 ATTACHMENT POINTS



AUTHORIZED SIGNATURE

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PANEL SIGN

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr Bryant, AR

21399

DRAWING #: ao52134-6
REV DATE: N/A | REV_0

PAGE 07

WALL SIGN

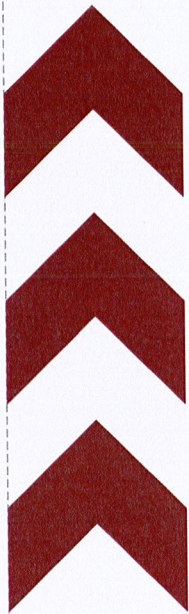
EXTERIOR

SCALE: 1-1/2" = 1'

Quantity: 2

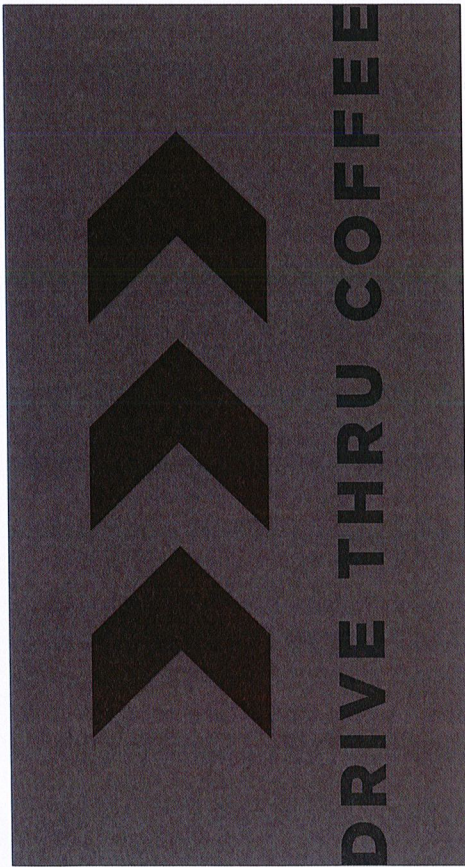


4'-9"



1'-7 3/8"

DRIVE THRU COFFEE



- FLUSH MOUNT FCO's
- 1/2" ACRYLIC FCO's
 - PAINTED AS SHOWN
 - FLUSH MOUNTED
 - INSTALL LOCATION ON PREV. DRAWINGS

Total Sq. Ft. 7.66

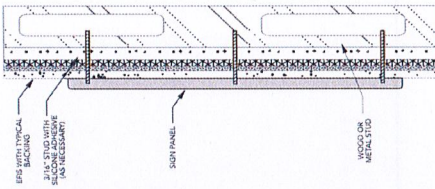


PANTONE 202 C

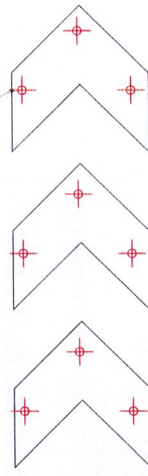


AZKO NOBEL BRUSHED ALUMINUM

FCO FLUSH MOUNT ON EPS



50 ATTACHMENT POINTS



DRIVE THRU COFFEE

AUTHORIZED SIGNATURE:

DATE:

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PANEL SIGN

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr Bryant, AR

21399

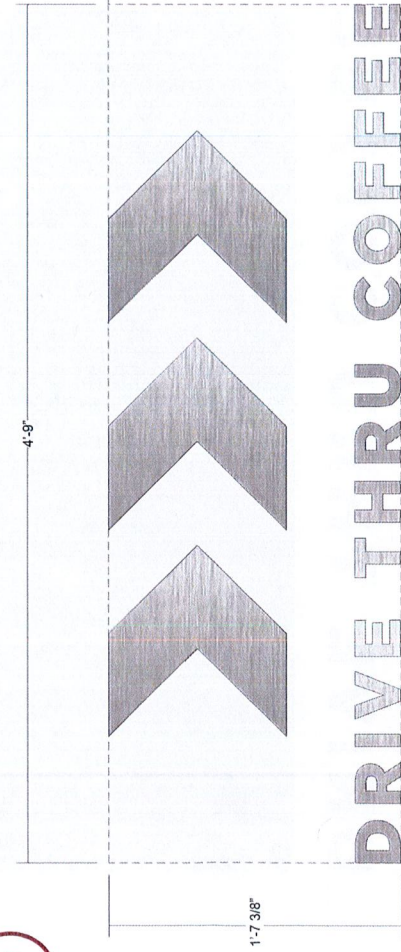
DRAWING #: ao52134-7

N/A | REV_0

PAGE 08

EXTERIOR

SCALE: 1-1/2" = 1'
Quantity: 1

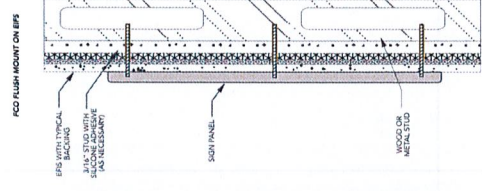
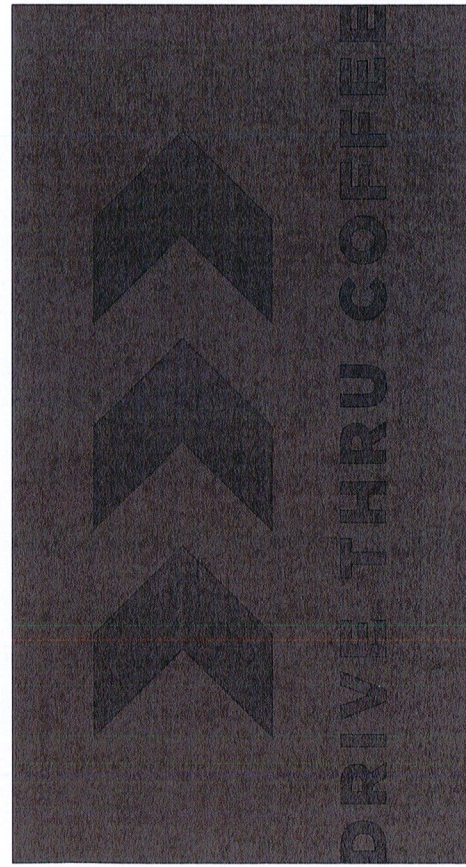


- FLUSH MOUNT FCOs
- 1/4" BRUSHED ACM FCO
 - FACE AS SHOWN
 - FLUSH MOUNTED
 - INSTALL LOCATION ON PREV. DRAWINGS

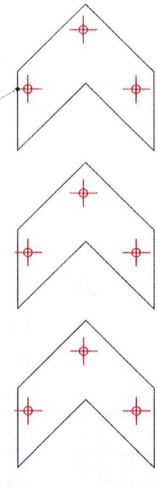
Total Sq. Ft. 7.66



BRUSHED ALUMINUM



50 ATTACHMENT POINTS



DRIVE THRU COFFEE

AUTHORIZED SIGNATURE

DATE

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PYLON SIGN

SALES: Shaun Crawford
ARTIST: Joshua Kroeger

PHONE: 800.845.9927
CREATED: 4/29/24

CLIENT: 7Brew
LOCATION: 2202 Reynolds Dr Bryant, AR

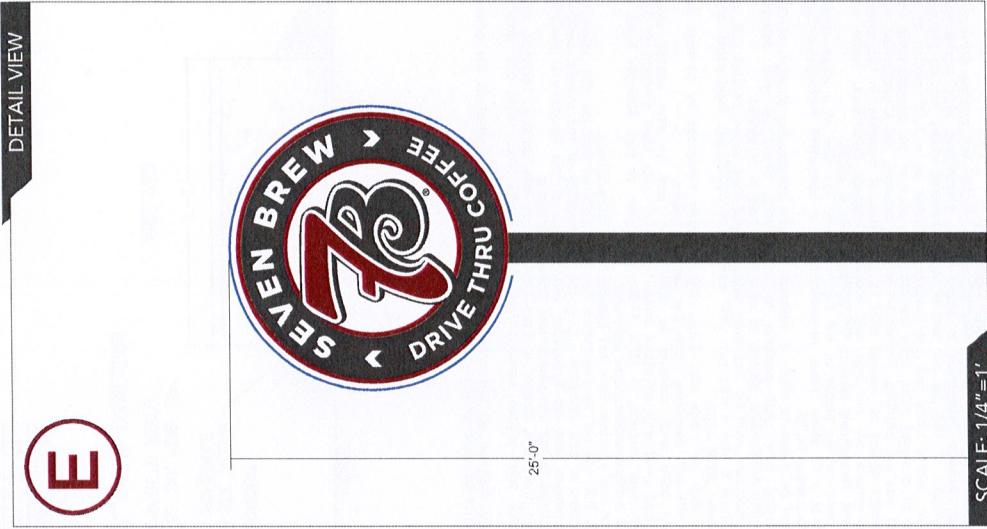
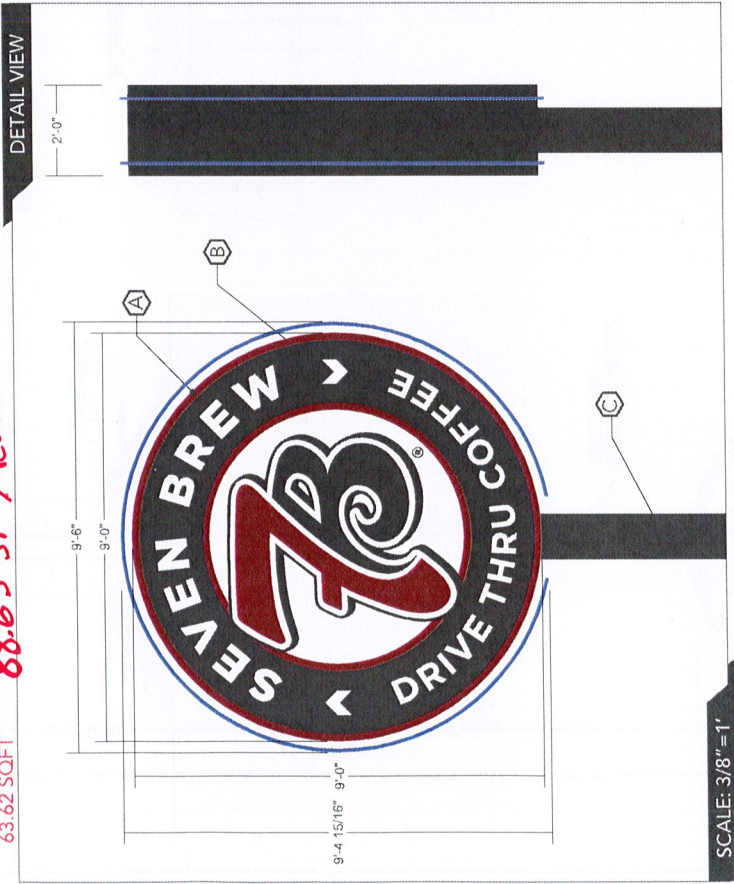
DRAWING #: # 21399

DRAWING #: a052134-8
REV DATE: N/A | REV: 0

EXTERIOR

63.62 SQFT

88.63 SF Measured as a Rectangle



PYLON

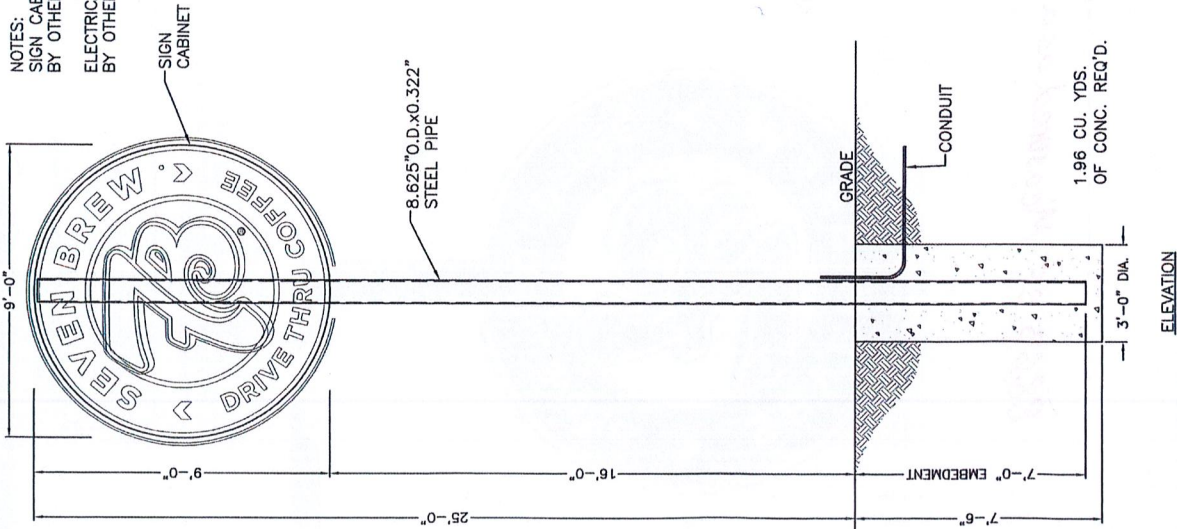
AUTHORIZED SIGNATURE:

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DATE:

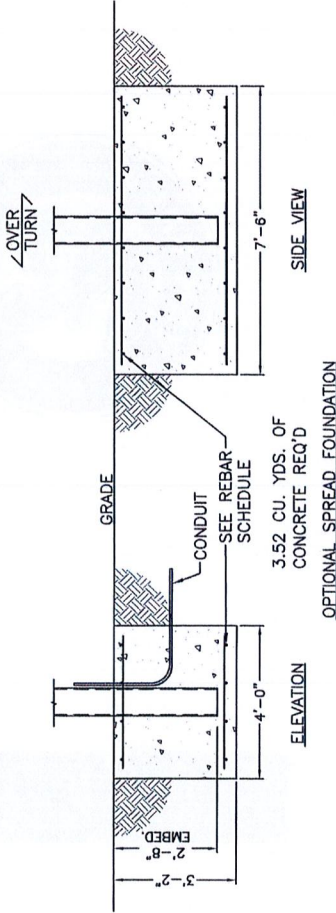
INSTALLATION ADDRESS:

NOTES:
SIGN CABINET DESIGN
BY OTHERS.
ELECTRICAL DESIGN
BY OTHERS.



General Notes:

- Design is based on 105 mph, 3 second gust wind design per IBC 2021 Amended, Category II, Exposure C, Seismic Design Category D.
- Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf. Foundation is based on a presumptive safe lateral soil bearing pressure minimum of 150 psf per foot of depth, isolated lateral bearing footings subject to short-term lateral loads and not adversely affected by a 1/2" motion at grade are to be designed using twice the tabulated value of soil bearing capacity. Allowable soil bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact SPRINGFIELD SIGN & NEON.
- Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
- Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
- Steel reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
- All support members shall be free from defects. Steel Pipe up to 24 inch O.D. shall meet ASTM A53 Grade B with a minimum yield strength of 35000 psi. Steel angle, channel and plate shall meet ASTM A36.
- Steel welds shall be made with E70xx low hydrogen electrodes by persons qualified in accordance with AWS standards within the past two years.
- Structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural steel, they may use nuts and washers that conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
- The scope of this engineer does not include onsite observations.
- Imad Kashif, P.E. will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the owners, contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
- Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from Imad Kashif, P.E. voids this drawing in its entirety.
- The structure designed on this drawing is intended to be installed at the address shown and should not be used at any other location.



REBAR SCHEDULE	DO NOT WELD REBAR	SPACING	QUANTITY
LONG BOTTOM STEEL	#5	12"	4
LONG TOP STEEL	#4	12"	4
BOTTOM CROSS STEEL	#4	11"	8
TOP CROSS STEEL	#4	11"	8

1.96 CU. YDS.
OF CONC. REQ'D.

7 BREW COFFEE
2202 N. REYNOLDS RD.
BRYANT, AR 72022

CLIENT:

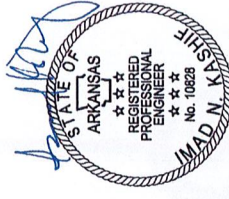


4625 E KEARNEY ST
SPRINGFIELD, MO 65803
417.862.2464
FAX: 417.862.1887

DATE	DESCRIPTION
-/-/-	
-/-/-	
-/-/-	

All drawings and items indicated on this drawing are intended solely for the use of the client and are not to be used for any other purpose without the written consent of IMAD KASHIF, P.E. Violation of any provision of this agreement shall constitute a breach of contract and shall be subject to the jurisdiction of the arbitrator named herein.

SEAL & SIGNATURE:



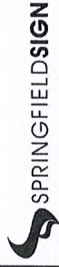
IMAD KASHIF, P.E.
135 South Third Lane • Southville, Tennessee 37222
Phone: (615) 331-1011

Project Number:	Drawing Number:
24-0250	B1861322
SHT. OF	DATE:
1	5/2/24
BY:	JSK

INSTALLATION ADDRESS:

7 BREW COFFEE
2202 N. REYNOLDS RD.
BRYANT, AR 72022

CLIENT:

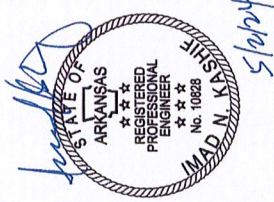


4825 E KEARNEY ST
SPRINGFIELD, MO 65803
FAC-417.862.1887

DATE	DESCRIPTION
-/-/-	
-/-/-	
-/-/-	
-/-/-	

At design and prior to construction, the drawings are hereby approved for the intended project on the basis that the contractor shall be responsible for the proper installation of the materials and methods of construction shown on the drawings. The contractor shall be responsible for the proper installation of the materials and methods of construction shown on the drawings. The contractor shall be responsible for the proper installation of the materials and methods of construction shown on the drawings.

SEAL & SIGNATURE:



IMAD KASHIF, P.E.
138 South Grand Lane • Dumas, Tennessee 37922
Phone: (603) 331-4031

Project Number:	24-0250	Drawing Number:	B1861322
SHT. OF	2	DATE:	5/2/24
BY:	JKS		

ITEM	QTY	UNIT	DESCRIPTION
BOTTOM STEEL AREA	0.215	sq ft	RECORD PER FT OF WIDTH
TOP STEEL AREA	0.087	sq ft	RECORD PER FT OF WIDTH
LONG BOTTOM STEEL	5.000	ft	REBAR SIZE
	1.043	ft	WEIGHT PER FT
	12.000	ft	SPACING
	0.310	sq ft	AREA PER BAR
BOTTOM STEEL AREA	0.215	sq ft	RECORD PER FT OF WIDTH
	0.310	ft	REBAR SIZE
	4.000	ft	EST NO. RECD
	4.000	ft	NUMBER RECD
	7.000	ft	LENGTH
	29.204	ft	WEIGHT
	6.000	ft	EDGE
	4.000	ft	REBAR SIZE
	0.666	ft	WEIGHT PER FT
	12.000	ft	SPACING
	0.200	sq ft	AREA PER BAR
TOP STEEL AREA	0.087	sq ft	RECORD PER FT OF WIDTH
	0.200	ft	REBAR SIZE
	4.000	ft	EST NO. RECD
	4.000	ft	NUMBER RECD
	7.000	ft	LENGTH
	18.704	ft	WEIGHT
	6.000	ft	EDGE
	4.000	ft	REBAR SIZE
	0.666	ft	WEIGHT PER FT
	11.000	ft	SPACING
	3.500	ft	LENGTH
	8.182	ft	EST NO. RECD
	8.000	ft	NUMBER RECD
	6.500	ft	EDGE
	37.408	ft	WEIGHT
	85.316	ft	TOTAL WEIGHT
FOUNDATION WIDTH	4.000	ft	
FOUNDATION LENGTH	7.500	ft	
CAISSON	28.255	kip	
MOMENT	1.480	kip	
FORCE	150.0	psf/ft	
ASSUME SOIL CLASS #4 SW, SF, SM, SC, GM & GC	750.0	ft	
REFERENCE BC 1807.3.2 & TABLE 1806.2	3.000	ft	
LATERAL BEARING PRESSURE - PSF/FT OF DEPTH	19.096	ft	
S1	1.539	ft	
DEPTH	6.461	ft	
DAIMETER	33.469	in	
CALCULATED DEPTH	38.000	in	
MINIMUM THICKNESS WITHOUT REINFORCEMENT	1.963	cu yd	
ACTUAL DIAMETER			
CONCRETE			

ITEM	QTY	UNIT	DESCRIPTION
BOTTOM STEEL AREA	0.215	sq ft	RECORD PER FT OF WIDTH
TOP STEEL AREA	0.087	sq ft	RECORD PER FT OF WIDTH
LONG BOTTOM STEEL	5.000	ft	REBAR SIZE
	1.043	ft	WEIGHT PER FT
	12.000	ft	SPACING
	0.310	sq ft	AREA PER BAR
BOTTOM STEEL AREA	0.215	sq ft	RECORD PER FT OF WIDTH
	0.310	ft	REBAR SIZE
	4.000	ft	EST NO. RECD
	4.000	ft	NUMBER RECD
	7.000	ft	LENGTH
	29.204	ft	WEIGHT
	6.000	ft	EDGE
	4.000	ft	REBAR SIZE
	0.666	ft	WEIGHT PER FT
	12.000	ft	SPACING
	0.200	sq ft	AREA PER BAR
TOP STEEL AREA	0.087	sq ft	RECORD PER FT OF WIDTH
	0.200	ft	REBAR SIZE
	4.000	ft	EST NO. RECD
	4.000	ft	NUMBER RECD
	7.000	ft	LENGTH
	18.704	ft	WEIGHT
	6.000	ft	EDGE
	4.000	ft	REBAR SIZE
	0.666	ft	WEIGHT PER FT
	11.000	ft	SPACING
	3.500	ft	LENGTH
	8.182	ft	EST NO. RECD
	8.000	ft	NUMBER RECD
	6.500	ft	EDGE
	37.408	ft	WEIGHT
	85.316	ft	TOTAL WEIGHT
FOUNDATION WIDTH	4.000	ft	
FOUNDATION LENGTH	7.500	ft	
CAISSON	28.255	kip	
MOMENT	1.480	kip	
FORCE	150.0	psf/ft	
ASSUME SOIL CLASS #4 SW, SF, SM, SC, GM & GC	750.0	ft	
REFERENCE BC 1807.3.2 & TABLE 1806.2	3.000	ft	
LATERAL BEARING PRESSURE - PSF/FT OF DEPTH	19.096	ft	
S1	1.539	ft	
DEPTH	6.461	ft	
DAIMETER	33.469	in	
CALCULATED DEPTH	38.000	in	
MINIMUM THICKNESS WITHOUT REINFORCEMENT	1.963	cu yd	
ACTUAL DIAMETER			
CONCRETE			

ITEM	QTY	UNIT	DESCRIPTION
SPREAD FOUNDATION	28.255	kip	
MOMENT AT GRADE	1.480	kip	
TOTAL FORCE	1.175	ft	
WEIGHT OF SIGN	4.000	ft	
SLAB WIDTH	7.500	ft	
SLAB LENGTH	3.167	ft	
SLAB DEPTH	14.250	kip	
SLAB WEIGHT	15.426	kip	
TOTAL WEIGHT	32.941	kip	
OVERTURNING MOMENT	1.756	ft	
FACTOR OF SAFETY	2.135	ft	
e = OTM/WT	1.615	ft	
L2 - e	3.519	yd	
SOIL PRESSURE 2*WT/(3*(L2+e)*WIDTH)	19.518	in	
CONCRETE	38.000	in	
MIN. THICKNESS W/O REBAR			
SORT(M*20"1.7.7.5)/(178"12"WIDTH)			
ACTUAL THICKNESS			

ITEM	QTY	UNIT	DESCRIPTION
AVAILABLE FLEXURAL STRENGTH	36.33		
REQUIRED MOMENT	5.910		
REQUIRED MOMENT	28.255		
AVAILABLE FLEXURAL STRENGTH	36.33		
REQUIRED MOMENT	5.910		
REQUIRED MOMENT	28.255		

ITEM	QTY	UNIT	DESCRIPTION
SHAPE	0.300		
FACTOR	0.300		
HEIGHT	68.1		
AREA	20.80		
TOTAL FORCE	28.255		



SIGN PURCHASE AGREEMENT

800.845.9927 SpringfieldSign.com

This agreement, made and entered into this ____ day of ____ (month), 20__ (year), by and between Springfield Sign & Graphics, INC. d/b/a Springfield Sign (herein after referred to as Seller), and Buyer (as outlined below and labeled as Buyer) witnesseth, that the Seller agrees to manufacture for Buyer the sign(s) and/or other sign products/services as outlined in a separate E2 document, QUOTE Number: _____ or other such unique document of description as follows:

Form with fields for BUYER COMPANY NAME, BILLING ADDRESS, CITY, STATE, D/B/A, JOB DETAILS, and BILLING ADDRESS.

All wiring on the premises to the site of the sign(s) installed location, including the connection of the sign to each primary wiring source is the responsibility of the Buyer... E2 Quote or any other document outlining the sign(s), products or services for installation... SIGN PURCHASE AGREEMENT ARE SET OUT THEREON.

Form for BUYER and SELLER signatures, including fields for name, title, date, and printed name.

1. DOCUMENT ATTACHMENT As allowed by this contract, other documents such as but not limited to E2 quotes, product specifications, and other documents may be attached to this Agreement... 2. LIMITED WARRANTY Seller warrants: a. new materials and/or workmanship... b. workmanship...

3. INSURANCE As long as any amount of money is due and owing to Seller... 4. TAXES Buyer shall be responsible for and pay all taxes including but not limited to sales tax... 5. PAYMENT TERMS Payment for sign(s) shall be made to Seller by the Buyer...

6. DEFECT OR BREACH OF AGREEMENT The parties stipulate that the Buyer shall be responsible for the installation and maintenance of the sign(s) purchased... 7. ASSUMPTION OF RISK Buyer shall be responsible for the installation and maintenance of the sign(s) purchased...

12. MANUFACTURING SPECIFICATIONS/INDUSTRY STANDARDS Buyer shall be responsible for providing the manufacturing specifications for the sign(s) purchased... 13. CHANGE ORDERS Any alteration, deviation and/or reasonably anticipated modification to the sign(s) purchased...

14. SUSPENSION OF MANUFACTURING Any request to cancel or otherwise suspend the manufacturing process... 15. SECURITY INTEREST Buyer grants Seller a SECURITY INTEREST in the sign(s) purchased... 16. ASSIGNMENT This Agreement shall be binding and enforceable upon the Buyer and Seller...

17. DELIVERY AND PERFORMANCE Seller shall be responsible for the delivery and performance of the sign(s) purchased... 18. STATE OF JURISDICTION/REVENUE/MISCELLANEOUS All disputes arising out of or in connection with this Agreement shall be governed by the laws of the State of Missouri...



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 5/1/2024

Sign Co. or Sign Owner

Name L. Graphics
Address 701 N. Reynolds Rd
City, State, Zip Bryant, AR 72022
Phone (501) 653-4444
Alternate Phone _____

Property Owner

Name Bart Ferguson
Address 205 Progress Way Ste. 100
City, State, Zip Bryant, AR 72022
Phone (501) 840-2282
Alternate Phone _____

GENERAL INFORMATION

Name of Business 205 Progress Way Ste. 100
Address/Location of sign Practical Wellness Clinic
Zoning Classification C

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Joe Lam, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	wall mount Self Contained	48" X 86"	28	17	13	
B						
C						
E						
F						
G						

26 feet

86 in

Practical Wellness
CLINIC 48 in

205

Ste 100





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

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 The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 5/1/2024

Sign Co. or Sign Owner

Name L. Graphics
 Address 701 N. Reynolds Rd
 City, State, Zip Bryant, AR 72022
 Phone (501) 653-4444
 Alternate Phone _____

Property Owner

Name Bart Ferguson
 Address 3507 Market place
 City, State, Zip _____
 Phone _____
 Alternate Phone _____

GENERAL INFORMATION

Name of Business Evie Brooks
 Address/Location of sign 3507 Market st. 100
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Joe Lam, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall mount channel letter	124" x 30"	25	16	13.5	
B						
C						
E						
F						
G						

20 feet

124 in

30 in

Evie Brooks





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 04/30/24

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK, AR 72209
 Phone 501-562-3942
 Email Address lora@arkansassign.com

Property Owner

Name SPLASH CAR WASH
 Address 107 BRYANT AVE
 City, State, Zip BRYANT AR
 Phone _____
 Email Address AMIDDLETON@MIDDLETONINC.COM

GENERAL INFORMATION

SPLASH CAR WASH

Name of Business _____
 Address/Location of sign 107 BRYANT AVE, BRYANT AR
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	48" X 131"	43.5	16'	12'	
B						
C		JOB COST 4850.00				
E						
F						
G						



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.ci.bryant.ar.us under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 4-24-24

Sign Co. or Sign Owner

Name SOUTHPAW DESIGNS
 Address 406 HWYS N
 City, State, Zip BENTON AR 72019
 Phone 501-563-4725
 Email Address southpawdesigns@yahoo.com

Property Owner

Name MIKE YAFAI
 Address 319 BRYANT AVE
 City, State, Zip BRYANT, AR
 Phone 501-615-3327
 Email Address EMPIREWHOLESALE3800@gmail.com

GENERAL INFORMATION

Name of Business EMPIRE VAPE + TOBACCO
 Address/Location of sign 319 BRYANT AVE BRYANT, AR
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I, DOUG BLANFORD, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	STOREFRONT SIGN	2' X 9'	18 FT	113"	90"	
B						
C						
E						
F						
G						

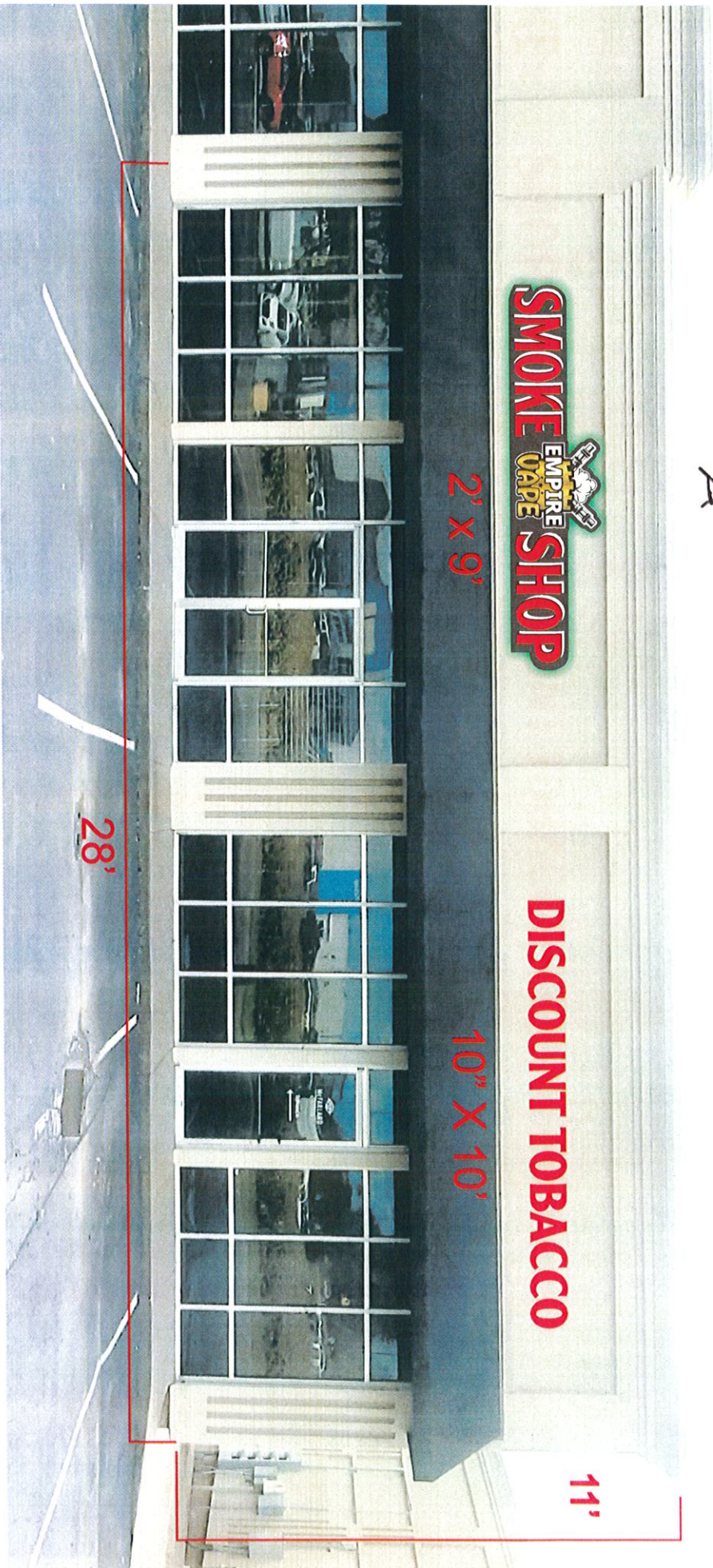
Rendering

Project: Empire Vape- Bryant, AR
Description: Exterior channel and dimensional letters

Artwork Approved By: _____

Date: _____

A



***NOTICE:** All designs, structural and installation engineering ideals and original artwork and applications thereof are the intellectual property of Southpaw Designs. All rights reserved. Any unauthorized usage, duplication of or any reasonable likeness thereof shall be considered infringement and proper legal recourse will be taken upon all parties involved in design, production, construction, installation and display in any form.

Rendering

Artwork Approved By: _____
Date: _____

Signs of all Kinds

515 N. East St. Benton, AR. 72015

(501) 563-4725

southpawdesigns@yachoo.com

Project: Empire Vape-Bryant
Description: Roadside sign concept



***NOTICE:** All designs, structural and installation engineering ideas and original artwork and applications thereof are the intellectual property of Southpaw Designs. All rights reserved. Any unauthorized usage, duplication or or any reasonable likeness thereof shall be considered infringement and proper legal recourse will be taken upon all parties involved in design, production, construction, installation and display in any form.

Rendering

Artwork Approved By: _____

Date: _____

Southpaw
Designs

Signs of all Kinds

515 N. East St. Benton, AR. 72015

(501) 563-4725

southpawdesigns@yachoo.com

Project: Empire Vape- Bryant
Description: Roadside sign concept



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City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

APPROVED

5/22/23
CZ
3 Signs
(ABC)

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 5/20/2024

Sign Co. or Sign Owner

Name Timothy & Drew Files

Address 19901 Highway 300

City, State, Zip Roland, AR 72135

Phone 973-834-5000

Email Address filesdevelopmentar@gmail.com

Property Owner

Name Timothy & Drew Files

Address 19901 Highway 300

City, State, Zip Roland, AR 72135

Phone 973-834-5000

Email Address bryantgassys@gmail.com

GENERAL INFORMATION

Name of Business Gassys Fuel Station Bryant LLC

Address/Location of sign 6101 Highway 5 N. Bryant, AR 72022

Zoning Classification Commercial

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required to be submitted. Renderings of the sign(s) showing the correct dimensions is also required to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I [Signature], do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade Sign	21.3" x 86" x 5"	1831.8	22 ft	20 ft 4 in	
B	Canopy Sign	30" x 121" x 5"	3630	22 ft	14 ft	
C	Canopy Sign	30" x 121" x 5"	3630	22 ft	14 ft	
E	Canopy Sign	41.8" x 19" x 2.5"	794.2	22 ft	14 ft	
F	Canopy Sign	41.8" x 19" x 2.5"	794.2	22 ft	14 ft	
G	Canopy Sign	41.8" x 19" x 2.5"	794.2	22 ft	14 ft	
H	Canopy Sign	41.8" x 19" x 2.5"	794.2	22 ft	14 ft	

Gas
Pump
Signage?

- These ^{do} Not Require a permit

CONTACTS UTILITIES AND CITY AND STATE AGENCIES

AGENCY	TITLE	NAME	CONTACT
BRYANT PUBLIC WORKS	DIRECTOR	TM FOLWISER	501-943-6468
BRYANT PUBLIC WORKS	ENGINEER	TED THOR	501-943-6460
BRYANT WATER	CONTACT	JOE HENRY	501-246-0516
ENERGY	CONTACT	JEREMY HENNINGSON	800-368-3749
INTERPOINT (CAG)	CONTACT	ADAM COBER	501-541-7509
AAROT	PERMIT OFFICER DISTRICT SIX	CORY SUTTON	501-551-3207

EXISTING ASPHALT

FULL STREET IMPROVEMENT NEW ASPHALT 9674 SF

LOWERY LANE CL

LOWERY LANE (EXISTING)

EXISTING OUTLET

EXISTING EDGE OF PAVED LANE

50.0' ROW

STOP SIGN W/ STREET NAMES

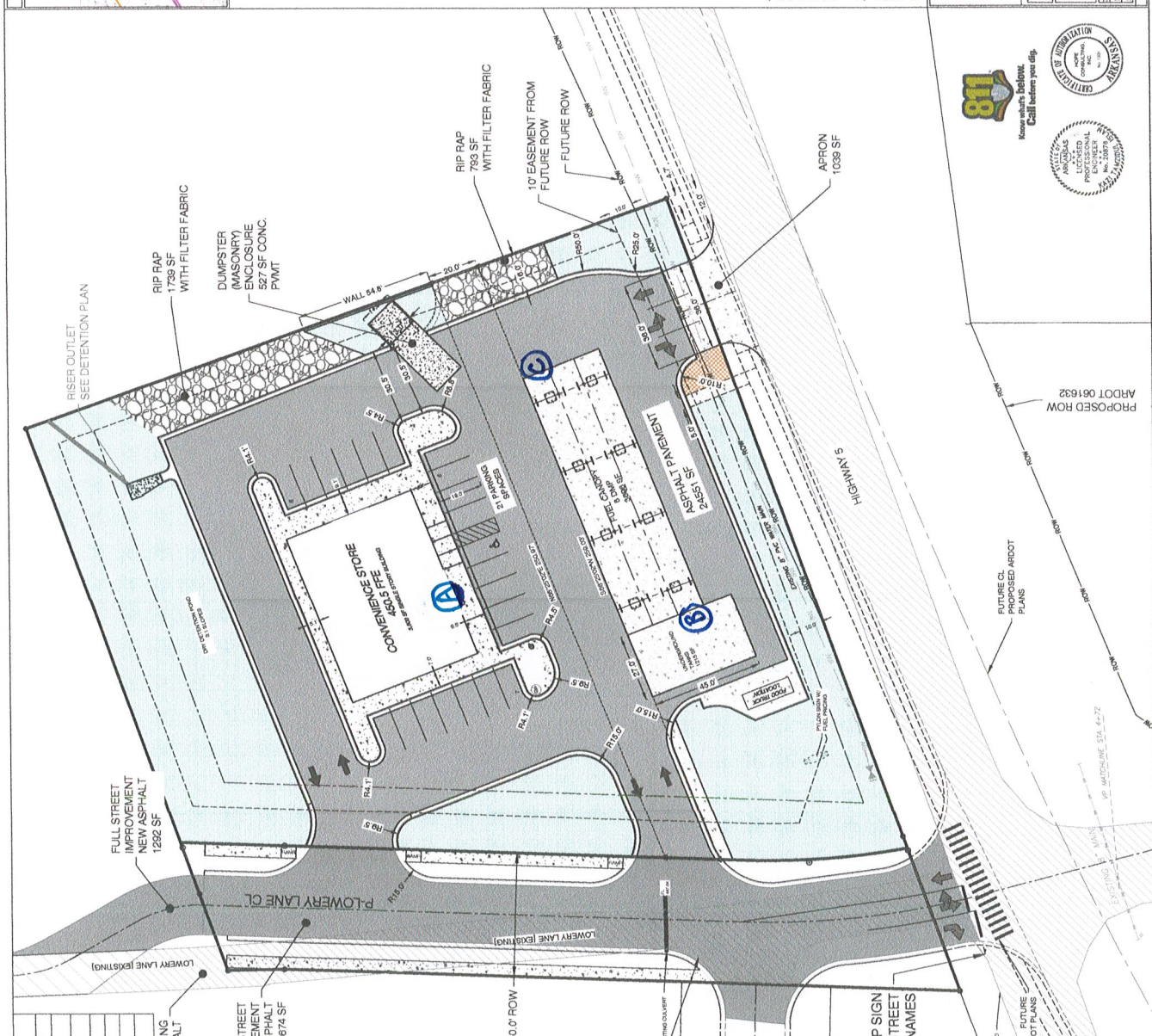
EXISTING 1/4" MATCHLINE SEE 44-22

EXISTING 1/4" MATCHLINE SEE 44-22

LOWERY LANE IMPROVEMENT NOTES

1. PAVING ROW TO BE DECIDED TO CITY OF BRYANT PLANNED

2. PORTION OF THE CONSTRUCTION FOR THIS PROJECT.



SITE PLAN NOTES

PARKING REQUIREMENTS:

TOTAL: 21 SPACES (16 REQUIRED)

1 HANDICAP (1 REQUIRED)

TOTAL AREA: 78,850 SF

PROPOSED PAVEMENT/ROOF: 55,589 SF

RIP RAP: 1739 SF

PROPOSED GREEN SPACE: 20,729 SF

PROPOSED BUILDING: 3,500 SF

ZONING AND SETBACKS

ZONING: C2

FRONT: NONE (25' FOR RESIDENTIAL NEIGHBORS)

REAR: 25' (25' RESIDENTIAL NEIGHBORS)

DISCLAIMER

UTILITIES SHOWN ARE NOTED BY VISIBLE OBSERVATION ONLY. UNDERGROUND UTILITIES TAKEN PLACE AS OF THIS DATE TO DETERMINE THE EXACT LOCATION OF THIS SURVEY.

FLOOD STATEMENT

NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD FLOOD INSURANCE RATE MAP PANEL #0512502640E DATED 06-05-2020.

120 N. Main Street, Benton, Arkansas 72015
PH (501) 315-2626
FAX (501) 315-0024
www.hopemultimedia.com

HOPE CONSULTING ENGINEERS - SURVEYORS

STANDARD DEVELOPMENT COMPANY, LLC

BRYANT C-STORE

SITE PLAN

SPRINT BRYANT COUNTY ANNEX

DATE: 9/27/2023

PROJECT NO: 21-0275

SCALE: 1" = 10'

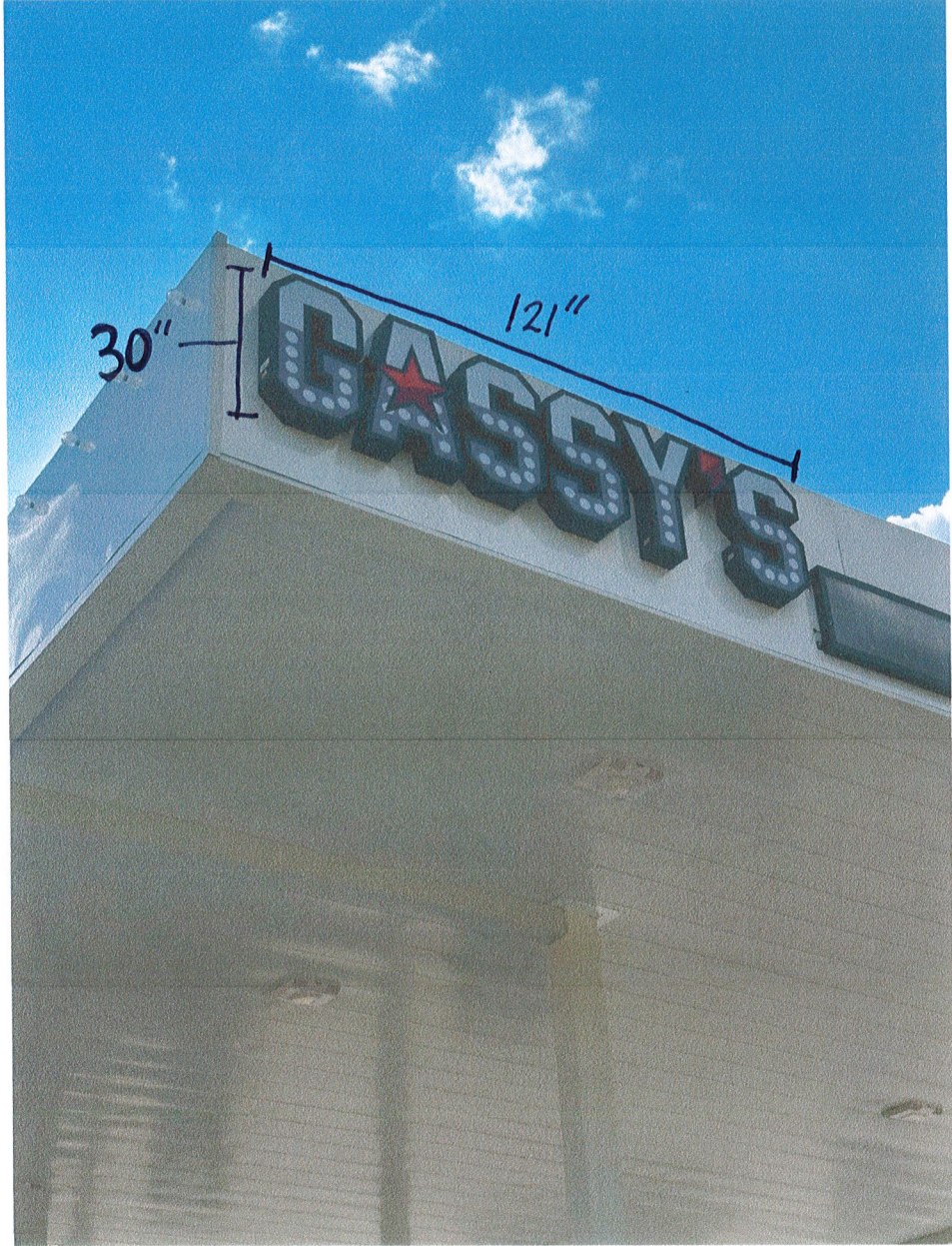
DATE: 9/27/2023

PROJECT NO: 21-0275





A



B - ~~AC~~ C

25.20 SF

B-C

Overall Dimensions 30" x 121"

7 x 11.7



17.7 x 29.9

20.4 x 29.9

17.7 x 29.9

17.7 x 29.9

20.4 x 29.9

17.7 x 29.9



E-H?



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 05/07/2024

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name EDWARD JONES
 Address 2305 Springhill Rd Ste 3
 City, State, Zip Bryant, AR 72019-7560
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business EDWARD JONES
 Address/Location of sign 2305 Springhill Rd Ste 3
Bryant, AR 72019-7560
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	16" X 97"	10.83	10'	8'8"	
B						
C						
E						
F						
G						



REAR ELEVATION - PROPOSED

**** NO POWER AVAILABLE ****



REAR ELEVATION - EXISTING

265"

263"



REAR ELEVATION - ZOOMED

177"

111"

Edward Jones

****REQUIRES U.L. & MANUFACTURER'S LABELS****

97"



16"

10.77 sq.ft.

SIGN TYPE WI-3 - GREY

- LED INTERNALLY ILLUMINATED WALL CABINET
- CABINET PTM PANTONE 2336-C
- FACE IS .118" CLEAR LEXAN w/ NON-GLARE MATTE FINISH
- BACKGROUND TO BE BACK SPRAYED TO MATCH PANTONE 2336 C
- LOGO TO BE BACK SPRAYED TRANSLUCENT WHITE
- REQUIRES U.L. AND MANUFACTURER'S LABELS

**** POWER PROVIDED BY ELECTRICIAN AND CONNECTED IF WITHIN 6' OF THE SIGN ****

**** DEDICATED CIRCUIT IS REQUIRED FOR ILLUMINATED SIGNS ****

**** WIRE NUTS ARE REQUIRED ON ALL ILLUMINATED SIGNS ****

DRAWING IS NOT TO SCALE BUT IS PROPORTIONATE

FIELD VERIFY ALL MEASUREMENTS BEFORE BEGINNING ANY WORK. INSTALLER TO VERIFY MOUNTING SURFACE PRIOR TO INSTALLATION.

FASTSIGNS
NATIONAL ACCOUNTS

ACCOUNT:
EDWARD JONES

FILE:
18231-ART5

REPRESENTATIVE:
Dawn Giles

ADDRESS:
2305 Springhill Rd Ste 3
Bryant AR 72019

ORIGINAL DRAWING DATE: 2/27/24

SCALE:
NTS

REV. #1 BY: REV. DATE

REVISION NOTES:

REV. #2 BY: REV. DATE

REVISION NOTES:

REV. #3 BY: REV. DATE

REVISION NOTES:

DRAWN BY: J.Lazo

REVISED BY:

THIS DRAWING IS THE PROPERTY OF FASTSIGNS INTERNATIONAL, INC. THE BORROWER AGREES, IT SHALL NOT BE REPRODUCED, COPIED OR DISPOSED OF, DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE WITHOUT

LANDLORD OR AGENT SIGNATURE HERE

Please sign & return drawing/s to **FASTSIGNS**
Signature below indicates approval of **BOTH design & placement of sign/s**

X

DATE _____

PROPERTY DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12; A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13; AND A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 14; ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13; THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 5 ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN WARRANTY DEED DATED MARCH 30, 1963 AND FILED IN SALINE COUNTY DEED RECORD BOOK 112 AT PAGE 404;

NOTE: TRACTS 1, 2, 3 AND 4 WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.

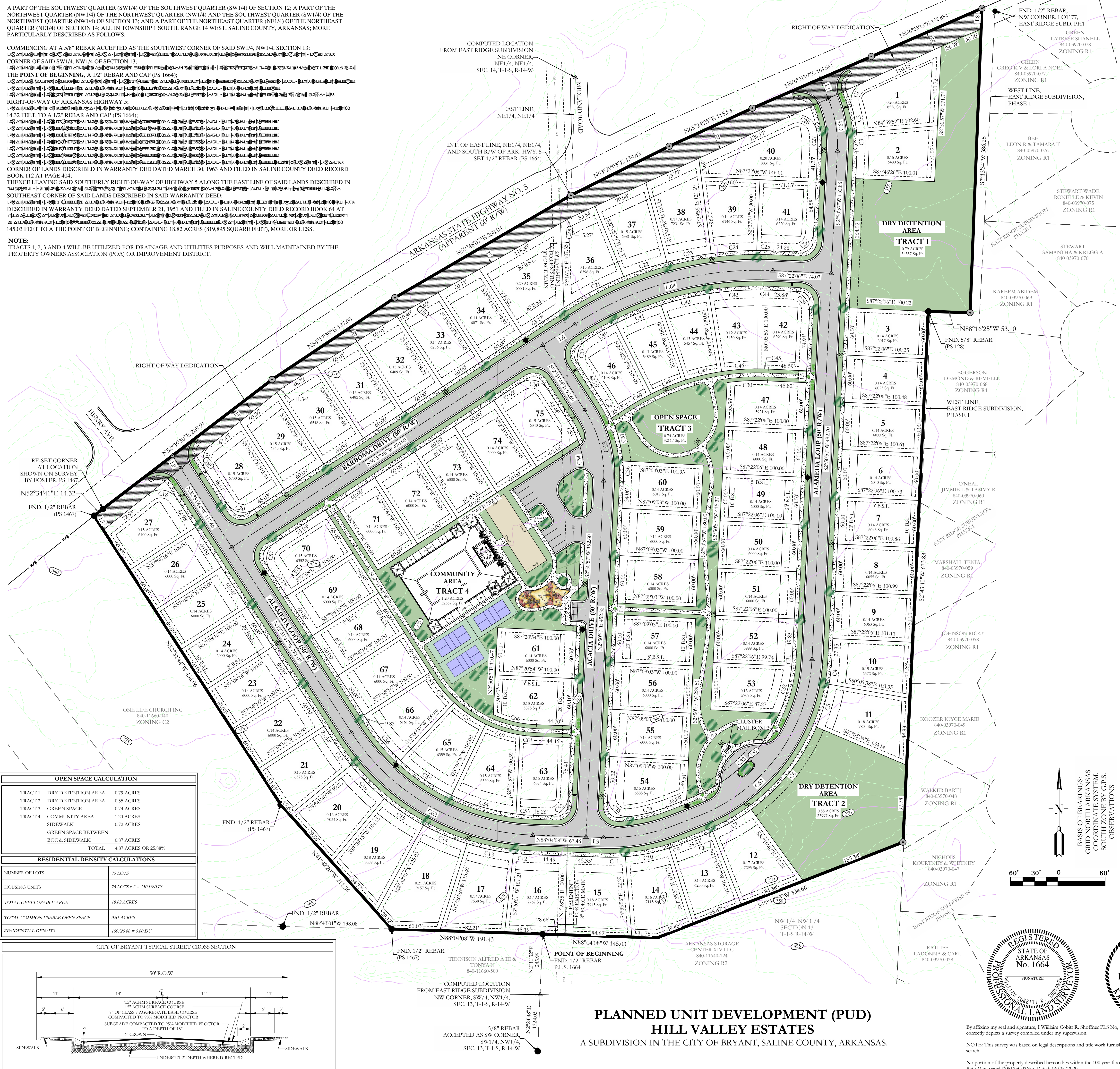
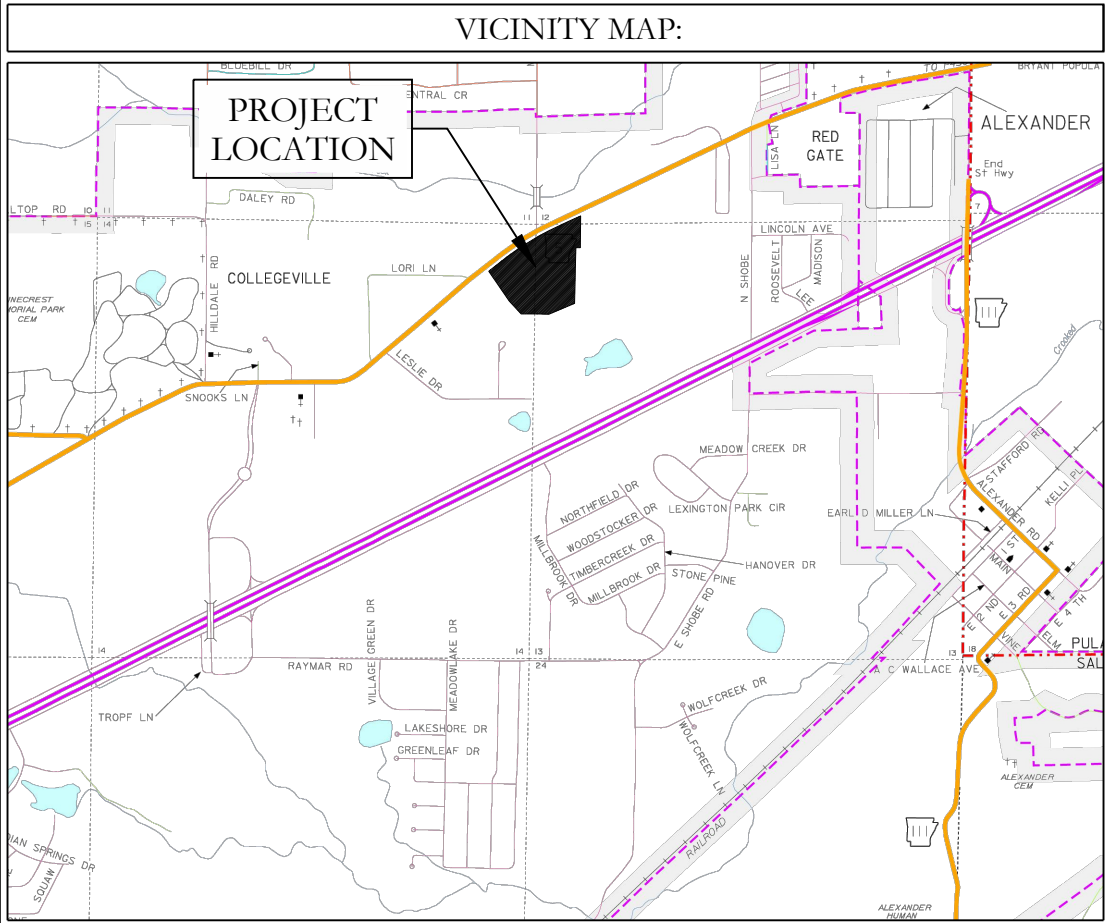


Table with Curve Data (Curve #, Length, Radius, Delta, Chord Direction, Chord Length) and Line Data (Line #, Length, Direction).



CERTIFICATIONS: OWNER: Name: FINLEY & COMPANY, Address: P.O. BOX 10, BRYANT, AR 72089; DEVELOPER: Name: FINLEY & COMPANY, Address: P.O. BOX 10, BRYANT, AR 72089; CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

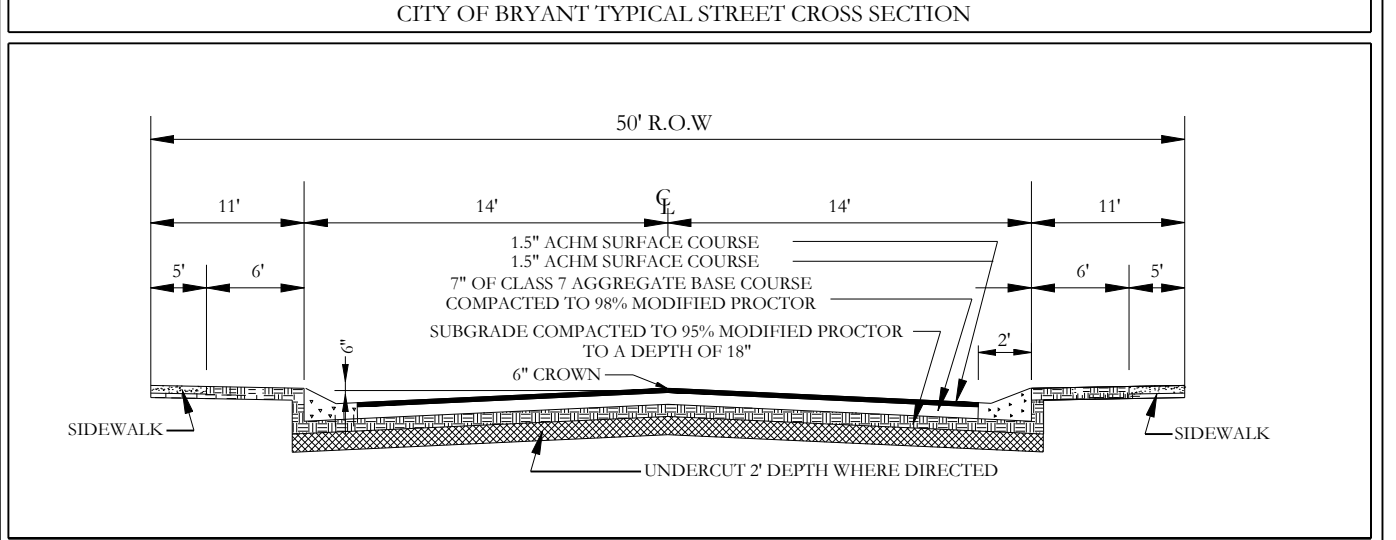
CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY: I, Kazi Tamizdul Islam, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on 06/06/2024; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Kazi Tamizdul Islam, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

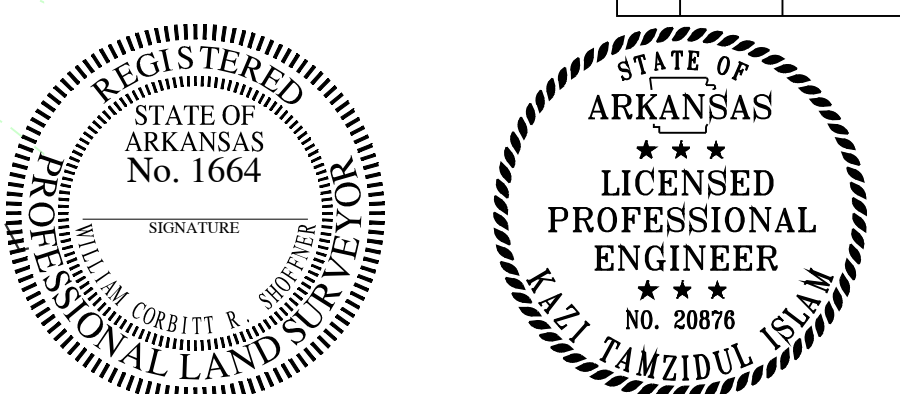
CERTIFICATE OF PRELIMINARY PLAT APPROVAL: All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

Table with 2 columns: Tract, Area, and Acres. Includes Tract 1 (Dry Detention Area), Tract 2 (Dry Detention Area), Tract 3 (Open Space), Tract 4 (Community Area), and various Sidewalk and Green Space calculations.

Table with 2 columns: Metric and US. Includes Residential Density Calculations (Number of Lots, Housing Units, Total Developable Area, Total Common Usable Open Space, Residential Density).



PLANNED UNIT DEVELOPMENT (PUD) HILL VALLEY ESTATES A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

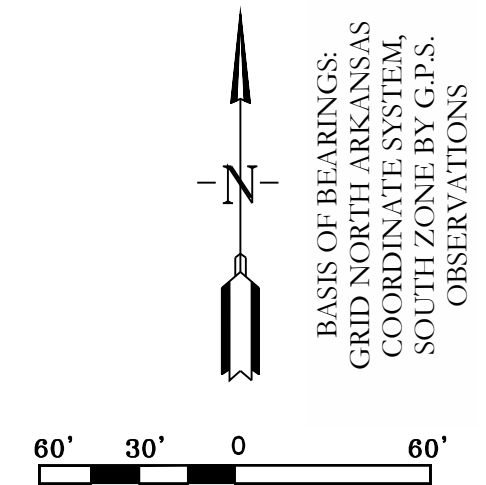
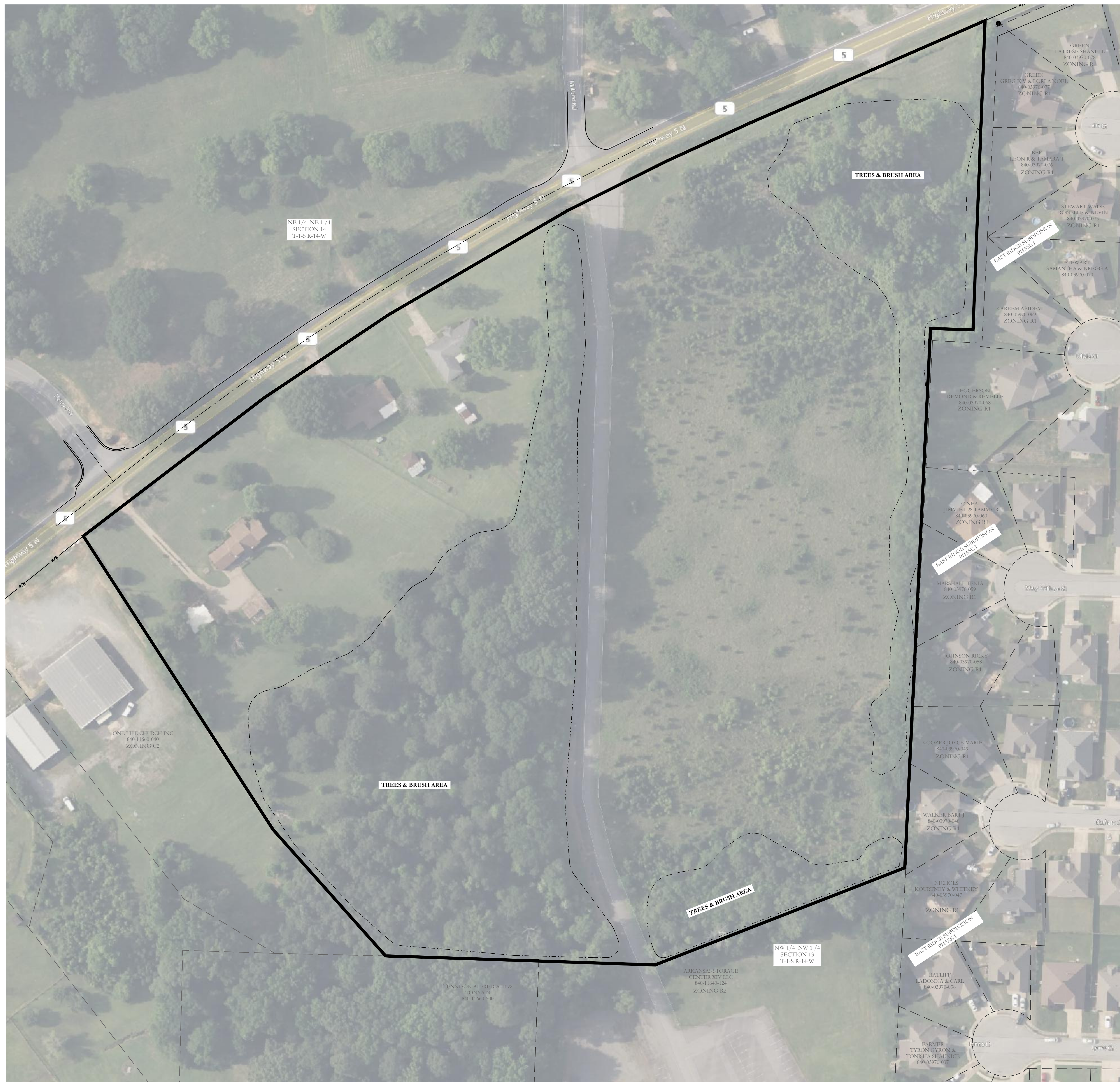


By affixing my seal and signature, I, William Cobitt R. Shoffner, P.L.S. No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision. NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

LEGEND: (P) No Parking Sign, [Symbol] Stop Sign, [Symbol] Street Light, [Symbol] Fire Hydrant, [Symbol] Computed point, [Symbol] Found monument, (D) Deeded, (M) Measured, (P) Platted.

PROPERTY SPECIFICATIONS: OWNER: FINLEY & COMPANY, DEVELOPER: FINLEY & COMPANY, ENGINEERS: HOPE CONSULTING INC., PROPOSED HOUSE EXTERIOR: BRICK, VINYL, GLASS & WOOD; HOPE CONSULTING logo and contact information for 129 N. Main Street, Benton, Arkansas 72015.

Table with Date (06/06/2024), Drawing Number (24-0427), Scale (1" = 60'), and other project details.

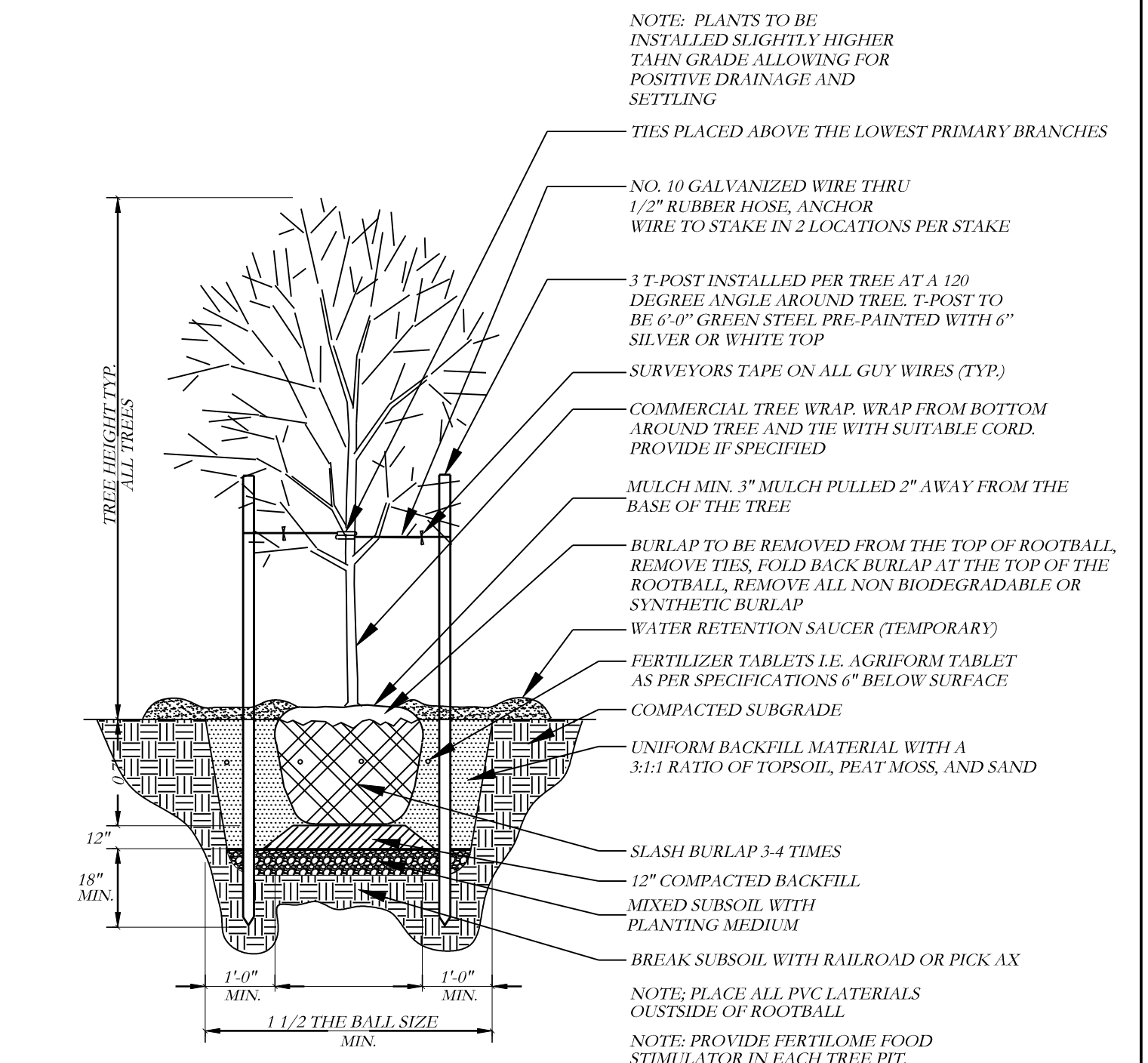


BASIS OF BEARINGS:
 GRID NORTH ARKANSAS
 COORDINATE SYSTEM
 SURVEY OBSERVATIONS

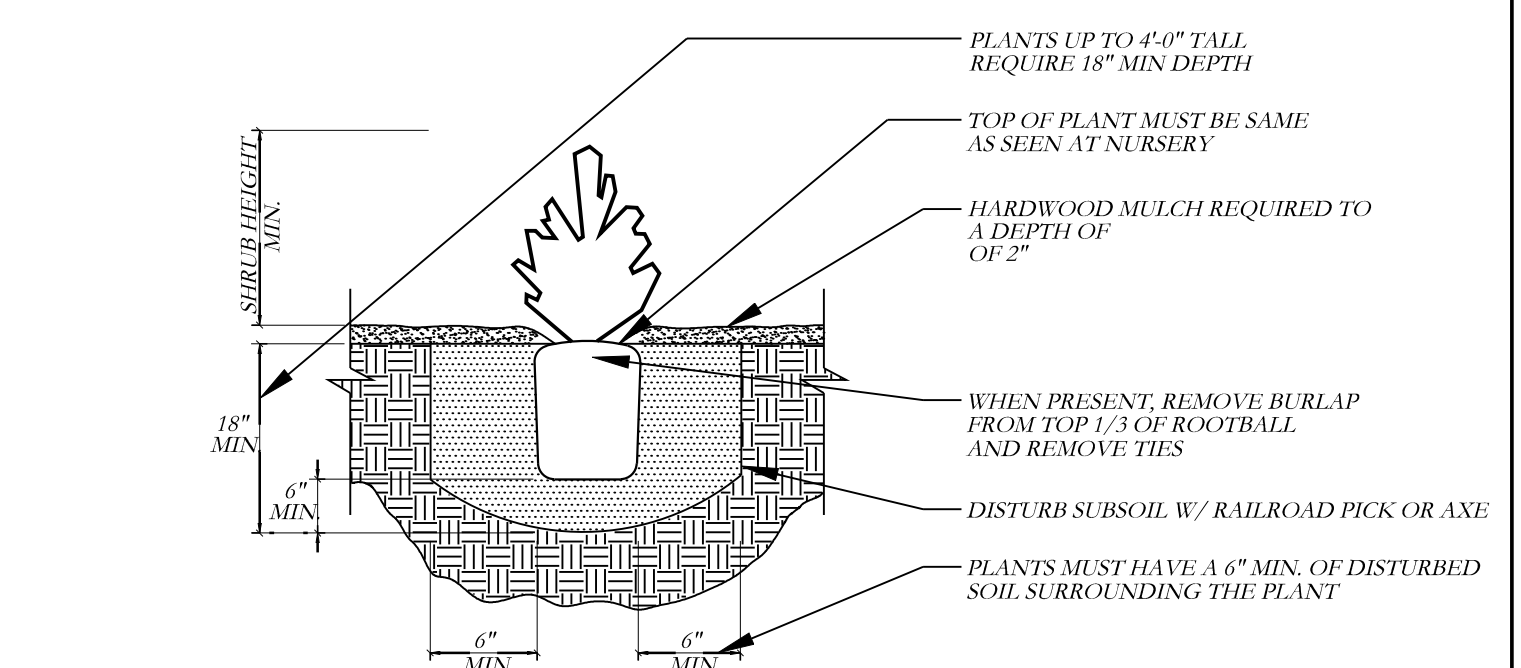
		129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: FINLEY & COMPANY			
PLANNED UNIT DEVELOPMENT (PUD) EXISTING VEGETATION HILL VALLEY ESTATES <small>A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.</small>			
DATE:	05/22/2024	C.A.D. BY:	BJOHNSON
REVISED:		CHECKED BY:	
SHEET:		SCALE:	1" = 60'
500	01S	14W	0 14 110 62 1762

TREE TYPES	TREE SPECIES	QUANTITIES	HEIGHT AT MATURITY	CALIPER
SHRUBS	DWARF YALPON HOLLY	55	3'-5'	Wide 3'-6"
EVERGREEN TREE	TAYLOR JUNIPER	85	15'	>2"

LANDSCAPE LEGEND				
COMMON NAME:	BOTANICAL NAME:	HEIGHT AT MATURITY:	QTY:	
SHRUBS	GLOSSY ABELIA/ ABELIA X GRANDIFLORA	6'-0"	REFER TO PLAN	
EVERGREEN TREES	CHOOSE FROM LIST OF SPECIES INCLUDED IN THE CITY OF BRYANT LANDSCAPING CODE			
SOD (INCLUDES MULCH BEDS)	BERMUDA			



1 TREE PLANTING DETAIL
No. SCALE



2 SHRUB PLANTING DETAIL
NTS

GENERAL NOTES
QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEIR OWN COUNT.

ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 LBS OF 14-14-14 TIMED-RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.

ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.

TOPSOIL SHALL BE ADDED AS NEEDED TO CREATE A SMOOTH FINISH GRADE ON PLANTING AND SODDED AREAS.

ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.

ALL NON-PAVED AREAS NOT SHOWN AS PLANTING BEDS SHALL BE SODDED WITH SOLID TIFWAY 419 BERMUDA SOD. CONTRACTOR SHALL CALCULATE ALL SODDED AREAS.

NO TREES MAY BE PLANTED WITHIN 5' OF PUBLIC UTILITIES. MAINTAIN 5' SEPARATION BETWEEN TREES AND ANY EXISTING / PROPOSED UTILITY MAINS.

MAINTENANCE OF LANDSCAPING
THE OWNER, TENANT, OR AGENT, IF ANY SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

HOPE CONSULTING ENGINEERS - SURVEYORS		129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: FINLEY & COMPANY			
PLANNED UNIT DEVELOPMENT (PUD) LANDSCAPE PLAN HILL VALLEY ESTATES			
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.			
DATE: 05/22/2024	C.A.D. BY: BJONSON	DRAWING NUMBER:	
REVISION:	CHECKED BY:	24-0427	
SHEET:	SCALE: 1" = 60'		
500	01S	14W	0 14 110 62 1762



PROPERTY DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12; A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13; AND A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 14; ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

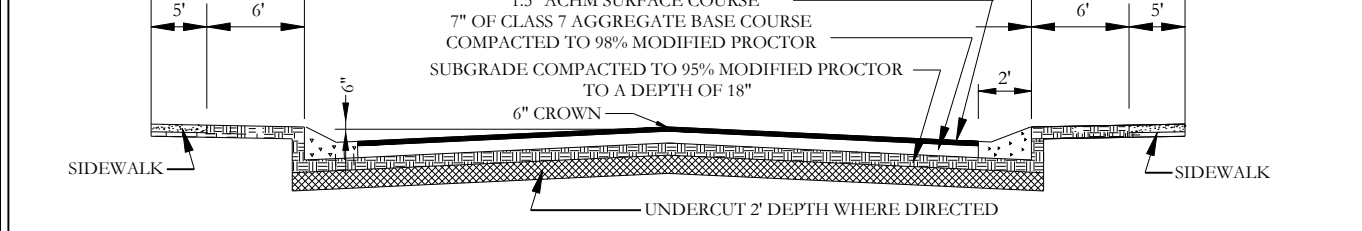
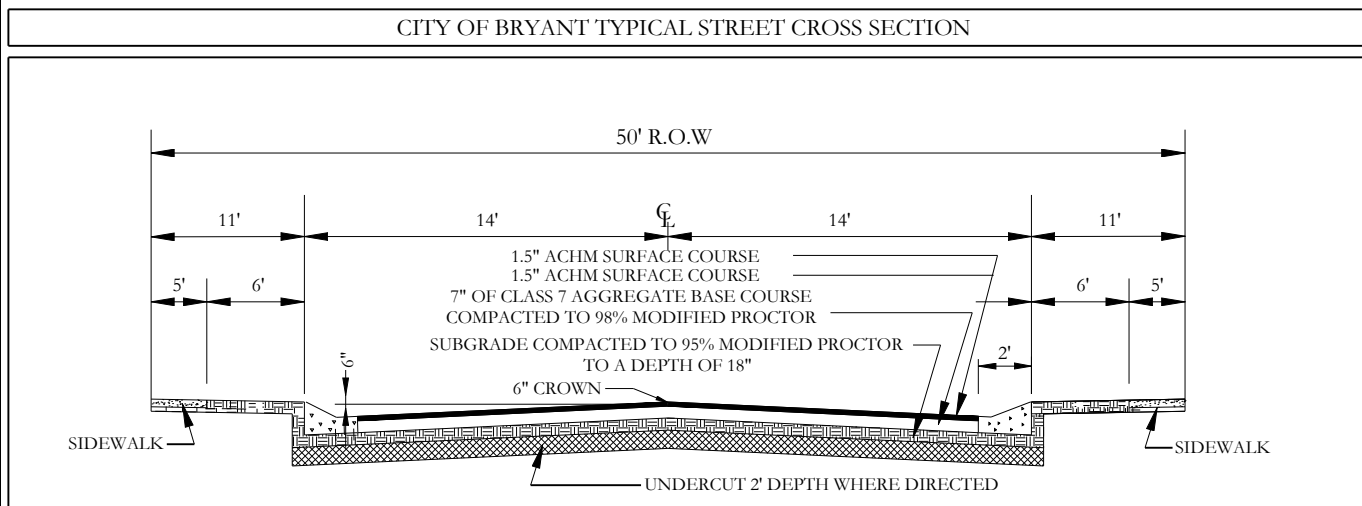
COMMENCING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13; ... THE POINT OF BEGINNING. A 1/2" REBAR AND CAP (PS 1664); ... RIGHT-OF-WAY OF ARKANSAS HIGHWAY 5; ... 14.32 FEET TO A 1/2" REBAR AND CAP (PS 1664); ... SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED; ... 145.03 FEET TO A THE POINT OF BEGINNING; CONTAINING 18.82 ACRES (819,895 SQUARE FEET), MORE OR LESS.

NOTE: TRACTS 1, 2, 3 AND 4 WILL BE UTILIZED FOR DRAINAGE AND UTILITIES PURPOSES AND WILL MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION (POA) OR IMPROVEMENT DISTRICT.



Table with 2 columns: Tract Name, Description, and Area. Includes Tract 1 (Dry Detention Area, 0.79 acres), Tract 2 (Dry Detention Area, 0.55 acres), Tract 3 (Green Space, 0.74 acres), Tract 4 (Community Area, 1.20 acres), and Sidewalk (0.72 acres).

Table with 2 columns: Category and Value. Includes Residential Density Calculations (75 lots, 1882 acres developable), Open Space Calculations (1.81 acres), and Residential Density (190/2580 = 580 DU).



PLANNED UNIT DEVELOPMENT (PUD) LEGACY WOODS ESTATES

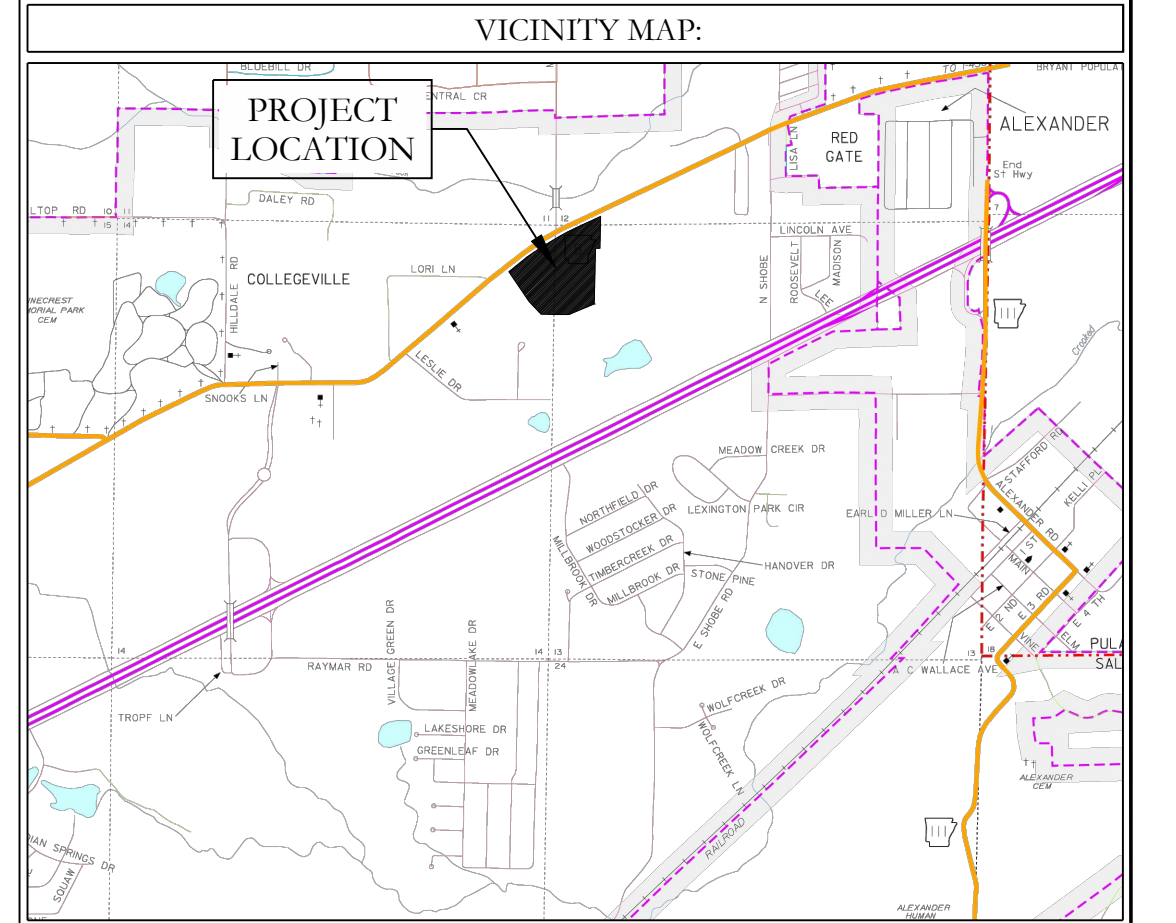
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

Table with 4 columns: Curve #, Length, Radius, Delta, Chord Direction, Chord Length. Lists curves C1 through C67 with their respective measurements.

Table with 2 columns: Line #, Length, Direction. Lists lines L1 through L5 with their respective measurements.



By affixing my seal and signature, I, William Cobitt R. Shoffner, PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision. NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search. No portion of the property described herein lies within the 100 year floodplain, according to the Federal Insurance Rate map, panel #0512500365, Dated: 06/05/2020.



CERTIFICATIONS table with columns for Owner, Developer, Name, and Address. Lists Finley & Company as both owner and developer.

CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

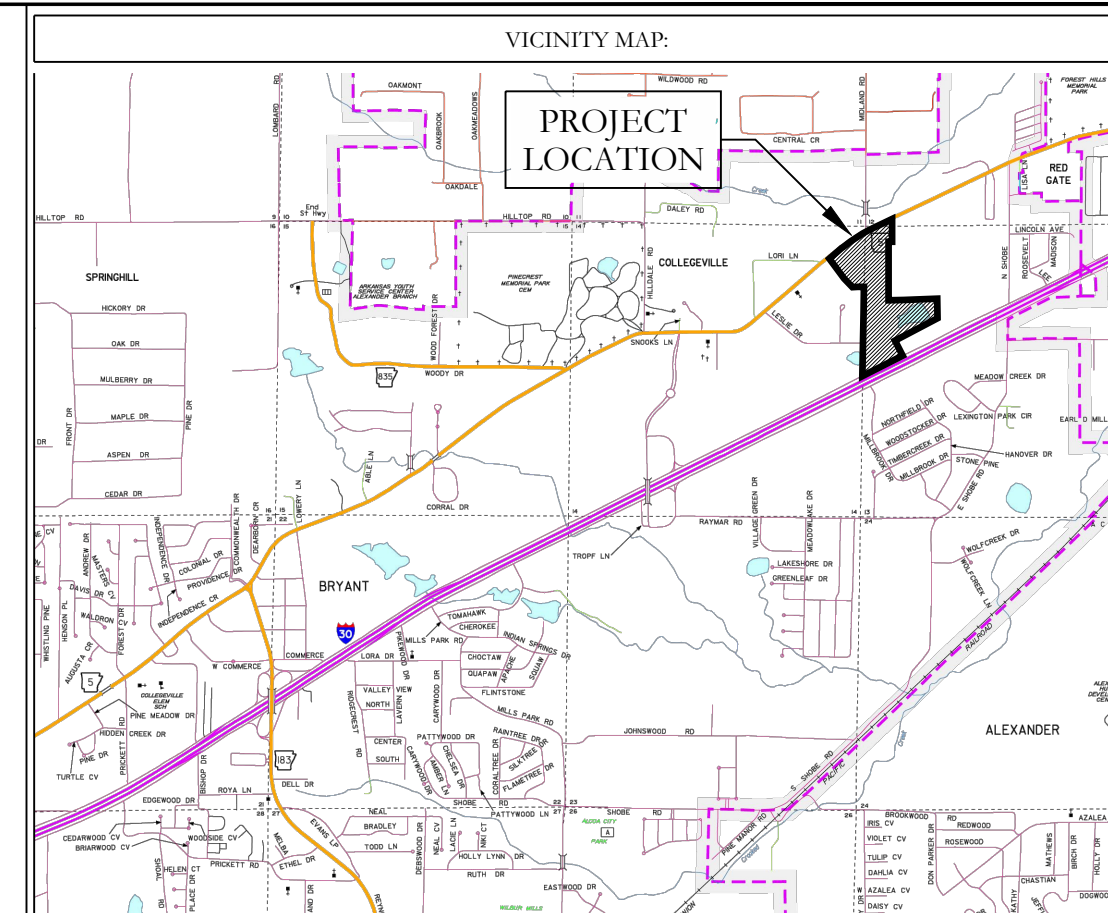
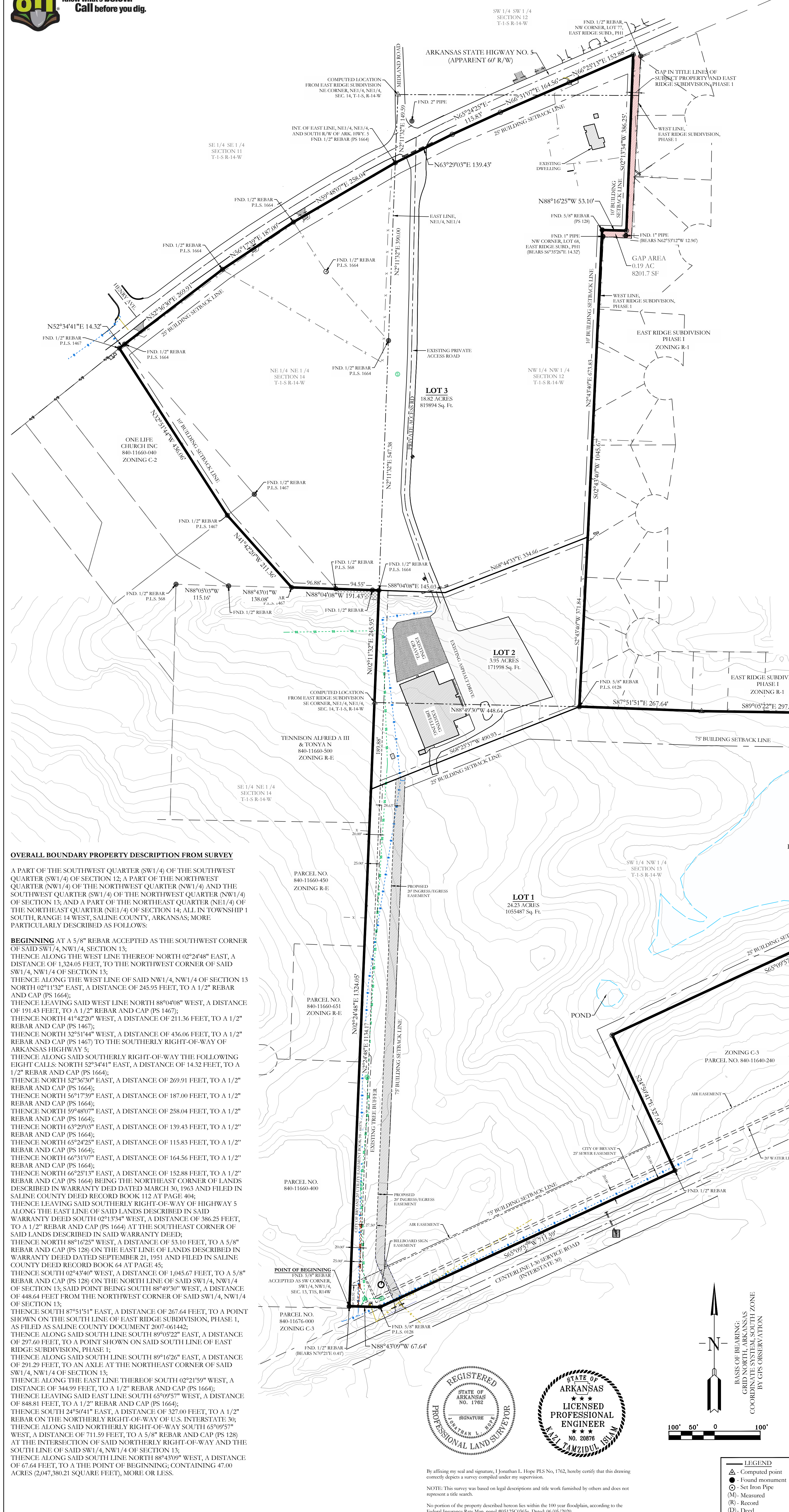
CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY: I, Corbit R. Shoffner, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on 05/22/2024; that the boundary lines shown herein correspond with the description in the deeds cited in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY: I, Kazi Tamizdul Islam, hereby certify that this plan correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

CERTIFICATE OF PRELIMINARY PLAT APPROVAL: All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

PROPERTY SPECIFICATIONS table with columns for Owner, Developer, Subdivider, Engineers, Name of Subdivision, Proposed House Exterior, and various utility and easement details.

HOPE CONSULTING logo and contact information: 129 N. Main Street, Benton, Arkansas 72015, PH. (501)315-2626, FAX (501) 315-0024, www.hopeconsulting.com. Includes 'FOR USE AND BENEFIT OF: FINLEY & COMPANY' and 'PLANNED UNIT DEVELOPMENT (PUD) HILL VALLEY ESTATES'.



CERTIFICATIONS:

OWNER: Name: ARKANSAS STORAGE XIV, LLC Address: PO BOX 10 BRYANT, AR 72022	DEVELOPER: Name: ARKANSAS STORAGE XIV, LLC Address: PO BOX 10 BRYANT, AR 72022
--	--

CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have had off, plotted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.
Source of Title: 2023-015797
2023-015796
2023-010005
2023-017298
Date of Execution _____ Name: _____

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
I, Jonathan L. Hope, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on _____ 2023; that the boundary lines shown hereon correspond with the description in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.
Date of Execution _____ Signed: Jonathan L. Hope
Registered Professional Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
I, Kazi Tamzidul Islam, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.
Date of Execution _____ Signed: Kazi Tamzidul Islam
Registered Professional Engineer, No. 20876 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.
Date of Execution _____ Signed: Rick Johnson, Chairman
Bryant Planning Commission

OVERALL BOUNDARY PROPERTY DESCRIPTION FROM SURVEY

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 12; A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 13; AND A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION 14; ALL IN TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" REBAR ACCEPTED AS THE SOUTHWEST CORNER OF SAID SW1/4, NW1/4, SECTION 13;

THENCE ALONG THE WEST LINE THEREOF NORTH 02°24'48" EAST, A DISTANCE OF 1,324.05 FEET, TO THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG THE WEST LINE OF SAID NW1/4, NW1/4 OF SECTION 13 NORTH 02°11'32" EAST, A DISTANCE OF 245.95 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID WEST LINE NORTH 88°04'08" WEST, A DISTANCE OF 191.43 FEET, TO A 1/2" REBAR AND CAP (PS 1467);

THENCE NORTH 41°42'20" WEST, A DISTANCE OF 211.36 FEET, TO A 1/2" REBAR AND CAP (PS 1467);

THENCE NORTH 32°51'44" WEST, A DISTANCE OF 436.06 FEET, TO A 1/2" REBAR AND CAP (PS 1467) TO THE SOUTHERLY RIGHT-OF-WAY OF ARKANSAS HIGHWAY 5;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING EIGHT CALLS: NORTH 52°34'41" EAST, A DISTANCE OF 14.32 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 52°36'30" EAST, A DISTANCE OF 269.91 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 56°17'39" EAST, A DISTANCE OF 187.00 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 59°48'07" EAST, A DISTANCE OF 258.04 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 63°29'03" EAST, A DISTANCE OF 139.43 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 65°24'25" EAST, A DISTANCE OF 115.83 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 66°31'07" EAST, A DISTANCE OF 164.56 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE NORTH 66°25'15" EAST, A DISTANCE OF 152.88 FEET, TO A 1/2" REBAR AND CAP (PS 1664) BEING THE NORTHEAST CORNER OF LANDS DESCRIBED IN WARRANTY DEED DATED MARCH 30, 1963 AND FILED IN SALINE COUNTY DEED RECORD BOOK 112 AT PAGE 404; AND FILED IN SALINE COUNTY DEED RECORD BOOK 64 AT PAGE 45;

THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY OF HIGHWAY 5 ALONG THE EAST LINE OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED SOUTH 02°13'34" WEST, A DISTANCE OF 386.25 FEET, TO A 1/2" REBAR AND CAP (PS 1664) AT THE SOUTHEAST CORNER OF SAID LANDS DESCRIBED IN SAID WARRANTY DEED;

THENCE NORTH 88°16'25" WEST, A DISTANCE OF 53.10 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE EAST LINE OF LANDS DESCRIBED IN WARRANTY DEED DATED SEPTEMBER 21, 1951 AND FILED IN SALINE COUNTY DEED RECORD BOOK 64 AT PAGE 45;

THENCE SOUTH 02°43'40" WEST, A DISTANCE OF 1,045.67 FEET, TO A 5/8" REBAR AND CAP (PS 128) ON THE NORTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13; SAID POINT BEING SOUTH 88°49'30" WEST, A DISTANCE OF 448.64 FEET FROM THE NORTHWEST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE SOUTH 87°51'51" EAST, A DISTANCE OF 267.64 FEET, TO A POINT SHOWN ON THE SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1, AS FILED AS SALINE COUNTY DOCUMENT 2007-461442;

THENCE ALONG SAID SOUTH LINE SOUTH 89°05'22" EAST, A DISTANCE OF 297.60 FEET, TO A POINT SHOWN ON SAID SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1;

THENCE ALONG SAID SOUTH LINE SOUTH 89°16'26" EAST, A DISTANCE OF 291.29 FEET, TO AN AXLE AT THE NORTHEAST CORNER OF SAID SW1/4, NW1/4 OF SECTION 13;

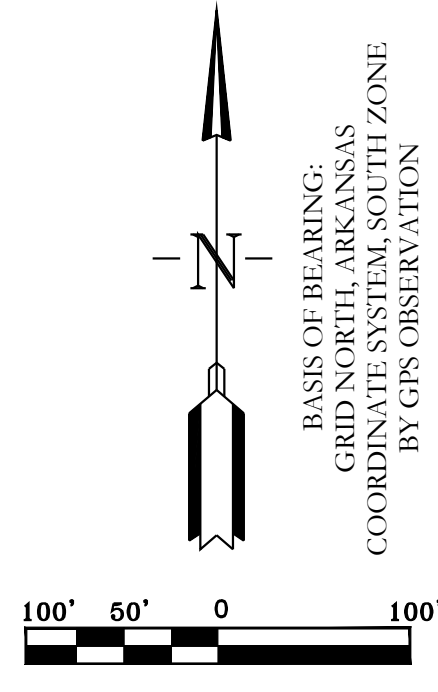
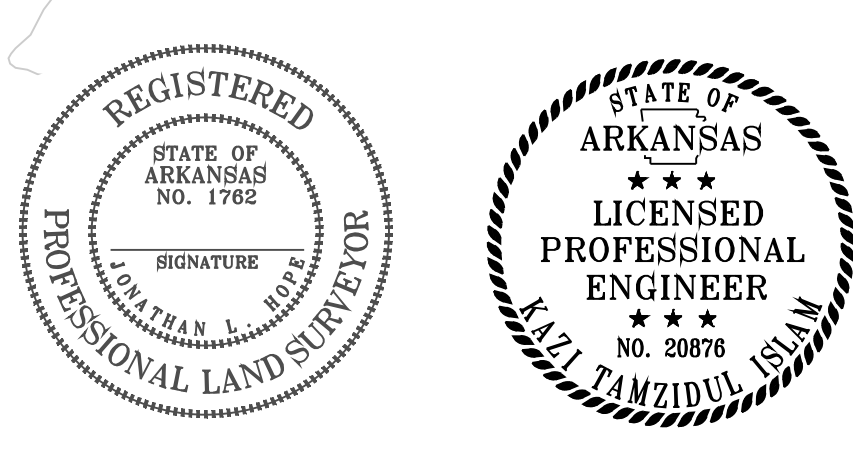
THENCE ALONG THE EAST LINE THEREOF SOUTH 02°21'59" WEST, A DISTANCE OF 344.99 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE LEAVING SAID EAST LINE SOUTH 65°09'57" WEST, A DISTANCE OF 848.81 FEET, TO A 1/2" REBAR AND CAP (PS 1664);

THENCE SOUTH 24°50'41" EAST, A DISTANCE OF 327.00 FEET, TO A 1/2" REBAR ON THE NORTHERLY RIGHT-OF-WAY OF U.S. INTERSTATE 30;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY SOUTH 65°09'57" WEST, A DISTANCE OF 711.59 FEET, TO A 5/8" REBAR AND CAP (PS 128) AT THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY AND THE SOUTH LINE OF SAID SW1/4, NW1/4 OF SECTION 13;

THENCE ALONG SAID SOUTH LINE NORTH 88°43'09" WEST, A DISTANCE OF 67.64 FEET, TO A POINT SHOWN ON SAID SOUTH LINE OF EAST RIDGE SUBDIVISION, PHASE 1, CONTAINING 47.00 ACRES (2,047,380.21 SQUARE FEET), MORE OR LESS.



PROPERTY SPECIFICATIONS:

OWNER: ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	NUMBER OF LOTS: 3
DEVELOPER/SUBDIVIDER: ARKANSAS STORAGE XIV, LLC PO BOX 10 BRYANT, AR 72022	SOURCE OF WATER: CITY OF BRYANT SOURCE OF SEWER: CITY OF BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC COOP SOURCE OF GAS: CENTERPOINT ENERGY
ENGINEERS: HOPE CONSULTING INC. 129 N. MAIN STREET BENTON, AR 72015	BUILDING SETBACKS: FRONT - AS SHOWN REAR - OR AS SHOWN SIDE - OR AS SHOWN
NAME OF SUBDIVISION: ZONING CLASSIFICATION: C-2	EASEMENTS, UTILITY & DRAINAGE (D.E. & U.E): FRONT - AS SHOWN REAR - AS SHOWN SIDE - AS SHOWN
SOURCE OF TITLE: SALINE COUNTY DOCUMENT 2023-015797 2023-015796 2023-010005 2023-017298	LOT CORNERS: SET 1/2" REBAR WITH CAP

HOPE CONSULTING ENGINEERS - SURVEYORS
129 N. Main Street, Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
ARKANSAS STORAGE XIV, LLC

PRELIMINARY PLAT
FINLEY BUSINESS PARK
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

DATE: 01/19/2024	C.A.D. BY: BJOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	22-0800
SHEET:	SCALE: 1" = 100'	
500 01S 14W 0 14 110 62 1762		
500 01S 14W 0 13 400 62 1762		

LEGEND
 (A) - Computed point
 (●) - Found monument
 (○) - Set Iron Pipe
 (M) - Measured
 (R) - Record
 (D) - Deed

By affixing my seal and signature, I Jonathan L. Hope PLS No. 1762, hereby certify that this drawing correctly depicts a survey completed under my supervision.
NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.
No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0365c, Dated: 06/08/2020.

Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

\$231+\$300= \$531

\$25*77= \$1,925

Total Fee Required= \$2,456

City of Bryant Subdivision Checklist

Subdivision/Project Name Legacy Heights

Contact Person Jonathan Hope Phone 501-860-0467

Mailing Address 129 N Main Street Benton, Arkansas

I. BASIC INFORMATION NEEDED ON THE PLAT

- √ ▲ 1. Name of Subdivision/Project
- √ ▲ 2. Current zoning PUD
- √ ▲ 3. Name and Address of owner of Record
- √ ▲ 4. Illustrate Source of Title giving deed record book and page number
- √ ▲ 5. Name & address of the sub-divider
- √ ▲ 6. Date of Survey
- √ ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- √ ▲ 8. Legal description of the property with exact boundary lines
- √ ▲ 9. Acreage of property
- √ ▲ 10. Number of Lots
- √ ▲ 11. Lot area in square feet
- √ ▲ 12. Lot lines with appropriate dimensions
- √ ▲ 13. Building setback lines
- √ ▲ 14. Preliminary Engineering certificate seal and signature on each page
- √ ▲ 15. Certificate of Engineering Accuracy
- √ ▲ 16. Certificate of Owner
- √ ▲ 17. Certificate of Final Plat Approval
- √ ▲ 18. Certificate of Recording
- √ ▲ 19. Show scale (not less than 1" = 100')
- √ ▲ 20. North Arrow
- √ ▲ 21. Show Title block
- √ ▲ 22. Show adjoining property owners
- √ ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- √ ▲ 24. Layout of all subdivision entrance street upgrades
- √ ▲ 25. Layout of all proposed alleys
- √ ▲ 26. Layout of all proposed sidewalk systems
- √ ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- √ ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- √ ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- √ ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- √ ▲ 31. Street width and right-of-way properly shown for each functional classification
- √ ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- √ ▲ 33. Typical cross section of streets
- √ ▲ 34. Location and name of existing streets
- √ ▲ 35. New street names that are not similar to existing street names
- √ ▲ 36. Show street lights
- √ ▲ 37. Show Fire Hydrant placement

- √ ▲ 38. Show and label all permanent & proposed easements
- √ ▲ 39. Any proposed open space must be shown
- √ ▲ 40. Show the direction and flow of all water courses entering the tract
- √ ▲ 41. Show the direction and flow of all water courses leaving the tract
- √ ▲ 42. The drainage area of all water courses above the points of entry.
- √ ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- √ ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- √ ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- √ ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- √ ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- √ ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- √ ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- √ ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- √ ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- √ ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

Lombard Heights

Jonathan Hope

Name of Subdivision

Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

William McFadden

Owner Signature

Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

**AGREEMENT
BY
SUBDIVISION DEVELOPER
TO PROVIDE ASSURANCE TO
THE CITY OF BRYANT
ARKANSAS
PER ORDINANCE #98-35**

I _____, developer for the
_____ subdivision located in
the City of Bryant city limits or planning jurisdiction agree to provide a surety
bond or cashier's check in the amount of 10% of the development cost estimated
to be \$_____ but not less than \$10,000 or more than \$50,000 within
10 calendar days after preliminary plat approval by the Bryant Planning
Commission in accordance with the terms of Ordinance Number 98-35.

Date

Developer Signature

Witness

Printed Name

Address

Phone Number

ASSURANCES FOR COMPLIANCE, INSTALLATION, ETC.

- a.) Upon preliminary approval of subdivision construction plans and specifications for improvements, the Developer shall enter into an agreement with the City of Bryant to install or ensure the completion of the improvements as designed and to (repair or replace), (pay the cost to the city of repairing or replacing) all city property damaged or destroyed in connection therewith. The city will accept the subdivision and issue the certificate of final plat approval subject to the assurance of performance of the obligations of the Developer under the agreement.
- b.) One of the following assurances assigned to the city shall be utilized by the Developer to assure performance of the Developer's obligations under the agreement:
 1. Surety Bond in the amount of ten percent (10%) of the estimated development cost and recorded at the Saline County Courthouse.
 2. Cashier's check(s) in the amount of ten percent (10%) of the estimated development cost on which no interest will be paid by the city.

Any cashier's check or certificate of deposit allowed by this section shall be insured by a financial institution insured by the Federal Deposit Insurance Corporation and licensed to business in Arkansas. Further, each instrument of assurance shall be payable to the City of Bryant, and shall be in principal amount no less than \$10,000 or no greater than \$50,000. All instruments of assurance or the city's check in the amount equal to the principal amount of the instrument less any deductions for failure to perform by the Developer shall be returned to the Developer one-year after completion of the Developers performance under the agreement.

Forfeiture of the assurance for compliance does not relieve the Developer of his responsibility to complete the subdivisions improvements to the satisfaction of the City.

Developer's of large projects that could have an adverse impact on the City's infrastructure may be required to have an assurance for compliance if so directed by the Planning Commission.

All Ordinances and parts of Ordinances in conflict with this Ordinance are hereby repealed.

Should any portion of this ordinance be unconstitutional or invalid and so declared by a court of competent jurisdiction, then the remainder of this Ordinance, and any remaining applications of the Ordinance, shall not be affected by such partial unconstitutionality or invalidity.

This Ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED THIS 28th DAY OF September, 1998.


APPROVED


ATTEST

No Emergency Clause



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 4/24/2024

Applicant or Designee:

Name Jonathan Hope
Address 129 N Main St. Benton, AR
Phone 501-315-2626
Email Address jonathan@hopeconsulting.com

Property Owner (If different from Applicant):

Name Finley & Company
Address P.O Box 10 Bryant, AR
Phone 501-258-9646
Email Address stuart@finleyandcompany.com

Property Information:

Address 8800 HWY 5
Parcel Number Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600
Existing Zoning Classification C-2
Requested Zoning Classification PUD
Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)
See Exhibit Attached

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

Additional Requirements:

*Items below **must be completed before the public hearing can occur.** Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.*

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, June 10, 2024 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a rezone request at the site of
Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600 (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

April 24, 2024

RE: Rezoning Petition

The property located at Parcel #840-11640-124, 840-11660-000, 840-11660-010, 840-11660-020, 840-11634-600 is being considered for rezoning from C2 to PUD. The property is more particularly described as follows:

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday June 10, 2024 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3rd Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0857 or by contacting me at 501-860-0467.

Thank you for your consideration in this matter.

Sincerely,


Jonathan Hope

Hope Consulting

February 2, 2024

Colton Leonard
City of Bryant
210 S.W. 3rd Street
Bryant, Arkansas 72022

RE: Legacy Woods: Planned Unit Development

Dear Mr. Leonard,

Colton,

I am writing to propose Legacy Woods, a vibrant new neighborhood within our community that promises to enhance the quality of life for its residents and contribute positively to the overall appeal of Bryant. This project will be proposed as a Planned Unit Development.

Located on 18.8 acres on Highway 5, this proposed neighborhood will consist of 78 residential lots thoughtfully designed to foster a sense of community and well-being. Emphasizing both recreation and relaxation, our plan includes a range of amenities aimed at promoting an active and social lifestyle.

Key features of the proposed neighborhood include:

- *Walking trails weaving through lush greenery, providing residents with opportunities for exercise and leisurely strolls.
- *Pickleball courts catering to the growing popularity of this engaging sport, encouraging friendly competition and camaraderie among neighbors.
- *A fitness center equipped with modern facilities, allowing residents to pursue their health and wellness goals conveniently within the neighborhood.
- *A welcoming clubhouse serving as a hub for community events, gatherings, and celebrations, fostering connections and a sense of belonging among residents.
- *A thoughtfully designed playground providing safe and enjoyable recreational opportunities for children.
- *A refreshing swimming pool offering a perfect retreat for relaxation and enjoyment during warm summer days.

Furthermore, we are committed to preserving green spaces within the neighborhood, with 4.15 acres designated as Common Usable Open Space. This area will not only enhance the aesthetic appeal of the neighborhood but also provide residents with additional recreational opportunities and a connection to nature.

Our vision for this neighborhood is to create a harmonious blend of modern living, recreational amenities, and natural beauty, offering residents a fulfilling and balanced lifestyle. We believe that this development aligns with the city's goals of promoting community well-being and sustainable growth.

We look forward to discussing this Planned Unit Development with you further and working collaboratively to bring this exciting project to fruition for the benefit of all Bryant residents.

Sincerely,

Jonathan Hope



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 4-25-24

Applicant or Designee:

Name William Kalkbrenner

Address 1710 Shoal Road

Phone 501-529-7995

Email Address w.kalkbrenner@gmail.com

Property Owner (If different from Applicant):

Name _____

Address _____

Phone _____

Email Address _____

Property Information:

Address 1710 Shoal Road

Parcel Number 840-14867-000

Existing Zoning Classification R-E

Requested Zoning Classification R-1

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)

Application Submission Checklist:

Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda

Completed Rezoning Application

Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)

NA If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

Additional Requirements:

Items below must be completed before the public hearing can occur. Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I William Kalkbrenner, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, _____ at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a conditional use request at the site of
_____(address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

SAMPLE LETTER

Date
Name
Address

RE: Rezoning Petition

The property located at _____ is being considered for rezoning from _____ to _____. The property is more particularly described as follows:

INSERT LEGAL DESCRIPTION OF PROPERTY

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday _____, 2021 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3rd Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0857 or by contacting me at _____.

Thank you for your consideration in this matter.

Sincerely,

Your Signature
Your Name

Photo

Done

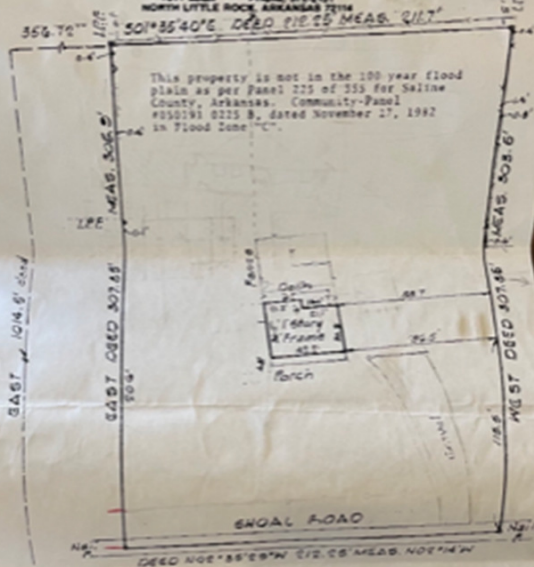
08-13-98 13:16 SALINE COUNTY ABSTRACT - LIBERTY 10.754 P001-00
 08-13-98 13:18 581 276 9781
 DONALD W. BROOKS INC SURV 581 276 9781 1998-08-13 13:44 #912 P.02-02

**DONALD W. BROOKS
 LAND SURVEYOR**

1811 MAIN PHONE 379-2021
 NORTH LITTLE ROCK, ARKANSAS 72114

356.72' 177' 301°35'40"E DEED 112.25 MEAS. 212.7'

This property is not in the 100 year flood plain as per Panel 225 of 355 for Saline County, Arkansas. Community-Panel #350191 0225 B, dated November 17, 1992 in Flood Zone "C".



LEGAL DESCRIPTION

A part of the NW 1/4 NE 1/4, Section 28, T-1-S, R-14-W, Saline County, Arkansas, described as follows: Commencing at the Northwest corner of the NW 1/4 NE 1/4, Section 28, thence run South 479.0 feet; thence run East 1014.5 feet; thence run S 01°35'40" E, 356.72 feet to a point of beginning; thence run S 01°35'40" E, 212.25 feet to a point; thence run West 307.81 feet; thence run N 01°35'29" W, 212.25 feet; thence run East 307.81 feet to the point of beginning, containing in all 1.5 acres, more or less.

Date of Survey: August 13, 1998
 Scale: 1" = 40'
 Property Address: 1710 Shoal Road
 For Use & Benefit of: Rev. A. Potter
 @William Potter
 Saline County Abstract



This is to certify that the above described land has been surveyed. The corners are marked as shown and are in accordance with existing monuments in the vicinity. This certification is for and based on the parties shown herein.

2024 DAN
 4.00



William Kalkbrenner
1710 Shoal Rd., Bryant, AR 72022
501-529-7995
w.kalkbrenner@gmail.com

April 25th, 2024

Colton Leonard
City Planner – City of Bryant, AR
210 SW 3rd. St., Bryant, AR 72022
501-943-0301

Rezoning of 1710 Shoal Rd., Bryant, AR 72202 – From R-E to R1

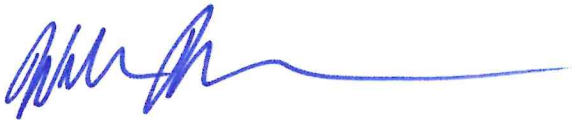
Mr. Leonard,

I am writing to request that 1710 Shoal Rd., Bryant, AR 72202 be rezoned from R-E to R-1. The property is now connected to City of Bryant sanitary sewer, allowing a transition from the R-E zoning designation.

I would like to request that this rezoning be formally placed on the City of Bryant Planning Commission Agenda.

Any help that you may be able to provide in this matter would be greatly appreciated.

Sincerely,



William Kalkbrenner

OWNERSHIP/ZONE SEARCH

Date: May 13, 2024
File Number: 24-020323-050
Prepared For: Tim Lemons, PE

Lenders Title Company has searched the records of the Real Estate Records of Saline County, Arkansas to determine the apparent ownership of property within 350 feet of the perimeter of the following described property as of April 26, 2024 at 8:00AM

That part of the Southeast Quarter of the Southeast Quarter of Section 17, Township 1 South, Range 14 West, Saline County, Arkansas, more fully described as follows: Beginning at a point on the East line of the said SE1/4 of SE1/4 that is 1155 feet North of the Southeast corner thereof; run thence North for 165 feet thence West parallel with the South line thereof to the intersection with the West line of the said SE1/4 SE1/4; run thence South, along the West line thereof for 165 feet; run thence East to the point of beginning.

Following is a list of apparent owners of property within 350 feet of the perimeter of the above described property as reflected by the records of the Real Estate Records of Saline County, Arkansas:

Malcolm Living Trust
7421 Worth Ave.
Benton, AR 72019

Brian Bauer
7428 Worth Ave.
Benton, AR 72019

George & Linda Dicus
7422 Worth Ave. E
Benton, AR 72019

James A. Parks
7425 Union Square
Benton, AR 72015

Michael L. Armstrong and Mary K. Armstrong
7417 Union Square
Benton, AR 72019

Kari D. Caradine and Brett W. Caradine
7420 Union Square
Benton, AR 72015

George A. Holcomb Jr.
7424 Union Square
Benton, AR 72019

Nakia R. Lovell
7416 Union Square
Benton, AR 72019

Tiffany Johnson
5415 Union Square
Benton, AR 72015

Brand's BJ & Kids LLC and Virginia Beth Ouellette
9 Virginia Rd.
Newport, AR 72112

Ashley M. Johnson and Anglea L. Johnson
5407 Union Square
Benton, AR 72019

John Prince and Kay Prince
7416 Worth Ave.
Benton, AR 72019

Tracy A. Shelton and Marianne Shelton
7415 Worth Ave.
Benton, AR 72019

Caleb Orion Fisher and April Danielle Morgan
7410 Worth Ave.
Benton, AR 72019

Eddie Walker and Ebony Walker
7409 Worth Ave.
Benton, AR 72019

John A. Vinson and Sarah R. Vinson
7403 Worth Ave.
Benton, AR 72019

Portia Simone Carr
7327 Worth Ave.
Benton, AR 72015-6272

Michael F. Guinn and Karen A. Guinn
7321 Worth Ave.
Benton, AR 72019

Carl & Pam Gann Living Trust
7316 Worth Ave.
Benton, AR 72019

Wilson David Grappe and Mary Diane Grappe
7328 Worth Ave.
Benton, AR 72019

Gary Ferrell and Diana Ferrell
7404 Worth Ave.
Benton, AR 72019

Hurricane Gardens POA
2200 Abigail Dr.
Bryant, AR 72019

Arthur & Jane Spicer Revocable Trust
3 Adoracion Point
Hot Springs Village, AR 71909

Cheiko Stewart and Rolando Dupree
2318 Abigail Dr.
Bryant, AR 72019

Kevin Nguyen Le and Ly Khanh Bui Living Trust
2312 Abigail Dr.
Bryant, AR 72022

Amy Baldwin
2306 Abigail Dr.
Bryant, AR 72019

Scott Christopher Jackson and Nancy Binder Jackson
2300 Abigail Dr.
Bryant, AR 72019

Viet Nhat Nguyen and Thi Mong Thi Le
2230 Abigail Dr.
Bryant, AR 72022

Charlotte Anne Carlson
2224 Abigail Dr.
Bryant, AR 72019

Abigail Estate Family Trust
4715 Hwy 5 N. Suite 2
Bryant, AR 72022

Aston George Gore and Janice Atacha Gore
2212 Abigail Dr.
Bryant, AR 72022

Antoine Sims
2206 Abigail Dr.
Bryant, AR 72019

Arturo Flores and Karla Marizol Flores
2202 Abigail Dr.
Benton, AR 72019

Jason Floyd
2403 Hurricane Gardens Dr.
Benton, AR 72019

David I Rososki and Karen W. Rososki
2409 Hurricane Gardens Dr.
Bryant, AR 72019

Imane Amrani
2415 Hurricane Gardens Dr.
Benton, AR 72019

Joseph Rush Milam and Ashley Elizabeth Milam
2421 Hurricane Gardens Dr.
Bryant, AR 72019

Bobby & Donna Joint Revocable Trust
2427 Hurricane Gardens Dr.
Bryant, AR 72019

Jerrilyn A. Profit and Avia S. Duncan
2433 Hurricane Gardens Dr.
Bryant, AR 72022

Russ Whiting Trust
2503 Hurricane Gardens Dr.
Bryant, AR 72022

Mervyn Kent David and Guqueta S. David
2509 Hurricane Gardens Dr.
Bryant, AR 72022

Sheryl Lanette May
2515 Hurricane Gardens Dr.
Bryant, AR 72019

Kay Lynn Brunt
2521 Hurricane Gardens
Benton, AR 72019

Stacy Lynn Baker
2527 Hurricane Garden Dr.
Bryant, AR 72022

Luat Thanh Nguyen and Hong Thi Vo
2603 Hurricane Gardens Dr.
Bryant, AR 72022

Jody Chandler
2609 Hurricane Gardens Dr.
Bryant, AR 72019

D & D Homes LLC
P.O. Box 1065
Bryant, AR 72089

Andrey Ann Lovett
1541 Pierce St.
Waxahachie, TX 75165

Roberto Roman and Kathleen C. Roman
2620 Hurricane Gardens
Bryant, AR 72022

Gregory Joe Frost II and Charlotte F. Frost
2614 Hurricane Gardens Dr.
Bryant, AR 72019

Drew Warburton
2608 Hurricane Gardens
Bryant, AR 72022

Jeremy Lee Galloway and Alexis Jean Galloway
2602 Hurricane Gardens Dr.
Benton, AR 72019

David S. Faulkner and Andrea R. Faulkner
2526 Hurricane Gardens Dr.
Benton, AR 72019

D & D Homes
P.O. Box 1065
Bryant, AR 72089

Jackie W. Eoff Revocable Trust and Shirley J. Eoff Revocable Trust
2508 Hurricane Garden Dr.
Benton, AR 72019

Larry A. Reich and Tetyana M. Reich
2502 Hurricane Gardens
Bryant, AR 72022

Lane Criss Cowart and Benjamin Paul Cowart, Jr. and Benjamin P. Cowart
2432 Hurricane Gardens Dr.
Benton, AR 72019

Eric Dwayne Flowers
2426 Hurricane Gardens Dr.
Benton, AR 72019

Latoya Lilly Hodge and Julius Melvin Hodge
2420 Hurricane Gardens Dr.
Benton, AR 72019

Samantha Mays and Ethan Mays
2414 Hurricane Gardens Dr.
Benton, AR 72019

Crystal Moody
2408 Hurricane Gardens Dr.
Benton, AR 72019

Mynor D. Martinez Guerra and Ruby Martinez
3418 Centark Cir.
Alexander, AR 72002

James Henry Glimmer Revocable Trust
2403 Pleasure Dr.
Benton, AR 72019

Michael Hamilton
2402 Pleasure Dr.
Bryant, AR 72022

Billy C. Farnsworth and Patricia Farnsworth
2211 Pleasure Dr.
Benton, AR 72019

Patsy D. Hammond
2418 Pleasure Dr.
Benton, AR 72019

James M. Reed and Lea Ellen Reed
4102 Springhill Rd.
Bryant, AR 72019

Bob and Kay Smith Joint Revocable Trust
4120 Springhill Rd.
Bryant, AR 72022

St. Regis at Hurricane Lake LLC
2970 Craighead Cir.
Conway, AR 72034

Richard Armando Flores and Yerize Celilia Isturiz
7319 Peach Blossom Dr.
Benton, AR 72019

Marjorie C. Mauch Revocable Trust
3505 Boone Rd. Apt. 221
Benton, AR 72015

Reginald Harris
7325 Peach Blossom Ave.
Benton, AR 72019

David Oudom Hen and Sophath Hen
7401 Peach Blossom Ave.
Benton, AR 72019

Thomas H. Massanelli
7405 Peach Blossom Ave.
Benton, AR 72019

Jodi Darter
7409 Peach Blossom Ave.
Benton, AR 72019

Fnu Sibghat Tul Liah
7413 Peach Blossom Dr.
Benton, AR 72019

Dustin R. Campbell and Shelly N. Campbell
7412 Peach Blossom Dr.
Benton, AR 72019

Jarrold Wade Gray and Deanea Marie Gray
7408 Peach Blossom Ave.
Benton, AR 72019

Douglas L. Woodall and Lita A. Woodall
14996 W. Polk Rd.
Alexander, AR 72002

Dennis Hendrix
P.O. Box 430
Benton, AR 72018-0430

This Ownership/Zone Search is intended for the exclusive use of the addressee for informational purposes only. Lenders Title Company is not expressing or attempting to express an opinion as to the validity of the title to the above described property or property noted as being within 350 feet thereof (collectively referred to as "the property"), the accuracy of the addresses, nor as to the validity of any interests or encumbrances, both recorded and unrecorded, that pertain to the property. While Lenders Title Company believes that the information stated above is accurate, no assurances are made nor is any liability assumed by Lenders Title Company for any incorrect information stated herein or omitted herefrom. For assurances as to the title to the property, addressee should obtain a title insurance commitment/policy.

Sincerely,

Lenders Title Company
Arkansas License No. IA-82



By:
Title Agent License Number: 9921013



CABOT
 200 E MAIN ST
 CABOT, AR 72023-9998
 (800)275-8777

05/24/2024 01:22 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.68
Benton, AR 72019			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Tue 05/28/2024			
Certified Mail®			\$4.40
Tracking #:			
9589 0710 5270 1819 4809 74			
Return Receipt			\$3.65
Tracking #:			
9590 9402 8711 3310 7172 03			
Total			\$8.73
First-Class Mail® Letter	1		\$0.68
Benton, AR 72019			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Tue 05/28/2024			
Certified Mail®			\$4.40
Tracking #:			
9589 0710 5270 1819 4809 43			
Return Receipt			\$3.65
Tracking #:			
9590 9402 8711 3310 7167 18			
Total			\$8.73
First-Class Mail® Letter	1		\$0.68
Newport, AR 72112			
Weight: 0 lb 1.30 oz			
Estimated Delivery Date			
Tue 05/28/2024			
Certified Mail®			\$4.40
Tracking #:			
9589 0710 5270 1819 4809 50			
Return Receipt			\$3.65
Tracking #:			
9590 9402 8711 3310 7165 65			
Total			\$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4809 67
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7163 05
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4809 29
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7162 37
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4809 36
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7172 27
 Total \$8.73

First-Class Mail® 1 \$0.92
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 Newport, AR 72112
 Weight: 0 lb 1.30 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4809 81
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7166 26
 Total \$8.97

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4810 56
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7170 98
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4810 63
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7171 42
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4810 70
 Return Receipt \$3.65
 Tracking #:
 9590 9402 8711 3310 7164 28
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.10 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #:
 9589 0710 5270 1819 4809 12
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 Tracking #:
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 Total \$8.73

First-Class Mail® 1 \$0.68
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 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
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 Tracking #: 9590 9402 8711 3310 7170 81
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 Tracking #: 9590 9402 8711 3310 7163 50
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 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
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 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4810 25
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7167 63
 Total \$8.73

First-Class Mail® 1 \$0.68
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 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
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 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 27
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4810 49
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 67
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4809 98
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 34
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Bryant, AR 72022
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 83
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7167 01
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 90
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 72
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 06
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7162 99
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 13
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7171 97
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 20
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 33
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 37
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7164 73
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 47
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 71
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 51
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 43
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 38
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7171 80
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 54
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 02
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Hot Springs Village, AR 71909
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 44
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7170 74
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 45
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 64
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 61
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7164 11
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 68
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7167 56
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 52
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 19
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 78
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7172 10
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4808 75
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 10
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 69
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 12
 Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4805 85
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7167 25
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4805 92
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 80
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Waxahachie, TX 75165
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 08
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 04
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Bryant, AR 72089
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 15
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 35
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 22
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7167 87
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 39
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 66
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 46
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7162 68
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 53
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 59
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 60
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7167 32
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 77
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 97
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 84
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7163 98
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4806 91
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 28
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4807 07
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7167 70
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.40 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4807 14
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 59
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7162 51
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4807 21
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4808 82
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7163 74
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4808 99
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 04
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Alexander, AR 72002
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4810 94
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7168 00
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72018
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4810 87
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 11
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4811 00
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7164 42
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.50 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4811 17
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7162 44
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.40 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4811 31
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7167 49
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.40 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4811 24
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7171 66
Total \$8.73

First-Class Mail® 1 \$0.68
Letter
Benton, AR 72019
Weight: 0 lb 0.40 oz
Estimated Delivery Date
Tue 05/28/2024
Certified Mail® \$4.40
Tracking #: 9589 0710 5270 1819 4811 48
Return Receipt \$3.65
Tracking #: 9590 9402 8711 3310 7165 03
Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4811 62
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7168 31
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72015
 Weight: 0 lb 0.20 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086490403
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 40
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4811 79
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 58
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Conway, AR 72034
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086496283
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 36
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086496290
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7168 17
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086496306
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 95
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4811 55
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 81
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086496313
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 89
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.60 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 30
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7168 55
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086495606
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7171 73
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086495613
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7162 82
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086495590
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 57
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Alexander, AR 72002
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 70210950000086495583
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 41
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4804 86
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7163 29
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4804 93
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7166 88
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 09
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7165 96
 Total \$8.73

First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 16
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7162 75
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.40 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4805 23
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7168 48
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.50 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4809 05
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7167 94
 Total \$8.73
 First-Class Mail® 1 \$0.68
 Letter
 Benton, AR 72019
 Weight: 0 lb 0.10 oz
 Estimated Delivery Date
 Tue 05/28/2024
 Certified Mail® \$4.40
 Tracking #: 9589 0710 5270 1819 4807 76
 Return Receipt \$3.65
 Tracking #: 9590 9402 8711 3310 7168 24
 Total \$8.73

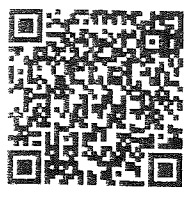
Grand Total: \$689.91
 Debit Card Remit \$689.91
 Card Name: MasterCard
 Account #: XXXXXXXXXXXX1456
 Approval #
 Transaction #: 807
 Receipt #: 073248
 Debit Card Purchase: \$689.91 Chip
 AID: A0000000042203
 AL: US Debit
 PIN: Verified

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 Clerk: 30

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 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
 \$ _____

Sent To
 Steven Wade Gray & Deanna Marie Gray
 Street and Apt. No., or PO Box No.
 408 Peach Blossom Ave.
 City, State, ZIP+4®
 Benton, AR 72019

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



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 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
 \$ _____

Sent To
 Dennis Kendrick
 Street and Apt. No., or PO Box No.
 P.O. Box 438
 City, State, ZIP+4®
 Benton, AR 72018-0430

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 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
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Sent To
 Dustin R. Campbell & Shelby N. Campbell
 Street and Apt. No., or PO Box No.
 408 Peach Blossom Dr.
 City, State, ZIP+4®
 Benton, AR 72019

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 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
 \$ _____

Sent To
 Douglas L Woodall & Lita A. Woodall
 Street and Apt. No., or PO Box No.
 408 Peach Blossom Rd.
 City, State, ZIP+4®
 Benton, AR 72002

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 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
 \$ _____

Sent To
 Fnu Sibahat Tulliah
 Street and Apt. No., or PO Box No.
 7413 Peach Blossom Dr.
 City, State, ZIP+4®
 Benton, AR 72019

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 Return Receipt (hardcopy) \$ _____
 Return Receipt (electronic) \$ _____
 Certified Mail Restricted Delivery \$ _____
 Adult Signature Required \$ _____
 Adult Signature Restricted Delivery \$ _____

Postage
 \$ _____

Total Postage and Fees
 \$ _____

Sent To
 Jodi Daxter
 Street and Apt. No., or PO Box No.
 7409 Peach Blossom Ave.
 City, State, ZIP+4®
 Benton, AR 72019

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42 TRH BTPT 0225 0120 6956

TE TRH BTPT 0225 0120 6956

9589 0710 5270 1819 4811 48

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Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 Thomas H Massanelli
 Street and Apt. No., or PO Box No.
 7405 Peach Blossom Ave.
 City, State, ZIP+4®
 Benton, AR 72019



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- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 Bob and Kay Smith Joint Revocable Trust
 Street and Apt. No., or PO Box No.
 4120 Springhill Rd.
 City, State, ZIP+4®
 Bryant, AR 72022



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- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 James M Reed & Lea Ellen Reed
 Street and Apt. No., or PO Box No.
 4102 Springhill Rd.
 City, State, ZIP+4®
 Bryant, AR 72019



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 0950 0000 8649 6283

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- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 St. Regis at Hurricane Lake LLC
 Street and Apt. No., or PO Box No.
 2910 Craighhead Cir.
 City, State, ZIP+4®
 Conway, AR 72034



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9589 0710 5270 1819 4811 79

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- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 Richard Armando Flores & Yerize Cecilia
 Street and Apt. No., or PO Box No.
 1311 Peach Blossom Dr.
 City, State, ZIP+4®
 Benton, AR 72019



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- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage

Total Postage and Fees

Sent To
 Mahorie C. Mauch Revocable Trust
 Street and Apt. No., or PO Box No.
 3505 Boone Rd. - Apt 221
 City, State, ZIP+4®
 Benton, AR 72015



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Reynald Harris
Street and Apt. No., or PO Box No.
1325 Peach Blossom Ave.
City, State, ZIP+4®
Benton, AR 72019

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Michael Hamilton
Street and Apt. No., or PO Box No.
202 Pleasure Dr.
City, State, ZIP+4®
Brentwood, AR 72022

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

CABOT AR
Postmark Here
MAY 24 2024
72023

9589 0710 5270 1819 4811 55

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
David Oudom Hen & Saphath Hen
Street and Apt. No., or PO Box No.
7401 Peach Blossom Ave.
City, State, ZIP+4®
Benton, AR 72019

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

CABOT AR
Postmark Here
MAY 24 2024
72023

7021 0950 0000 8649 5613

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Billy C. Farnsworth & Patricia Farnsworth
Street and Apt. No., or PO Box No.
2211 Pleasure Dr.
City, State, ZIP+4®
Benton, AR 72019

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

CABOT AR
Postmark Here
MAY 24 2024
72023

7021 0950 0000 8649 6313

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Patsy D Hammond
Street and Apt. No., or PO Box No.
2418 Pleasure Dr.
City, State, ZIP+4®
Benton, AR 72019

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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9589 0710 5270 1819 4805 30

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Certified Mail Fee
\$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage
\$

Total Postage and Fees
\$

Sent To
Lamy A Reich and Tetyana M Reich
Street and Apt. No., or PO Box No.
2002 Hurricane Gardens Dr.
City, State, ZIP+4®
Brentwood, AR 72022

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Lane Criss Couvert & Benjamin Paul Couvert, Jr.
Street and Apt. No., or PO Box No.
2432 Hurricane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Eric Dwayne Flowers
Street and Apt. No., or PO Box No.
2426 Hurricane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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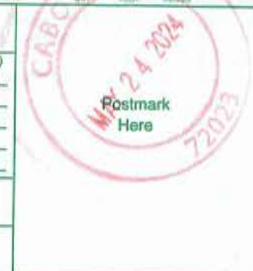
9589 0710 5270 1819 4804 93

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Samantha Mays and Ethan Mays
Street and Apt. No., or PO Box No.
2414 Hurricane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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7021 0950 0000 8649 5583

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Minor D Martinez Guerra & Ruby
Street and Apt. No., or PO Box No.
3718 Centark Cir.
City, State, ZIP+4®
Alexander, AR 72002

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Latoya Lilly Hodge & Julius Melvin Hodge
Street and Apt. No., or PO Box No.
2426 Hurricane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Crystal Moody
Street and Apt. No., or PO Box No.
2426 Hurricane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: James Henry Glimmer Revocable Trust
 Street and Apt. No., or PO Box No.: 2403 Pleasure Dr.
 City, State, ZIP+4®: Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: Antoine Sims
 Street and Apt. No., or PO Box No.: 2406 Abigail Dr.
 City, State, ZIP+4®: Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: Arturo Flores & Karla Marisol Flores
 Street and Apt. No., or PO Box No.: 2402 Abigail Dr.
 City, State, ZIP+4®: Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: Jason Floyd
 Street and Apt. No., or PO Box No.: 2403 Hurricane Gardens Dr.
 City, State, ZIP+4®: Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: David I Rososki & Karen W Rososki
 Street and Apt. No., or PO Box No.: 2401 Hurricane Gardens Dr.
 City, State, ZIP+4®: Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To: James A Parks
 Street and Apt. No., or PO Box No.: 7425 Union Square
 City, State, ZIP+4®: Benton, AR 72015

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Michael L. Armstrong & Mary K. Armstrong
 Street and Apt. No., or PO Box No. 717 Union Square
 City, State, ZIP+4® Benton, AR 72019

Postmark Here: CABOT AR MAY 2 2024 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Imane Amrani
 Street and Apt. No., or PO Box No. 2115 Hurricane Gardens Dr.
 City, State, ZIP+4® Benton, AR 72019

Postmark Here: CABOT AR MAY 2 2024 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Joseph Rush Milam & Ashley Elizabeth Milam
 Street and Apt. No., or PO Box No. 2115 Hurricane Gardens Dr.
 City, State, ZIP+4® Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Bobby & Donna Joint Revocable Trust
 Street and Apt. No., or PO Box No. 2115 Hurricane Gardens Dr.
 City, State, ZIP+4® Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Jerrilyn A. Probit & Ania S. Duncan
 Street and Apt. No., or PO Box No. 2115 Hurricane Gardens Dr.
 City, State, ZIP+4® Benton, AR 72022

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To: Russ Whiting Trust
 Street and Apt. No., or PO Box No. 2115 Hurricane Gardens Dr.
 City, State, ZIP+4® Benton, AR 72022

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Sheryl Lanette May
2515 Humcane Gardens Dr.
City, State, ZIP+4®
Bryant, AR 72019

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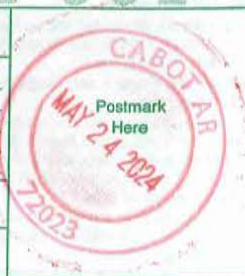
9589 0710 5270 1819 4806 77

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Merryn Kent David & Guzeta S David
2509 Humcane Gardens Dr.
City, State, ZIP+4®
Bryant, AR 72022

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Kay Lynn Bunt
2631 Humcane Gardens Dr.
City, State, ZIP+4®
Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Stacy Lynn Baker
2527 Humcane Gardens Dr.
City, State, ZIP+4®
Bryant, AR 72022

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Jody Chandler
2604 Humcane Gardens Dr.
City, State, ZIP+4®
Bryant, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To
Street and Apt. No., or PO Box No.
Quat Thanh Nguyen & Hong Thi Vo
2603 Humcane Gardens Dr.
City, State, ZIP+4®
Bryant, AR 72022

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 D & D Homes LLC
 Street and Apt. No., or PO Box No.
 P.O. Box 1065
 City, State, ZIP+4®
 Bryant, AR 72089

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Audrey Ann Lovett
 Street and Apt. No., or PO Box No.
 1541 Pierce St.
 City, State, ZIP+4®
 Waxahachie, TX 75165

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Gregory Joe Frost II & Charlotte F. Frost
 Street and Apt. No., or PO Box No.
 2614 Hurricane Gardens Dr.
 City, State, ZIP+4®
 Bryant, AR 72019

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Roberto Roman & Kathleen C. Roman
 Street and Apt. No., or PO Box No.
 2630 Hurricane Gardens Dr.
 City, State, ZIP+4®
 Bryant, AR 72022

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Jeremy Lee Gallaway & Alexis Jean
 Street and Apt. No., or PO Box No.
 2602 Hurricane Gardens Dr. Gallaway
 City, State, ZIP+4®
 Benton, AR 72019

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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9589 0710 5270 1819 4805 78

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Drew Warburton
 Street and Apt. No., or PO Box No.
 2603 Hurricane Gardens Dr.
 City, State, ZIP+4®
 Bryant, AR 72022

Postmark Here
 CABOT AR
 MAY 24 2024
 72023

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 David S Faulkner & Andrea R Faulkner
 Street and Apt. No., or PO Box No.
 2526 Hurricane Gardens Dr.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Jackie W. Coff Removable Trust & Shirley J. Coff
 Street and Apt. No., or PO Box No.
 2526 Hurricane Gardens Dr.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Michael F. Guinn and Karen A. Guinn
 Street and Apt. No., or PO Box No.
 1321 North Ave.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Carl & Pam Gann Living Trust
 Street and Apt. No., or PO Box No.
 1316 North Ave.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Wilson David Grappe & Mary Diane Grappe
 Street and Apt. No., or PO Box No.
 1326 North Ave.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Sent To
 Gary Ferrell and Diana Ferrell
 Street and Apt. No., or PO Box No.
 7404 North Ave.
 City, State, ZIP+4®
 Benton, AR 72019

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Humane Gardens POA Street and Apt. No., or PO Box No. 2300 Abigail Dr. City, State, ZIP+4® Bryant, AR 72019	

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Kevin Nguyen Le & Ly Khanh Bai Living Trust Street and Apt. No., or PO Box No. 2300 Abigail Dr. City, State, ZIP+4® Bryant, AR 72022	

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Arthur & Jane Spicer Revocable Trust Street and Apt. No., or PO Box No. 3 Adoration Point City, State, ZIP+4® Hot Springs Village, AR 71909	

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Amy Baldwin Street and Apt. No., or PO Box No. 2300 Abigail Dr. City, State, ZIP+4® Bryant, AR 72019	

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Cheiko Stewart and Rolando Dupree Street and Apt. No., or PO Box No. 2300 Abigail Dr. City, State, ZIP+4® Bryant, AR 72019	

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Certified Mail Fee	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
Postage	
Total Postage and Fees	
Sent To Scott Christopher Jackson & Nancy Binder Jackson Street and Apt. No., or PO Box No. 2300 Abigail Dr. City, State, ZIP+4® Bryant, AR 72019	

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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Malcolm Living Trust 7421 North Ave. Benton, AR 72019	

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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Abraham Estate Family Trust 4715 Hwy 5 N. - Suite 2 Bryant, AR 72022	

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Certified Mail Fee	\$4.40	0323
Extra Services & Fees (check box, add fee as appropriate)		30
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$3.65	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.68	
Total Postage and Fees	\$8.73	05/24/2024
Sent To	George + Linda Dicus 7422 Worth Ave. E Benton, AR 72019	

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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Charlotte Anne Carlson 2221 Abigail Dr. Bryant, AR 72019	

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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Anton George Gore + Janice Acha Gore 2221 Abigail Dr. Bryant, AR 72022	

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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)		
<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Met Nhat Nguyen + Thi Mong Thi Le 2221 Abigail Dr. Bryant, AR 72022	

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **Nakia R. Lovell**
 Street and Apt. No., or PO Box No.: **7416 Union Square**
 City, State, ZIP+4®: **Benton, AR 72019**

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **Portia Simone Carr**
 Street and Apt. No., or PO Box No.: **7327 Worth Ave.**
 City, State, ZIP+4®: **Benton, AR 72015-6272**

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **George A. Holcomb Jr.**
 Street and Apt. No., or PO Box No.: **7424 Union Square**
 City, State, ZIP+4®: **Benton, AR 72019**

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **John A. Vinson + Sarah R. Vinson**
 Street and Apt. No., or PO Box No.: **7403 Worth Ave.**
 City, State, ZIP+4®: **Benton, AR 72019**

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Certified Mail Fee	
\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **Kari D. Caradine + Brett W. Caradine**
 Street and Apt. No., or PO Box No.: **7420 Union Square**
 City, State, ZIP+4®: **Benton, AR 72015**

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\$	
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage	
\$	
Total Postage and Fees	
\$	

Sent To: **Eddie Walker + Ebony Walker**
 Street and Apt. No., or PO Box No.: **7401 Worth Ave.**
 City, State, ZIP+4®: **Benton, AR 72019**

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Certified Mail Fee \$	 <p>Postmark Here</p>
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To Tracy A Shelton and Marianne Shelton Street and Apt. No., or PO Box No. 7415 Worth Ave. City, State, ZIP+4® Benton, AR 72019	

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Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To Ashley M Johnson + Anglea L. Johnson Street and Apt. No., or PO Box No. 5407 Union Square City, State, ZIP+4® Benton, AR 72019	

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Certified Mail Fee \$	 <p>Postmark Here</p>
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To John Prince and Kay Prince Street and Apt. No., or PO Box No. 7416 Worth Ave. City, State, ZIP+4® Benton, AR 72019	

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Certified Mail Fee \$	 <p>Postmark Here</p>
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To Brian Bauer Street and Apt. No., or PO Box No. 7425 Worth Ave. City, State, ZIP+4® Benton, AR 72019	

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Certified Mail Fee \$	 <p>Postmark Here</p>
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To Caleb Orion Fisher + April Danielle Morgan Street and Apt. No., or PO Box No. 7410 Worth Ave. City, State, ZIP+4® Benton, AR 72019	

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Certified Mail Fee \$	 <p>Postmark Here</p>
Extra Services & Fees (check box, add fee as appropriate)	
<input checked="" type="checkbox"/> Return Receipt (hardcopy) \$	
<input type="checkbox"/> Return Receipt (electronic) \$	
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery \$	
<input type="checkbox"/> Adult Signature Required \$	
<input type="checkbox"/> Adult Signature Restricted Delivery \$	
Postage \$	
Total Postage and Fees \$	
Sent To Brand's B5 + Kids LLC + Virginia Beth Street and Apt. No., or PO Box No. 9 Virginia Rd City, State, ZIP+4® Newport, AR 72112	

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 1819 4809 98

U.S. Postal Service™
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OFFICIAL USE

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<input checked="" type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input checked="" type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$



Postage	\$
Total Postage and Fees	\$

Sent To	Tiffany Johnson
Street and Apt. No., or PO Box No.	6415 Union Square
City, State, ZIP+4®	Benton, AR 72015



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 5/8/2024

Applicant or Designee:
 Name Tim Lemons, PE
Lemons Engr.
 Address 204 W Cherm. Cobot. AR
72023
 Phone (501) 605-7565
 Email Address arstrep43@gmail.
com

Property Owner (If different from Applicant):
 Name Springhill HWY 5 Development,
LLC
 Address 816 E. OAK St., Conway. AR 72032
 Phone (501) 428-3866
 Email Address masseydevelopmentgroup@
hotmail.com

Property Information:

Address 3927 Springhill Rd., Bryant. AR 72022
 Parcel Number 840-11855-000
 Existing Zoning Classification R-2
 Requested Zoning Classification R-1-S

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)
see attached

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map


Additional Requirements:

Items below must be completed before the public hearing can occur. Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I , do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

Springhill HWY 5 Development, LLC
816 E. Oak Street
Conway, Arkansas 72032

May 8, 2024

City of Bryant, Arkansas
Community Development
210 SW 3rd Street
Bryant, Arkansas 72022

Re: Designee Authority – Proposed Rezone
3927 Springhill Road, Bryant, AR
Parcel # 840-11855-000

To Whom It May Concern:

Please accept this letter as the authority to designate Tim Lemons, PE, Lemons Engineering Consultants, Inc., 204 West Cherry Street, Cabot, AR 72023, as our representative for this project with respect to the proposed rezone, and presentation of the civil design plans.

Contact our office if you have any questions.

Sincerely,


Ankur Patel, Owner



Lemons Engineering Consultants, Inc.
204 West Cherry Street
Cabot, Arkansas 72023
(501) 605-7565
arstrep43@gmail.com

May 8, 2024

City of Bryant, Arkansas
Community Development
210 SW 3rd Street
Bryant, Arkansas 72022

Re: Rezone Request – From R-2 to R-1-S
3927 Springhill Road, Bryant, AR
Parcel #840-11855-000

To Whom It May Concern:

Please accept this letter as a formal request for a Rezone on the subject property located at 3927 Springhill Road, Bryant, AR. We ask that this request be included on the agenda of the June 10, 2024, City of Bryant Planning Commission meeting.

Attached you will find the Rezone Application, Authority Letter from the Owner establishing the Designee, and a recent survey of the property. From inspecting the survey you will find that the shape of the lot is relatively strange. Whereas the parcel contains 4.89 acres, the width of the tract is only 148.52 feet. This unusual shape will cause us to only have one row of lots along a planned road. Due to this limitation, we feel the rezone is justified.

We have included a word document version of the legal description to assist in creating all documents necessary for this rezone to be heard. Please review the enclosed and contact me if additional information is needed.

Sincerely,

Tim Lemons, PE

May 6, 2024

William (Bill) Gray
307 SW 4th Steet
Bryant, AR 72022

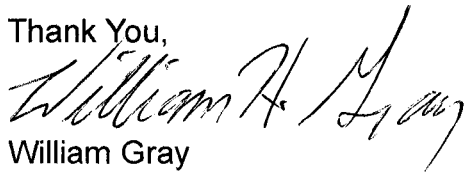
Letter Stating Request of Conditional Use Permit and Reason for Request

To Whom it May Concern,

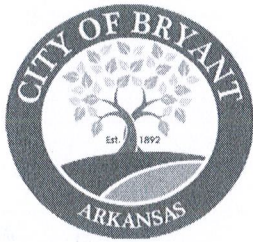
I am requesting approval of my Conditional Use Permit to allow me to get a building permit and to build a lean-too to my shop. I have a 30' x 55' shop in my back yard that I keep and work on my old cars. I built the shop 10 years ago and added another bay on last year and just recently bought another car. I thought I would add another 15' X 44' lean to onto the existing shop. I am retired and am doing the work myself. I have attached sketches of my shop and the new lean-too.

I have talked to my neighbor on the west side, Joe Casey, and he has no problem with my lean-too. Him and I are very good friends and he comes over or I go over to his place. I have a privacy fence that hides most of the shop and backyard. I keep the yard well maintained and looking good.

Thank You,

A handwritten signature in black ink that reads "William H. Gray". The signature is written in a cursive style with a large, stylized initial "W".

William Gray



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: May 3, 2024

Applicant or Designee:

Name William Gray (Bill)
Address 1300 N. Richardson Pl. Dr., Bryant
Phone 501-425-8975
Email Address: bill57g@gmail.com

Project Location:

Property Address 307 SW. 4th Street
Bryant, AR 72022
Parcel Number 840-15969-0000
Zoning Classification R1

Property Owner (If different from Applicant):

Name _____
Phone _____
Address _____
Email Address _____

Additional Information:

Legal Description (Attach description if necessary)

Description of Conditional Use Request (Attach any necessary drawings or images)

Request Approval to build a lean-to to existing shop.

Proposed/Current Use of Property Personal Use to Store and Work on hobby Cars

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, June 10th, 2024 at 6:00 P.M.

at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline

County, for the purpose of public comment on a conditional use request at the site of

307 SW 4th St., Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

Application Checklist

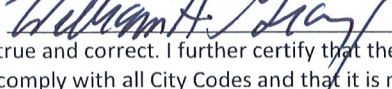
Requirements for Submission

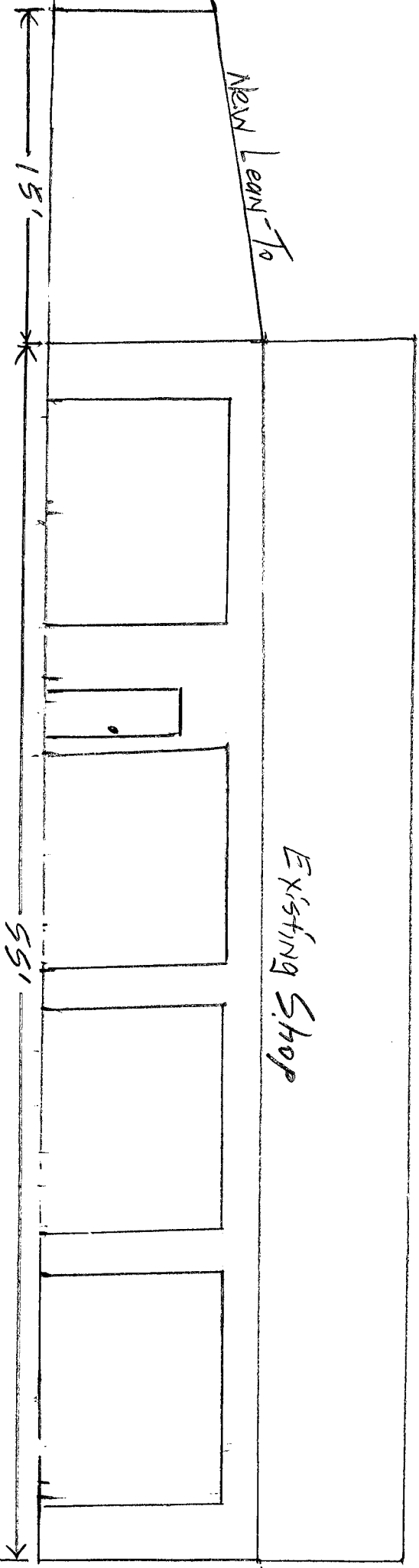
- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
 - Location, size, and use of buildings/signs/land or improvements
 - Location, size, and arrangement of driveways and parking. Ingress/Egress
 - Existing topography and proposed grading
 - Proposed and existing lighting
 - Proposed landscaping and screening
 - Use of adjacent properties
 - Scale, North Arrow, Vicinity Map
 - Additional information that may be requested by the administrative official due to unique conditions of the site.

Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

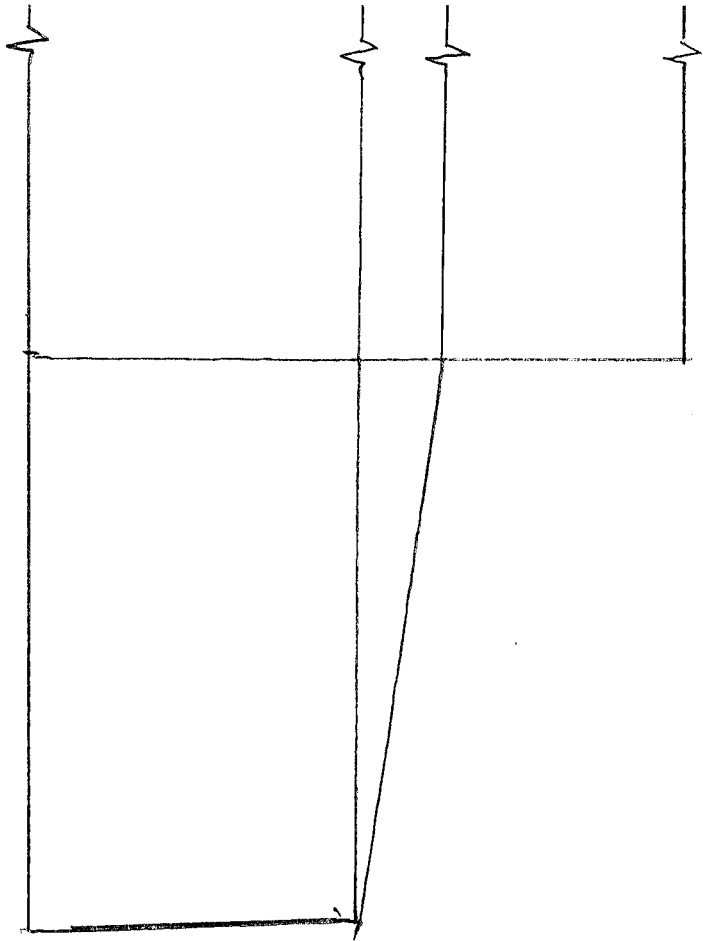
READ CAREFULLY BEFORE SIGNING

I  do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

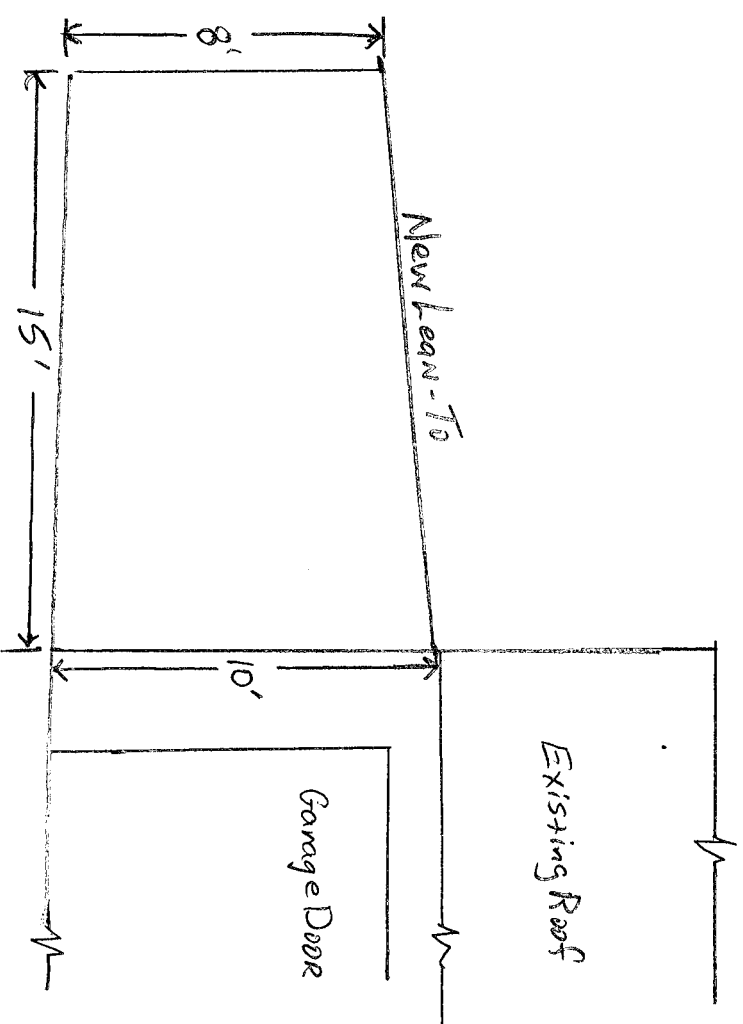


FRONT VIEW

13711 Gray Shop
307 SW 4th Street
Bryant, AR

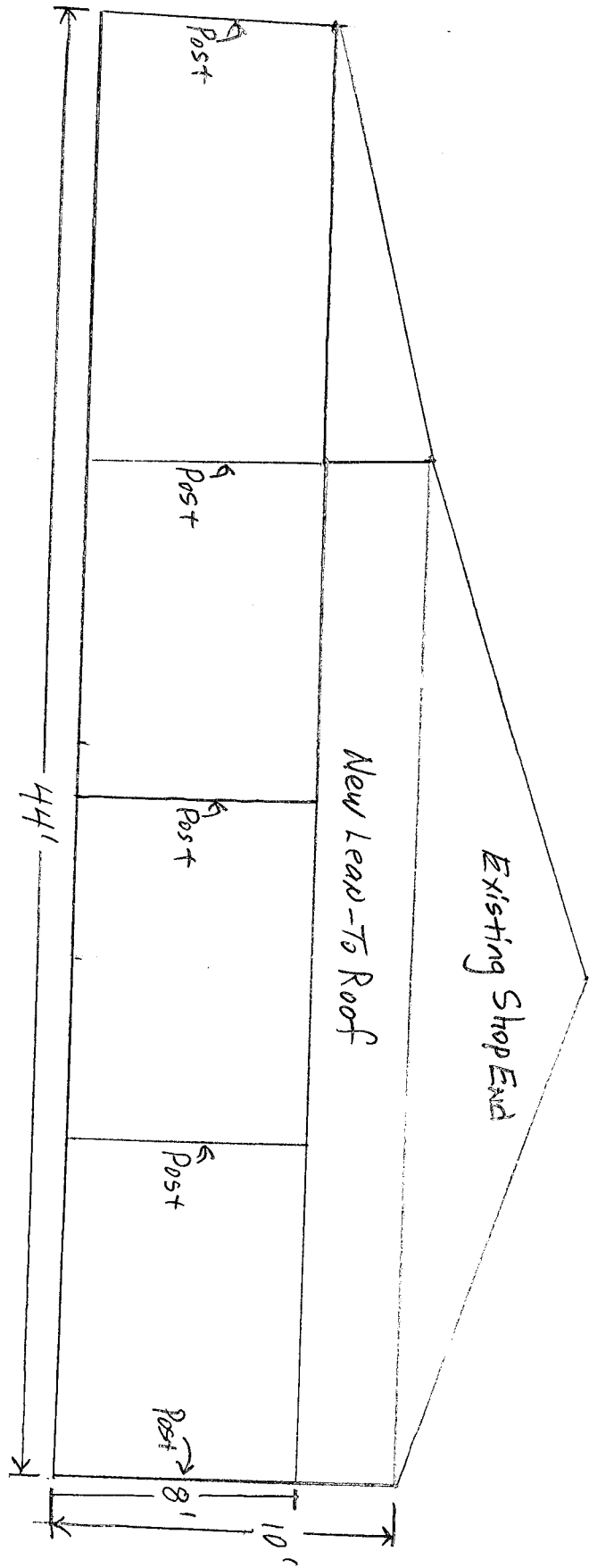


Back View



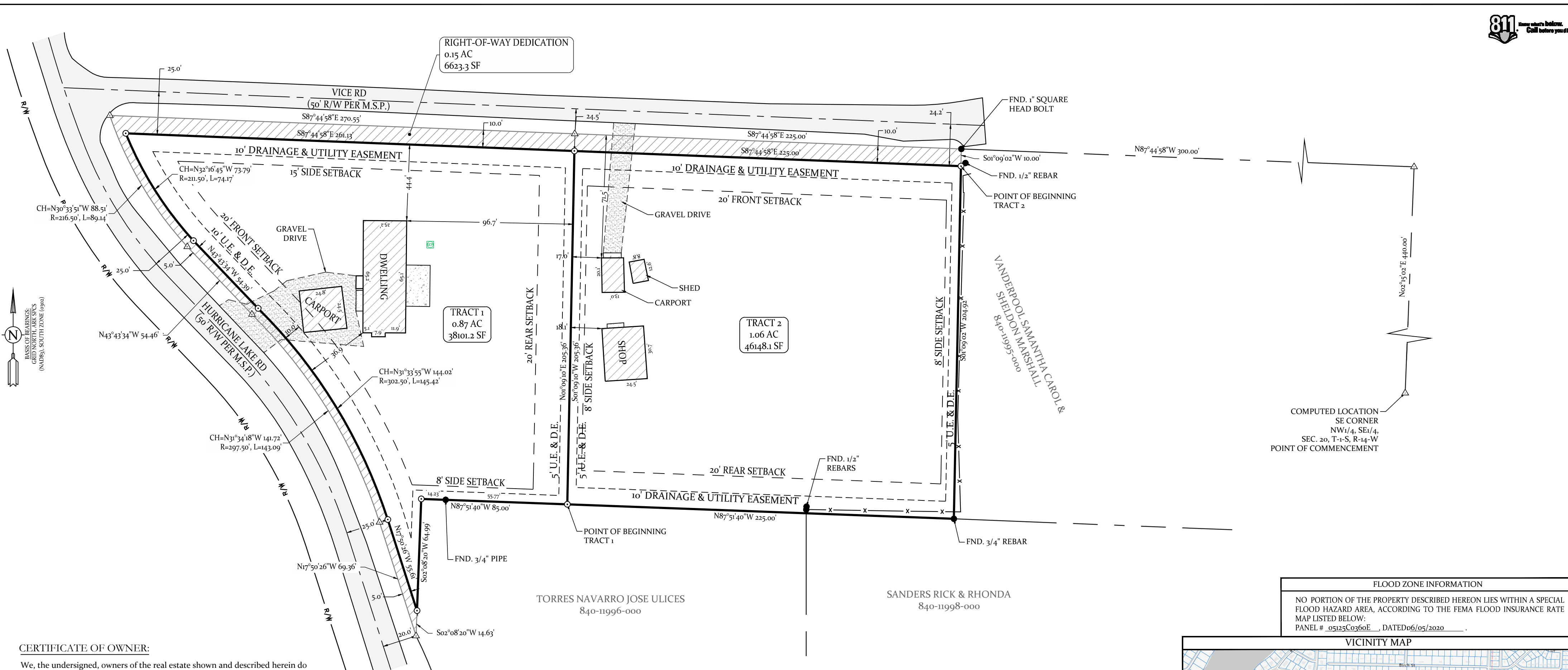
Front View

Bill Gray Shop



End View

Bill Gray Shop



CERTIFICATE OF OWNER:
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____ Name: _____
Source of Title: DEED 1995-23843

CERTIFICATE OF FINAL SURVEYING ACCURACY:
I, William Corbett R. Shoffner, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides.

Date of Execution _____
William Corbett R. Shoffner
Registered Professional
Land Surveyor No. 1664 Arkansas



CERTIFICATE OF FINAL PLAT APPROVAL:
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All Documents are hereby accepted, and this certificate is hereby executed under the authority of said rules and regulations.

Date of Execution _____ Name: _____
Bryant Planning Commission Chairman

TRACT 1 PROPERTY DESCRIPTION FROM SURVEY
A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID NW1/4, SE1/4 OF SECTION 20; THENCE NORTH 02°55'02" EAST A DISTANCE OF 440.00 FEET TO A COMPUTED POINT; THENCE NORTH 87°44'58" WEST A DISTANCE OF 300.00 FEET TO A 1" SQUARE HEAD BOLT; THENCE SOUTH 01°09'02" WEST A DISTANCE OF 10.00 FEET TO A 1/2" REBAR & CAP (PS 1664) ON THE SOUTHERLY RIGHT-OF-WAY OF VICE ROAD; THENCE CONTINUING SOUTH 01°09'02" WEST A DISTANCE OF 204.92 FEET TO A FND. 3/4" REBAR;
THENCE NORTH 87°51'40" WEST A DISTANCE OF 225.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE POINT OF BEGINNING;
THENCE NORTH 87°51'40" WEST A DISTANCE OF 85.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664); THENCE SOUTH 02°58'20" WEST A DISTANCE OF 64.99 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON THE EASTERLY RIGHT-OF-WAY OF HURRICANE LAKE ROAD;
THENCE ALONG SAID EASTERLY RIGHT-OF-WAY PARALLEL WITH SAID HURRICANE LAKE ROAD NORTH 17°50'26" WEST A DISTANCE OF 55.61 FEET TO A SET 1/2" REBAR & CAP (PS 1664); BEING THE POINT OF CURVATURE OF A CURVE TO THE LEFT, HAVING A RADIUS OF 302.50 FEET, AND CHORD BEARING OF NORTH 31°33'55" WEST A DISTANCE OF 144.02 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 145.42 FEET TO A SET 1/2" REBAR & CAP (PS 1664); THENCE NORTH 43°43'34" WEST A DISTANCE OF 54.39 FEET TO A SET 1/2" REBAR & CAP (PS 1664); BEING THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 211.50 FEET, AND CHORD BEARING OF NORTH 32°56'45" WEST A DISTANCE OF 73.79 FEET; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 74.17 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AT THE INTERSECTION OF SAID EASTERLY RIGHT-OF-WAY OF HURRICANE LAKE ROAD AND THE SOUTHERLY RIGHT-OF-WAY OF VICE ROAD;
THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY OF VICE ROAD SOUTH 87°44'58" EAST A DISTANCE OF 261.13 FEET TO A SET 1/2" REBAR & CAP (PS 1664); THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY SOUTH 01°09'10" WEST A DISTANCE OF 205.36 FEET TO THE POINT OF BEGINNING; CONTAINING 381.012 SQUARE FEET, OR 0.87 ACRES, MORE OR LESS.

TRACT 2 PROPERTY DESCRIPTION FROM SURVEY
A PART OF THE NORTHWEST QUARTER (NW1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID NW1/4, SE1/4 OF SECTION 20; THENCE NORTH 02°55'02" EAST A DISTANCE OF 440.00 FEET TO A COMPUTED POINT; THENCE NORTH 87°44'58" WEST A DISTANCE OF 300.00 FEET TO A 1" SQUARE HEAD BOLT; THENCE SOUTH 01°09'02" WEST A DISTANCE OF 10.00 FEET TO A 1/2" REBAR & CAP (PS 1664) ON THE SOUTHERLY RIGHT-OF-WAY OF VICE ROAD AND THE POINT OF BEGINNING;
THENCE SOUTH 01°09'02" WEST A DISTANCE OF 204.92 FEET TO A FND. 3/4" REBAR;
THENCE NORTH 87°51'40" WEST A DISTANCE OF 225.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664); THENCE NORTH 01°09'10" EAST A DISTANCE OF 205.36 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON SAID SOUTHERLY RIGHT-OF-WAY OF VICE ROAD;
THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY SOUTH 87°44'58" EAST A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING; CONTAINING 46148.1 SQUARE FEET, OR 1.06 ACRES, MORE OR LESS.

SURVEY DETAILS AND NOTES
OWNER OF RECORD: KELLY STEVEN K & AVA D
PHYSICAL ADDRESS: 2806 HURRICANE LAKE RD
COUNTY PARCEL TAX ID: 840-1994-000 & 840-12007-000

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

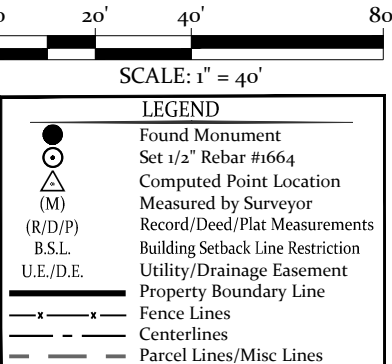
OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

THIS SURVEY IS BASED ON PUBLIC RECORDS AND/OR TITLE INVESTIGATIONS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY; HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, OR OTHER INTERESTS ARE MADE BY THIS SURVEY PLAT.

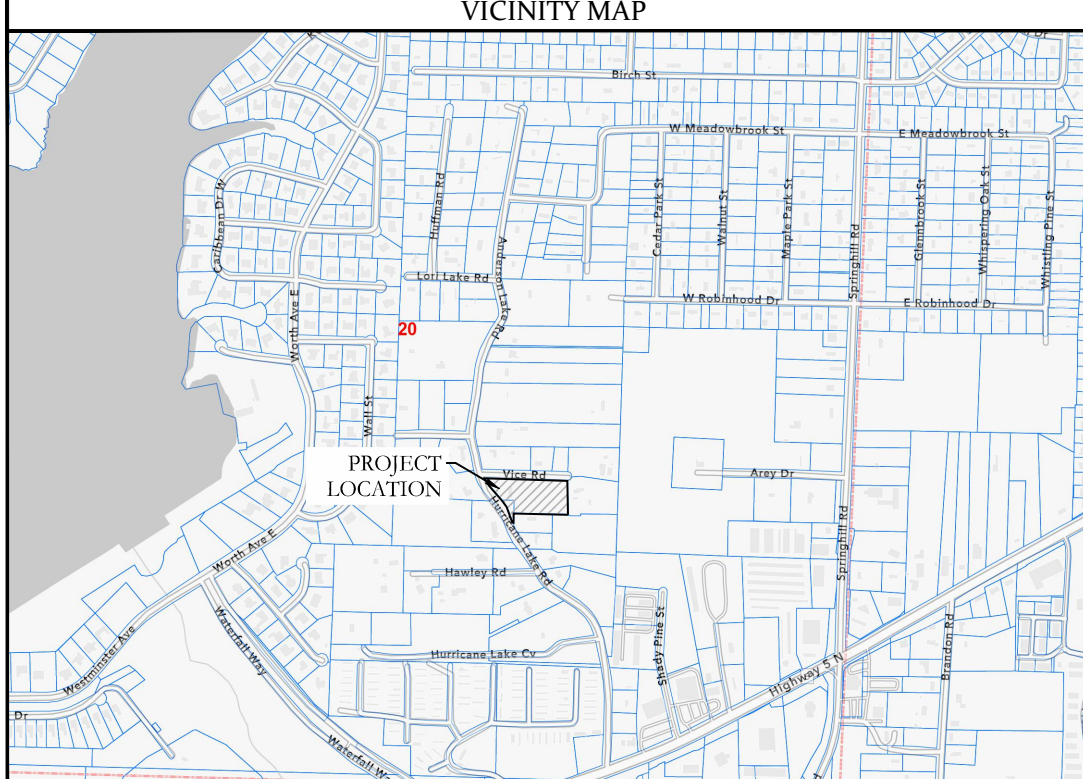
RECORD PROPERTY DESCRIPTION
SALINE COUNTY INSTRUMENT DEED 1995-23843

THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 440 FEET NORTH AND 300 FEET WEST OF THE SOUTHEAST CORNER OF SAID NW 1/4 OF SE 1/4 AND RUN THENCE SOUTH 215 FEET; WEST 310 FEET; NORTH 75 FEET; WEST 80 FEET; THENCE IN A NORTHERLY DIRECTION PARALLEL TO HURRICANE LAKE ROAD TO A POINT THAT IS DIRECTLY WEST OF THE POINT OF BEGINNING; THENCE EAST 500 FEET TO THE POINT OF BEGINNING.

ALSO
ALL THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID NW 1/4 OF SE 1/4 AND RUN THENCE EAST 726 FEET; THENCE NORTH TO THE INTERSECTION WITH THE EASTERLY LINE OF HURRICANE LAKE ROAD, THIS BEING THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; FROM SAID POINT CONTINUE THENCE NORTH TO A POINT THAT IS 300 FEET NORTH AND 726 FEET EAST OF THE SOUTHWEST CORNER OF SAID NW 1/4 OF SE 1/4; RUN THENCE WEST 80 FEET, MORE OR LESS, TO THE EASTERLY LINE OF HURRICANE LAKE ROAD; RUN THENCE SOUTHEASTERLY ALONG THE EASTERLY LINE OF SAID ROAD TO THE POINT OF BEGINNING. ALL OF THE ABOVE LANDS LYING EAST OF HURRICANE LAKE ROAD.



FLOOD ZONE INFORMATION
NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP LISTED BELOW:
PANEL # 05125C0360E, DATED 06/05/2020



HOPE CONSULTING
ENGINEERS - SURVEYORS
129 North Main Street
Benton, Arkansas 72015
Office: (501) 315-2626 | Fax: (501) 315-0024
www.HopeConsulting.com

TRACT SPLIT
IN THE NW1/4 OF THE SE1/4 OF SECTION 20, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS

FOR USE AND BENEFIT OF:
AVA KELLY
2806 HURRICANE LAKE ROAD
BENTON, ARKANSAS, 72019

DATE: 04/26/2024	CAD BY: OV	PROJECT NUMBER:
REVISED: REV. 6/4/2024	CHECKED BY:	
SHEET: 1 OF 1	SCALE: 1" = 40'	24-0343
AR STATE LAND SURVEY FILING CODE: 500 - 01S - 14W - 0 - 20 - 240 - 62 - 1664		

May 21 2024

Colton Leonard
City of Bryant
210 S.W. 3rd Street
Bryant, Arkansas 72022

RE: Replat Parcel # 840-11994-000 Hope Job #24-0343

Dear Mr. Leonard,

Colton,
Please find the attached Replat proposed for 2806 Hurricane Lake Road. This 2 acre parcel is being proposed as division into two tracts. The resident is finalizing the septic permit for the additional parcel. Our client Steven and Ava Kelly are currently working through the approval process and we will provide that approval as soon as it is complete.

We look forward to discussing this replat with you further at DRC next week. Thank you for your consideration.

Sincerely,

Jonathan Hope

LEGEND OF SYMBOLS & ABBREVIATIONS

⊙	GAS METER	Ⓜ	STORM DRAIN MANHOLE	▨	ASPHALT
⊙	WATER METER	Ⓜ	SEWER CLEANOUT	▨	CONCRETE
⊙	GUY WIRE	N	NORTH		
⊙	POWER/UTILITY POLE	S	SOUTH		
⊙	TELEPHONE PEDESTAL	E	EAST		
⊙	SEWER MANHOLE	W	WEST		
⊙	WATER VALVE	(M)	AS MEASURED	●	SET 1/2" REBAR W/ CAP #1853
⊙	FIRE HYDRANT	(D)	PER DEED	●	SET COTTON-PICKER SPINDLE
⊙	SIGNS	R/W	RIGHT-OF-WAY	○	FOUND MONUMENT (DESC. NOTED)
⊙	LIGHT POLE	L.A.	LANDSCAPED AREA	△	COMPUTED CORNER (NOT SET)
⊙	TELEPHONE MANHOLE	CR4	CAPPED 1/2" REBAR	▲	CORRESPONDS TO DRAWING NOTE
---	SS --- SANITARY SEWER LINE	CONC.	CONCRETE		
---	W --- WATER LINE	P.O.C.	POINT OF COMMENCEMENT		
---	STORM SEWER PIPE	P.O.B.	POINT OF BEGINNING		
---	ROADWAY CENTERLINE	CMP	CORRUGATED METAL PIPE		
---	UTILITY EASEMENT	RCP	REINFORCED CONCRETE PIPE		
---	BUILDING SETBACK LINE	ESMT	EASEMENT		
---	ROADWAY RIGHT-OF-WAY	HDPE	HIGH DENSITY POLYETHYLENE		
---	OVERHEAD ELECTRIC LINES	SUBD	SUBDIVISION		
---	UNDERGROUND TELEPHONE	FDC	FIRE DEPARTMENT CONNECTION		
---	UNDERGROUND GAS	CPS	COTTON PICKER SPINDLE		
---	UNDERGROUND FIBER OPTIC	PS	5/8" PIPE		
---	FENCE	R5	5/8" REBAR		
---	STEEL GUARD RAIL	R4	1/2" REBAR		
---	[100] --- SURFACE CONTOUR LINE & ELEVATION	PK	SURVEY NAIL		

CERTIFICATE OF SURVEY ACCURACY

I, ZANE ROBBINS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE OR VERIFIED BY ME, THAT ALL SURVEYING REQUIREMENTS OF THE STATE OF ARKANSAS AND CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS HAVE BEEN COMPLIED WITH AND FILED FOR RECORD AS REQUIRED.

DATE OF EXECUTION _____
 REGISTERED PROFESSIONAL LAND SURVEYOR
 NO. 1853 ARKANSAS
 CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

DATE OF EXECUTION _____ SIGNED _____
 NAME _____
 ADDRESS _____

SOURCE OF TITLE: INSTRUMENT No. _____

CERTIFICATE OF ENGINEERING ACCURACY

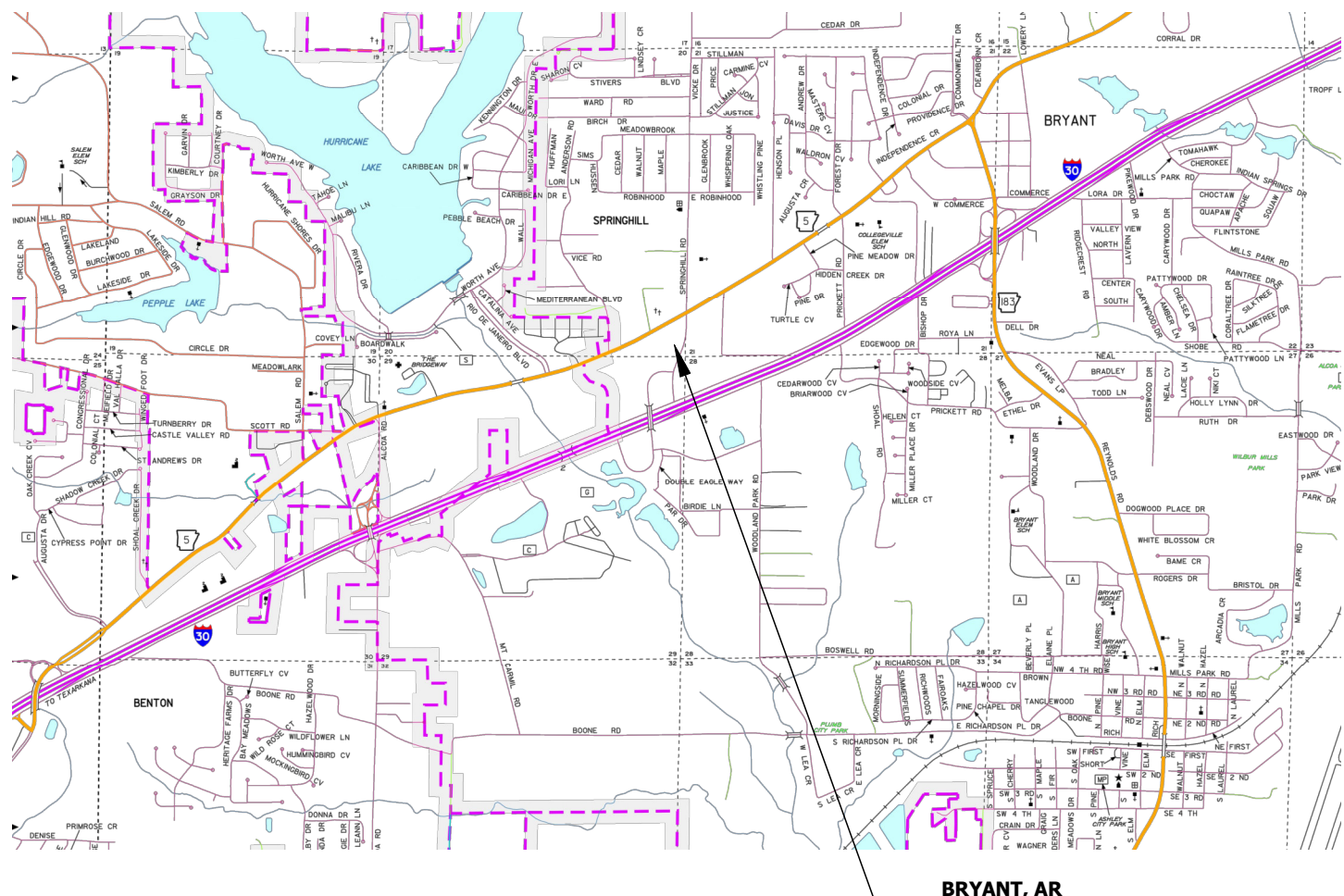
I, PHILLIP A. LEWIS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A PLAT MADE BY ME, AND THAT ENGINEERING REQUIREMENTS OF THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS HAVE BEEN COMPLIED WITH.

SIGNED, _____
 DATE OF EXECUTION _____
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9540 ARKANSAS

CERTIFICATE OF FINAL PLAT APPROVAL

ALL REQUIREMENTS OF THE BRYANT SUBDIVISION RULES AND REGULATIONS RELATIVE TO THE PREPARATION AND SUBMITTAL TO A FINAL PLAT HAVE BEEN FULFILLED, APPROVAL OF THIS PLAT IS HEREBY GRANTED, SUBJECT TO FURTHER PROVISIONS OF SAID RULES AND REGULATIONS.

SIGNED, _____
 DATE OF EXECUTION _____
 BRYANT PLANNING COMMISSION CHAIRMAN



VICINITY MAP (NTS)
 BRYANT, AR
 SITE LOCATION

LAND DESCRIPTION:

A part of the Southeast Quarter of the Southeast Quarter of Section 20, Township 1 South, Range 14 West, Saline County, Arkansas, described as follows: Commencing at a #4 rebar marking the Southeast corner of Section 20, Township 1 South, Range 14 West; thence North 87 deg. 39 min. 39 sec. West (measured North 87 deg. 53 min. 51 sec. West) along the South line of said Section 20 a distance of 216.77 feet to a point on the Westerly right-of-way line of Springhill Road Crossover as established by AHTD Job #060711 said point being the point of beginning; thence continue North 87 deg. 40 min. 16 sec. West (measured North 87 deg. 53 min. 51 sec. West) along the South line of said Section 20 for 40.89 feet to a rebar with cap #568, said point also being the Southwest corner of land described in Document Number 2004-073448, records of Saline County, Arkansas; thence North 05 deg. 11 min. 29 sec. West (measured North 05 deg. 25 min. 41 sec. West) along the West line of land described in Document Number 2004-073448 for 467.18 feet; thence North 60 deg. 20 min. 26 sec. East 149.95 feet; thence South 53 deg. 05 min. 43 sec. East 53.18 feet; thence South 00 deg. 02 min. 31 sec. West 140.95 feet to a point on the Westerly right-of-way line of Springhill Road Crossover as established by AHTD Job #060711; thence along said Westerly right-of-way line of Springhill Road Crossover as established by AHTD Job #060711 the following courses: thence South 13 deg. 12 min. 03 sec. West (measured South 12 deg. 57 min. 52 sec. West) 158.40 feet; thence South 30 deg. 03 min. 32 sec. West (measured South 29 deg. 49 min. 21 sec. West) 122.38 feet; thence South 25 deg. 56 min. 09 sec. West (measured South 25 deg. 41 min. 57 sec. West) 171.72 feet to the point of beginning, containing 2.21 acres, more or less.

GENERAL NOTES

1. BASIS OF BEARING FOR THIS SURVEY IS ARKANSAS STATE PLANE GRID SOUTH. DISTANCES SHOWN ARE GROUND DISTANCES.
2. REFERENCES:
 - A. SURVEY BY GARNAT ENGINEERING FOR MERCHANTS AND FARMERS BANK DATED 8-16-22.
 - B. SURVEY BY RASBURY SURVEYING FOR MERCHANTS & FARMERS BANK DATED 3-9-16.

CERTIFICATION

I HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY SUPERVISION ON THIS DAY AND THAT ALL CORNERS ARE SET AS SHOWN. NO INDEPENDENT SEARCH FOR EASEMENTS, COVENANTS, ENCUMBRANCES, OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE WAS PERFORMED.

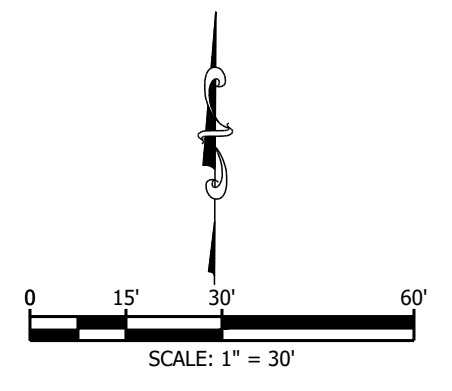
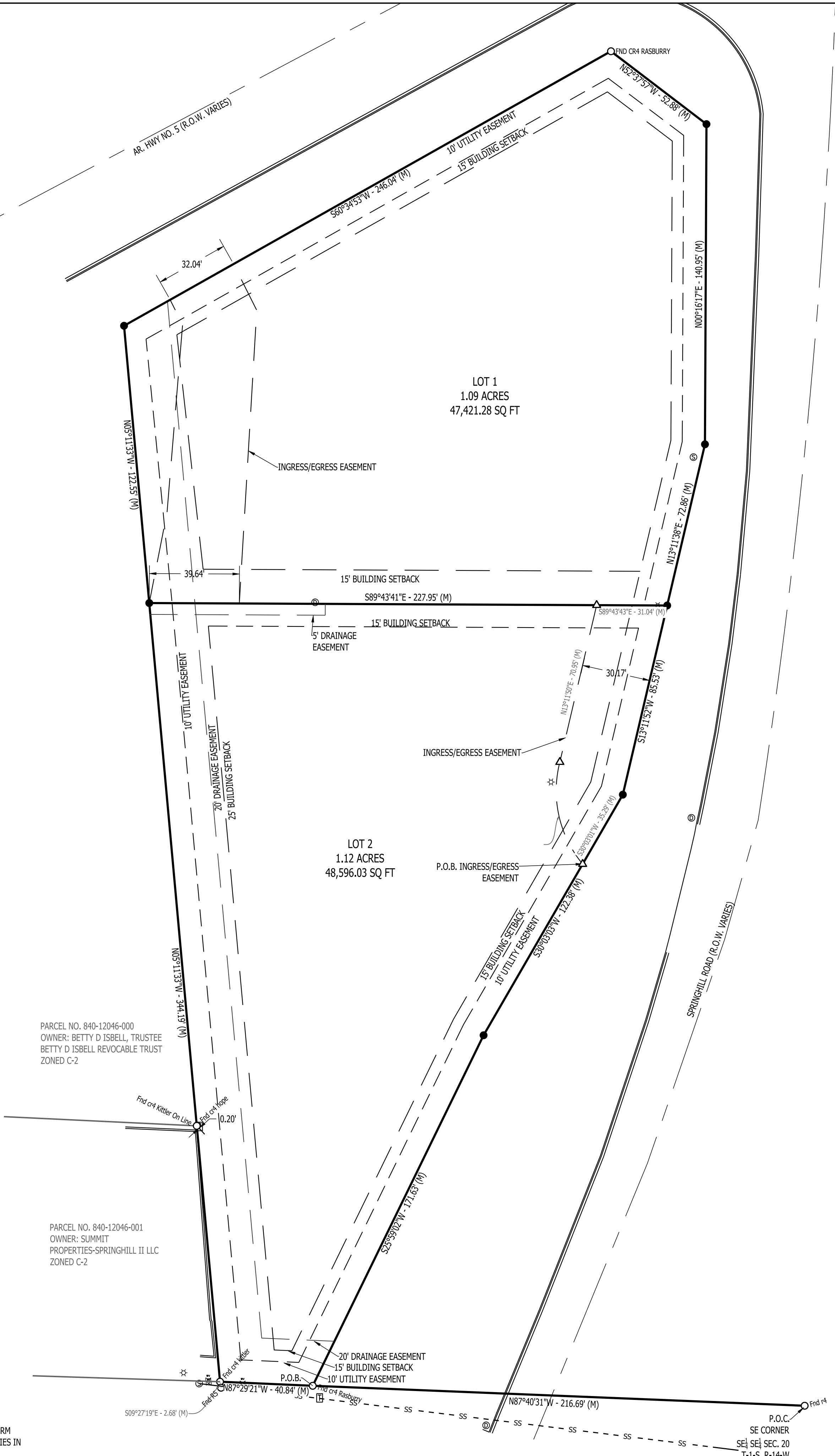
ZANE ROBBINS, AR PLS #1853

UTILITY NOTES

1. UTILITIES SHOWN ON THIS SURVEY ARE NOTED BY VISIBLE OBSERVATION ONLY. LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS SURVEY MUST BE CONSIDERED TO BE APPROXIMATE AS NO EXCAVATION HAS TAKEN PLACE AS OF THIS DATE TO DETERMINE THEIR EXACT LOCATION. OTHER UTILITIES, TO WHICH THE EXISTENCE AND LOCATION ARE UNKNOWN, MAY BE LOCATED ON OR NEAR THE SUBJECT PROPERTY.

FLOOD STATEMENT:

BY GRAPHIC PLOTTING ALONE, ACCORDING TO FEMA FIRM #05125C0360E, DATED JUNE 5, 2020, THIS PROPERTY LIES IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.



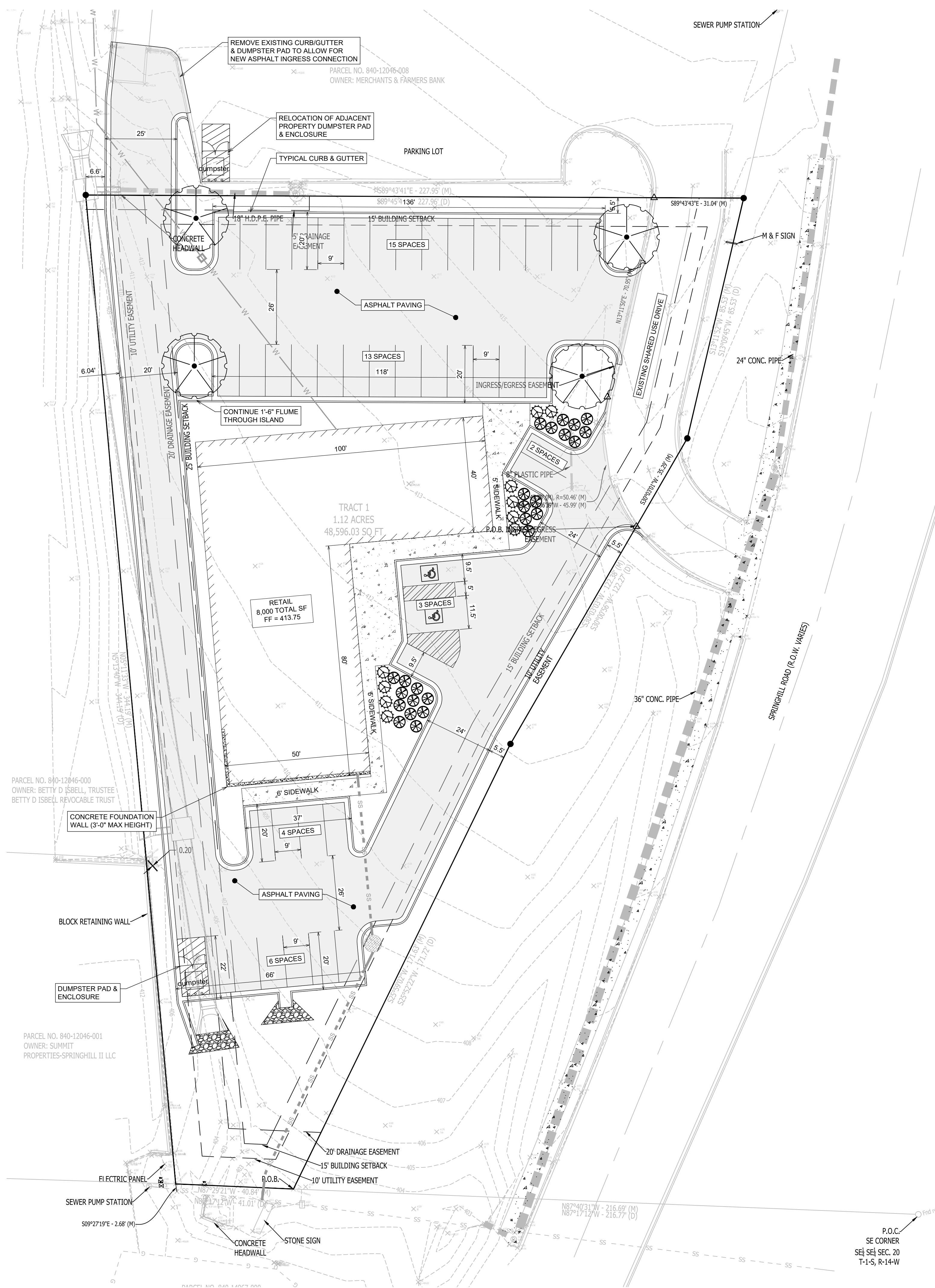
DATE	REVISIONS

PROPERTY ADDRESS
 SPRINGHILL ROAD
 BRYANT, AR.

LOTS 1 AND 2, M & F SUBDIVISION
 BRYANT
 SALINE COUNTY, ARKANSAS
 PRELIMINARY FINAL PLAT

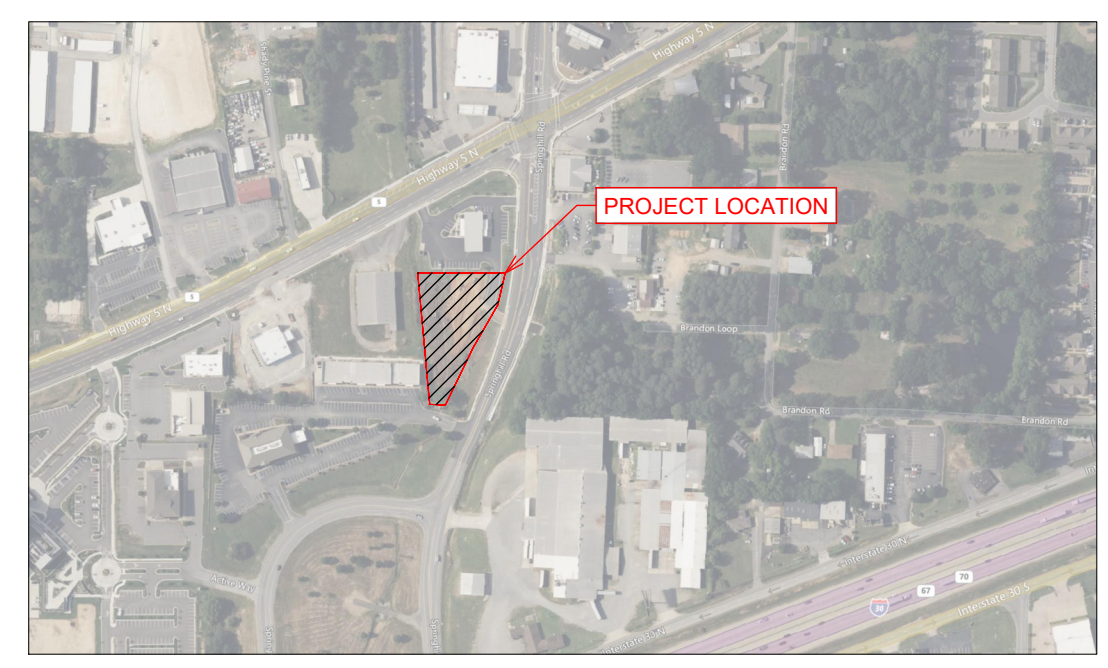
ROBBINS PROFESSIONAL LAND SERVICES
 INCORPORATED
 SURVEYING | GIS | CONSTRUCTION STAKING
 100 BOX 1991 | BRYANT, ARKANSAS 72809
 OFFICE: 501-658-0000 | 1-800-368-7888

DRAWN BY	ZR
CHECKED BY	ZR
DATE	5-3-24
SCALE	1"=30'
PROJECT No.	2024125
SHEET	--
PAGE	1 of 1



SITE PLAN

SCALE 1" = 20'



Vicinity Map

SCALE 1" = 500'

GENERAL SITE NOTES

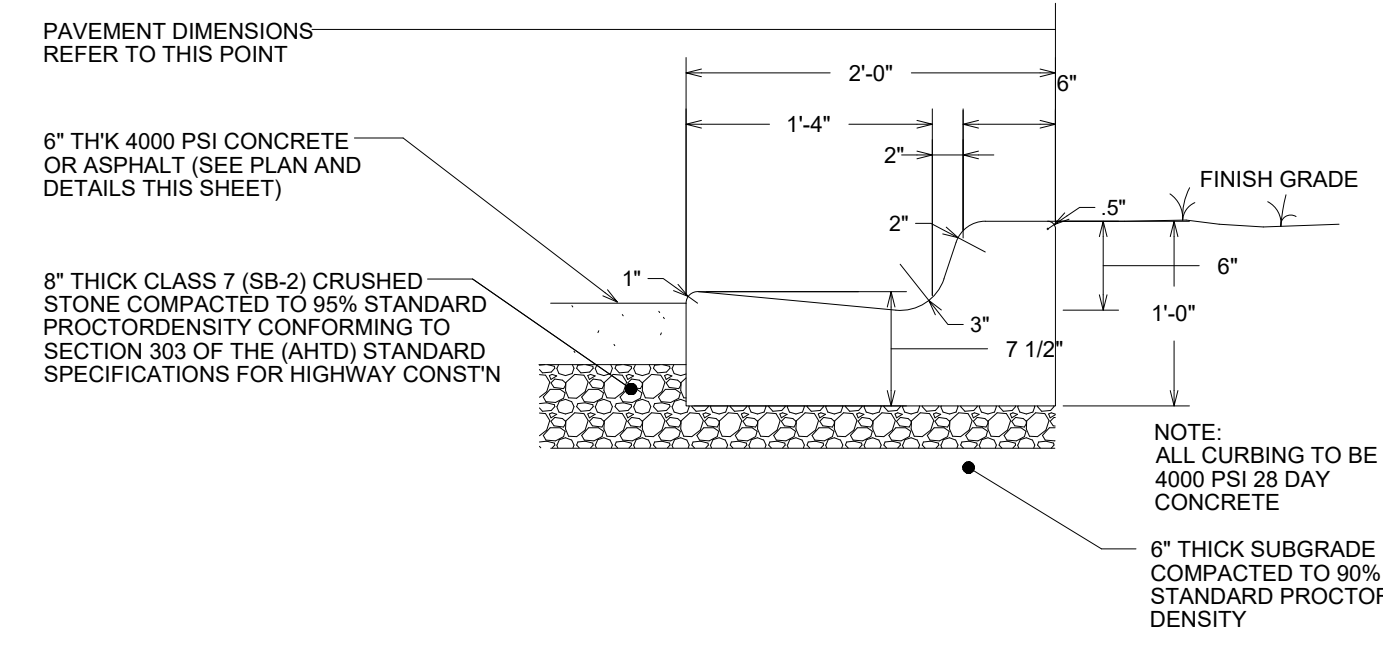
- TOTAL NEW DEVELOPMENT AREA = (+/-) 1.12 ACRES
- PROPERTY IS ZONED C-2
- 43 PARKING SPACES PROVIDED INCLUDING 2 ADA ACCESSIBLE PARKING SPACES
- ALL DIMENSIONS ARE TO THE BACK OF CURB AND/OR EDGE OF PAVEMENT
- DAMAGE TO PUBLIC AND PRIVATE PROPERTY DUE TO HAULING OPERATIONS OR OPERATIONS OF CONSTRUCTION RELATED EQUIPMENT FROM A CONSTRUCTION SITE SHALL BE REPAIRED BY THE RESPONSIBLE PARTY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- REPAIR, REPLACE, OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK OR RAMPS WITHIN THE PUBLIC RIGHT OF WAY.
- ALL SIGNAGE, PAVEMENT MARKING AND PARKING LOT STRIPING SHALL CONFORM TO REQUIREMENTS GIVEN IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD REQUIRES THAT PARKING SPACES BE MARKED IN WHITE.

PARKING CALCULATIONS

ZONING = C-2
 REQUIREMENT = 1 SPACE PER 200 SQ. FT.
 BUILDING AREA = 8,000 SQ. FT.
 TOTAL REQUIRED SPACES = 40
 TOTAL PROVIDED SPACES = 43

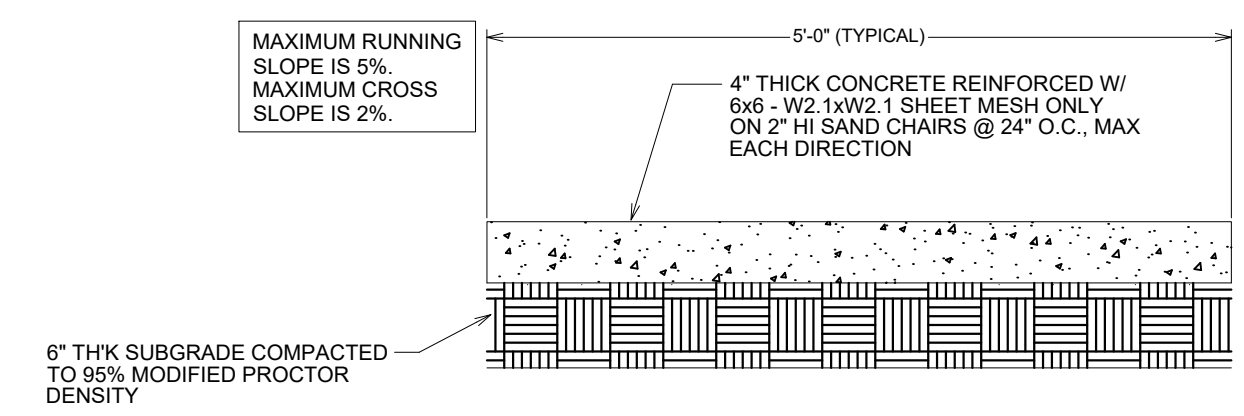
GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DUTY OF BRYANT UTILITIES TO CONDUCT CONSTRUCTION INSPECTION REVIEWS OF THE CONTRACTOR'S PERFORMANCE IS NOT AN INSPECTION OR REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF BRYANT'S WATER AND WASTEWATER (SANITARY SEWER) STANDARD SPECIFICATIONS.
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- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.



2'-0" CONCRETE CURB & GUTTER

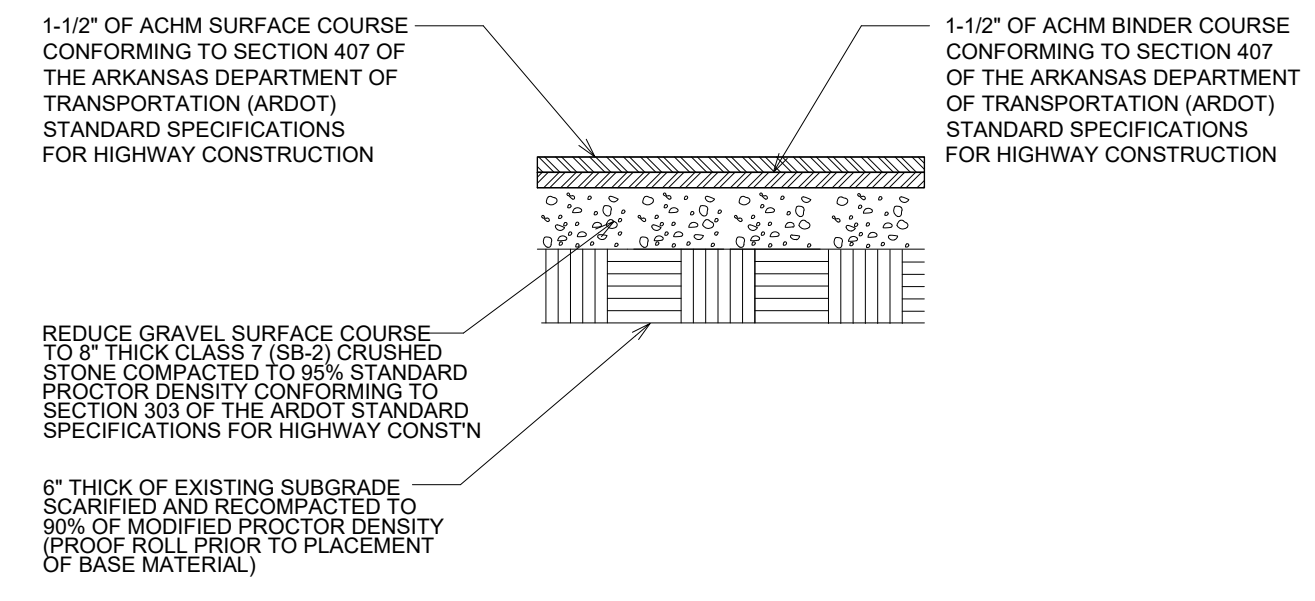
NOT TO SCALE



CONCRETE WALK SECTION

NOT TO SCALE

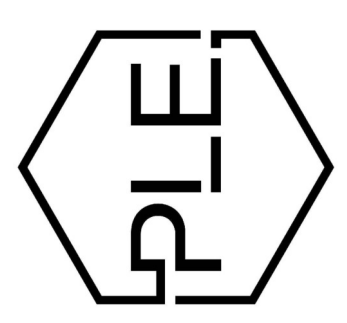
NOTE:
 ALL SIDEWALK JOINTS TO BE STEEL TROWELED. ALL JOINT EDGES AND SHALL BE SPACED AT 4 FEET ON CENTER MAXIMUM IN ALL DIRECTIONS AND SHALL BE STEEL TROWELED ON A RADIUS NOT TO EXCEED ONE-HALF INCH.
 CONTRACTOR TO BE RESPONSIBLE FOR ENSURING ADA COMPLIANT RUNNING & CROSS SLOPES. SPOT GRADES SHOWN ON ENGINEERING PLANS SHOW BEST INTENT WITH AVAILABLE INFORMATION.



HMC ASPHALT SURFACE COURSE MEDIUM DUTY

NOT TO SCALE

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 Structural + Civil Consultants
 23620 Interstate 30 | Bryant, Arkansas
 PH: 501-350-9840



REVISION:

SPRINGHILL RETAIL

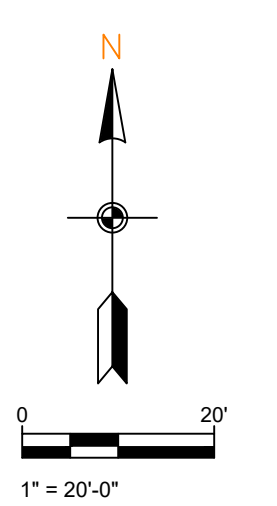
BRYANT, ARKANSAS

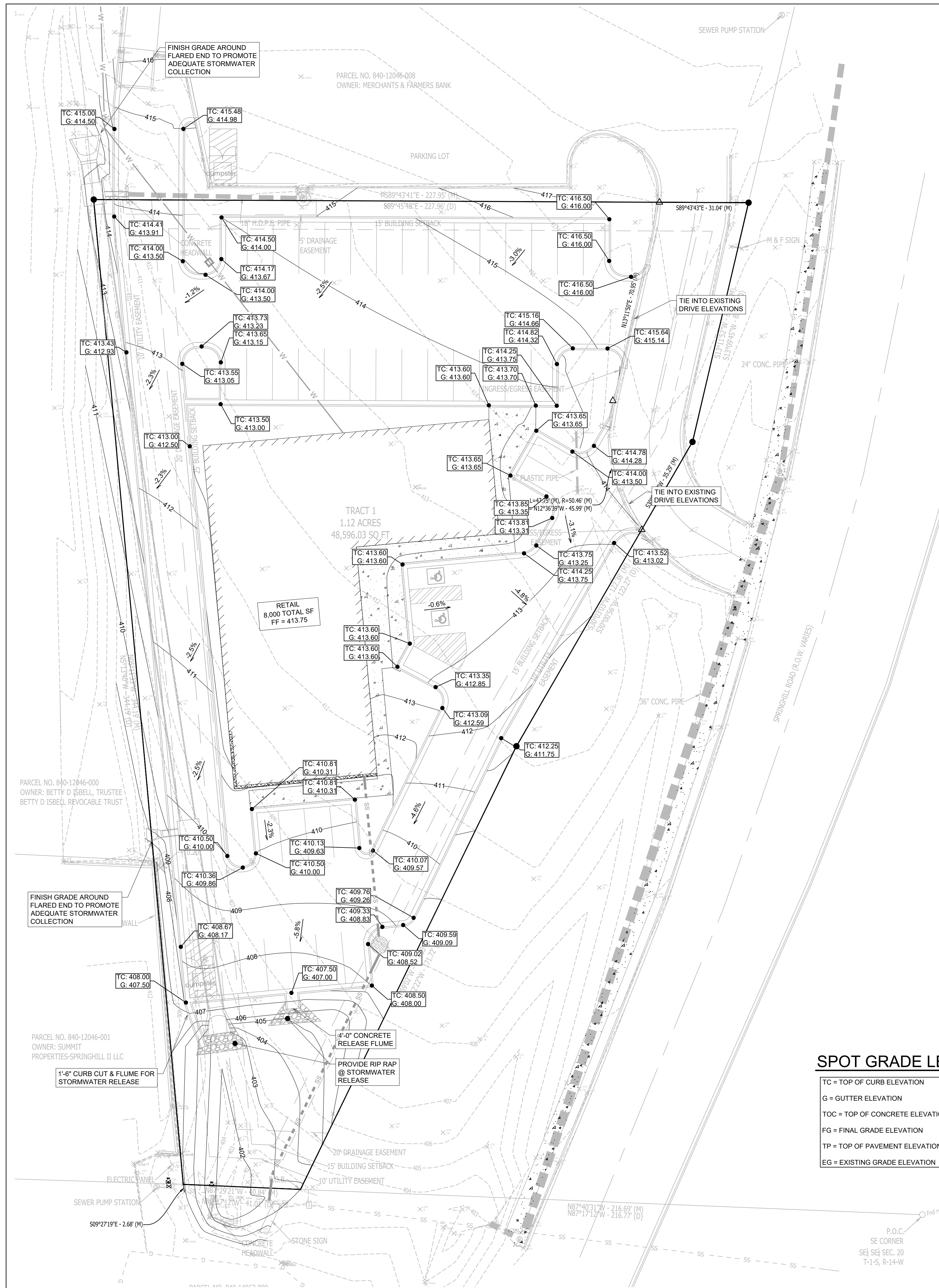
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SHEET ISSUE DATE: 05-22-2024

PAGE TITLE: **SITE PLAN**

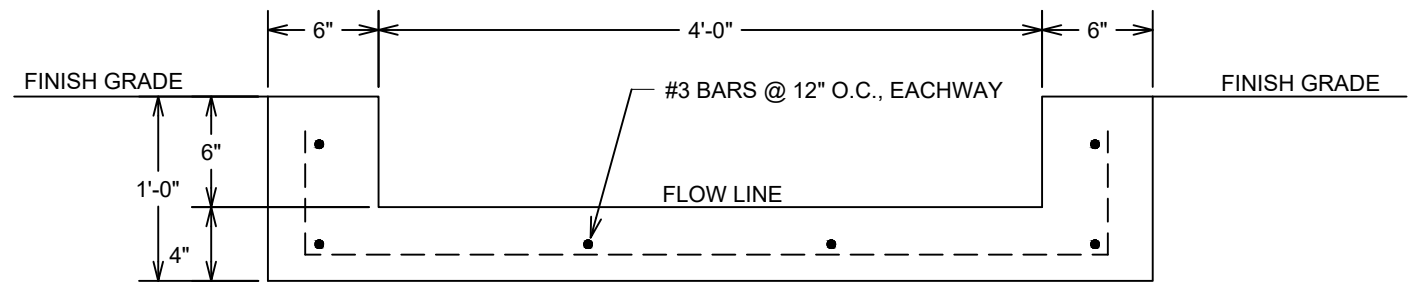
SHEET NUMBER: **C1.1**





SPOT GRADE LEGEND

- TC = TOP OF CURB ELEVATION
- G = GUTTER ELEVATION
- TOC = TOP OF CONCRETE ELEVATION
- FG = FINAL GRADE ELEVATION
- TP = TOP OF PAVEMENT ELEVATION
- EG = EXISTING GRADE ELEVATION

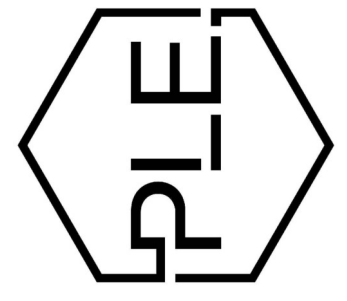


CONCRETE FLUME DETAIL NOT TO SCALE

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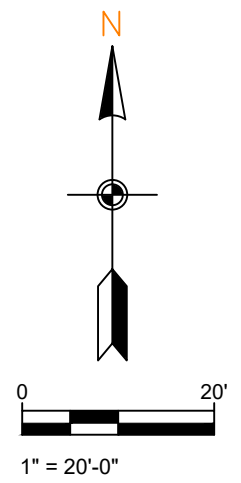
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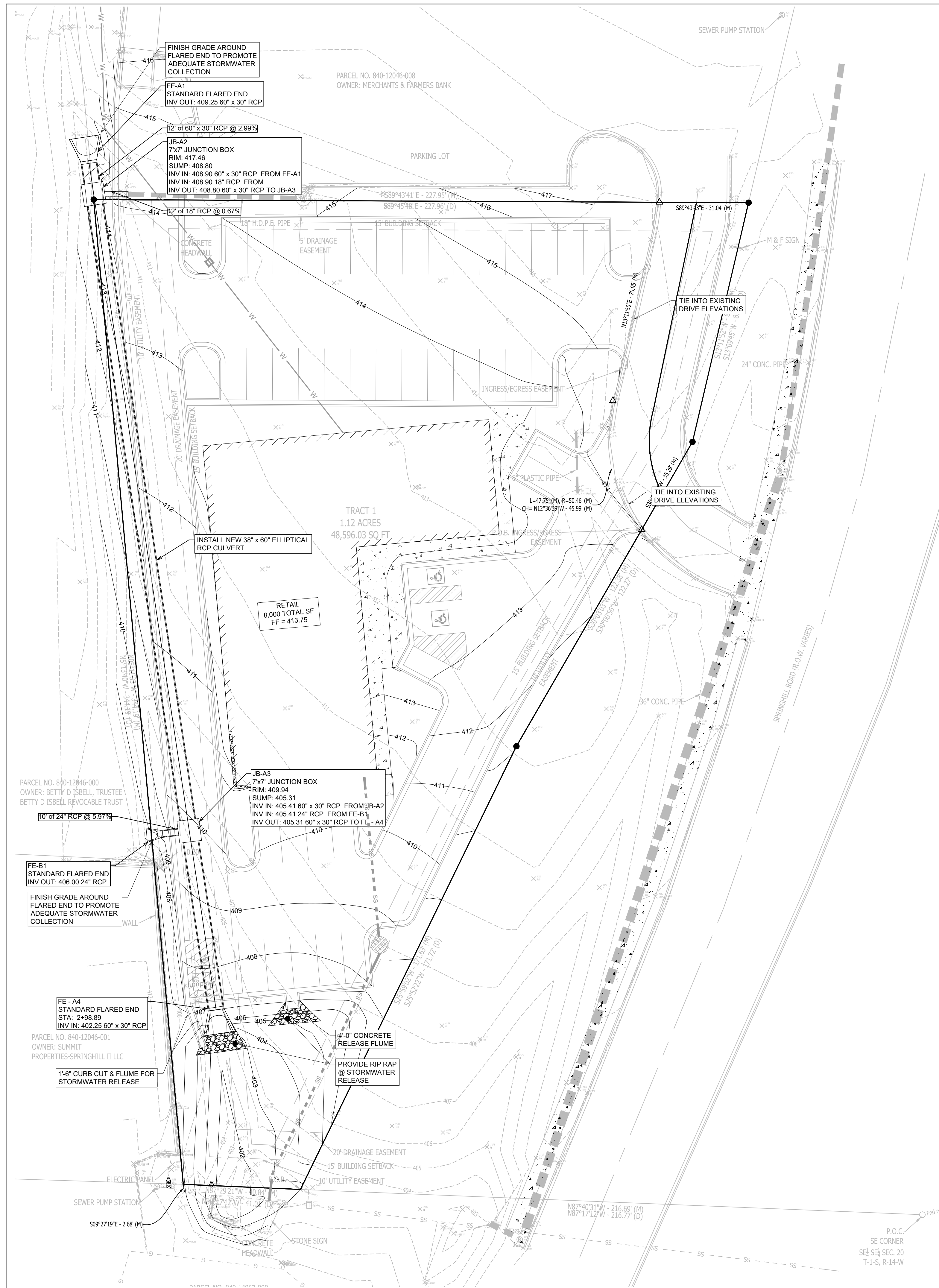
SPRINGHILL RETAIL
BRYANT, ARKANSAS

PROJECT NUMBER:
SHEET ISSUE DATE: 05-22-2024
PAGE TITLE: **GRADING PLAN**
SHEET NUMBER: **C1.2**

GRADING PLAN

SCALE 1" = 20'





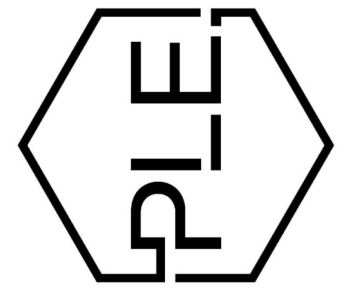
STORM DRAINAGE PLAN

SCALE 1" = 20'

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BRYANT, ARKANSAS

PROJECT NUMBER:

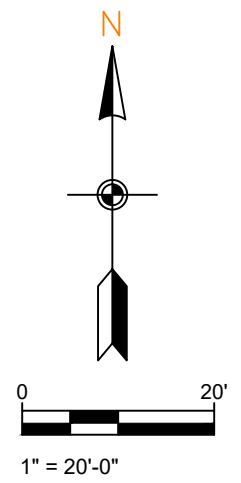
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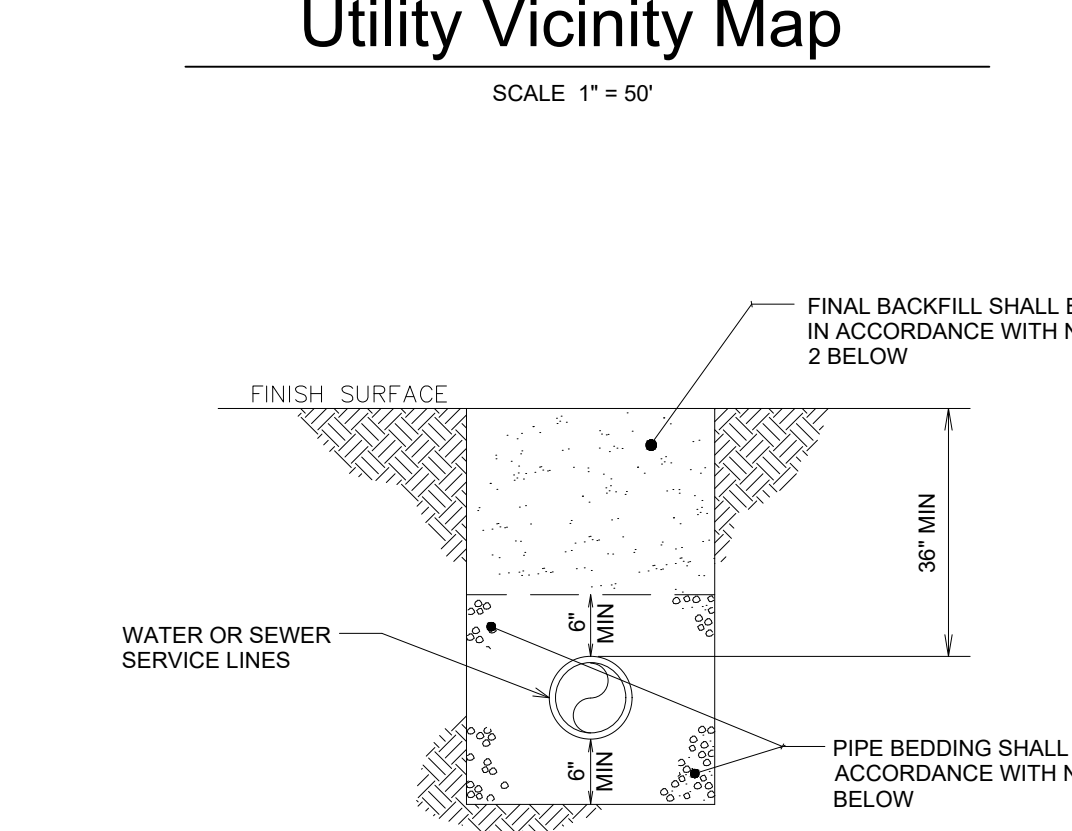
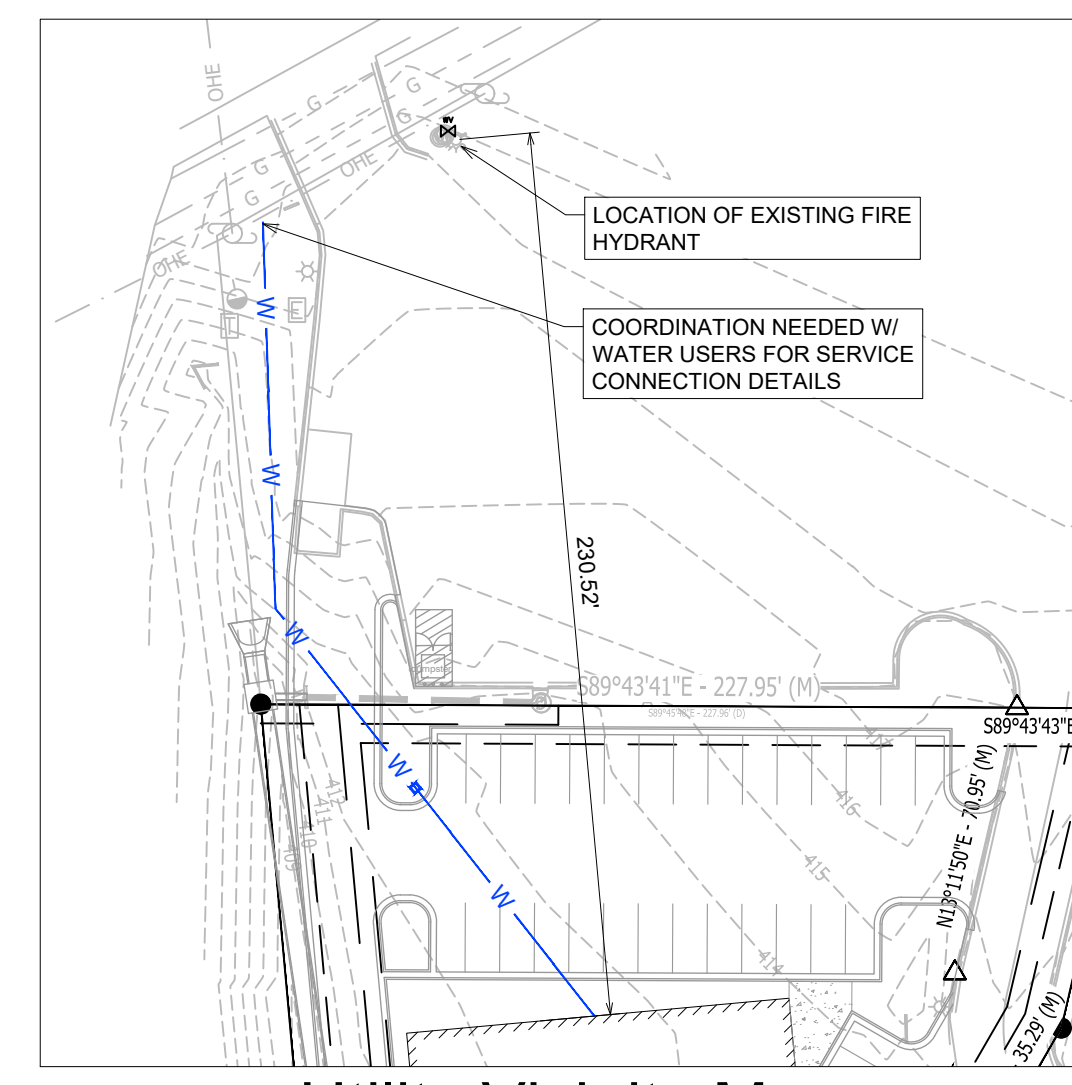
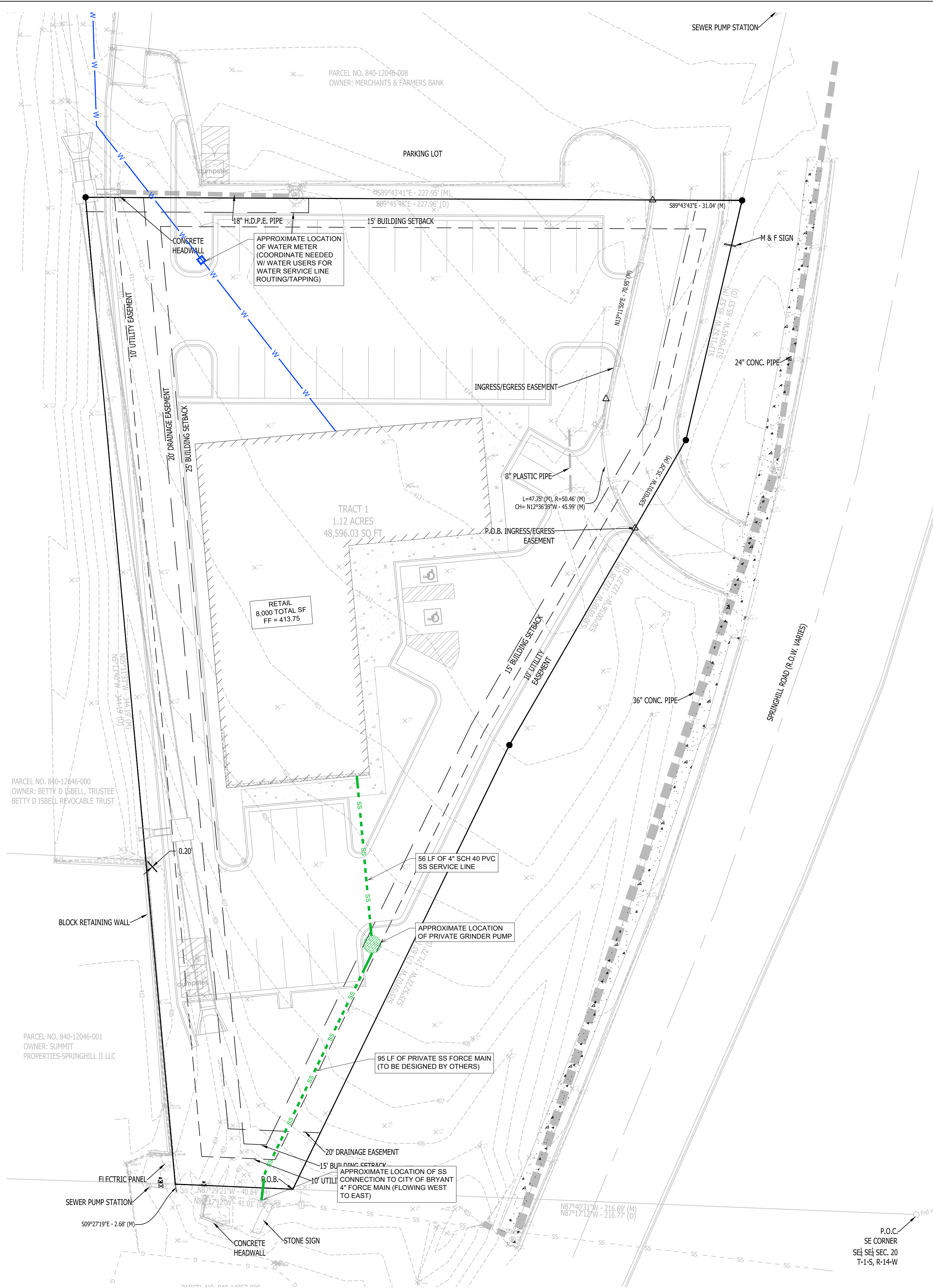
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STORM DRAINAGE PLAN

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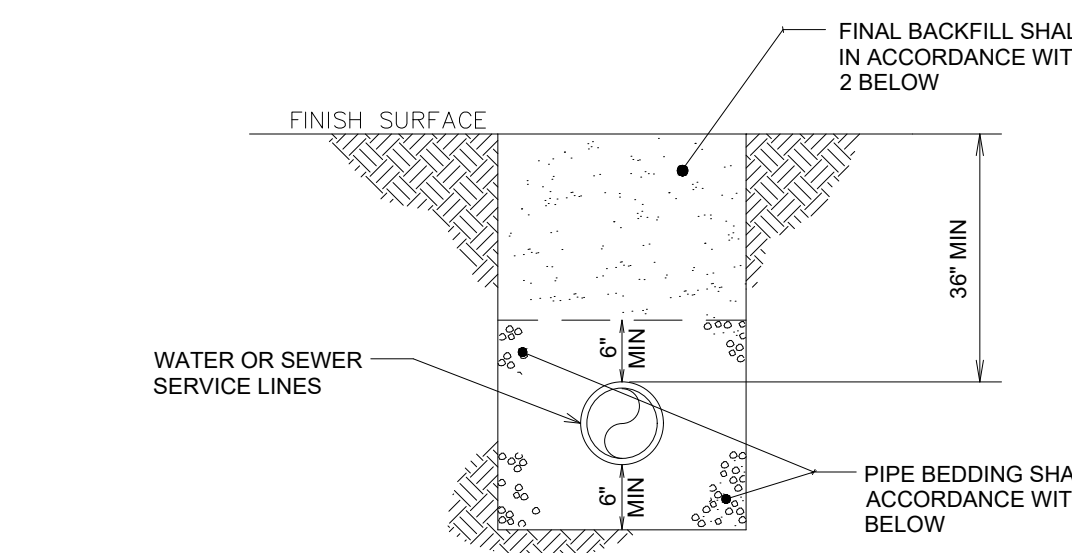
C1.3





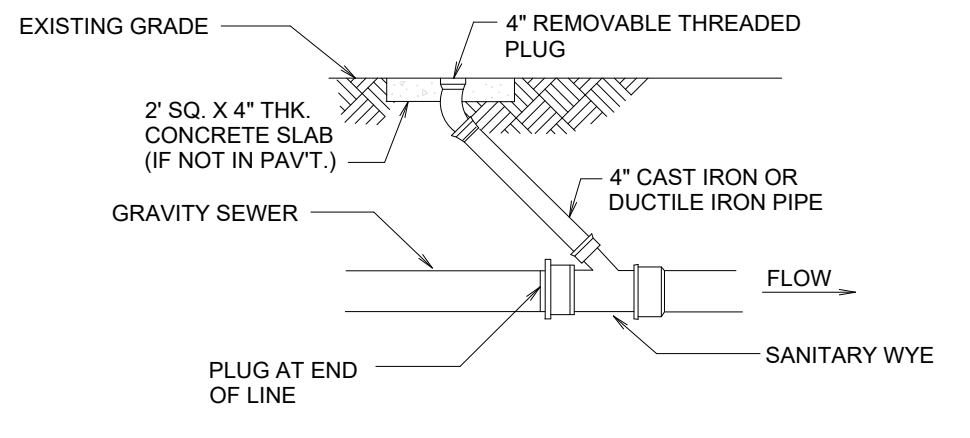
WATER AND SEWER LINES BEDDING DETAIL

- NOTES:
- BEDDING SHALL BE "GRIT" PER ASTM 2774 OR ASTM D448 SIZE 67 A MINIMUM OF 6" ALL AROUND PIPE.
 - INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR. ALL BACKFILL UNDER PAVED AREAS SHALL BE CLASS 7 CRUSHED STONE (SB-2) COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D2321-89.
 - ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LIFTS IN ACCORDANCE WITH ASTM D698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED TO NEAR OPTIMUM MOISTURE CONTENT.
 - FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS, AND ROCKS LARGER THAN 3".
 - ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.



GAS LINE BEDDING DETAIL

- NOTES:
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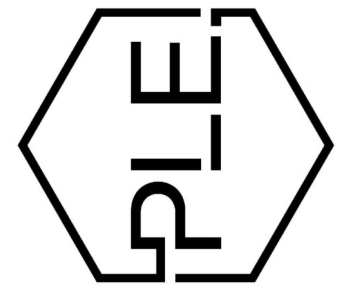
THROUGH FLOW CLEANOUT

NOT TO SCALE

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- CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY BRYANT UTILITIES. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
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- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.

PHILLIP LEWIS ENGINEERING, INC.
Structural + Civil Consultants
23620 Interstate 30 | Bryant, Arkansas
PH: 501-350-9840



REVISION:

SPRINGHILL RETAIL
BRYANT, ARKANSAS

PROJECT NUMBER:

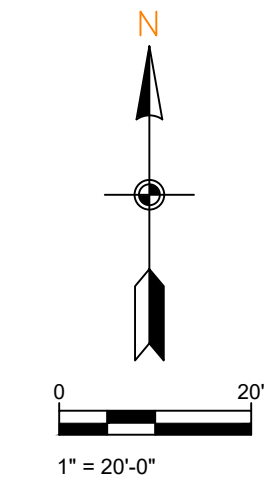
SHEET ISSUE DATE:
05-22-2024

PAGE TITLE:

UTILITY PLAN

SHEET NUMBER:

C1.4





LANDSCAPE PLAN

SCALE 1" = 20'

GENERAL LANDSCAPING NOTES

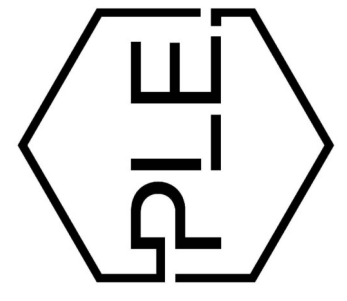
1. ALL LANDSCAPED AREAS OF THE SITE SHALL BE CONSTRUCTED WITH AN AUTOMATIC SPRINKLER IRRIGATION SYSTEM AS PART OF THE LANDSCAPING SUBCONTRACT.
2. GENERAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC SLEEVING 4" OR 6" UNDER ALL DRIVES AND PAVED AREAS FOR IRRIGATION SLEEVING SHALL BE BURIED A MINIMUM OF 18" BELOW GRADE AND THE ENDS OF THE SLEEVES CLEARLY MARKED BY THE GENERAL CONTRACTOR AND SHALL EXTEND OUT A MINIMUM OF 18" PAST ANY CURB OR PAVING.
3. PROVIDE 3" DEPTH OF MULCH IN ALL LANDSCAPED ISLANDS AND BEDS LOCATED ALONG THE BUILDING.
4. PROVIDE 3" DEPTH OF MULCH AND METAL EDGING FOR LANDSCAPE NOT ADJACENT TO THE BUILDING.
5. LANDSCAPED AREAS TO BE AMENDED WITH 4" OF TOPSOIL. SCARIFY SOIL 3" PRIOR TO APPLICATION. ALL TOP SOIL SHALL BE PLACED IN COORDINATION WITH GRADING AND DRAINAGE PLANS TO ENSURE THAT THE GRADING AND DRAINAGE DESIGN FOR THE SITE IS MAINTAINED AFTER BEING SODDED OR SEEDED. EXISTING SOIL FROM THE SITE CAN BE STOCK PILED AND REUSED AS LONG AS IT IS OF QUALITY THAT ENCOURAGES ADEQUATE GROWTH OF PLANTING MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR ANY SOIL TESTING THAT MAY BE REQUIRED.
6. ALL DISTURBED AREAS ARE TO BE SODDED OR SEEDED, FERTILIZED, AND WATERED.

GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.
- C. THE DUTY OF BRYANT UTILITIES TO CONDUCT CONSTRUCTION INSPECTION REVIEWS OF THE CONTRACTOR'S PERFORMANCE IS NOT AN INSPECTION OR REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- D. ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF BRYANT'S WATER AND WASTEWATER (SANITARY SEWER) STANDARD SPECIFICATIONS.
- E. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- F. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- G. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- H. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY BRYANT UTILITIES. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
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- J. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.

PLANT SCHEDULE						
PLANT TYPE	SYMBOL	CODE	QTY	COMMON	SCIENTIFIC NAME	CAL / SIZE
TREES		WO	4	WILLOW OAK	QUERCUS PHELLOS	MIN. 3" DIAMETER @ BASE AND 12' TALL
SHRUBS		BW	10	BOXWOOD	BUSUS SEMPERVIRENS	5 GAL (MAX 30" TALL AT INSTALLATION)
GROUND COVER		DN	25	DWARF NANDINA	N. DOMESTICA "HARBOUR DWARF"	3 GAL
BEDDING		MU	1,530	MULCH		
GRASS		MU	10,035	BERMUDA		

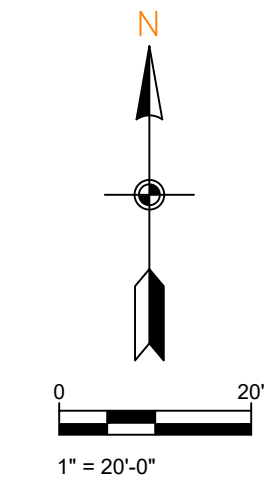
PHILLIP LEWIS ENGINEERING, INC.
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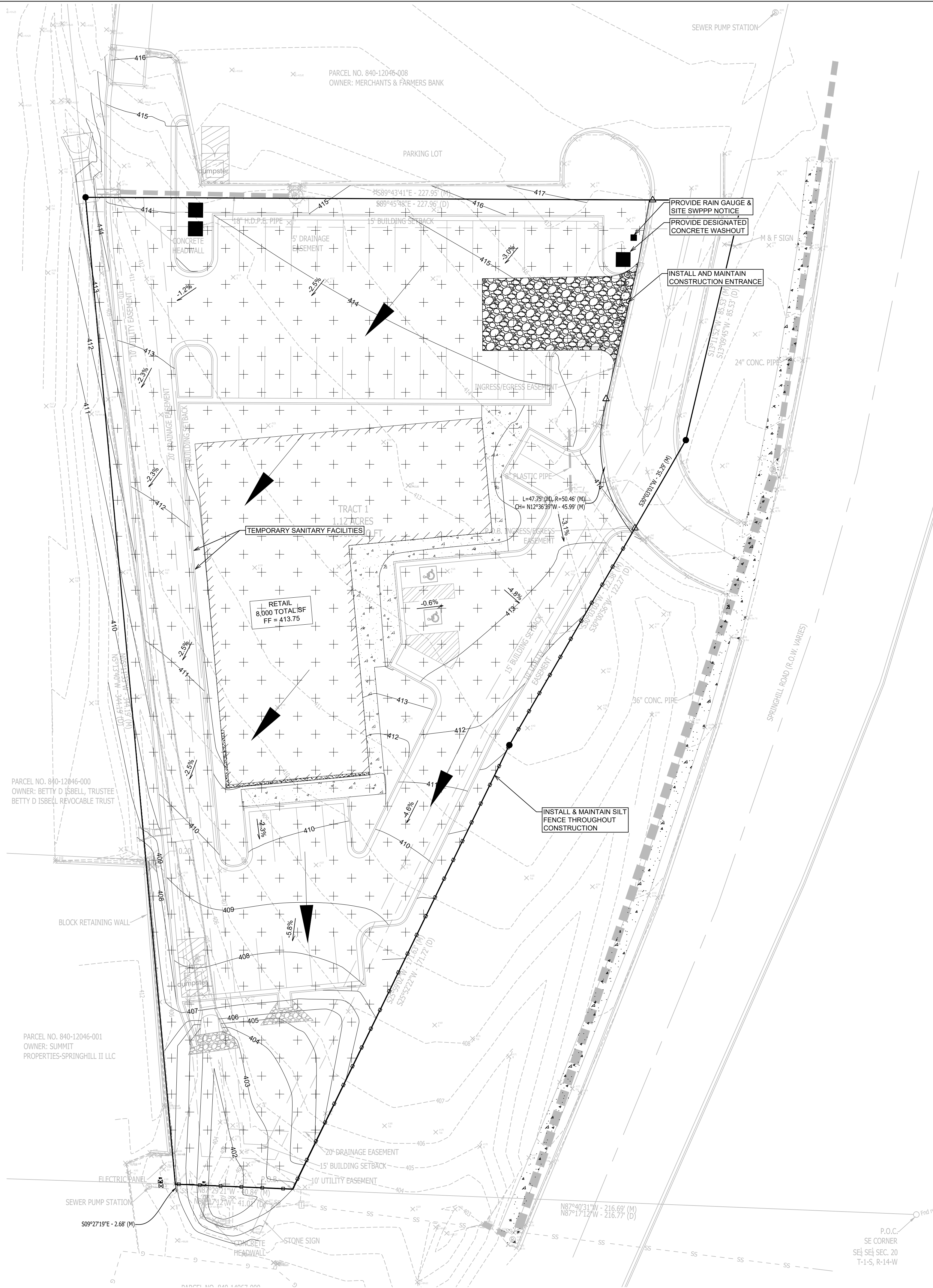


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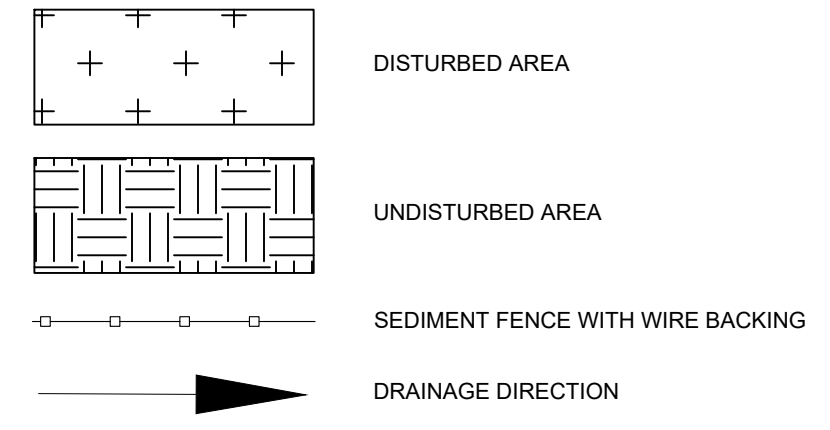
SPRINGHILL RETAIL
BRYANT, ARKANSAS

PROJECT NUMBER:
SHEET ISSUE DATE: 05-22-2024
PAGE TITLE: **LANDSCAPE PLAN**
SHEET NUMBER: **C1.5**



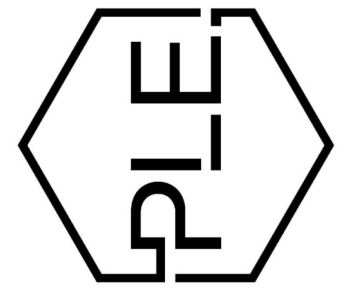


LEGEND



NOTES (GENERAL):

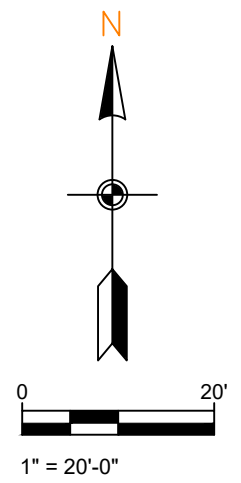
1. SEE EROSION CONTROL DETAILS IN SWPPP FOR EROSION CONTROL FACILITIES.
2. SEE SWPPP FOR INSTALLATION, MAINTENANCE, INSPECTION, AND RECORD KEEPING REQUIREMENTS.
3. CONTRACTOR SHALL SHOW EROSION CONTROL MEASURE ON SITE MAP.
4. EROSION AND SEDIMENT CONTROL STRUCTURES TO MEET SWPPP DETAILS - APPENDIX D
5. INSTALL ROCK DITCH, CHECK, OR SAND BAG CHECKS AS NECESSARY TO PREVENT SCOUR UNTIL LANDSCAPING IS ESTABLISHED.
6. CONTRACTOR MUST PLACE SEDIMENT BASIN WITH SEDIMENT FENCE OUTLET FOR ANY SEDIMENT CONTAMINATED DEWATERING DISCHARGE.
7. FINAL SLOPE WILL BE SAME DIRECTION AS EXISTING SLOPE.
8. TEMPORARY STABILIZATION PRACTICES WILL NOT BE REQUIRED. WORK WILL BE CONTINUOUS AND DISTURBED AREA REVEGETATED IN A TIMELY MANNER. SEE SWPPP FOR SEEDING MIXES.
9. PERMANENT STABILIZATION OF ALL DISTURBED AREAS ARE TO BE SEEDED, FERTILIZED, WATERED AND COVERED WITH STRAW UNLESS OTHERWISE NOTED ON PLANS TO BE HYDROSEEDING.
10. CONTRACTOR TO SHOW CONCRETE WASH OUT SUMP, ENTRANCE/EXIT PAD AND OTHER CONTROLS AS REQUIRED/NEEDED AS SWPPP SITE MAP IS UPDATED THROUGHOUT THE DURATION OF THE PROJECT.
11. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
 - a) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
 - b) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
 - c) NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
 - d) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
 - e) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.



REVISION:

SWPPP

SCALE 1" = 20'





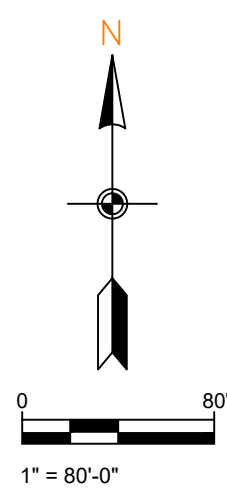
ARDOT OFFSITE DRAINAGE BASIN
26.83 ACRES (+/-)

WEST ADJACENT PROPERTY
DRAINAGE BASIN
2.73 ACRES (+/-)

LOCATION OF EXISTING 42"
CULVERT OUTLET FLOWING
INTO SITE

OVERALL DRAINAGE MAP

SCALE 1" = 80'



REVISION:

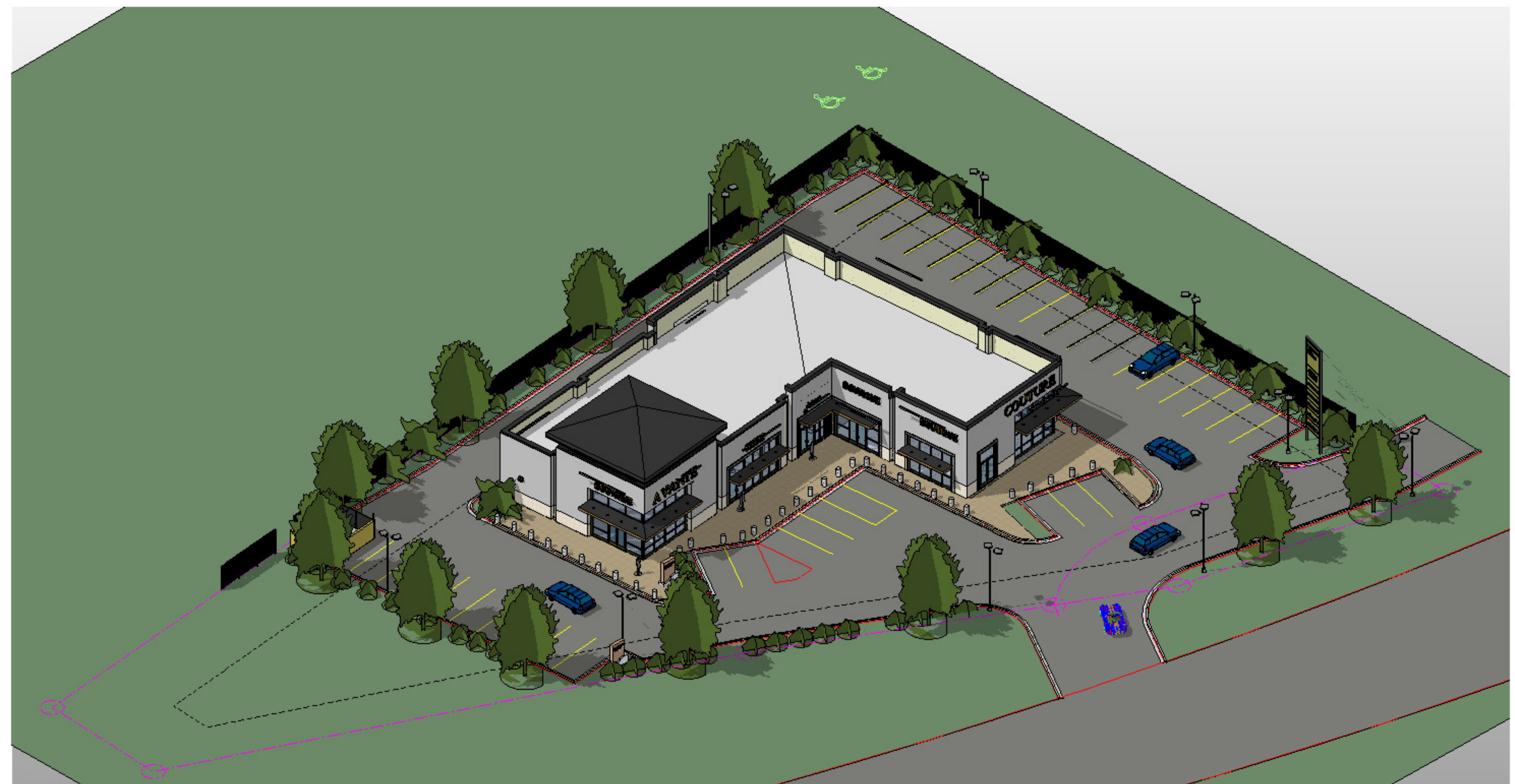
SPRINGHILL RETAIL
BRYANT, ARKANSAS



2 3D View-EXTERIOR END-1



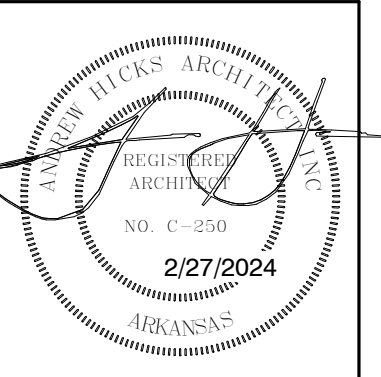
5 3D - EXTERIOR FRONT-8



1 3D-VIEW-EXTERIOR FROM ABOVE FRONT

ENGINEERING DOCUMENTS FOR DETAILED GRADING AND DRAINAGE OF THIS AREA OF THE SITE WILL BE SUBMITTED BY ARKANSAS REGISTERED CIVIL ENGINEERS.

6 Section 3
1/8" = 1'-0"



ARCHITECT OF RECORD
ANDREW F. HICKS

A NEW PROPOSED COMMERCIAL DEVELOPMENT

FOR
SUMMERWOOD PARTNERS
HWY 5 AND SPRINGHILL AREA
BRYANT, ARKANSAS

andrew hicks | architect
AHFA
P. 501.880.0789
O. 479.332.9550
www.andrewhicksarchitect.com
600 N Mission Blvd.
Fayetteville, Arkansas 72701

ISSUE DATE: 2/27/2024

REVISIONS

NO.	DATE

SITE VIEWS - AERIAL

AC101



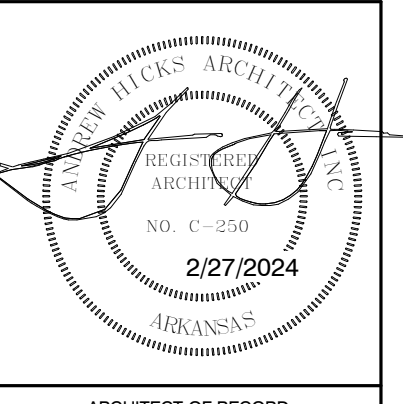
1 3D-VIEW-EXTERIOR FRONT-HIGH VIEW



2 3D View-EXTERIOR FRONT-1



3 3D View-EXTERIOR FRONT-5



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NO.	DATE

SITE 3D VIEWS

AC102



1 3D View-EXTERIOR FRONT-3



6 3D View-EXTERIOR FRONT-2



2 3D VIEW-EXTERIOR REAR-2

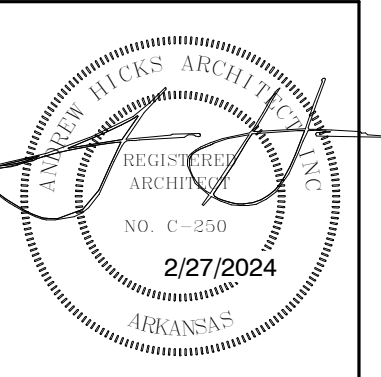


3 3D View 3 -NIGHT



SOUTH ELEVATION-SPRING HILL CENTER
4 3/32" = 1'-0"

ENGINEERING DOCUMENTS FOR DETAILED GRADING AND DRAINAGE OF THIS AREA OF THE SITE WILL BE SUBMITTED BY ARKANSAS REGISTERED CIVIL ENGINEERS.



ARCHITECT OF RECORD
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601-880-0789
601-832-0550
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600 N Mission Blvd.
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ISSUE DATE: 2/27/2024

REVISIONS	
NO.	DATE

AC103

SITE 3D VIEWS

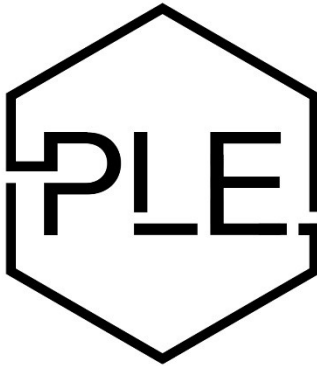
SPRINGHILL RETAIL **DRAINAGE NARRATIVE**

Date: 05-21-2024

Located in: Bryant, Arkansas

Prepared for:
City of Bryant, Arkansas

Prepared by:



PHILLIP LEWIS ENGINEERING

Structural + Civil Consultants

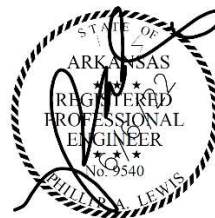
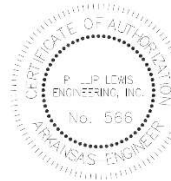
23620 Interstate 30 | Bryant, AR
PH: 501-350-9840

CERTIFICATION

I hereby state that this Final Drainage has been prepared by me or under my supervision and meets the standard of care and expertise which is usual and customary in this community of professional engineers. The analysis has been prepared utilizing procedures and practices by the City of Bryant and within the standard accepted practices.



Phillip A. Lewis, PE.



DATE: 05-21-2024

PROJECT LOCATION MAP



Vicinity Map

SCALE 1" = 500'

DESCRIPTION OF PROPERTY

The proposed project is for the construction of a retail center located on Springhill Road, south of the existing Merchants & Farmers Bank. The proposed development is for a 8,000 square foot building.

The intent of this drainage analysis is to evaluate the current drainage conditions coming through the site and adequately address the drainage increase created by this development.

The existing ground coverage for the entire development drainage basin consisted of poor condition grass, less than 50% covered.

According to FEMA Flood Insurance Rate Map, Panel 05125C0360E, this property lies within Zone X, areas determined to be outside the 0.2% annual chance floodplain. A copy of the map can be found in the appendix.

DRAINAGE OBSERVATIONS

On May 16th 2024, member of Phillip Lewis Engineering and The City of Bryant Stormwater Division met onsite to discuss current stormwater condition revolving around this site and the intended solutions going forward. The existing conditions are listed below:

- A 42" RCP culvert is located north of the proposed site, discharging stormwater from the Highway 5 storm sewer system. This discharge travels along the western edge of this project site.
- The existing Merchants & Farmers Bank has a 18" culvert discharging within this ditch flow line, located at the NW corner of this site.
- Roof and yard runoff from both wester adjacent property also discharge into this drainage ditch at various locations
- Downstream there is an existing "ponding area" throttle by (1) 24" culvert with an additional ARDOT 24" culvert to the east within the ARDOT right of way
- Existing ponding area located at the south corner of this site is approximately 8,000 to 9,000 cubic feet.
- Existing site conditions for this project is little to no grass cover, mainly clay ground cover with obvious signs of existing ground runoff.

PROPOSED DRAINAGE SOLUTIONS

After speaking with the Bryant Stormwater team, the below listed solutions have been designed. The main intent is to create more "ponding area" along the south of this project site to increase the "regional detention" volume that is located within this area.

- A 38" x 60" elliptical RCP culvert is proposed along the west property line to relay stormwater through the site without an open ditch.
- The capture and release of this culvert will be through standard flared end sections.
- The south pond area will be excavated and increased to 11,000 cubic feet.
- The 2,000 to 3,000 cubic feet of volume increase will account for the 1,500 cubic feet of volume increase caused by the development of this facility. This increase is shown in the attached hydrographs
- The existing 24" CMP culvert will remain as the "outlet control structure", and the existing ARDOT 24" RCP culvert will aid as an overflow outlet.
- The existing curb cut at elevation 405.69' will serve as an overflow spillway if water is to rise that high or if outlet clogging occurs.
- The 18" culvert from M&F Bank will be tied into the new elliptical culvert with a 7' junction box.
- The western property runoff will be captured and collected into the elliptical culvert through a 24" RCP culvert and tied in with a 7' junction box.

The Springhill Retail pre-development hydrographs are shown in the attached, along with an overall approximate look at post-developed conditions. General assumptions were made for off-site stormwater conditions.

PRE DEVELOPMENT HYDROGRAPHS

POST DEVELOPMENT HYDROGRAPHS

Springhill Retail

Prepared by Phillip Lewis Engineering

HydroCAD® 10.20-2f s/n 12520 © 2022 HydroCAD Software Solutions LLC

AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Printed 5/22/2024

Summary for Subcatchment PRE: Springhill Retail Pre

Runoff = 1.81 cfs @ 0.20 hrs, Volume= 1,630 cf, Depth= 0.42"

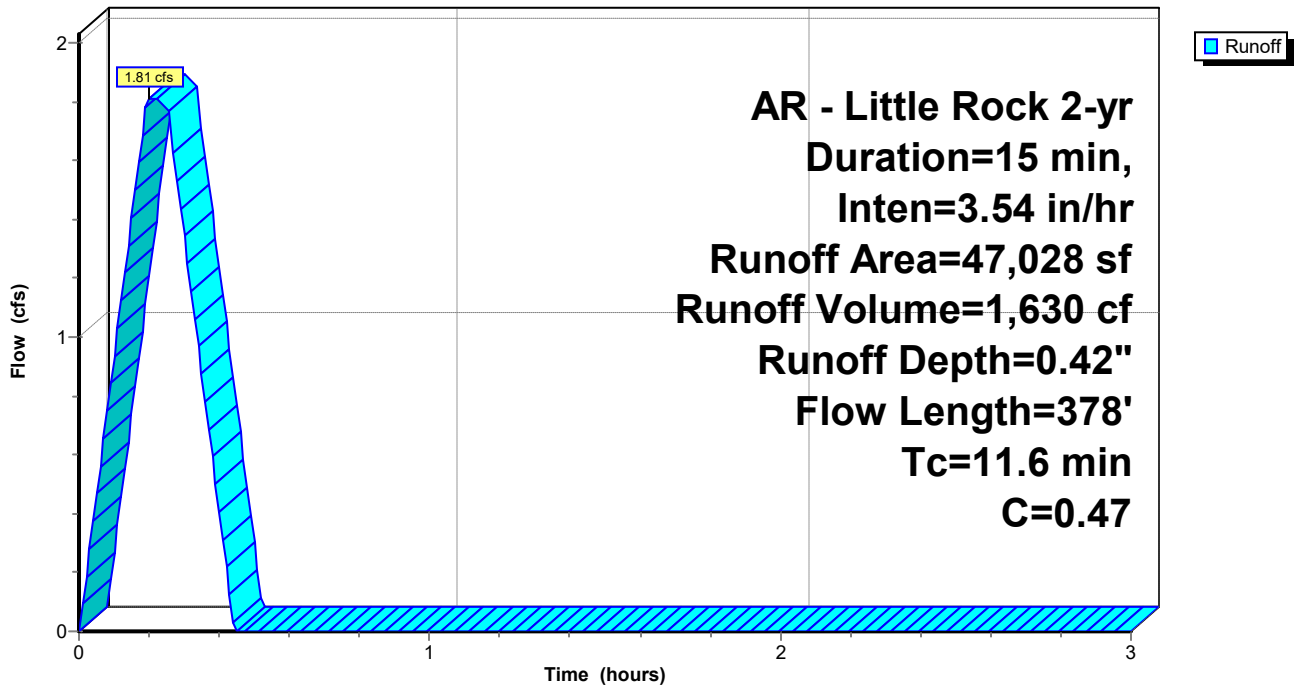
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
45,517	0.46	Poor Condition Grass < 50%
47,028	0.47	Weighted Average
47,028		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.6	185	0.0510	0.32		Sheet Flow, Overland Flow Grass: Short n= 0.150 P2= 4.19"
2.0	193	0.0110	1.57		Shallow Concentrated Flow, Open Channel Grassed Waterway Kv= 15.0 fps
11.6	378	Total			

Subcatchment PRE: Springhill Retail Pre

Hydrograph



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Printed 5/22/2024

Summary for Subcatchment PRE: Springhill Retail Pre

Runoff = 2.15 cfs @ 0.20 hrs, Volume= 1,934 cf, Depth= 0.49"

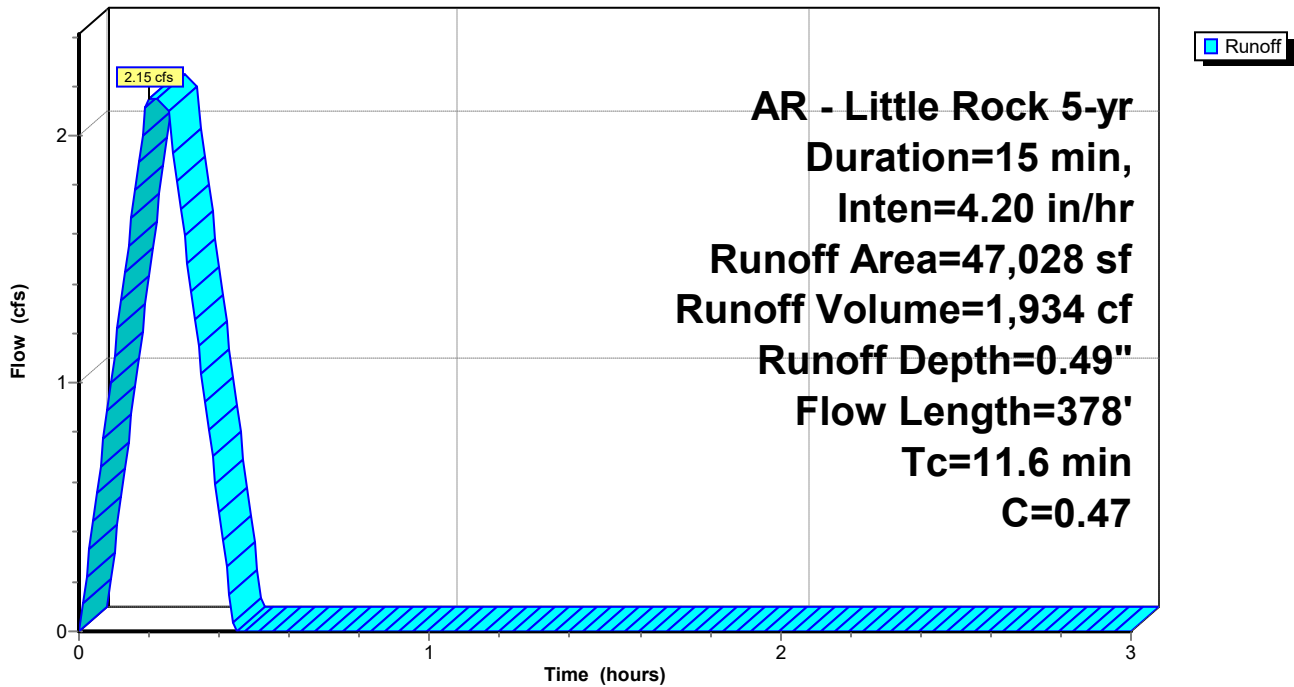
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Area (sf)	C	Description
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2.0	193	0.0110	1.57		Shallow Concentrated Flow, Open Channel Grassed Waterway Kv= 15.0 fps
11.6	378	Total			

Subcatchment PRE: Springhill Retail Pre

Hydrograph



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Printed 5/22/2024

Summary for Subcatchment PRE: Springhill Retail Pre

Runoff = 2.44 cfs @ 0.20 hrs, Volume= 2,192 cf, Depth= 0.56"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

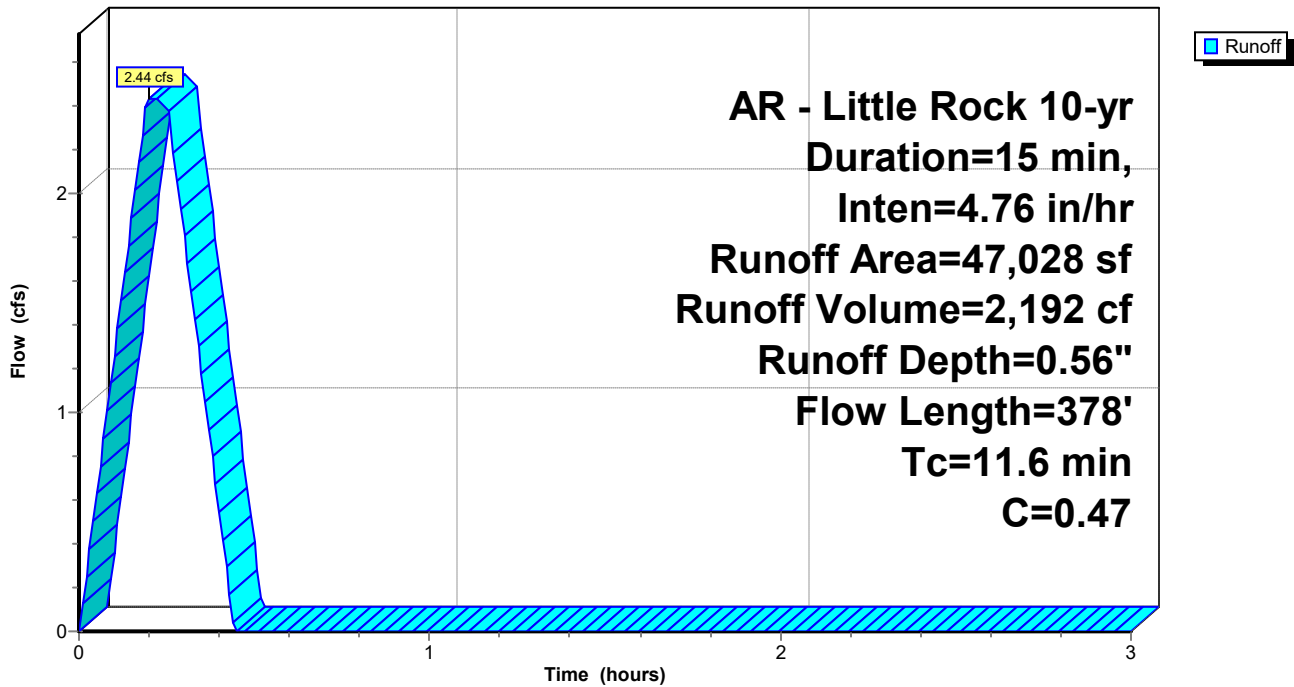
AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
45,517	0.46	Poor Condition Grass < 50%
47,028	0.47	Weighted Average
47,028		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.6	185	0.0510	0.32		Sheet Flow, Overland Flow Grass: Short n= 0.150 P2= 4.19"
2.0	193	0.0110	1.57		Shallow Concentrated Flow, Open Channel Grassed Waterway Kv= 15.0 fps
11.6	378	Total			

Subcatchment PRE: Springhill Retail Pre

Hydrograph



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Printed 5/22/2024

Summary for Subcatchment PRE: Springhill Retail Pre

Runoff = 2.78 cfs @ 0.20 hrs, Volume= 2,505 cf, Depth= 0.64"

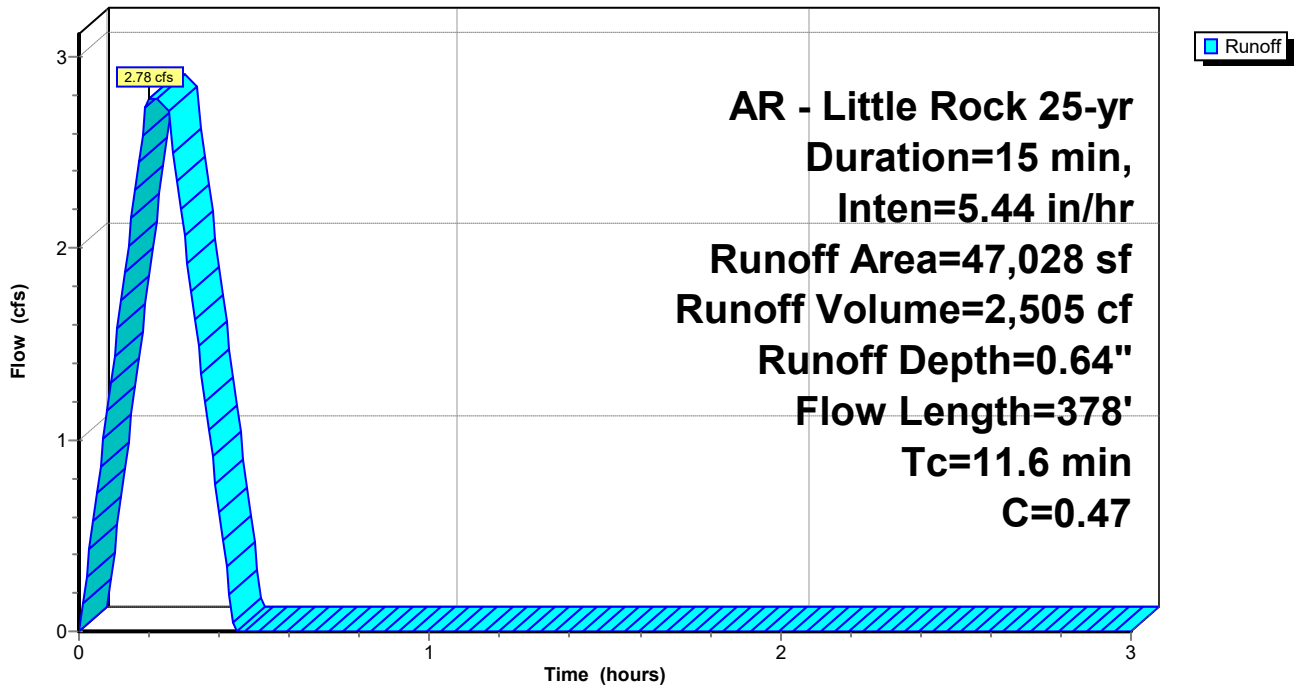
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
45,517	0.46	Poor Condition Grass < 50%
47,028	0.47	Weighted Average
47,028		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.6	185	0.0510	0.32		Sheet Flow, Overland Flow Grass: Short n= 0.150 P2= 4.19"
2.0	193	0.0110	1.57		Shallow Concentrated Flow, Open Channel Grassed Waterway Kv= 15.0 fps
11.6	378	Total			

Subcatchment PRE: Springhill Retail Pre

Hydrograph



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Printed 5/22/2024

Summary for Subcatchment PRE: Springhill Retail Pre

Runoff = 3.34 cfs @ 0.20 hrs, Volume= 3,002 cf, Depth= 0.77"

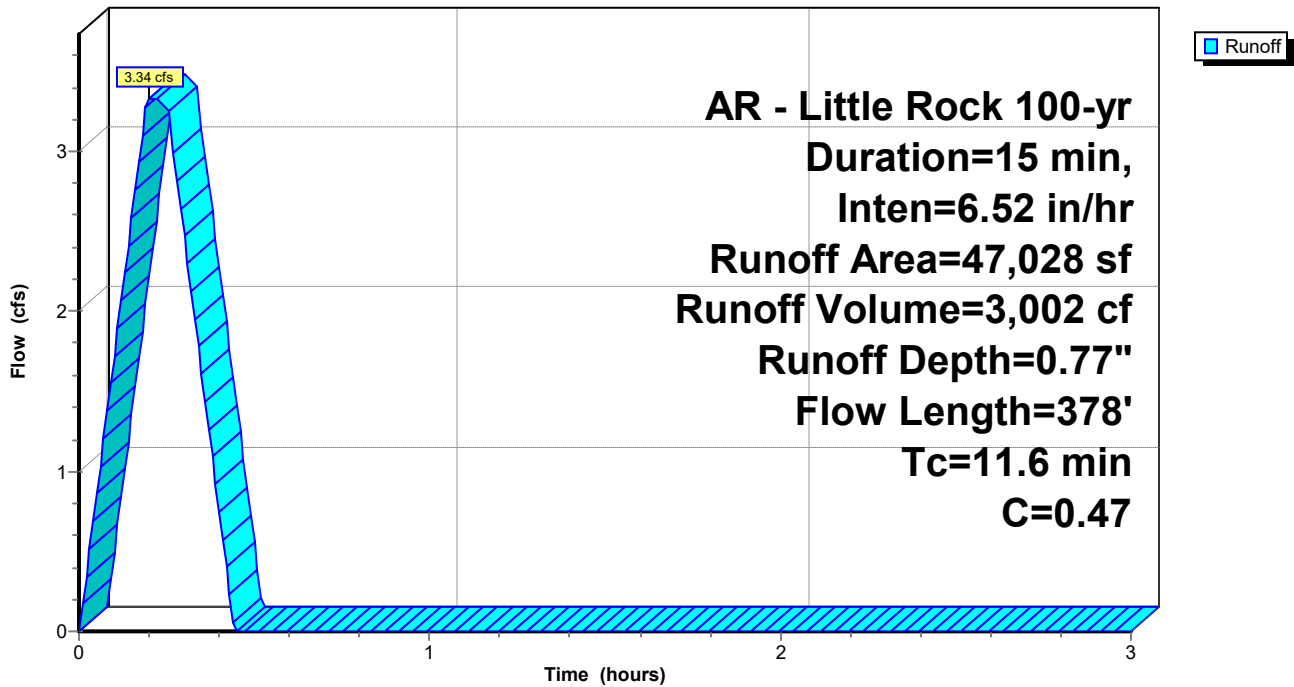
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

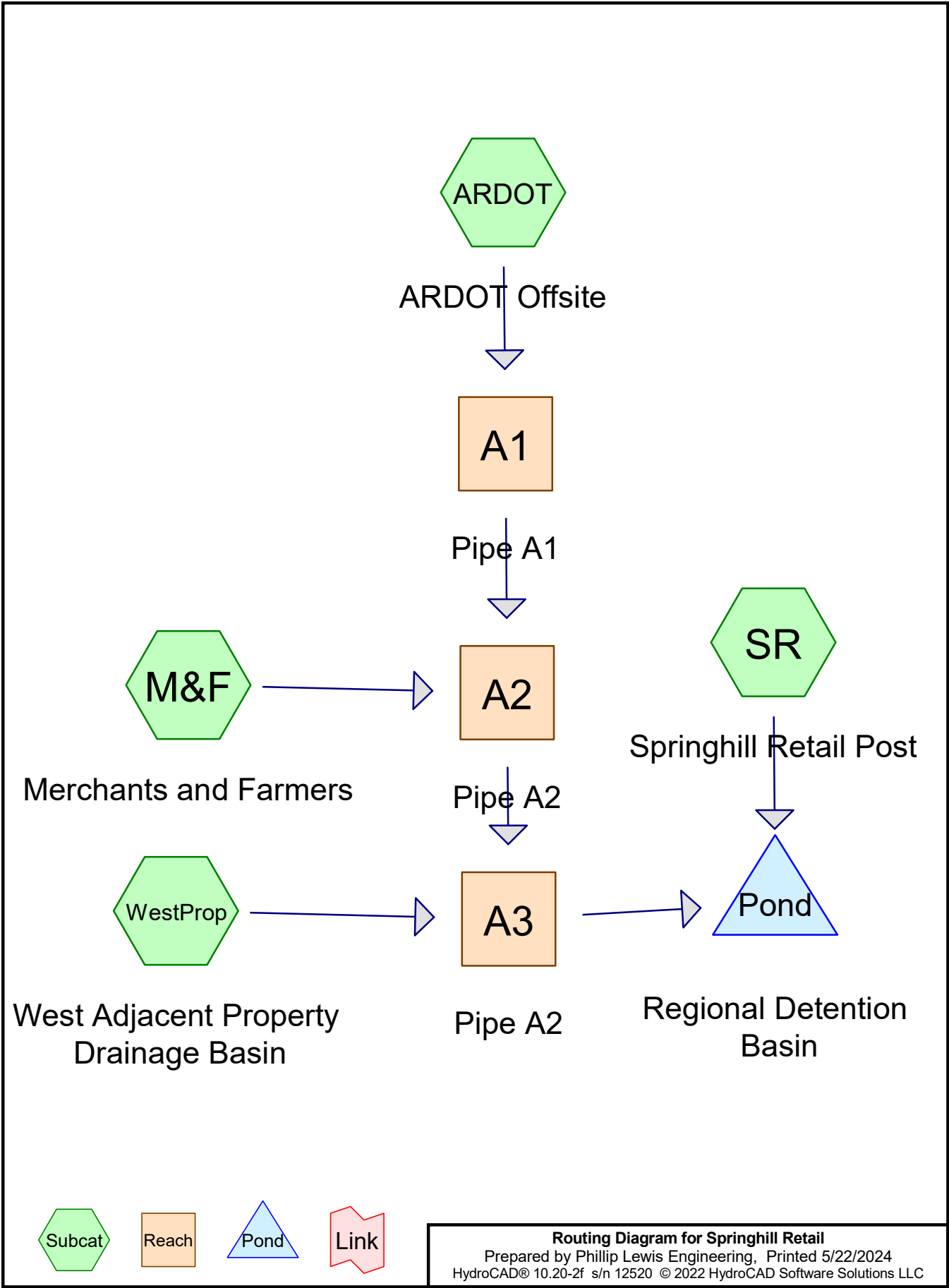
Area (sf)	C	Description
1,511	0.86	Existing Drive
45,517	0.46	Poor Condition Grass < 50%
47,028	0.47	Weighted Average
47,028		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.6	185	0.0510	0.32		Sheet Flow, Overland Flow Grass: Short n= 0.150 P2= 4.19"
2.0	193	0.0110	1.57		Shallow Concentrated Flow, Open Channel Grassed Waterway Kv= 15.0 fps
11.6	378	Total			

Subcatchment PRE: Springhill Retail Pre

Hydrograph





Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Summary for Subcatchment ARDOT: ARDOT Offsite

Runoff = 28.73 cfs @ 0.25 hrs, Volume= 25,854 cf, Depth= 0.27"

Routed to Reach A1 : Pipe A1

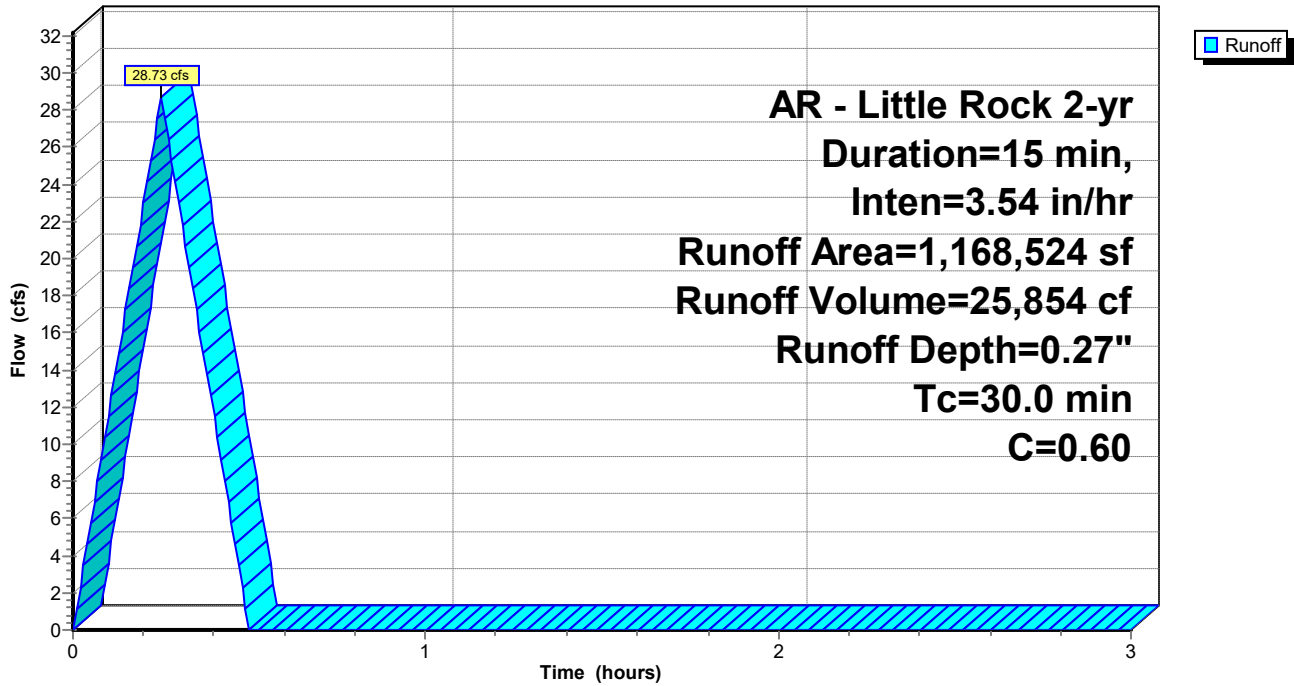
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Area (sf)	C	Description
1,168,524	0.60	
1,168,524		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
30.0					Direct Entry,

Subcatchment ARDOT: ARDOT Offsite

Hydrograph



Springhill Retail

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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Summary for Subcatchment M&F: Merchants and Farmers

Runoff = 2.98 cfs @ 0.09 hrs, Volume= 2,682 cf, Depth= 0.84"

Routed to Reach A2 : Pipe A2

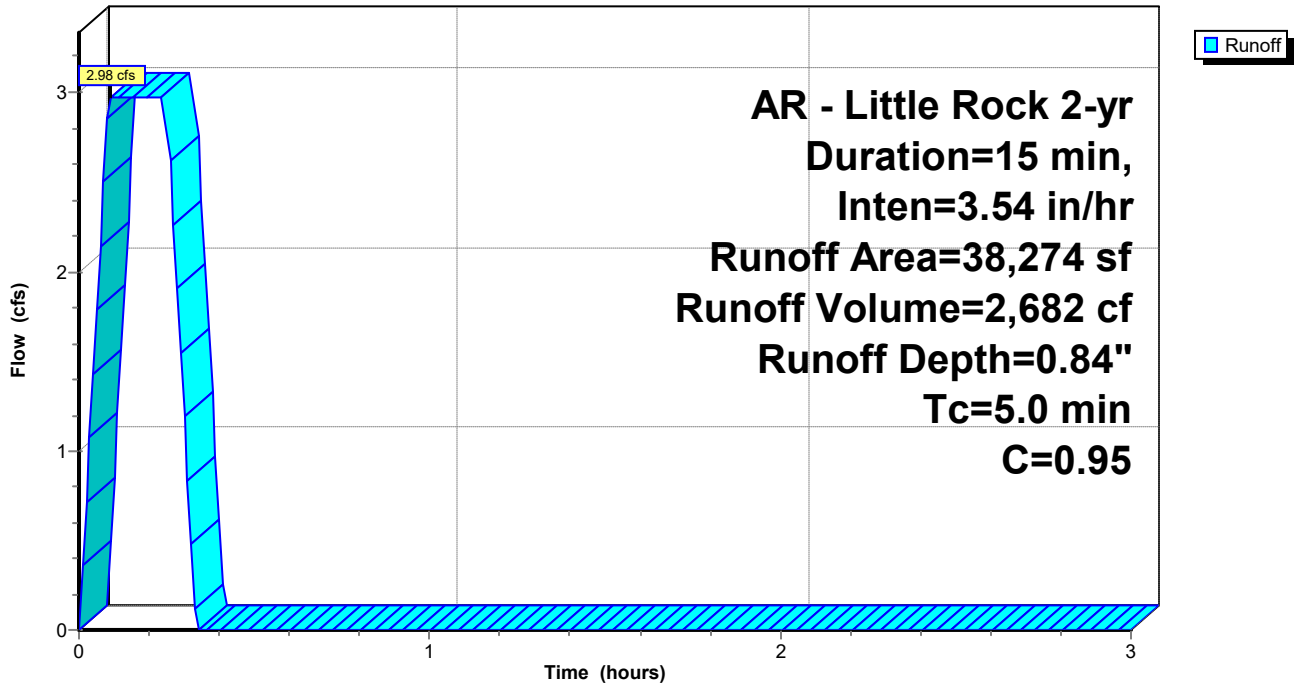
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Area (sf)	C	Description
38,274	0.95	Developed Site
38,274		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment M&F: Merchants and Farmers

Hydrograph



Springhill Retail

AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Summary for Subcatchment SR: Springhill Retail Post

Runoff = 2.93 cfs @ 0.09 hrs, Volume= 2,636 cf, Depth= 0.67"

Routed to Pond Pond : Regional Detention Basin

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
33,632	0.92	Drives, Roof, Sidewalks
11,886	0.30	Landscaped Areas
47,029	0.76	Weighted Average
47,029		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.8	82	0.0290	1.76		Sheet Flow, Asphalt Sheet Flow Smooth surfaces n= 0.011 P2= 4.19"
0.8	87	0.0080	1.82		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.1	19	0.0210	2.94		Shallow Concentrated Flow, Concentrated Pavement Flow Paved Kv= 20.3 fps
1.0	197	0.0250	3.21		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.3	37	0.0130	2.31		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
2.0					Direct Entry, Minimum adjustment
5.0	422	Total			

Springhill Retail

Prepared by Phillip Lewis Engineering

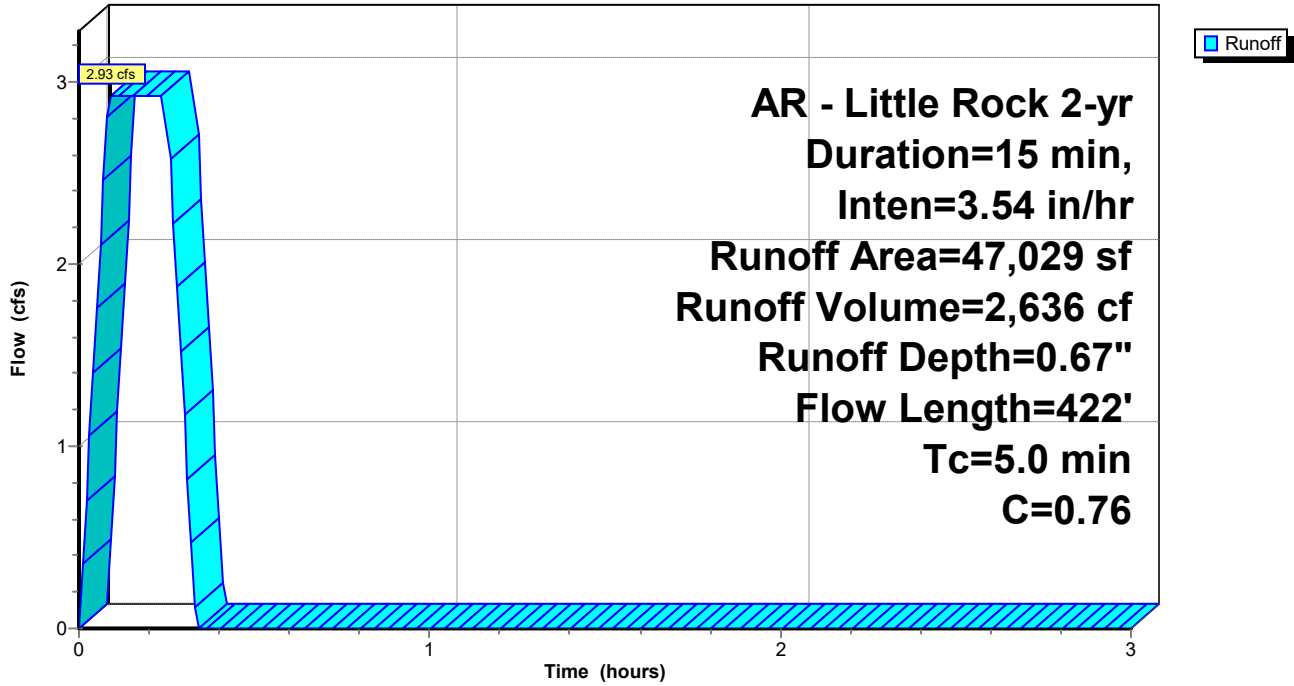
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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Subcatchment SR: Springhill Retail Post

Hydrograph



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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Summary for Subcatchment WestProp: West Adjacent Property Drainage Basin

Runoff = 6.81 cfs @ 0.25 hrs, Volume= 6,129 cf, Depth= 0.62"

Routed to Reach A3 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

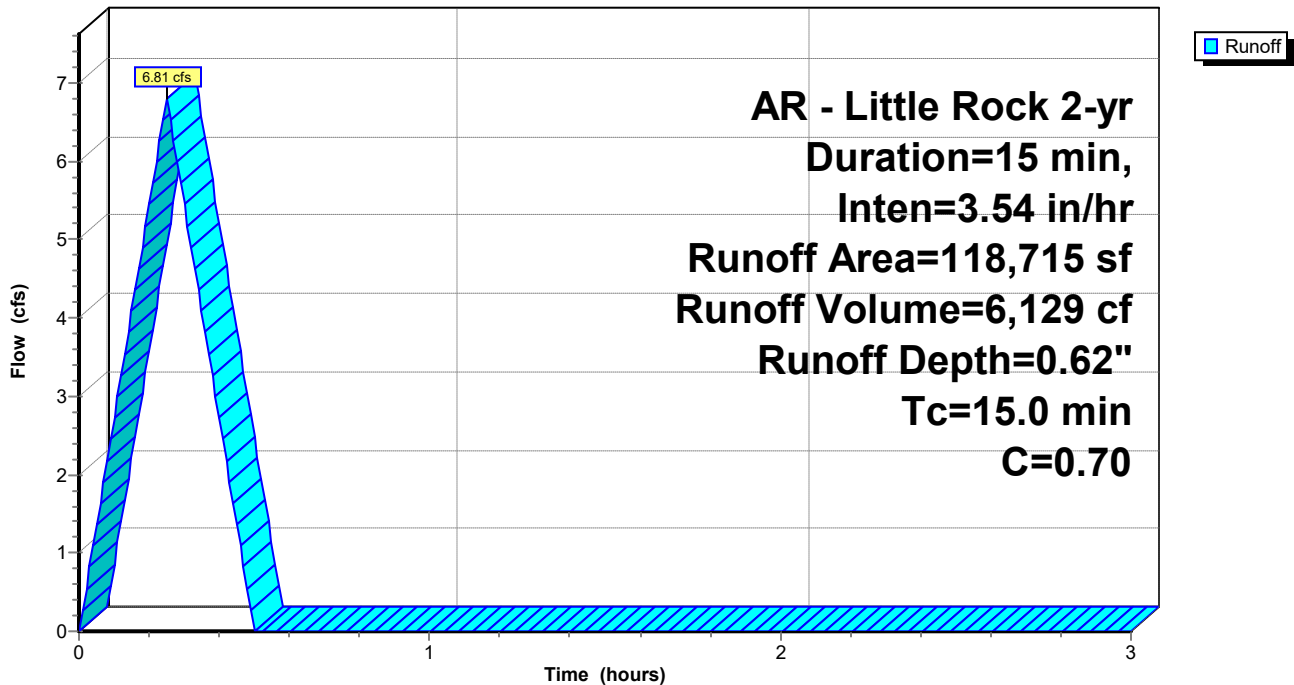
AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

Area (sf)	C	Description
65,063	0.50	Pervious Areas
53,652	0.95	Rooftop/Paving
118,715	0.70	Weighted Average
65,063		54.81% Pervious Area
53,652		45.19% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Subcatchment WestProp: West Adjacent Property Drainage Basin

Hydrograph



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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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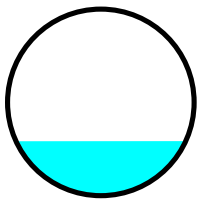
Summary for Reach A1: Pipe A1

Inflow Area = 1,168,524 sf, 0.00% Impervious, Inflow Depth = 0.27" for 2-yr event
Inflow = 28.73 cfs @ 0.25 hrs, Volume= 25,854 cf
Outflow = 28.67 cfs @ 0.25 hrs, Volume= 25,855 cf, Atten= 0%, Lag= 0.0 min
Routed to Reach A2 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 12.23 fps, Min. Travel Time= 0.0 min
Avg. Velocity = 9.46 fps, Avg. Travel Time= 0.0 min

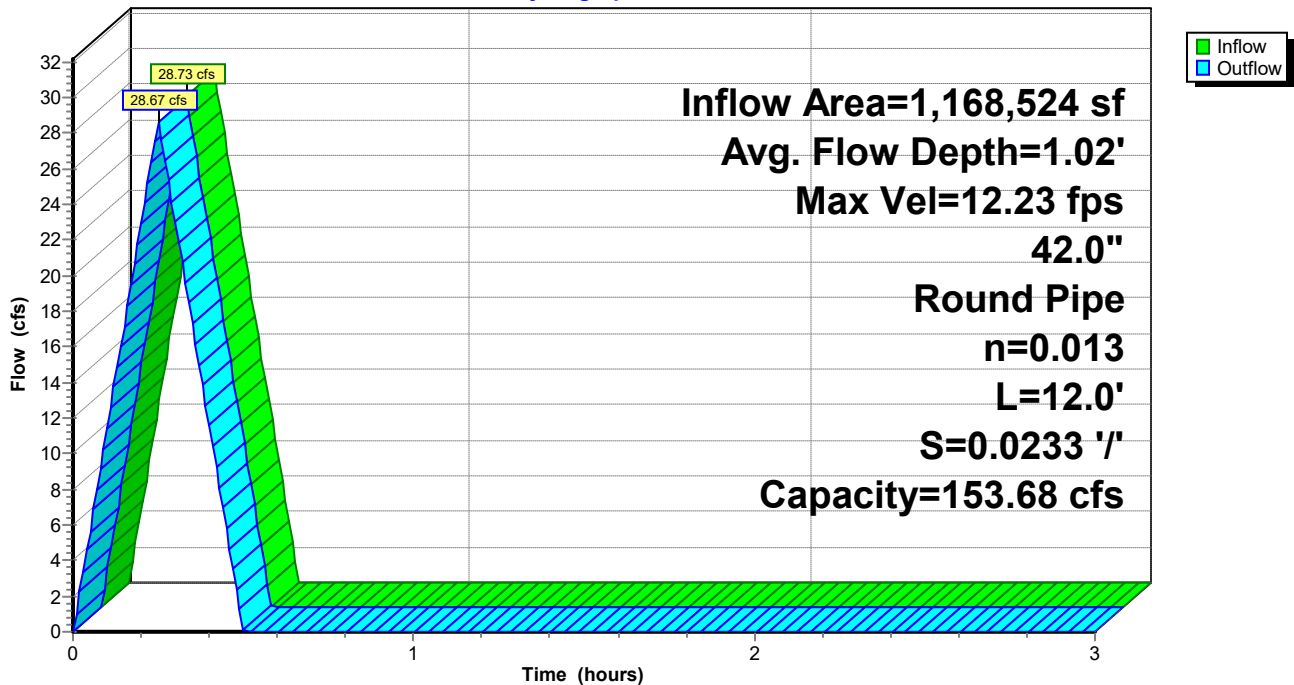
Peak Storage= 28 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.02' , Surface Width= 3.18'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 153.68 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 12.0' Slope= 0.0233 '/'
Inlet Invert= 413.00', Outlet Invert= 412.72'



Reach A1: Pipe A1

Hydrograph



Springhill Retail

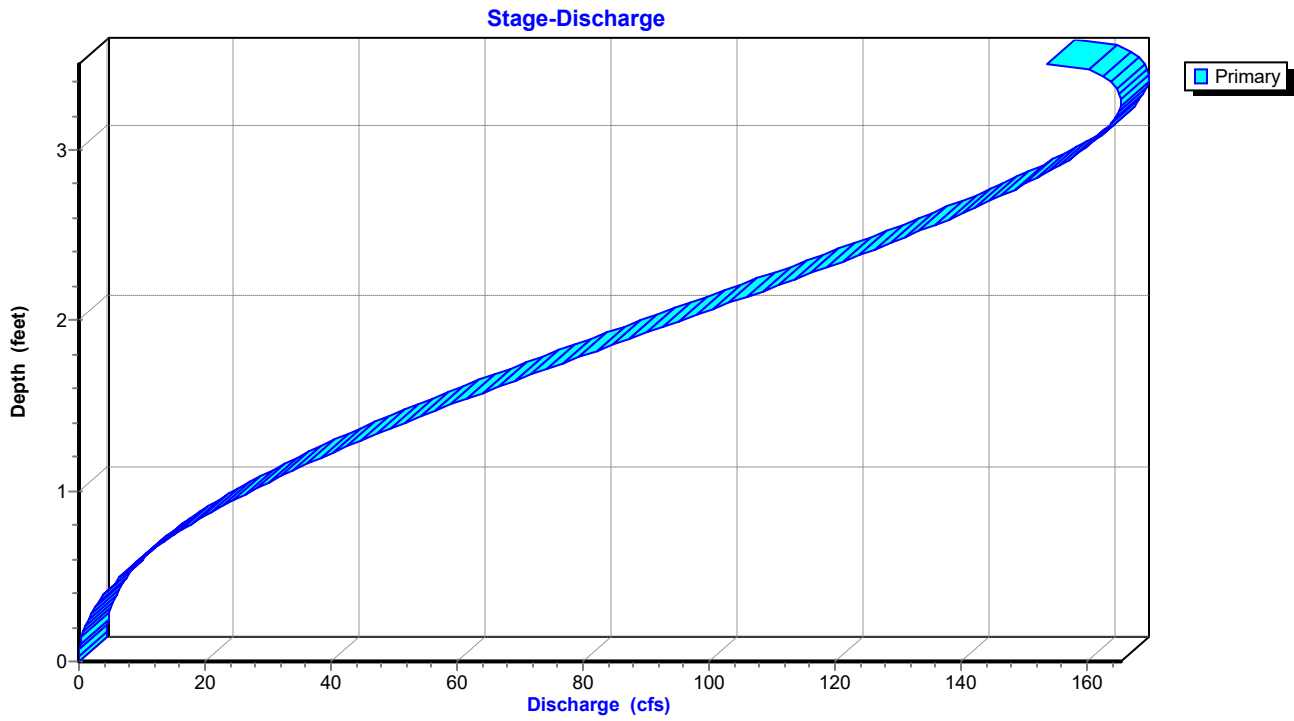
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Reach A1: Pipe A1



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Stage-Area-Storage for Reach A1: Pipe A1

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
413.00	0.0	0	415.60	7.7	92
413.05	0.0	0	415.65	7.8	94
413.10	0.1	1	415.70	8.0	96
413.15	0.1	2	415.75	8.1	97
413.20	0.2	3	415.80	8.3	99
413.25	0.3	4	415.85	8.4	101
413.30	0.4	5	415.90	8.5	102
413.35	0.5	6	415.95	8.7	104
413.40	0.6	7	416.00	8.8	105
413.45	0.7	9	416.05	8.9	107
413.50	0.8	10	416.10	9.0	108
413.55	1.0	12	416.15	9.1	109
413.60	1.1	13	416.20	9.2	111
413.65	1.2	15	416.25	9.3	112
413.70	1.4	16	416.30	9.4	113
413.75	1.5	18	416.35	9.5	114
413.80	1.7	20	416.40	9.5	115
413.85	1.8	22	416.45	9.6	115
413.90	2.0	23	416.50	9.6	115
413.95	2.1	25			
414.00	2.3	27			
414.05	2.4	29			
414.10	2.6	31			
414.15	2.8	33			
414.20	2.9	35			
414.25	3.1	37			
414.30	3.3	39			
414.35	3.4	41			
414.40	3.6	43			
414.45	3.8	45			
414.50	3.9	47			
414.55	4.1	49			
414.60	4.3	51			
414.65	4.5	54			
414.70	4.6	56			
414.75	4.8	58			
414.80	5.0	60			
414.85	5.2	62			
414.90	5.3	64			
414.95	5.5	66			
415.00	5.7	68			
415.05	5.9	70			
415.10	6.0	72			
415.15	6.2	74			
415.20	6.4	76			
415.25	6.5	78			
415.30	6.7	80			
415.35	6.9	82			
415.40	7.0	84			
415.45	7.2	86			
415.50	7.4	88			
415.55	7.5	90			

Springhill Retail

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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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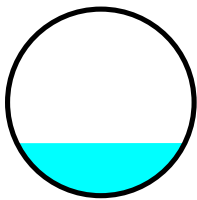
Summary for Reach A2: Pipe A2

Inflow Area = 1,206,798 sf, 3.17% Impervious, Inflow Depth = 0.28" for 2-yr event
Inflow = 31.65 cfs @ 0.25 hrs, Volume= 28,536 cf
Outflow = 31.13 cfs @ 0.26 hrs, Volume= 28,536 cf, Atten= 2%, Lag= 0.5 min
Routed to Reach A3 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 14.00 fps, Min. Travel Time= 0.3 min
Avg. Velocity = 7.95 fps, Avg. Travel Time= 0.5 min

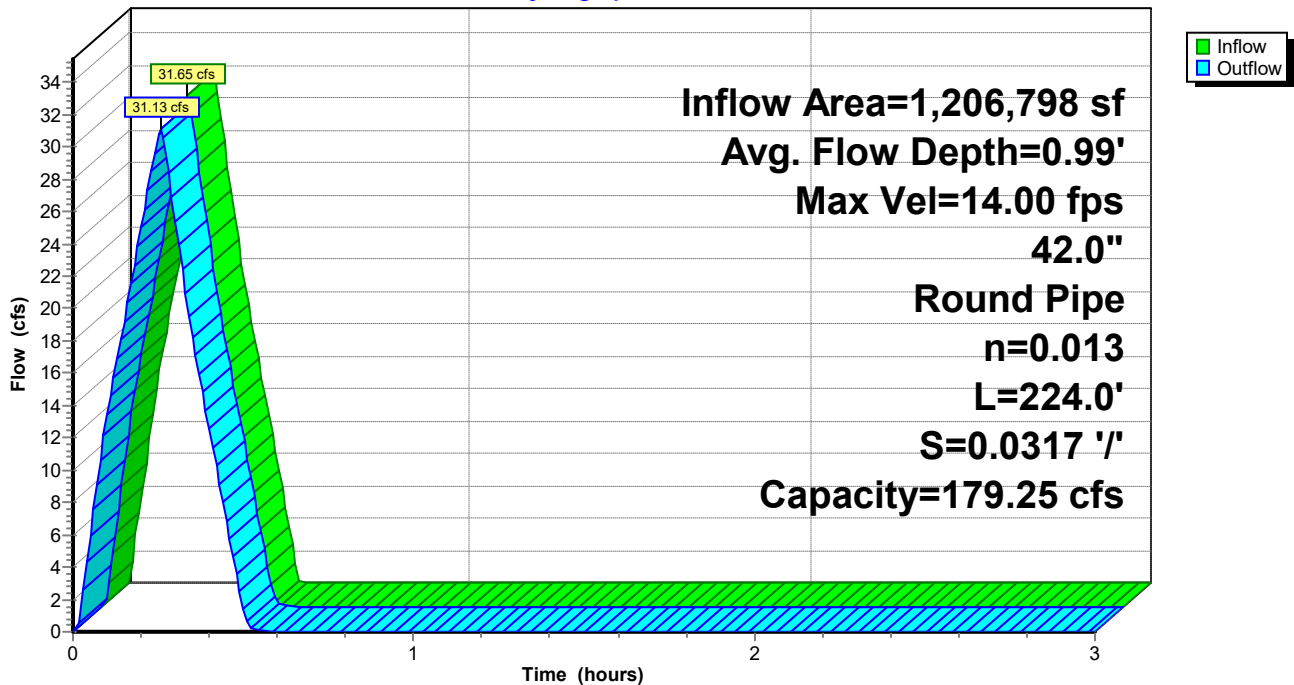
Peak Storage= 501 cf @ 0.25 hrs
Average Depth at Peak Storage= 0.99' , Surface Width= 3.15'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 179.25 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 224.0' Slope= 0.0317 '/'
Inlet Invert= 412.52', Outlet Invert= 405.41'



Reach A2: Pipe A2

Hydrograph



Springhill Retail

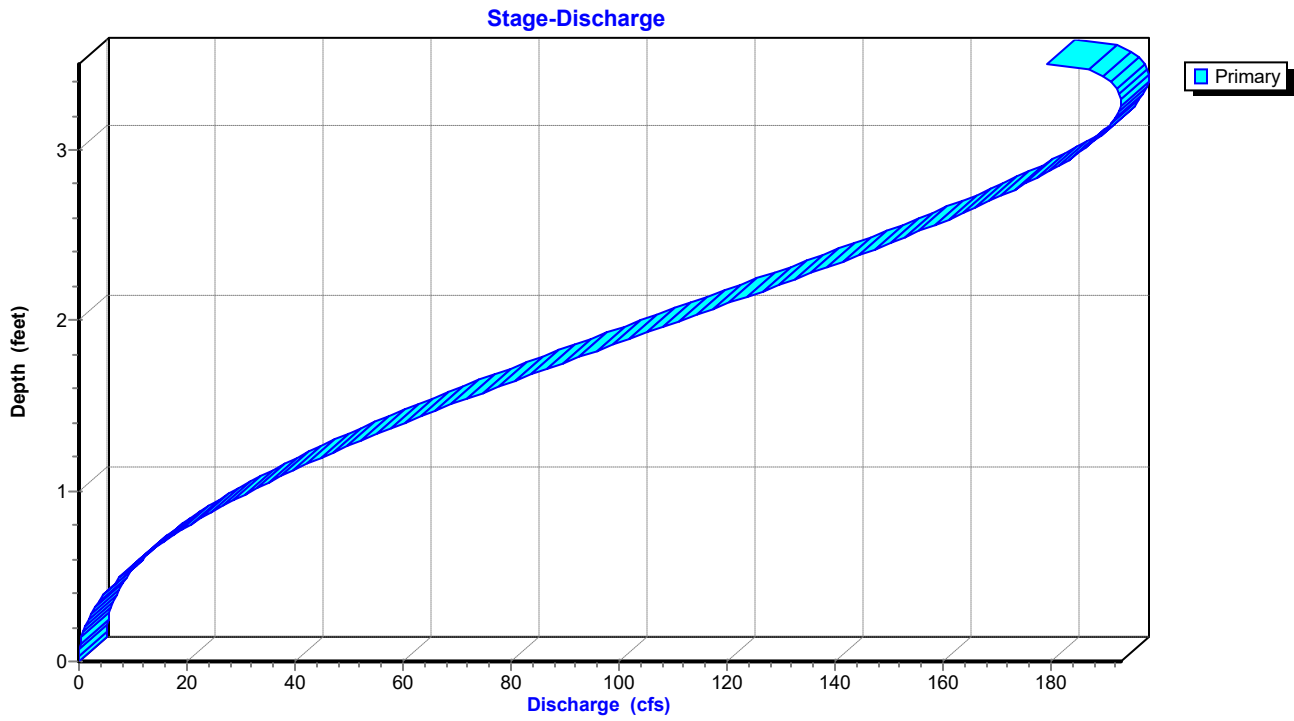
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Reach A2: Pipe A2



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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Stage-Area-Storage for Reach A2: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
412.52	0.0	0	415.12	7.7	1,717
412.57	0.0	6	415.17	7.8	1,751
412.62	0.1	18	415.22	8.0	1,784
412.67	0.1	32	415.27	8.1	1,816
412.72	0.2	49	415.32	8.3	1,848
412.77	0.3	68	415.37	8.4	1,879
412.82	0.4	90	415.42	8.5	1,909
412.87	0.5	112	415.47	8.7	1,938
412.92	0.6	136	415.52	8.8	1,966
412.97	0.7	162	415.57	8.9	1,993
413.02	0.8	189	415.62	9.0	2,019
413.07	1.0	217	415.67	9.1	2,043
413.12	1.1	246	415.72	9.2	2,066
413.17	1.2	276	415.77	9.3	2,087
413.22	1.4	307	415.82	9.4	2,106
413.27	1.5	339	415.87	9.5	2,123
413.32	1.7	371	415.92	9.5	2,138
413.37	1.8	404	415.97	9.6	2,149
413.42	2.0	438	416.02	9.6	2,155
413.47	2.1	473			
413.52	2.3	508			
413.57	2.4	544			
413.62	2.6	580			
413.67	2.8	617			
413.72	2.9	654			
413.77	3.1	691			
413.82	3.3	729			
413.87	3.4	767			
413.92	3.6	805			
413.97	3.8	844			
414.02	3.9	882			
414.07	4.1	921			
414.12	4.3	960			
414.17	4.5	999			
414.22	4.6	1,038			
414.27	4.8	1,078			
414.32	5.0	1,117			
414.37	5.2	1,156			
414.42	5.3	1,195			
414.47	5.5	1,234			
414.52	5.7	1,273			
414.57	5.9	1,312			
414.62	6.0	1,350			
414.67	6.2	1,388			
414.72	6.4	1,426			
414.77	6.5	1,464			
414.82	6.7	1,502			
414.87	6.9	1,539			
414.92	7.0	1,575			
414.97	7.2	1,611			
415.02	7.4	1,647			
415.07	7.5	1,682			

Springhill Retail

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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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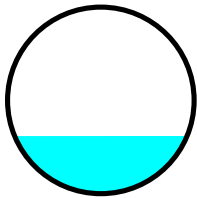
Summary for Reach A3: Pipe A2

Inflow Area = 1,325,513 sf, 6.94% Impervious, Inflow Depth = 0.31" for 2-yr event
Inflow = 37.77 cfs @ 0.26 hrs, Volume= 34,665 cf
Outflow = 37.71 cfs @ 0.26 hrs, Volume= 34,665 cf, Atten= 0%, Lag= 0.1 min
Routed to Pond Pond : Regional Detention Basin

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 14.91 fps, Min. Travel Time= 0.1 min
Avg. Velocity = 8.41 fps, Avg. Travel Time= 0.1 min

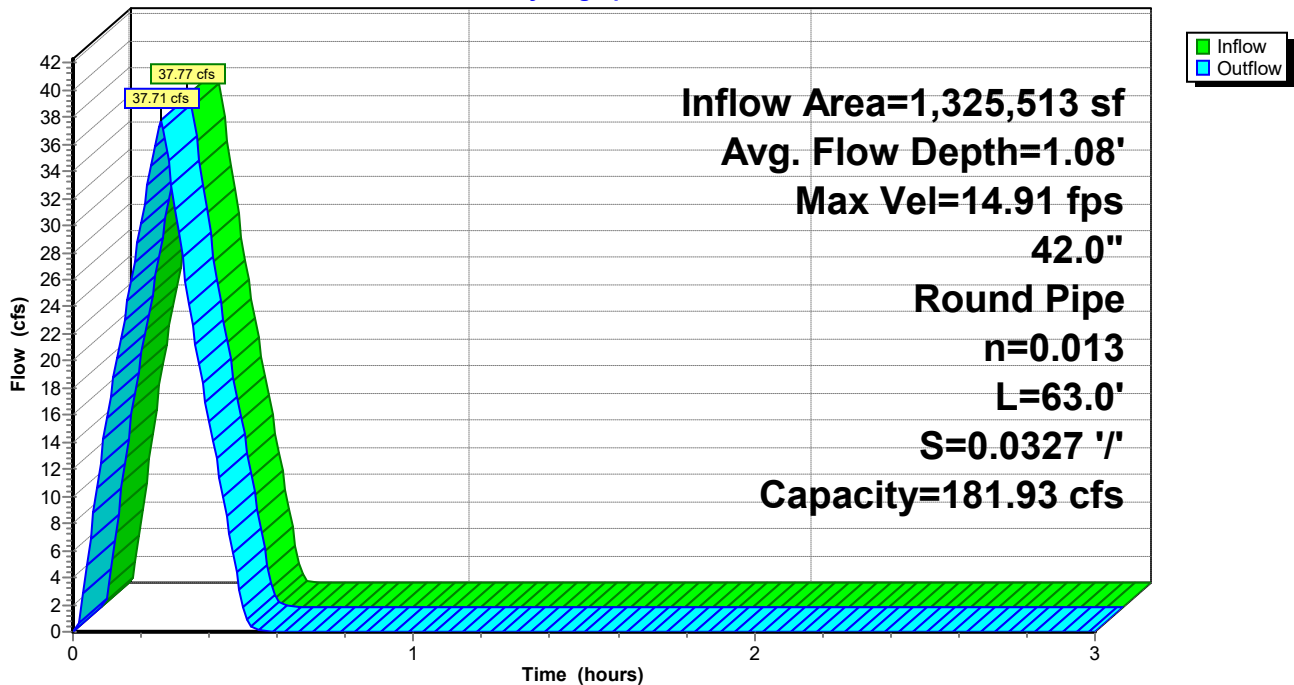
Peak Storage= 160 cf @ 0.26 hrs
Average Depth at Peak Storage= 1.08' , Surface Width= 3.24'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 181.93 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 63.0' Slope= 0.0327 '/'
Inlet Invert= 405.31', Outlet Invert= 403.25'



Reach A3: Pipe A2

Hydrograph



Springhill Retail

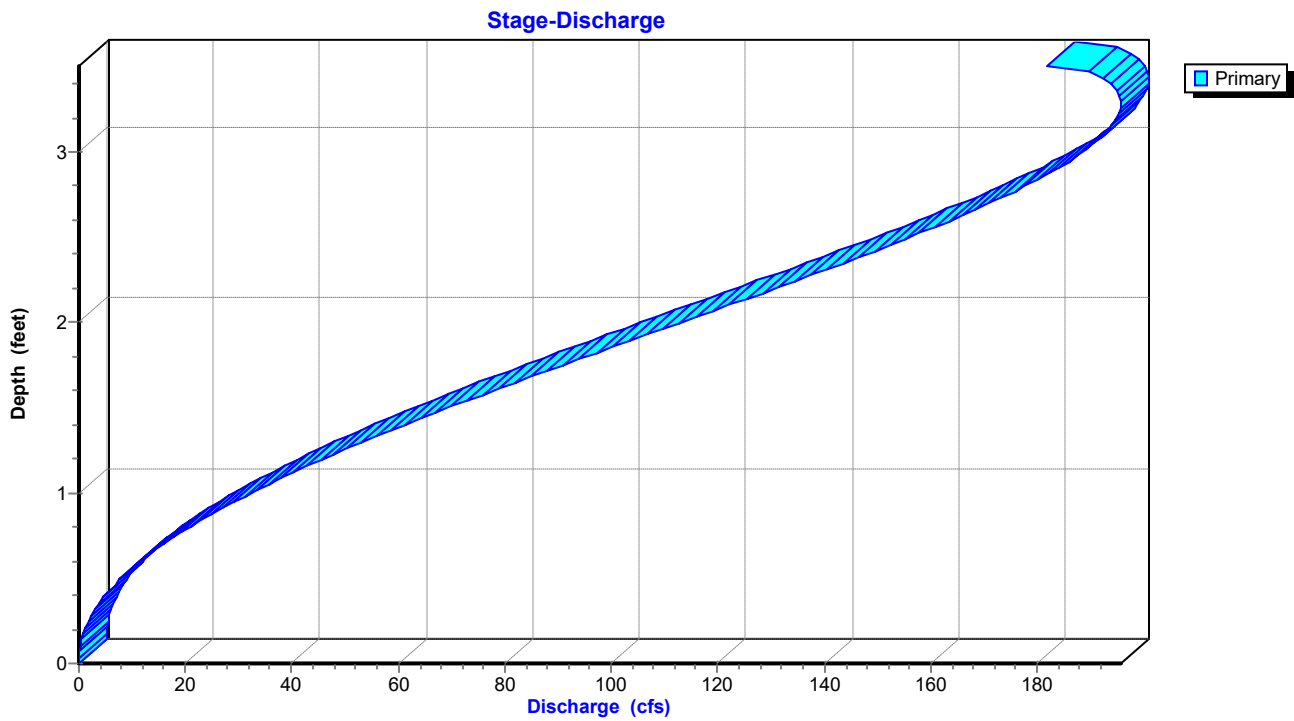
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Reach A3: Pipe A2



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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Stage-Area-Storage for Reach A3: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
405.31	0.0	0	407.91	7.7	483
405.36	0.0	2	407.96	7.8	492
405.41	0.1	5	408.01	8.0	502
405.46	0.1	9	408.06	8.1	511
405.51	0.2	14	408.11	8.3	520
405.56	0.3	19	408.16	8.4	529
405.61	0.4	25	408.21	8.5	537
405.66	0.5	32	408.26	8.7	545
405.71	0.6	38	408.31	8.8	553
405.76	0.7	46	408.36	8.9	561
405.81	0.8	53	408.41	9.0	568
405.86	1.0	61	408.46	9.1	575
405.91	1.1	69	408.51	9.2	581
405.96	1.2	78	408.56	9.3	587
406.01	1.4	86	408.61	9.4	592
406.06	1.5	95	408.66	9.5	597
406.11	1.7	104	408.71	9.5	601
406.16	1.8	114	408.76	9.6	604
406.21	2.0	123	408.81	9.6	606
406.26	2.1	133			
406.31	2.3	143			
406.36	2.4	153			
406.41	2.6	163			
406.46	2.8	173			
406.51	2.9	184			
406.56	3.1	194			
406.61	3.3	205			
406.66	3.4	216			
406.71	3.6	226			
406.76	3.8	237			
406.81	3.9	248			
406.86	4.1	259			
406.91	4.3	270			
406.96	4.5	281			
407.01	4.6	292			
407.06	4.8	303			
407.11	5.0	314			
407.16	5.2	325			
407.21	5.3	336			
407.26	5.5	347			
407.31	5.7	358			
407.36	5.9	369			
407.41	6.0	380			
407.46	6.2	390			
407.51	6.4	401			
407.56	6.5	412			
407.61	6.7	422			
407.66	6.9	433			
407.71	7.0	443			
407.76	7.2	453			
407.81	7.4	463			
407.86	7.5	473			

Springhill Retail

AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Summary for Pond Pond: Regional Detention Basin

Inflow Area = 1,372,542 sf, 6.70% Impervious, Inflow Depth = 0.33" for 2-yr event
 Inflow = 40.42 cfs @ 0.26 hrs, Volume= 37,301 cf
 Outflow = 34.70 cfs @ 0.29 hrs, Volume= 37,302 cf, Atten= 14%, Lag= 2.1 min
 Primary = 34.70 cfs @ 0.29 hrs, Volume= 37,302 cf

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 404.26' @ 0.29 hrs Storage= 3,846 cf

Plug-Flow detention time= 1.2 min calculated for 37,178 cf (100% of inflow)
 Center-of-Mass det. time= 1.2 min (16.1 - 14.9)

Volume	Invert	Avail.Storage	Storage Description
#1	401.00'	12,812 cf	Custom Stage Data Listed below

Elevation (feet)	Cum.Store (cubic-feet)
401.00	0
402.00	103
403.00	803
404.00	2,704
405.00	7,038
406.00	12,812

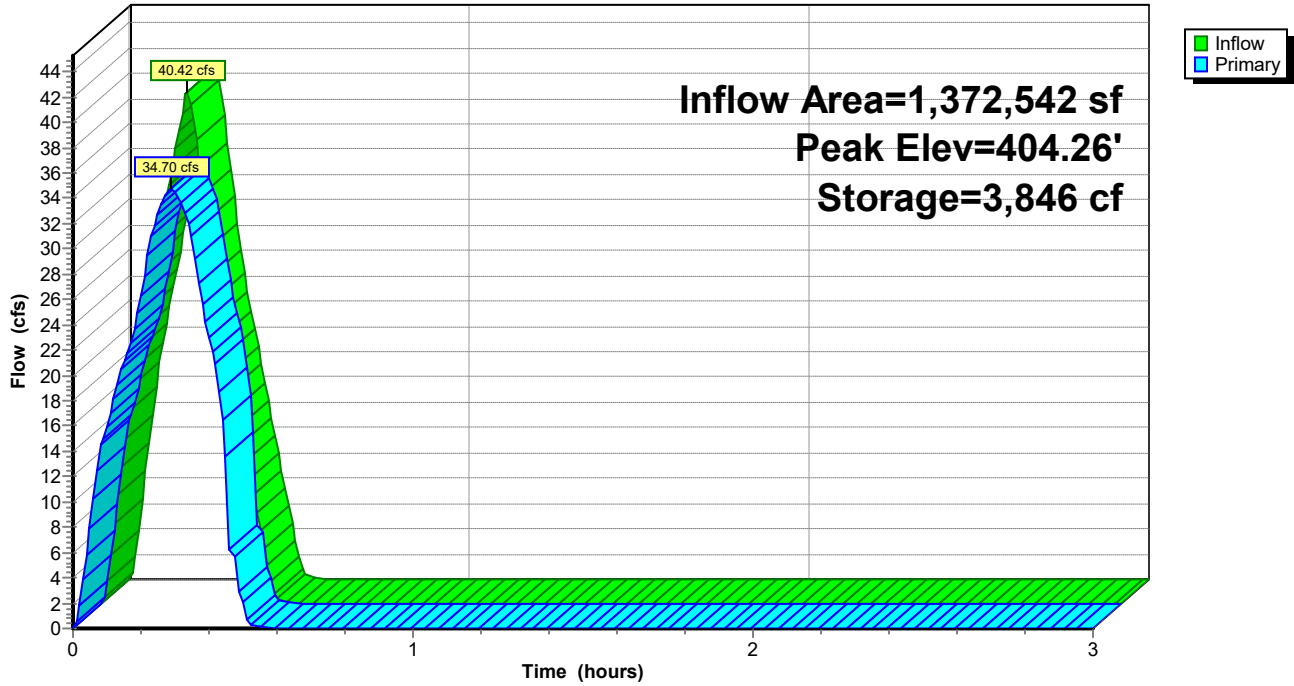
Device	Routing	Invert	Outlet Devices
#1	Primary	400.10'	24.0" Round RCP_Round 24" L= 100.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 400.10' / 397.97' S= 0.0213 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf
#2	Primary	403.02'	24.0" Round RCP_Round 24" L= 35.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 403.02' / 401.73' S= 0.0369 '/' Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 3.14 sf
#3	Primary	405.69'	2.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=34.69 cfs @ 0.29 hrs HW=404.26' (Free Discharge)

- 1=RCP_Round 24" (Inlet Controls 26.90 cfs @ 8.56 fps)
- 2=RCP_Round 24" (Inlet Controls 7.79 cfs @ 3.80 fps)
- 3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

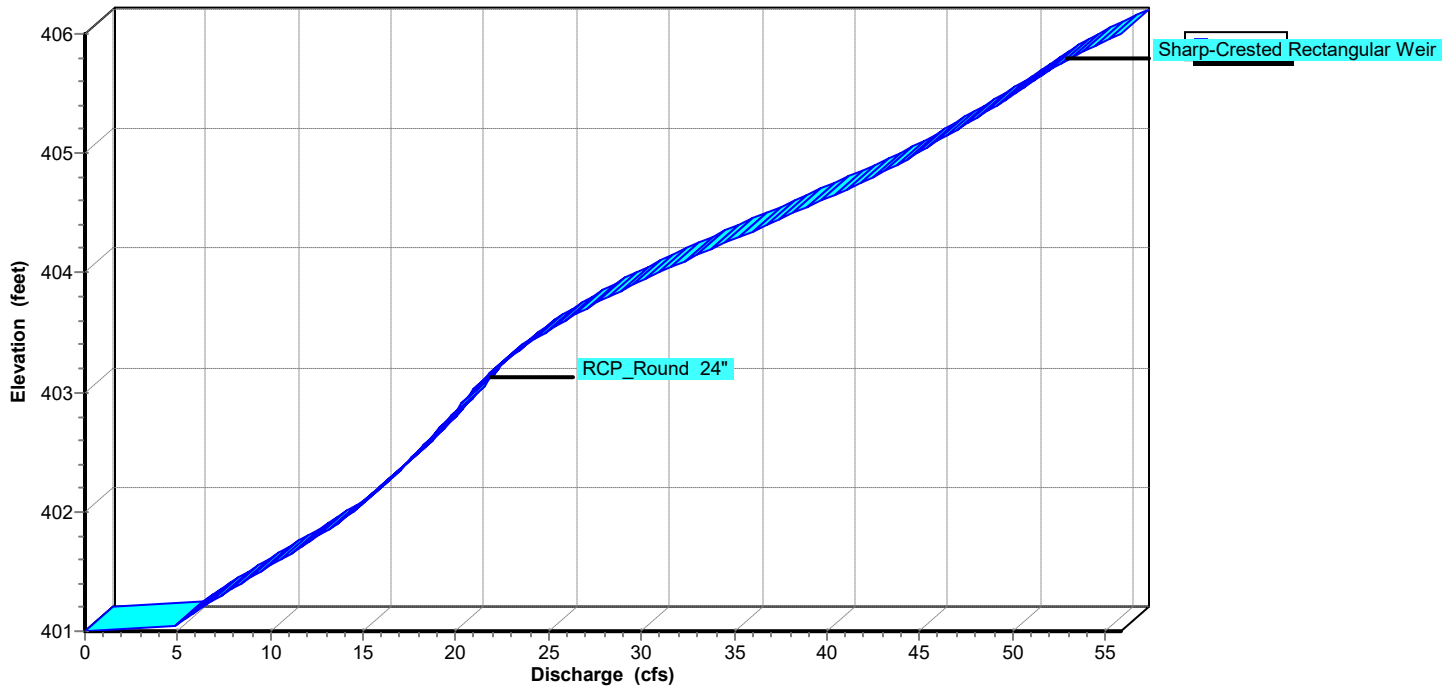
Pond Pond: Regional Detention Basin

Hydrograph



Pond Pond: Regional Detention Basin

Stage-Discharge



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 2-yr Duration=15 min, Inten=3.54 in/hr

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Stage-Area-Storage for Pond Pond: Regional Detention Basin

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
401.00	0	403.60	1,944
401.05	5	403.65	2,039
401.10	10	403.70	2,134
401.15	15	403.75	2,229
401.20	21	403.80	2,324
401.25	26	403.85	2,419
401.30	31	403.90	2,514
401.35	36	403.95	2,609
401.40	41	404.00	2,704
401.45	46	404.05	2,921
401.50	52	404.10	3,137
401.55	57	404.15	3,354
401.60	62	404.20	3,571
401.65	67	404.25	3,788
401.70	72	404.30	4,004
401.75	77	404.35	4,221
401.80	82	404.40	4,438
401.85	88	404.45	4,654
401.90	93	404.50	4,871
401.95	98	404.55	5,088
402.00	103	404.60	5,304
402.05	138	404.65	5,521
402.10	173	404.70	5,738
402.15	208	404.75	5,955
402.20	243	404.80	6,171
402.25	278	404.85	6,388
402.30	313	404.90	6,605
402.35	348	404.95	6,821
402.40	383	405.00	7,038
402.45	418	405.05	7,327
402.50	453	405.10	7,615
402.55	488	405.15	7,904
402.60	523	405.20	8,193
402.65	558	405.25	8,482
402.70	593	405.30	8,770
402.75	628	405.35	9,059
402.80	663	405.40	9,348
402.85	698	405.45	9,636
402.90	733	405.50	9,925
402.95	768	405.55	10,214
403.00	803	405.60	10,502
403.05	898	405.65	10,791
403.10	993	405.70	11,080
403.15	1,088	405.75	11,369
403.20	1,183	405.80	11,657
403.25	1,278	405.85	11,946
403.30	1,373	405.90	12,235
403.35	1,468	405.95	12,523
403.40	1,563	406.00	12,812
403.45	1,658		
403.50	1,754		
403.55	1,849		

Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Summary for Subcatchment ARDOT: ARDOT Offsite

Runoff = 34.08 cfs @ 0.25 hrs, Volume= 30,674 cf, Depth= 0.31"

Routed to Reach A1 : Pipe A1

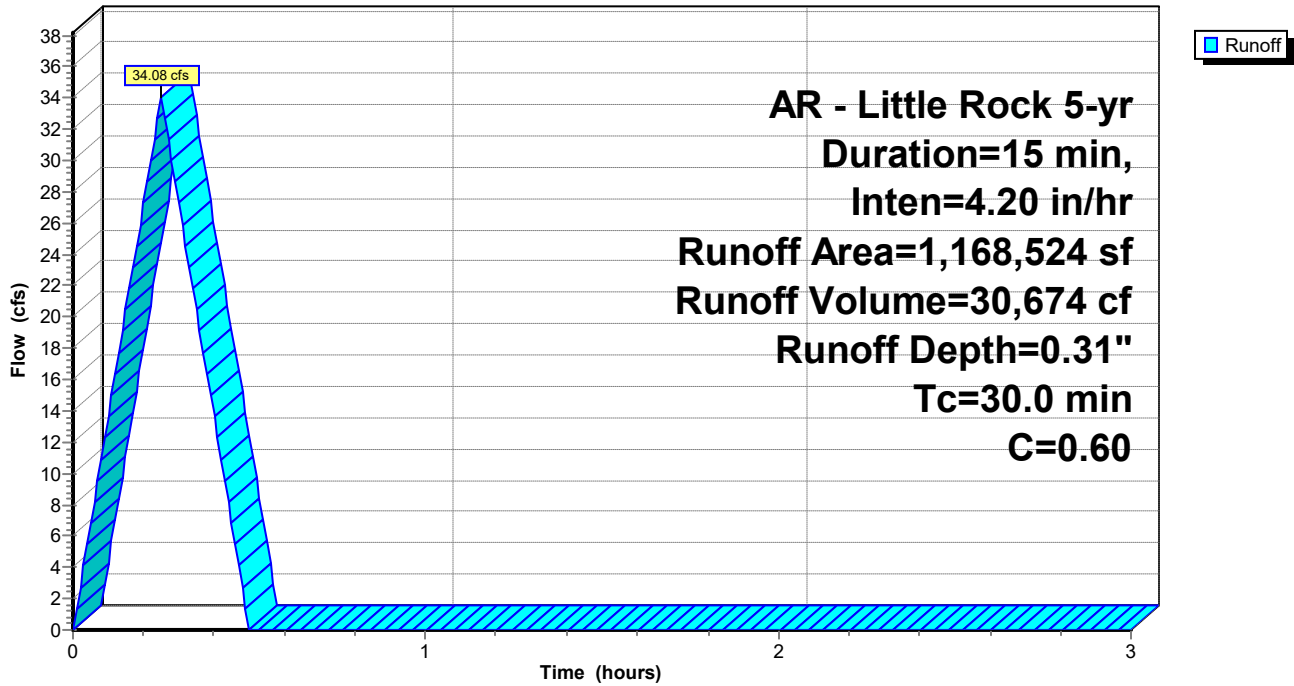
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Area (sf)	C	Description
1,168,524	0.60	
1,168,524		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
30.0					Direct Entry,

Subcatchment ARDOT: ARDOT Offsite

Hydrograph



Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Summary for Subcatchment M&F: Merchants and Farmers

Runoff = 3.54 cfs @ 0.09 hrs, Volume= 3,182 cf, Depth= 1.00"

Routed to Reach A2 : Pipe A2

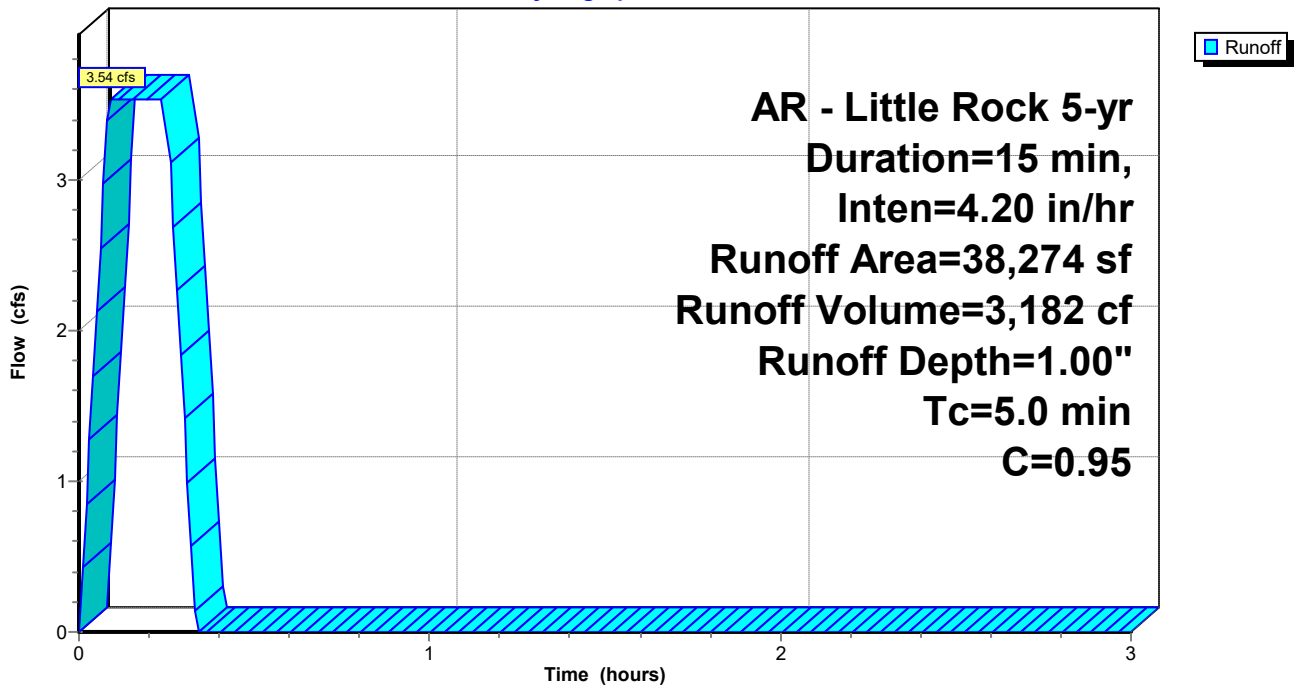
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Area (sf)	C	Description
38,274	0.95	Developed Site
38,274		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment M&F: Merchants and Farmers

Hydrograph



Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Summary for Subcatchment SR: Springhill Retail Post

Runoff = 3.47 cfs @ 0.09 hrs, Volume= 3,127 cf, Depth= 0.80"

Routed to Pond Pond : Regional Detention Basin

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
33,632	0.92	Drives, Roof, Sidewalks
11,886	0.30	Landscaped Areas
47,029	0.76	Weighted Average
47,029		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.8	82	0.0290	1.76		Sheet Flow, Asphalt Sheet Flow Smooth surfaces n= 0.011 P2= 4.19"
0.8	87	0.0080	1.82		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.1	19	0.0210	2.94		Shallow Concentrated Flow, Concentrated Pavement Flow Paved Kv= 20.3 fps
1.0	197	0.0250	3.21		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.3	37	0.0130	2.31		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
2.0					Direct Entry, Minimum adjustment
5.0	422	Total			

Springhill Retail

Prepared by Phillip Lewis Engineering

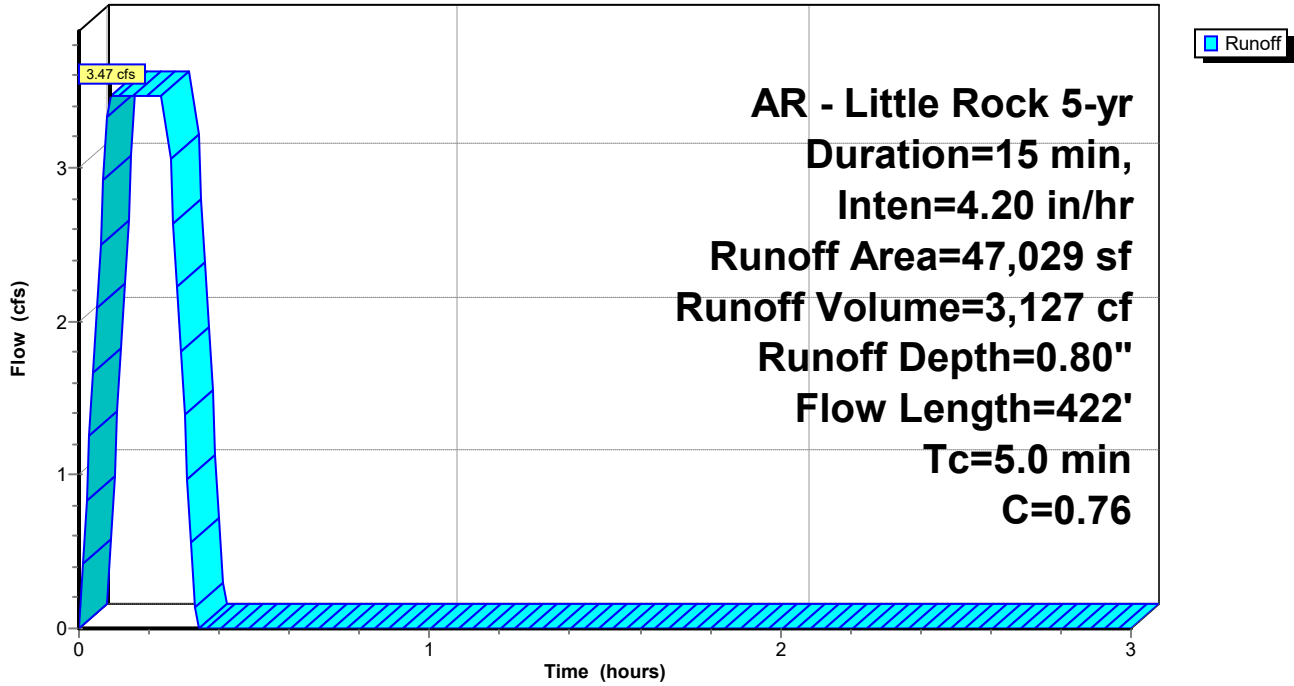
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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Subcatchment SR: Springhill Retail Post

Hydrograph



Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Summary for Subcatchment WestProp: West Adjacent Property Drainage Basin

Runoff = 8.08 cfs @ 0.25 hrs, Volume= 7,271 cf, Depth= 0.73"

Routed to Reach A3 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

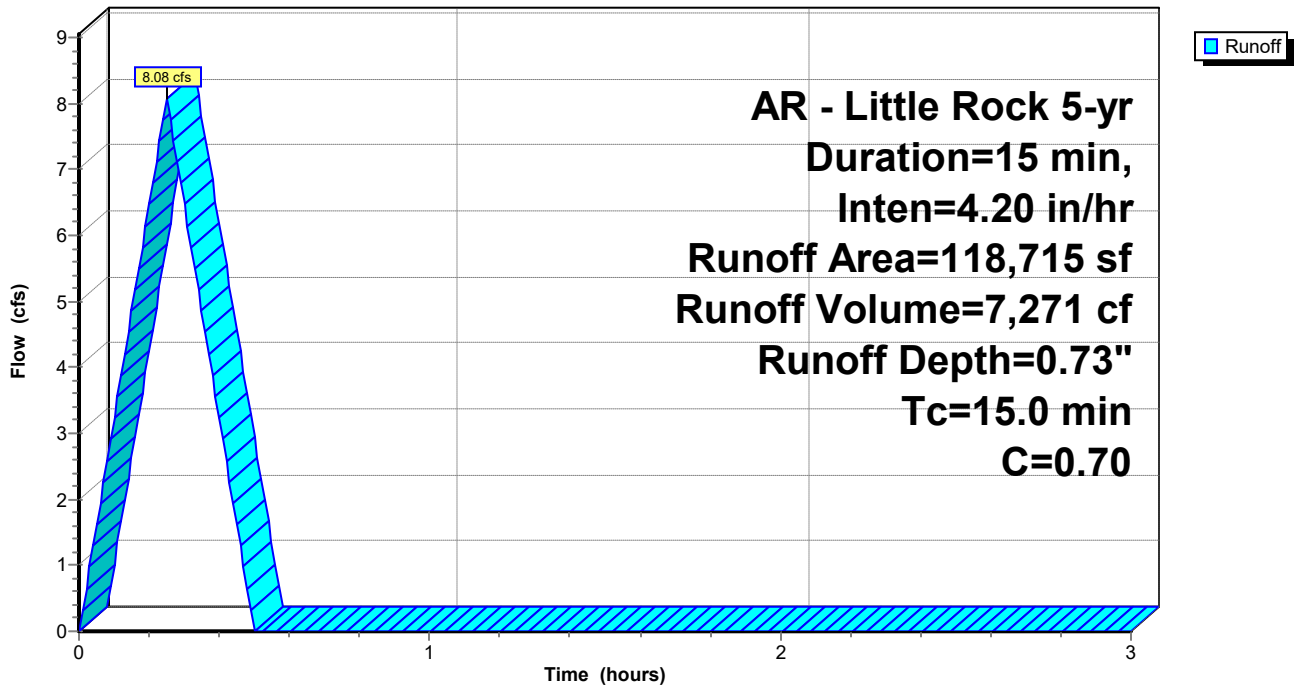
AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

Area (sf)	C	Description
65,063	0.50	Pervious Areas
53,652	0.95	Rooftop/Paving
118,715	0.70	Weighted Average
65,063		54.81% Pervious Area
53,652		45.19% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Subcatchment WestProp: West Adjacent Property Drainage Basin

Hydrograph



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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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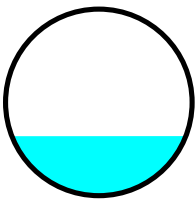
Summary for Reach A1: Pipe A1

Inflow Area = 1,168,524 sf, 0.00% Impervious, Inflow Depth = 0.31" for 5-yr event
Inflow = 34.08 cfs @ 0.25 hrs, Volume= 30,674 cf
Outflow = 34.01 cfs @ 0.25 hrs, Volume= 30,675 cf, Atten= 0%, Lag= 0.0 min
Routed to Reach A2 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 12.84 fps, Min. Travel Time= 0.0 min
Avg. Velocity = 9.94 fps, Avg. Travel Time= 0.0 min

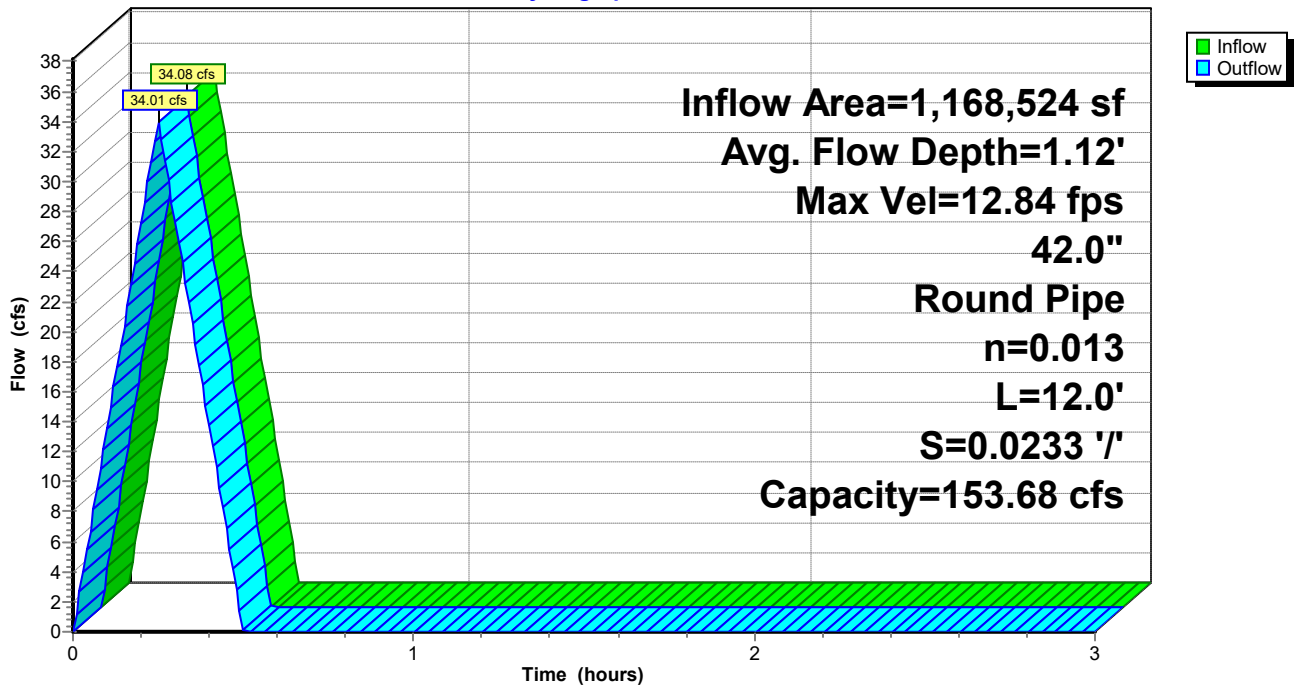
Peak Storage= 32 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.12' , Surface Width= 3.26'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 153.68 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 12.0' Slope= 0.0233 '/'
Inlet Invert= 413.00', Outlet Invert= 412.72'



Reach A1: Pipe A1

Hydrograph



Springhill Retail

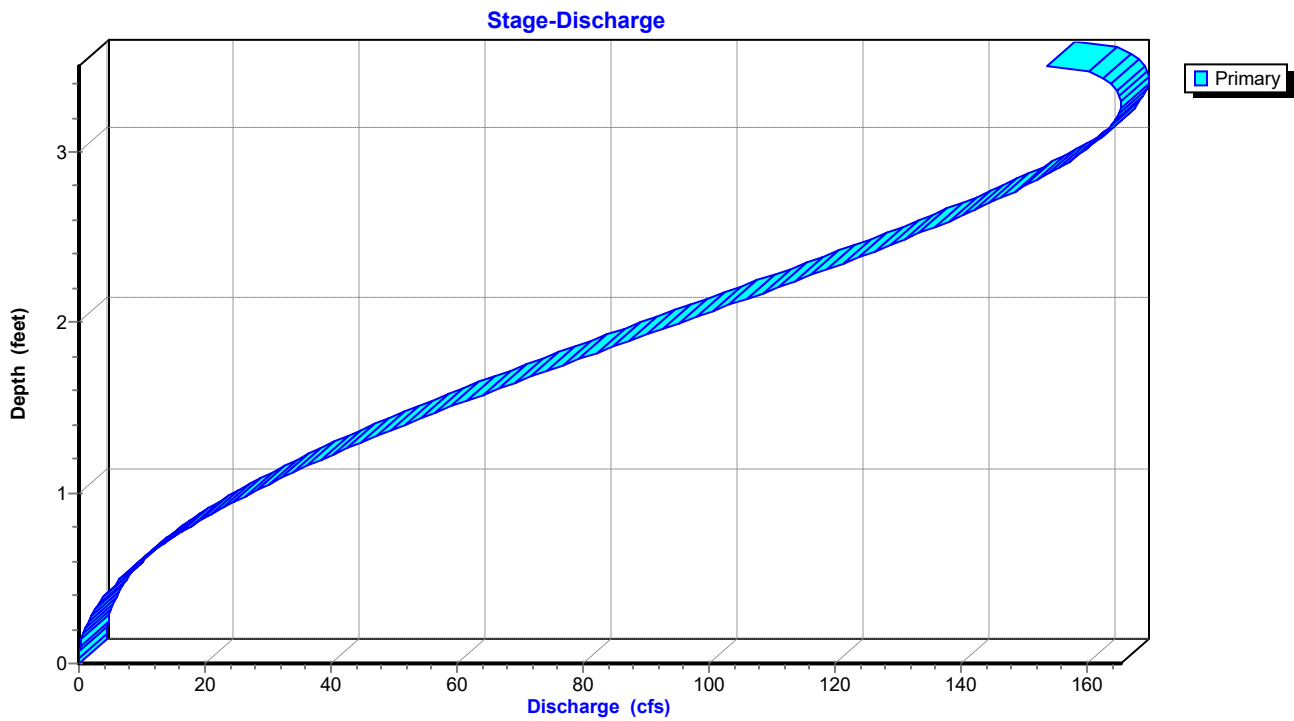
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Reach A1: Pipe A1



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Stage-Area-Storage for Reach A1: Pipe A1

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
413.00	0.0	0	415.60	7.7	92
413.05	0.0	0	415.65	7.8	94
413.10	0.1	1	415.70	8.0	96
413.15	0.1	2	415.75	8.1	97
413.20	0.2	3	415.80	8.3	99
413.25	0.3	4	415.85	8.4	101
413.30	0.4	5	415.90	8.5	102
413.35	0.5	6	415.95	8.7	104
413.40	0.6	7	416.00	8.8	105
413.45	0.7	9	416.05	8.9	107
413.50	0.8	10	416.10	9.0	108
413.55	1.0	12	416.15	9.1	109
413.60	1.1	13	416.20	9.2	111
413.65	1.2	15	416.25	9.3	112
413.70	1.4	16	416.30	9.4	113
413.75	1.5	18	416.35	9.5	114
413.80	1.7	20	416.40	9.5	115
413.85	1.8	22	416.45	9.6	115
413.90	2.0	23	416.50	9.6	115
413.95	2.1	25			
414.00	2.3	27			
414.05	2.4	29			
414.10	2.6	31			
414.15	2.8	33			
414.20	2.9	35			
414.25	3.1	37			
414.30	3.3	39			
414.35	3.4	41			
414.40	3.6	43			
414.45	3.8	45			
414.50	3.9	47			
414.55	4.1	49			
414.60	4.3	51			
414.65	4.5	54			
414.70	4.6	56			
414.75	4.8	58			
414.80	5.0	60			
414.85	5.2	62			
414.90	5.3	64			
414.95	5.5	66			
415.00	5.7	68			
415.05	5.9	70			
415.10	6.0	72			
415.15	6.2	74			
415.20	6.4	76			
415.25	6.5	78			
415.30	6.7	80			
415.35	6.9	82			
415.40	7.0	84			
415.45	7.2	86			
415.50	7.4	88			
415.55	7.5	90			

Springhill Retail

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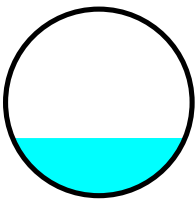
Summary for Reach A2: Pipe A2

Inflow Area = 1,206,798 sf, 3.17% Impervious, Inflow Depth = 0.34" for 5-yr event
Inflow = 37.55 cfs @ 0.25 hrs, Volume= 33,857 cf
Outflow = 36.95 cfs @ 0.26 hrs, Volume= 33,857 cf, Atten= 2%, Lag= 0.4 min
Routed to Reach A3 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 14.69 fps, Min. Travel Time= 0.3 min
Avg. Velocity = 8.33 fps, Avg. Travel Time= 0.4 min

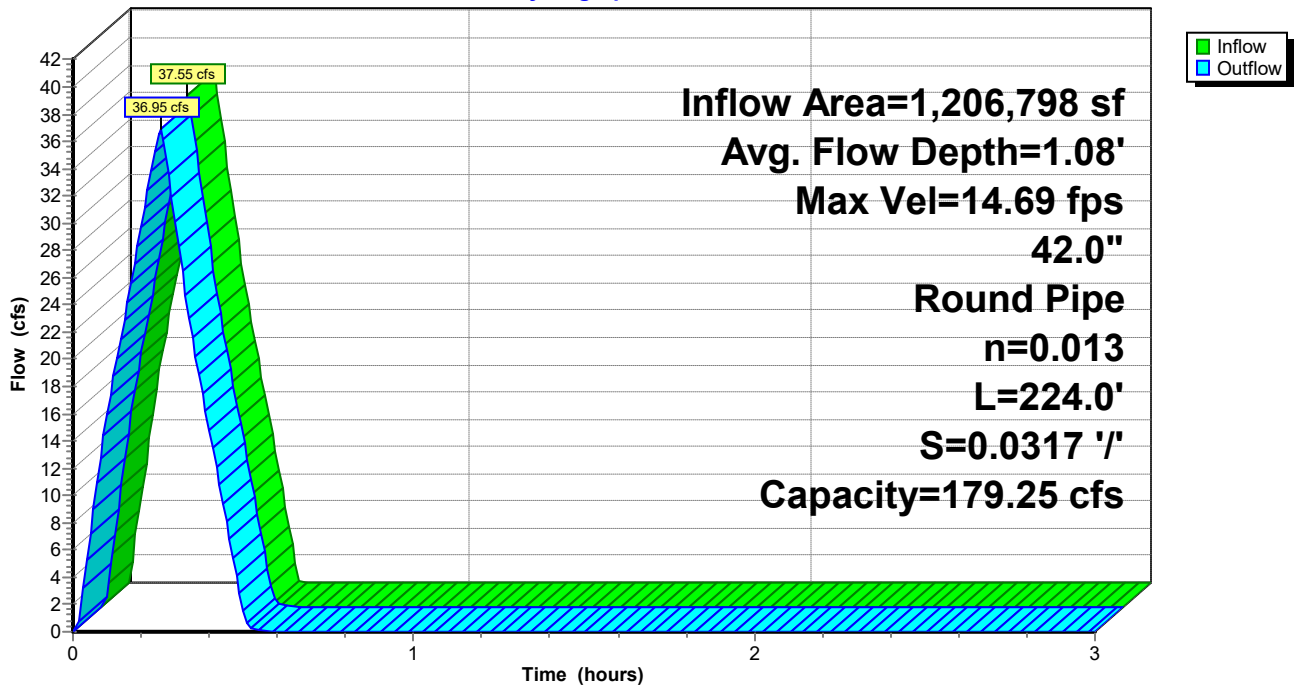
Peak Storage= 567 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.08' , Surface Width= 3.23'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 179.25 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 224.0' Slope= 0.0317 '/'
Inlet Invert= 412.52', Outlet Invert= 405.41'



Reach A2: Pipe A2

Hydrograph



Springhill Retail

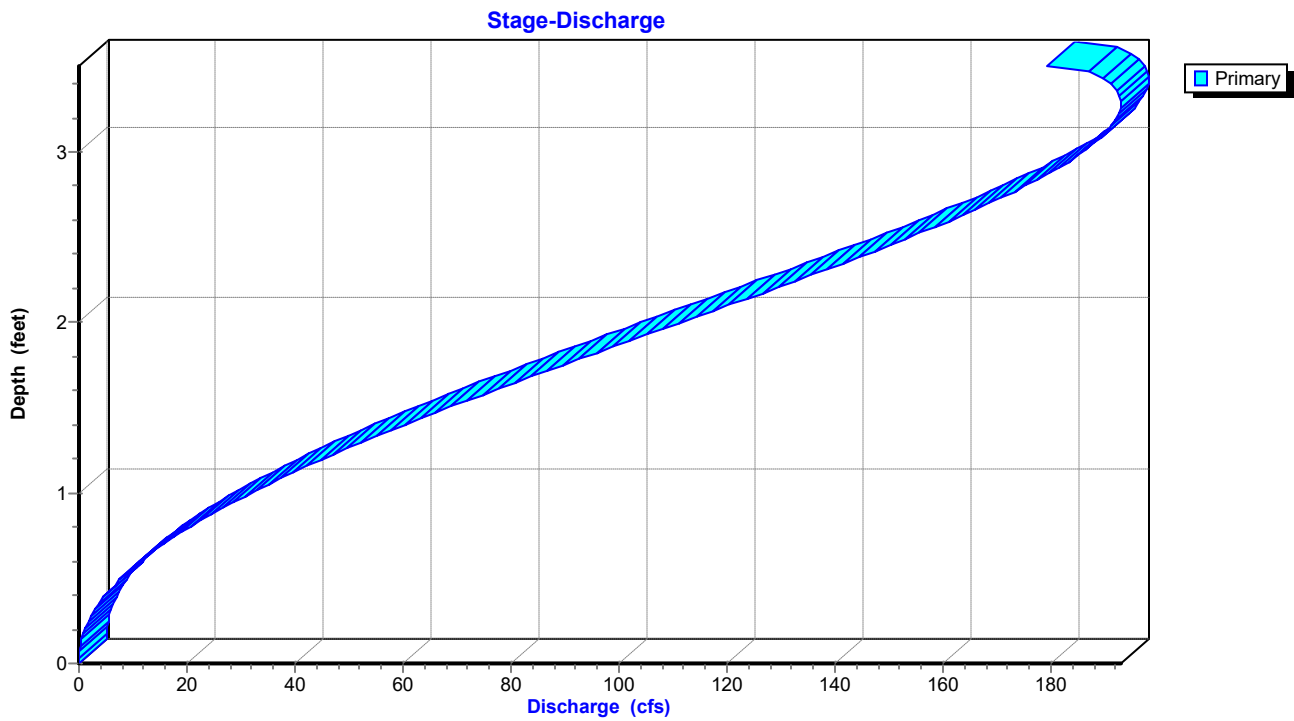
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Reach A2: Pipe A2



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Stage-Area-Storage for Reach A2: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
412.52	0.0	0	415.12	7.7	1,717
412.57	0.0	6	415.17	7.8	1,751
412.62	0.1	18	415.22	8.0	1,784
412.67	0.1	32	415.27	8.1	1,816
412.72	0.2	49	415.32	8.3	1,848
412.77	0.3	68	415.37	8.4	1,879
412.82	0.4	90	415.42	8.5	1,909
412.87	0.5	112	415.47	8.7	1,938
412.92	0.6	136	415.52	8.8	1,966
412.97	0.7	162	415.57	8.9	1,993
413.02	0.8	189	415.62	9.0	2,019
413.07	1.0	217	415.67	9.1	2,043
413.12	1.1	246	415.72	9.2	2,066
413.17	1.2	276	415.77	9.3	2,087
413.22	1.4	307	415.82	9.4	2,106
413.27	1.5	339	415.87	9.5	2,123
413.32	1.7	371	415.92	9.5	2,138
413.37	1.8	404	415.97	9.6	2,149
413.42	2.0	438	416.02	9.6	2,155
413.47	2.1	473			
413.52	2.3	508			
413.57	2.4	544			
413.62	2.6	580			
413.67	2.8	617			
413.72	2.9	654			
413.77	3.1	691			
413.82	3.3	729			
413.87	3.4	767			
413.92	3.6	805			
413.97	3.8	844			
414.02	3.9	882			
414.07	4.1	921			
414.12	4.3	960			
414.17	4.5	999			
414.22	4.6	1,038			
414.27	4.8	1,078			
414.32	5.0	1,117			
414.37	5.2	1,156			
414.42	5.3	1,195			
414.47	5.5	1,234			
414.52	5.7	1,273			
414.57	5.9	1,312			
414.62	6.0	1,350			
414.67	6.2	1,388			
414.72	6.4	1,426			
414.77	6.5	1,464			
414.82	6.7	1,502			
414.87	6.9	1,539			
414.92	7.0	1,575			
414.97	7.2	1,611			
415.02	7.4	1,647			
415.07	7.5	1,682			

Springhill Retail

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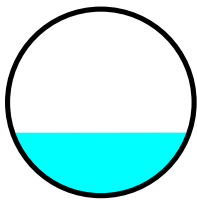
Summary for Reach A3: Pipe A2

Inflow Area = 1,325,513 sf, 6.94% Impervious, Inflow Depth = 0.37" for 5-yr event
Inflow = 44.84 cfs @ 0.25 hrs, Volume= 41,128 cf
Outflow = 44.77 cfs @ 0.26 hrs, Volume= 41,128 cf, Atten= 0%, Lag= 0.1 min
Routed to Pond Pond : Regional Detention Basin

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 15.64 fps, Min. Travel Time= 0.1 min
Avg. Velocity = 8.81 fps, Avg. Travel Time= 0.1 min

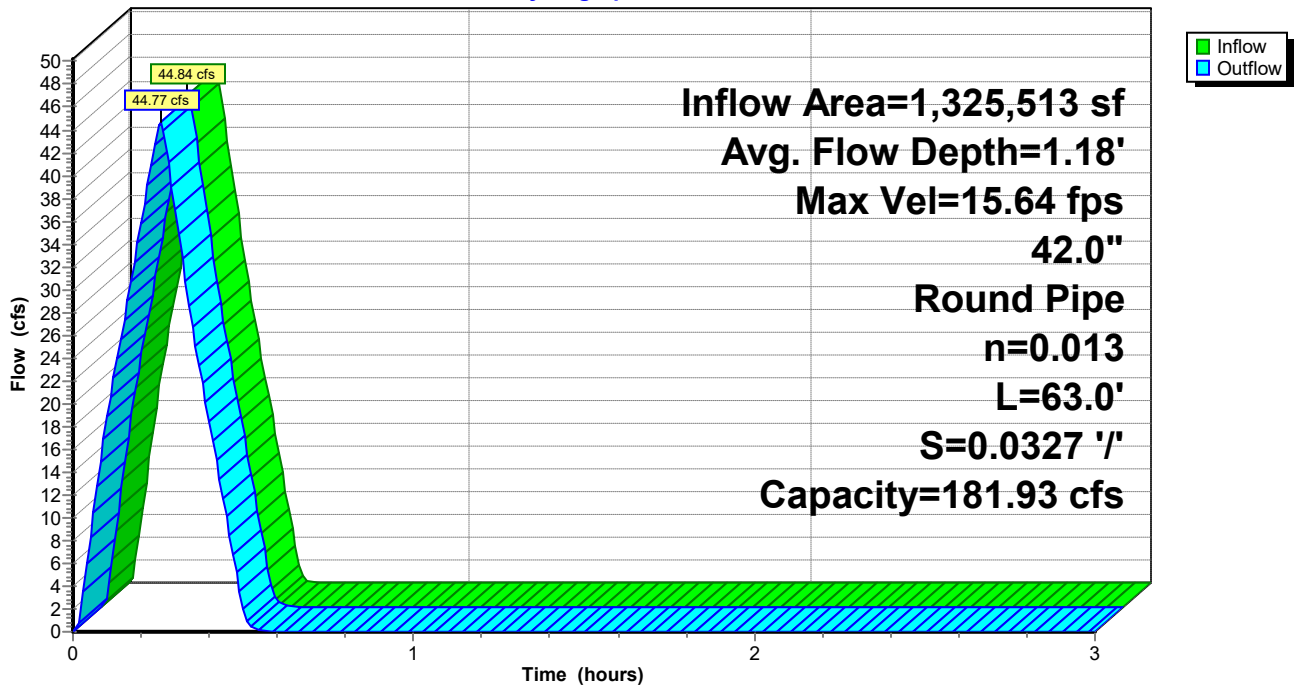
Peak Storage= 180 cf @ 0.26 hrs
Average Depth at Peak Storage= 1.18' , Surface Width= 3.31'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 181.93 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 63.0' Slope= 0.0327 '/'
Inlet Invert= 405.31', Outlet Invert= 403.25'



Reach A3: Pipe A2

Hydrograph



Springhill Retail

Prepared by Phillip Lewis Engineering

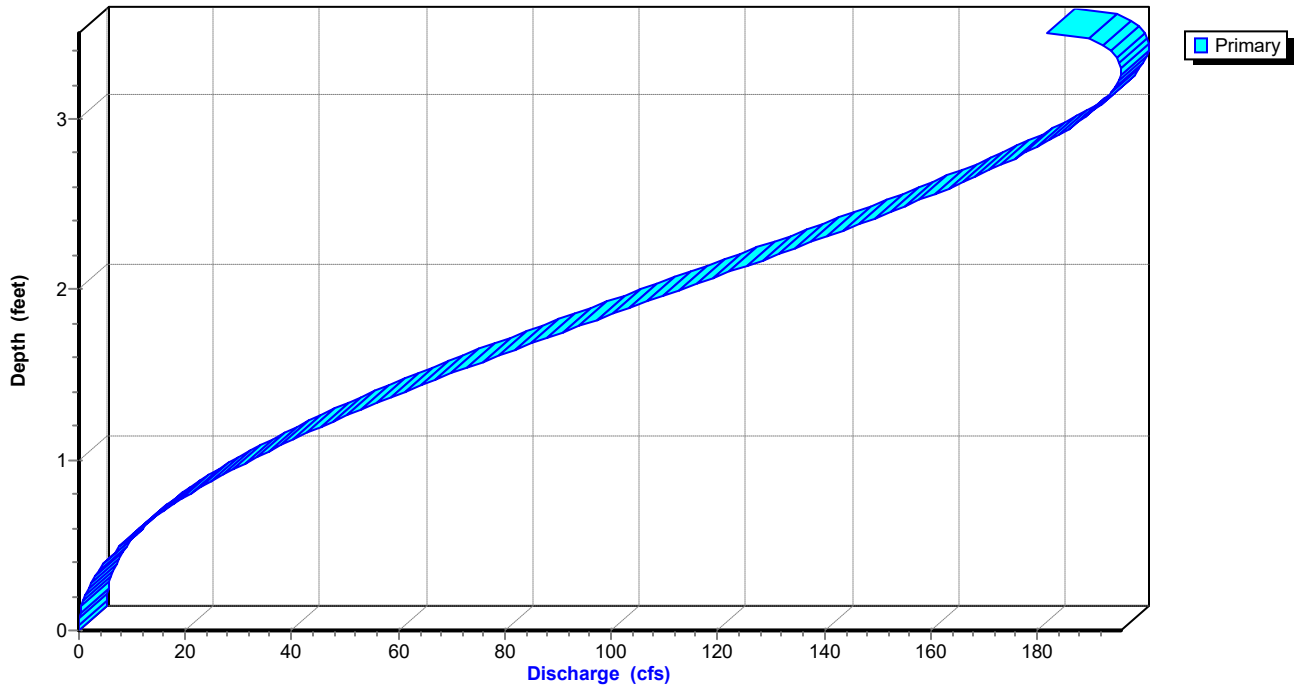
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Reach A3: Pipe A2

Stage-Discharge



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Stage-Area-Storage for Reach A3: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
405.31	0.0	0	407.91	7.7	483
405.36	0.0	2	407.96	7.8	492
405.41	0.1	5	408.01	8.0	502
405.46	0.1	9	408.06	8.1	511
405.51	0.2	14	408.11	8.3	520
405.56	0.3	19	408.16	8.4	529
405.61	0.4	25	408.21	8.5	537
405.66	0.5	32	408.26	8.7	545
405.71	0.6	38	408.31	8.8	553
405.76	0.7	46	408.36	8.9	561
405.81	0.8	53	408.41	9.0	568
405.86	1.0	61	408.46	9.1	575
405.91	1.1	69	408.51	9.2	581
405.96	1.2	78	408.56	9.3	587
406.01	1.4	86	408.61	9.4	592
406.06	1.5	95	408.66	9.5	597
406.11	1.7	104	408.71	9.5	601
406.16	1.8	114	408.76	9.6	604
406.21	2.0	123	408.81	9.6	606
406.26	2.1	133			
406.31	2.3	143			
406.36	2.4	153			
406.41	2.6	163			
406.46	2.8	173			
406.51	2.9	184			
406.56	3.1	194			
406.61	3.3	205			
406.66	3.4	216			
406.71	3.6	226			
406.76	3.8	237			
406.81	3.9	248			
406.86	4.1	259			
406.91	4.3	270			
406.96	4.5	281			
407.01	4.6	292			
407.06	4.8	303			
407.11	5.0	314			
407.16	5.2	325			
407.21	5.3	336			
407.26	5.5	347			
407.31	5.7	358			
407.36	5.9	369			
407.41	6.0	380			
407.46	6.2	390			
407.51	6.4	401			
407.56	6.5	412			
407.61	6.7	422			
407.66	6.9	433			
407.71	7.0	443			
407.76	7.2	453			
407.81	7.4	463			
407.86	7.5	473			

Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Summary for Pond Pond: Regional Detention Basin

Inflow Area = 1,372,542 sf, 6.70% Impervious, Inflow Depth = 0.39" for 5-yr event
Inflow = 47.99 cfs @ 0.25 hrs, Volume= 44,255 cf
Outflow = 40.22 cfs @ 0.29 hrs, Volume= 44,270 cf, Atten= 16%, Lag= 2.3 min
Primary = 40.22 cfs @ 0.29 hrs, Volume= 44,270 cf

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 404.64' @ 0.29 hrs Storage= 5,463 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
Center-of-Mass det. time= 1.5 min (16.4 - 14.9)

Volume	Invert	Avail.Storage	Storage Description
#1	401.00'	12,812 cf	Custom Stage Data Listed below

Elevation (feet)	Cum.Store (cubic-feet)
401.00	0
402.00	103
403.00	803
404.00	2,704
405.00	7,038
406.00	12,812

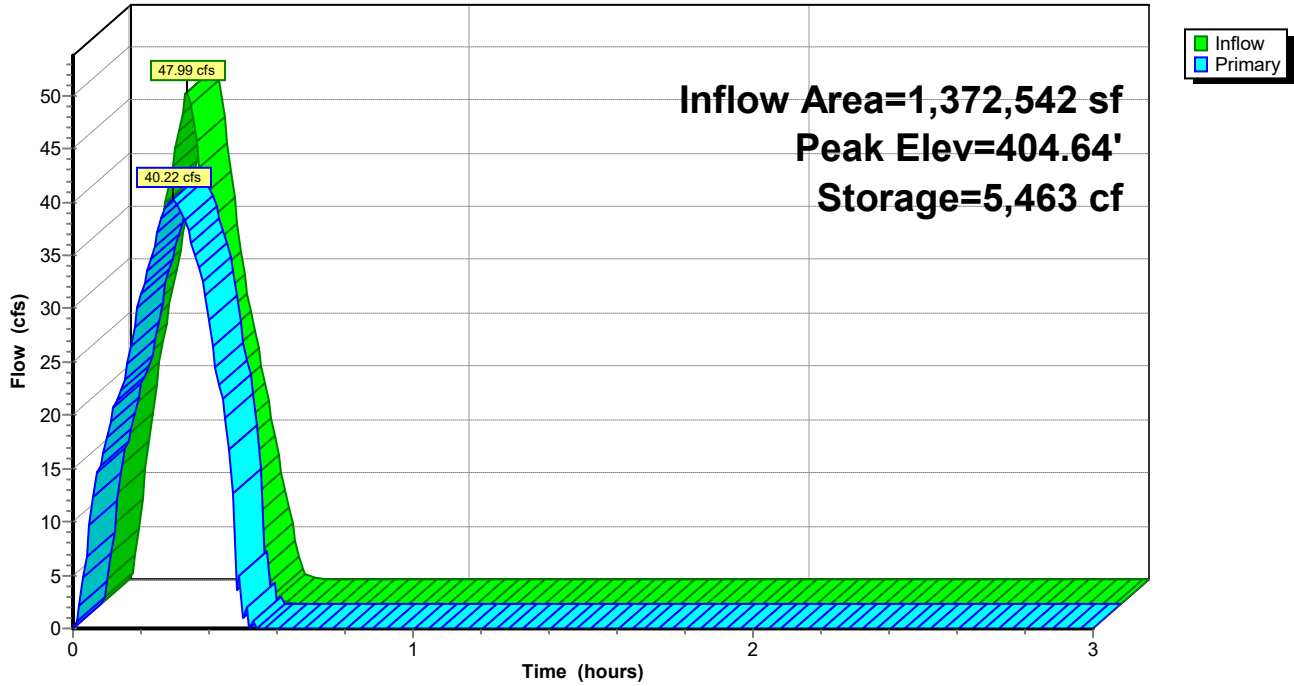
Device	Routing	Invert	Outlet Devices
#1	Primary	400.10'	24.0" Round RCP_Round 24" L= 100.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 400.10' / 397.97' S= 0.0213 '/ Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf
#2	Primary	403.02'	24.0" Round RCP_Round 24" L= 35.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 403.02' / 401.73' S= 0.0369 '/ Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 3.14 sf
#3	Primary	405.69'	2.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=40.19 cfs @ 0.29 hrs HW=404.63' (Free Discharge)

1=RCP_Round 24" (Inlet Controls 28.44 cfs @ 9.05 fps)
2=RCP_Round 24" (Inlet Controls 11.75 cfs @ 4.33 fps)
3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

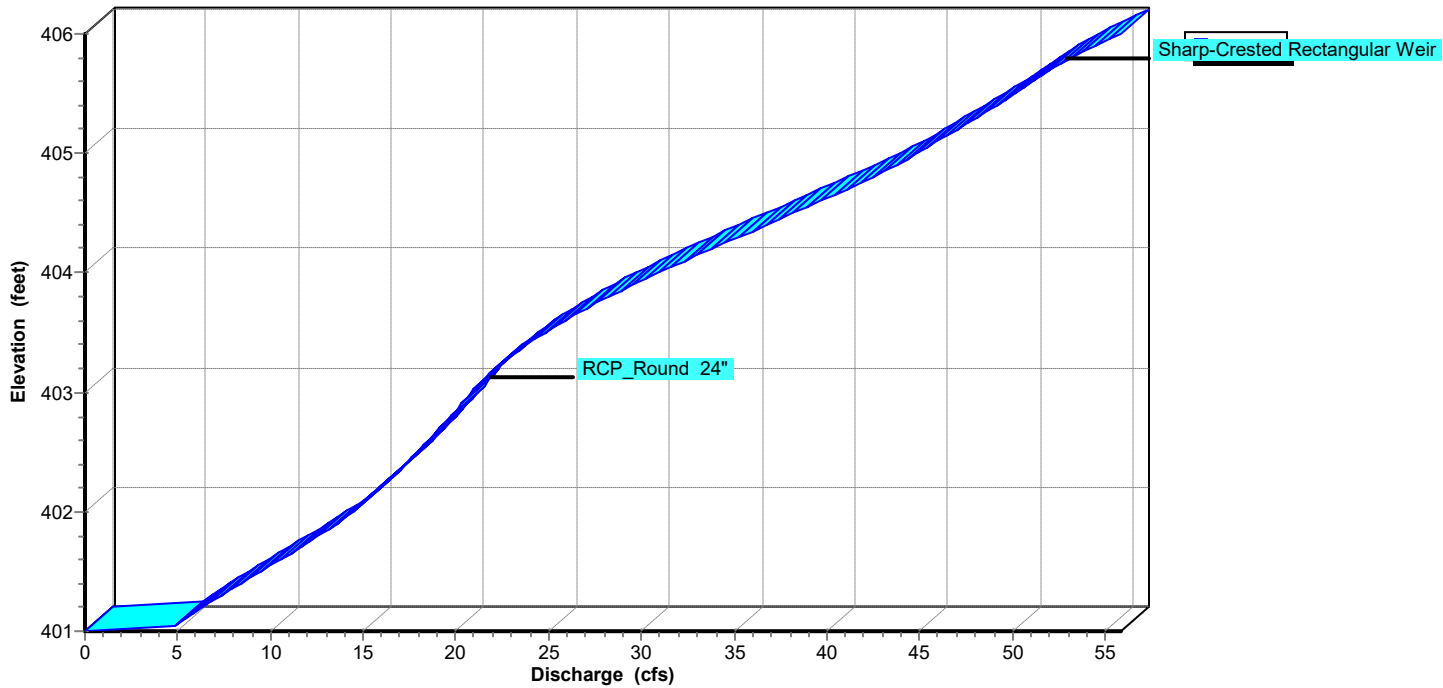
Pond Pond: Regional Detention Basin

Hydrograph



Pond Pond: Regional Detention Basin

Stage-Discharge



Springhill Retail

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AR - Little Rock 5-yr Duration=15 min, Inten=4.20 in/hr

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Stage-Area-Storage for Pond Pond: Regional Detention Basin

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
401.00	0	403.60	1,944
401.05	5	403.65	2,039
401.10	10	403.70	2,134
401.15	15	403.75	2,229
401.20	21	403.80	2,324
401.25	26	403.85	2,419
401.30	31	403.90	2,514
401.35	36	403.95	2,609
401.40	41	404.00	2,704
401.45	46	404.05	2,921
401.50	52	404.10	3,137
401.55	57	404.15	3,354
401.60	62	404.20	3,571
401.65	67	404.25	3,788
401.70	72	404.30	4,004
401.75	77	404.35	4,221
401.80	82	404.40	4,438
401.85	88	404.45	4,654
401.90	93	404.50	4,871
401.95	98	404.55	5,088
402.00	103	404.60	5,304
402.05	138	404.65	5,521
402.10	173	404.70	5,738
402.15	208	404.75	5,955
402.20	243	404.80	6,171
402.25	278	404.85	6,388
402.30	313	404.90	6,605
402.35	348	404.95	6,821
402.40	383	405.00	7,038
402.45	418	405.05	7,327
402.50	453	405.10	7,615
402.55	488	405.15	7,904
402.60	523	405.20	8,193
402.65	558	405.25	8,482
402.70	593	405.30	8,770
402.75	628	405.35	9,059
402.80	663	405.40	9,348
402.85	698	405.45	9,636
402.90	733	405.50	9,925
402.95	768	405.55	10,214
403.00	803	405.60	10,502
403.05	898	405.65	10,791
403.10	993	405.70	11,080
403.15	1,088	405.75	11,369
403.20	1,183	405.80	11,657
403.25	1,278	405.85	11,946
403.30	1,373	405.90	12,235
403.35	1,468	405.95	12,523
403.40	1,563	406.00	12,812
403.45	1,658		
403.50	1,754		
403.55	1,849		

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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

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Summary for Subcatchment ARDOT: ARDOT Offsite

Runoff = 38.63 cfs @ 0.25 hrs, Volume= 34,764 cf, Depth= 0.36"

Routed to Reach A1 : Pipe A1

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

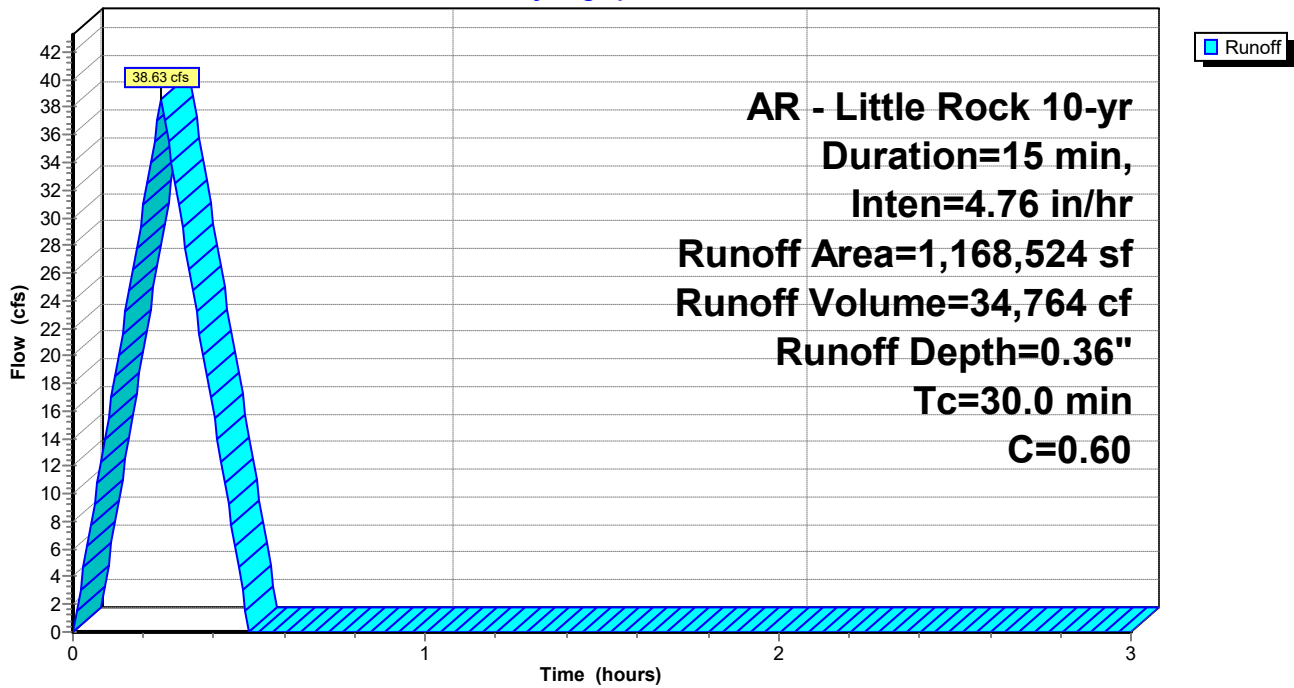
AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Area (sf)	C	Description
1,168,524	0.60	
1,168,524		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
30.0					Direct Entry,

Subcatchment ARDOT: ARDOT Offsite

Hydrograph



Springhill Retail

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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

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Summary for Subcatchment M&F: Merchants and Farmers

Runoff = 4.01 cfs @ 0.09 hrs, Volume= 3,606 cf, Depth= 1.13"

Routed to Reach A2 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

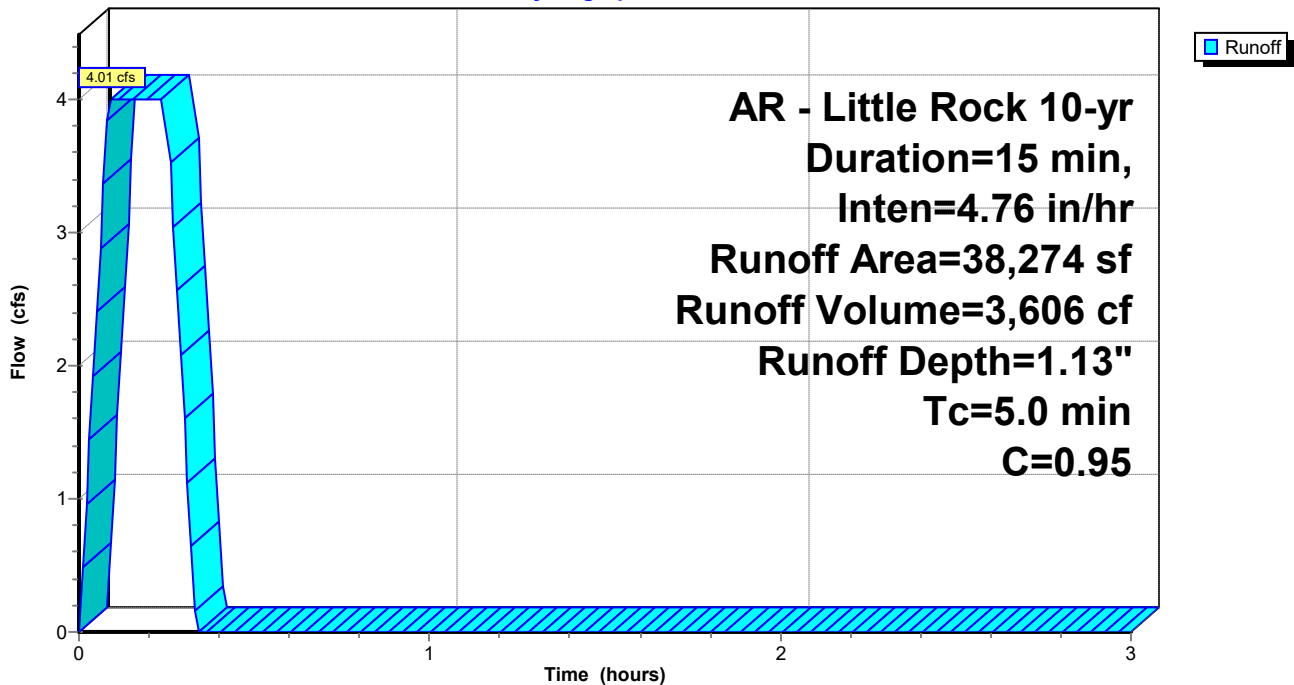
AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Area (sf)	C	Description
38,274	0.95	Developed Site
38,274		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment M&F: Merchants and Farmers

Hydrograph



Springhill Retail

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Summary for Subcatchment SR: Springhill Retail Post

Runoff = 3.94 cfs @ 0.09 hrs, Volume= 3,544 cf, Depth= 0.90"

Routed to Pond Pond : Regional Detention Basin

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
33,632	0.92	Drives, Roof, Sidewalks
11,886	0.30	Landscaped Areas
47,029	0.76	Weighted Average
47,029		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.8	82	0.0290	1.76		Sheet Flow, Asphalt Sheet Flow Smooth surfaces n= 0.011 P2= 4.19"
0.8	87	0.0080	1.82		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.1	19	0.0210	2.94		Shallow Concentrated Flow, Concentrated Pavement Flow Paved Kv= 20.3 fps
1.0	197	0.0250	3.21		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.3	37	0.0130	2.31		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
2.0					Direct Entry, Minimum adjustment
5.0	422	Total			

Springhill Retail

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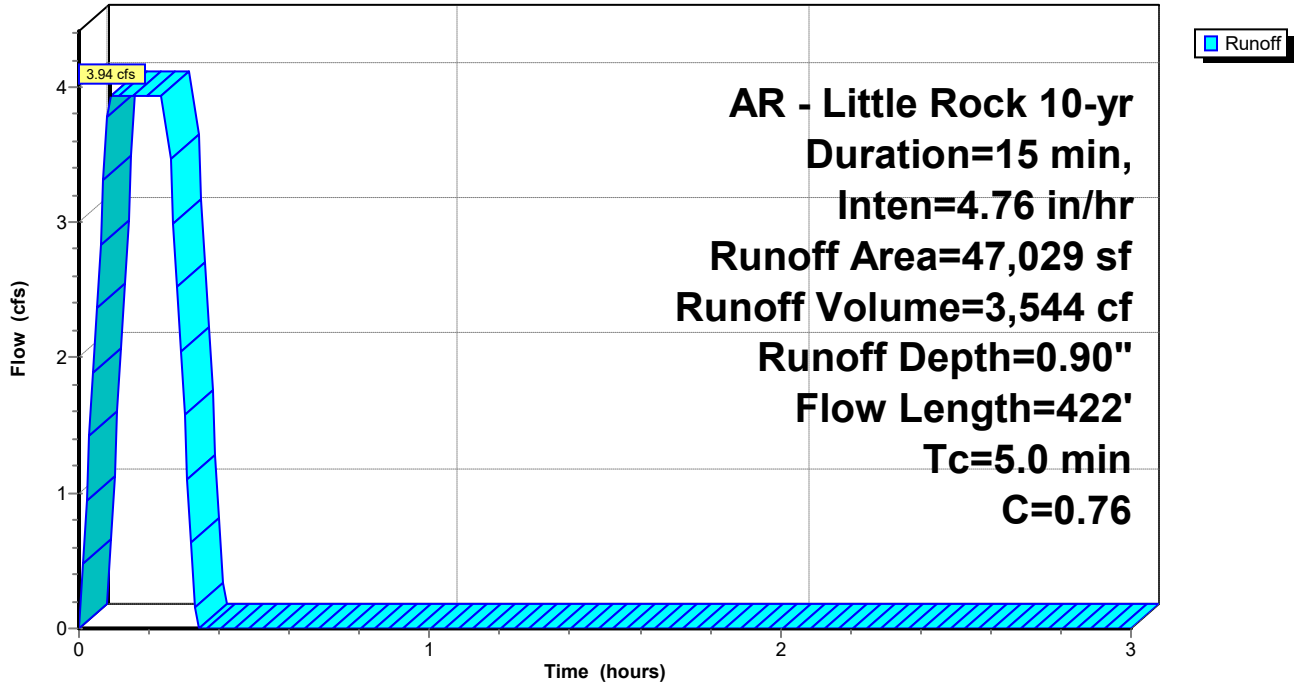
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Subcatchment SR: Springhill Retail Post

Hydrograph



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Summary for Subcatchment WestProp: West Adjacent Property Drainage Basin

Runoff = 9.16 cfs @ 0.25 hrs, Volume= 8,241 cf, Depth= 0.83"

Routed to Reach A3 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

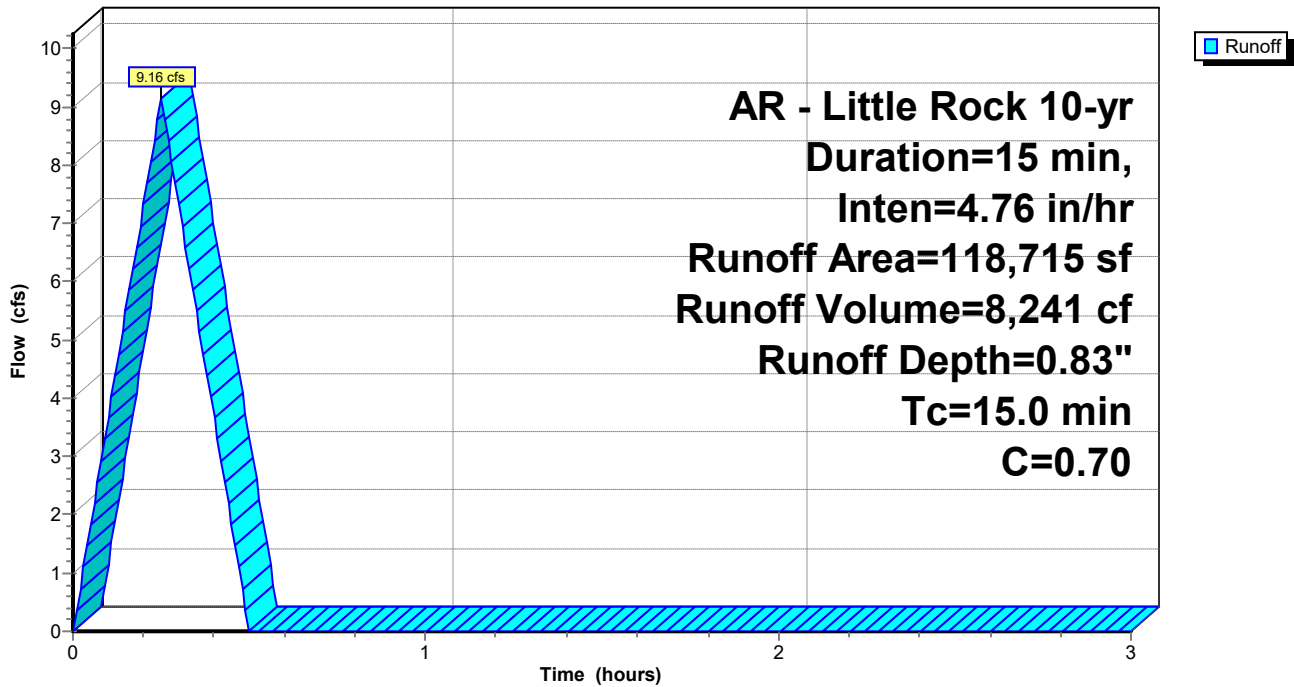
AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

Area (sf)	C	Description
65,063	0.50	Pervious Areas
53,652	0.95	Rooftop/Paving
118,715	0.70	Weighted Average
65,063		54.81% Pervious Area
53,652		45.19% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Subcatchment WestProp: West Adjacent Property Drainage Basin

Hydrograph



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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

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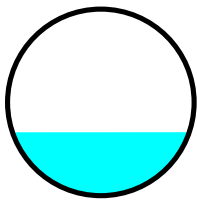
Summary for Reach A1: Pipe A1

Inflow Area = 1,168,524 sf, 0.00% Impervious, Inflow Depth = 0.36" for 10-yr event
Inflow = 38.63 cfs @ 0.25 hrs, Volume= 34,764 cf
Outflow = 38.55 cfs @ 0.25 hrs, Volume= 34,765 cf, Atten= 0%, Lag= 0.0 min
Routed to Reach A2 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 13.29 fps, Min. Travel Time= 0.0 min
Avg. Velocity = 10.31 fps, Avg. Travel Time= 0.0 min

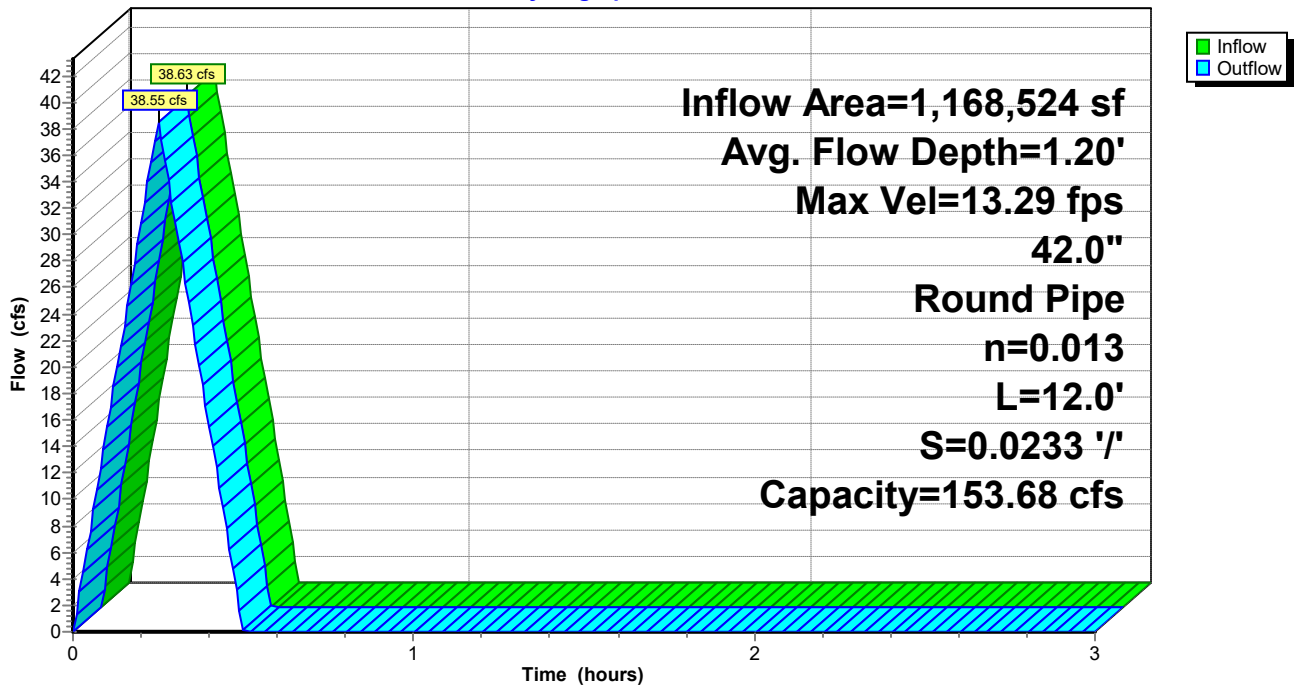
Peak Storage= 35 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.20' , Surface Width= 3.32'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 153.68 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 12.0' Slope= 0.0233 '/'
Inlet Invert= 413.00', Outlet Invert= 412.72'



Reach A1: Pipe A1

Hydrograph



Springhill Retail

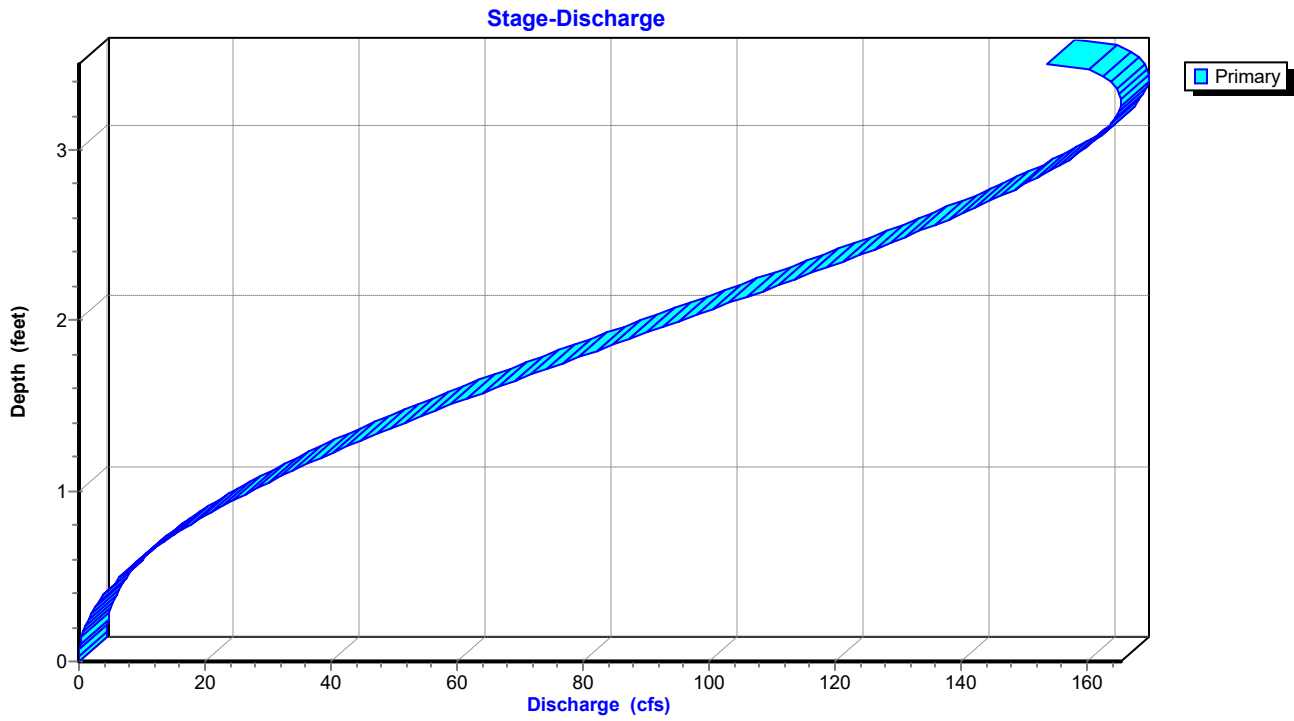
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Reach A1: Pipe A1



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Stage-Area-Storage for Reach A1: Pipe A1

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
413.00	0.0	0	415.60	7.7	92
413.05	0.0	0	415.65	7.8	94
413.10	0.1	1	415.70	8.0	96
413.15	0.1	2	415.75	8.1	97
413.20	0.2	3	415.80	8.3	99
413.25	0.3	4	415.85	8.4	101
413.30	0.4	5	415.90	8.5	102
413.35	0.5	6	415.95	8.7	104
413.40	0.6	7	416.00	8.8	105
413.45	0.7	9	416.05	8.9	107
413.50	0.8	10	416.10	9.0	108
413.55	1.0	12	416.15	9.1	109
413.60	1.1	13	416.20	9.2	111
413.65	1.2	15	416.25	9.3	112
413.70	1.4	16	416.30	9.4	113
413.75	1.5	18	416.35	9.5	114
413.80	1.7	20	416.40	9.5	115
413.85	1.8	22	416.45	9.6	115
413.90	2.0	23	416.50	9.6	115
413.95	2.1	25			
414.00	2.3	27			
414.05	2.4	29			
414.10	2.6	31			
414.15	2.8	33			
414.20	2.9	35			
414.25	3.1	37			
414.30	3.3	39			
414.35	3.4	41			
414.40	3.6	43			
414.45	3.8	45			
414.50	3.9	47			
414.55	4.1	49			
414.60	4.3	51			
414.65	4.5	54			
414.70	4.6	56			
414.75	4.8	58			
414.80	5.0	60			
414.85	5.2	62			
414.90	5.3	64			
414.95	5.5	66			
415.00	5.7	68			
415.05	5.9	70			
415.10	6.0	72			
415.15	6.2	74			
415.20	6.4	76			
415.25	6.5	78			
415.30	6.7	80			
415.35	6.9	82			
415.40	7.0	84			
415.45	7.2	86			
415.50	7.4	88			
415.55	7.5	90			

Springhill Retail

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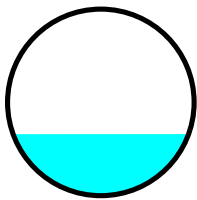
Summary for Reach A2: Pipe A2

Inflow Area = 1,206,798 sf, 3.17% Impervious, Inflow Depth = 0.38" for 10-yr event
Inflow = 42.56 cfs @ 0.25 hrs, Volume= 38,371 cf
Outflow = 41.88 cfs @ 0.26 hrs, Volume= 38,371 cf, Atten= 2%, Lag= 0.4 min
Routed to Reach A3 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 15.22 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 8.62 fps, Avg. Travel Time= 0.4 min

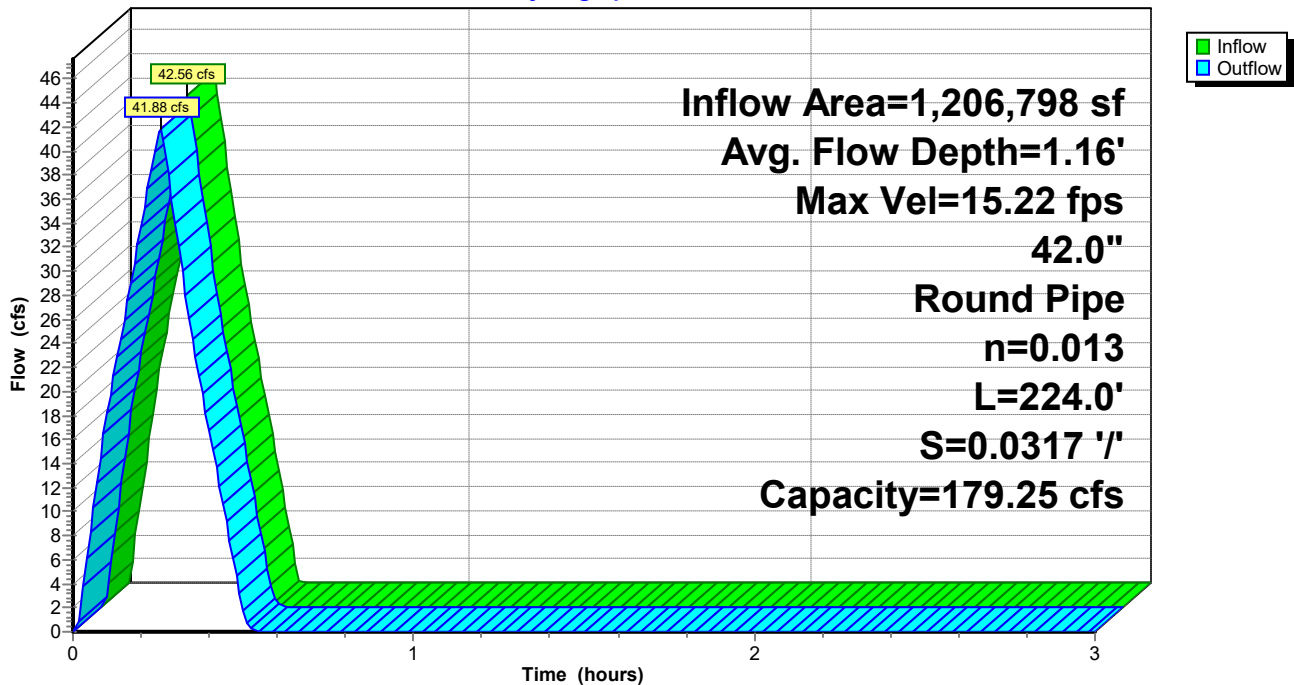
Peak Storage= 620 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.16' , Surface Width= 3.29'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 179.25 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 224.0' Slope= 0.0317 '/'
Inlet Invert= 412.52', Outlet Invert= 405.41'



Reach A2: Pipe A2

Hydrograph



Springhill Retail

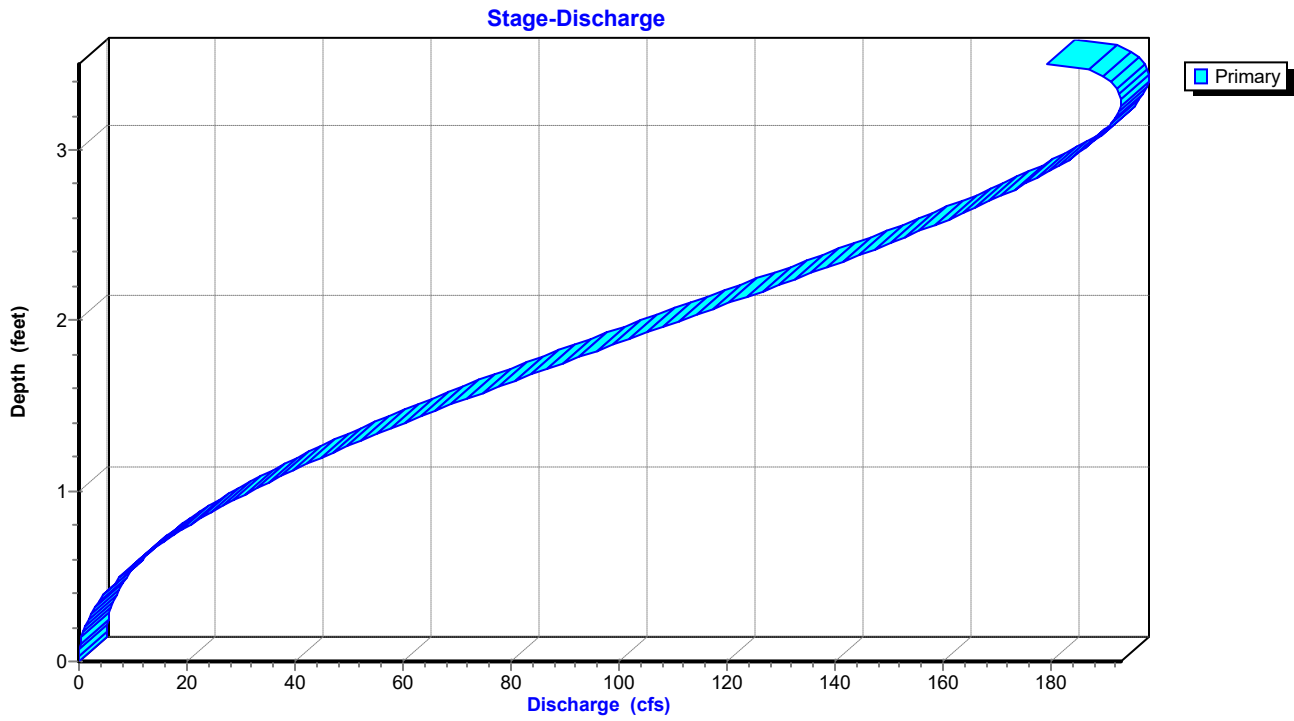
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Reach A2: Pipe A2



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Stage-Area-Storage for Reach A2: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
412.52	0.0	0	415.12	7.7	1,717
412.57	0.0	6	415.17	7.8	1,751
412.62	0.1	18	415.22	8.0	1,784
412.67	0.1	32	415.27	8.1	1,816
412.72	0.2	49	415.32	8.3	1,848
412.77	0.3	68	415.37	8.4	1,879
412.82	0.4	90	415.42	8.5	1,909
412.87	0.5	112	415.47	8.7	1,938
412.92	0.6	136	415.52	8.8	1,966
412.97	0.7	162	415.57	8.9	1,993
413.02	0.8	189	415.62	9.0	2,019
413.07	1.0	217	415.67	9.1	2,043
413.12	1.1	246	415.72	9.2	2,066
413.17	1.2	276	415.77	9.3	2,087
413.22	1.4	307	415.82	9.4	2,106
413.27	1.5	339	415.87	9.5	2,123
413.32	1.7	371	415.92	9.5	2,138
413.37	1.8	404	415.97	9.6	2,149
413.42	2.0	438	416.02	9.6	2,155
413.47	2.1	473			
413.52	2.3	508			
413.57	2.4	544			
413.62	2.6	580			
413.67	2.8	617			
413.72	2.9	654			
413.77	3.1	691			
413.82	3.3	729			
413.87	3.4	767			
413.92	3.6	805			
413.97	3.8	844			
414.02	3.9	882			
414.07	4.1	921			
414.12	4.3	960			
414.17	4.5	999			
414.22	4.6	1,038			
414.27	4.8	1,078			
414.32	5.0	1,117			
414.37	5.2	1,156			
414.42	5.3	1,195			
414.47	5.5	1,234			
414.52	5.7	1,273			
414.57	5.9	1,312			
414.62	6.0	1,350			
414.67	6.2	1,388			
414.72	6.4	1,426			
414.77	6.5	1,464			
414.82	6.7	1,502			
414.87	6.9	1,539			
414.92	7.0	1,575			
414.97	7.2	1,611			
415.02	7.4	1,647			
415.07	7.5	1,682			

Springhill Retail

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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

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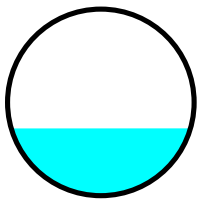
Summary for Reach A3: Pipe A2

Inflow Area = 1,325,513 sf, 6.94% Impervious, Inflow Depth = 0.42" for 10-yr event
Inflow = 50.84 cfs @ 0.25 hrs, Volume= 46,612 cf
Outflow = 50.76 cfs @ 0.26 hrs, Volume= 46,612 cf, Atten= 0%, Lag= 0.1 min
Routed to Pond Pond : Regional Detention Basin

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 16.20 fps, Min. Travel Time= 0.1 min
Avg. Velocity = 9.11 fps, Avg. Travel Time= 0.1 min

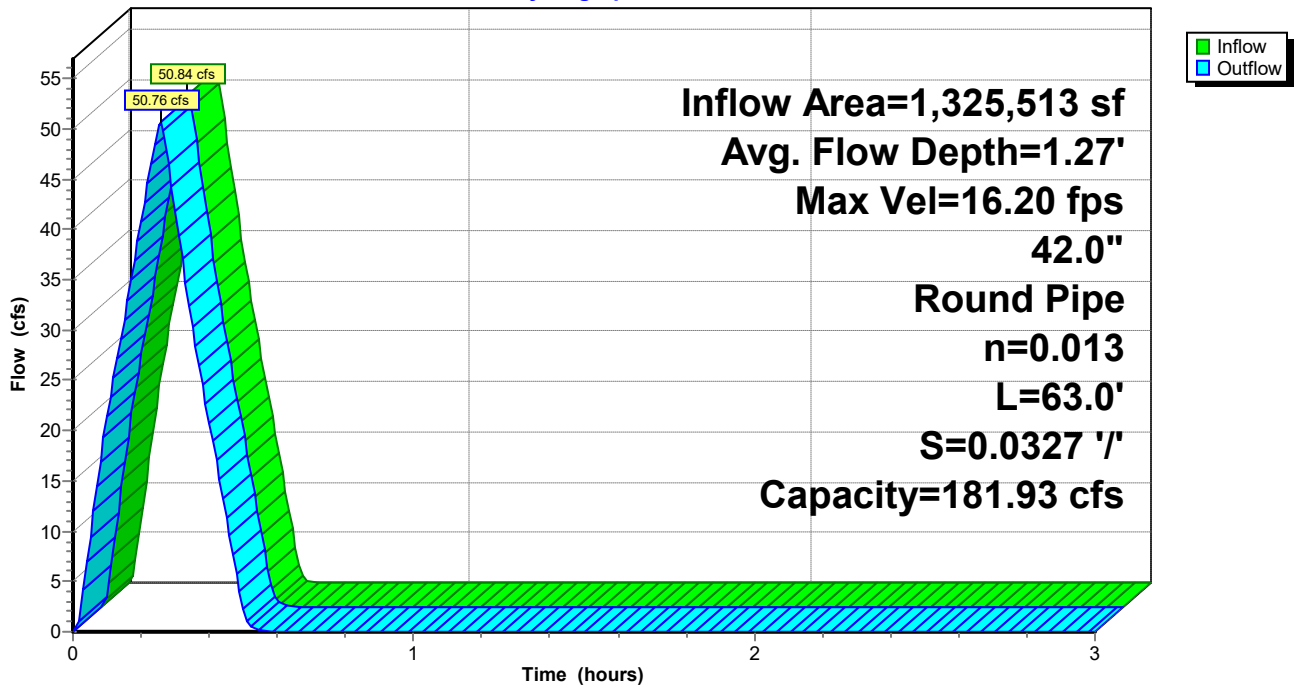
Peak Storage= 198 cf @ 0.26 hrs
Average Depth at Peak Storage= 1.27' , Surface Width= 3.36'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 181.93 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 63.0' Slope= 0.0327 '/'
Inlet Invert= 405.31', Outlet Invert= 403.25'



Reach A3: Pipe A2

Hydrograph



Springhill Retail

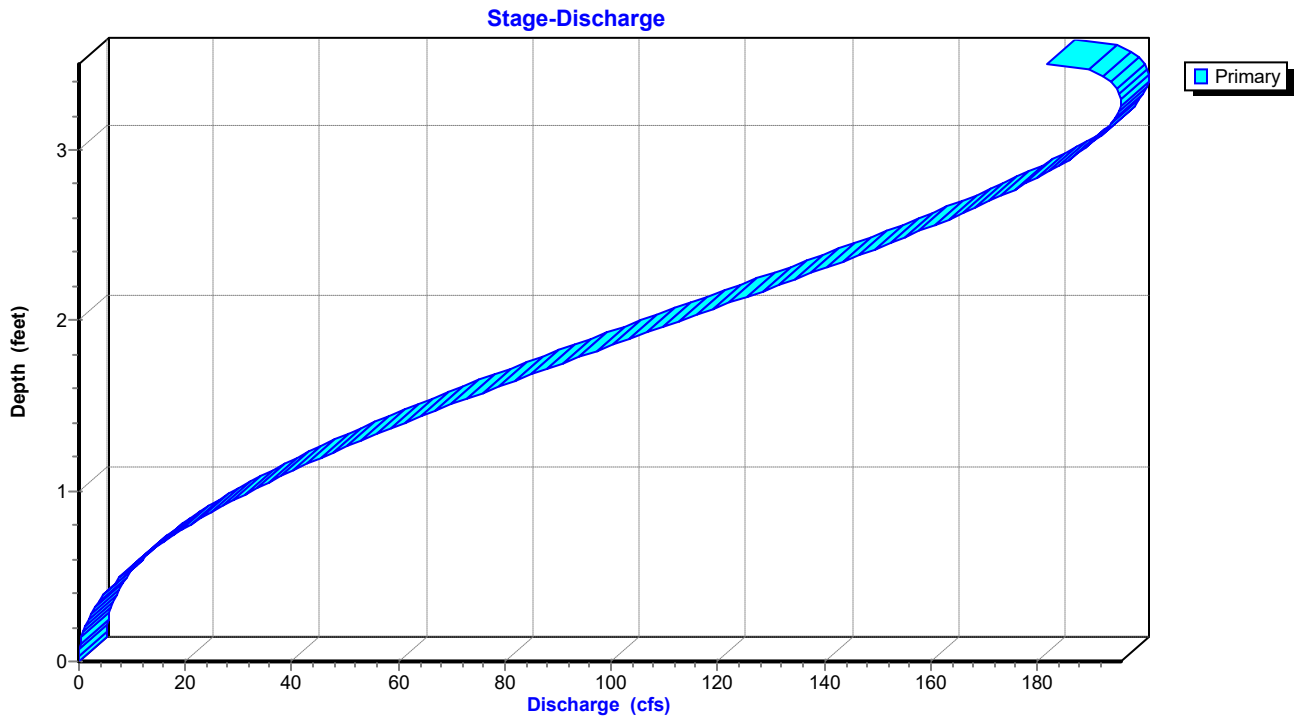
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Reach A3: Pipe A2



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Stage-Area-Storage for Reach A3: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
405.31	0.0	0	407.91	7.7	483
405.36	0.0	2	407.96	7.8	492
405.41	0.1	5	408.01	8.0	502
405.46	0.1	9	408.06	8.1	511
405.51	0.2	14	408.11	8.3	520
405.56	0.3	19	408.16	8.4	529
405.61	0.4	25	408.21	8.5	537
405.66	0.5	32	408.26	8.7	545
405.71	0.6	38	408.31	8.8	553
405.76	0.7	46	408.36	8.9	561
405.81	0.8	53	408.41	9.0	568
405.86	1.0	61	408.46	9.1	575
405.91	1.1	69	408.51	9.2	581
405.96	1.2	78	408.56	9.3	587
406.01	1.4	86	408.61	9.4	592
406.06	1.5	95	408.66	9.5	597
406.11	1.7	104	408.71	9.5	601
406.16	1.8	114	408.76	9.6	604
406.21	2.0	123	408.81	9.6	606
406.26	2.1	133			
406.31	2.3	143			
406.36	2.4	153			
406.41	2.6	163			
406.46	2.8	173			
406.51	2.9	184			
406.56	3.1	194			
406.61	3.3	205			
406.66	3.4	216			
406.71	3.6	226			
406.76	3.8	237			
406.81	3.9	248			
406.86	4.1	259			
406.91	4.3	270			
406.96	4.5	281			
407.01	4.6	292			
407.06	4.8	303			
407.11	5.0	314			
407.16	5.2	325			
407.21	5.3	336			
407.26	5.5	347			
407.31	5.7	358			
407.36	5.9	369			
407.41	6.0	380			
407.46	6.2	390			
407.51	6.4	401			
407.56	6.5	412			
407.61	6.7	422			
407.66	6.9	433			
407.71	7.0	443			
407.76	7.2	453			
407.81	7.4	463			
407.86	7.5	473			

Springhill Retail

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AR - Little Rock 10-yr Duration=15 min, Inten=4.76 in/hr

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Summary for Pond Pond: Regional Detention Basin

Inflow Area = 1,372,542 sf, 6.70% Impervious, Inflow Depth = 0.44" for 10-yr event
 Inflow = 54.42 cfs @ 0.25 hrs, Volume= 50,156 cf
 Outflow = 44.67 cfs @ 0.30 hrs, Volume= 50,169 cf, Atten= 18%, Lag= 2.5 min
 Primary = 44.67 cfs @ 0.30 hrs, Volume= 50,169 cf

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 404.98' @ 0.30 hrs Storage= 6,943 cf

Plug-Flow detention time= 1.8 min calculated for 50,002 cf (100% of inflow)
 Center-of-Mass det. time= 1.8 min (16.6 - 14.8)

Volume	Invert	Avail.Storage	Storage Description
#1	401.00'	12,812 cf	Custom Stage Data Listed below

Elevation (feet)	Cum.Store (cubic-feet)
401.00	0
402.00	103
403.00	803
404.00	2,704
405.00	7,038
406.00	12,812

Device	Routing	Invert	Outlet Devices
#1	Primary	400.10'	24.0" Round RCP_Round 24" L= 100.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 400.10' / 397.97' S= 0.0213 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf
#2	Primary	403.02'	24.0" Round RCP_Round 24" L= 35.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 403.02' / 401.73' S= 0.0369 '/' Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 3.14 sf
#3	Primary	405.69'	2.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=44.65 cfs @ 0.30 hrs HW=404.98' (Free Discharge)

- 1=RCP_Round 24" (Inlet Controls 29.78 cfs @ 9.48 fps)
- 2=RCP_Round 24" (Inlet Controls 14.87 cfs @ 4.76 fps)
- 3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

Springhill Retail

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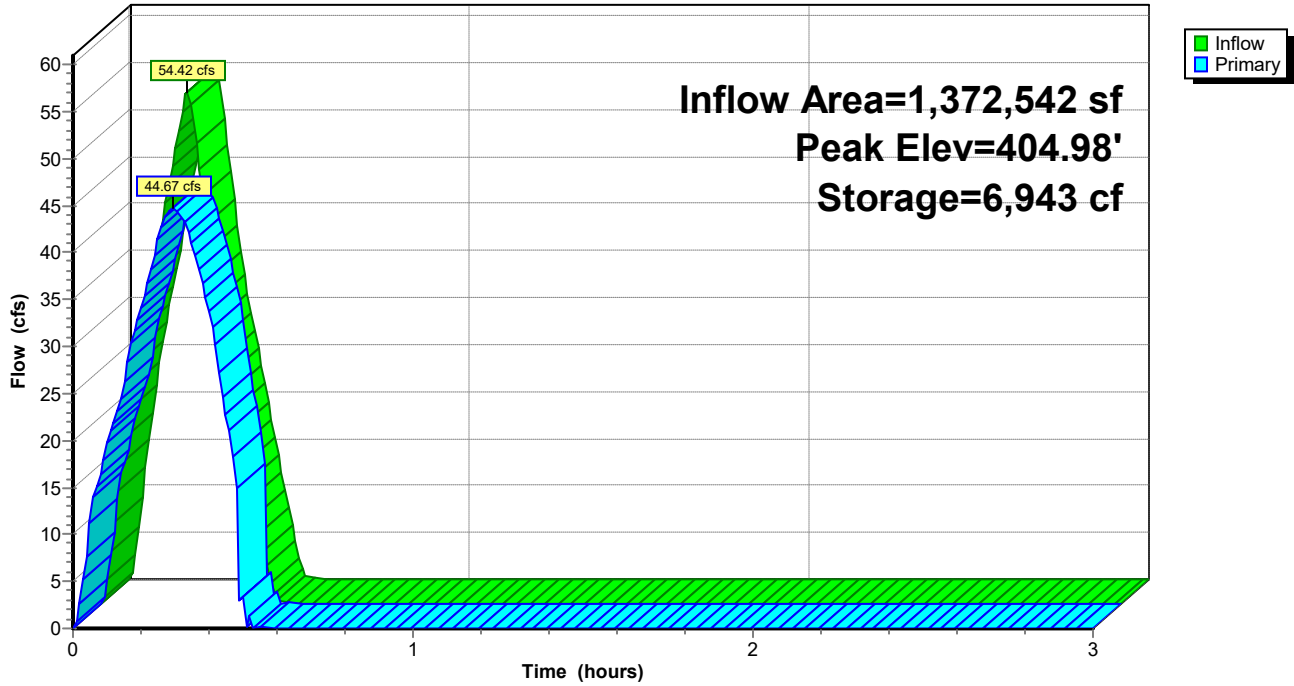
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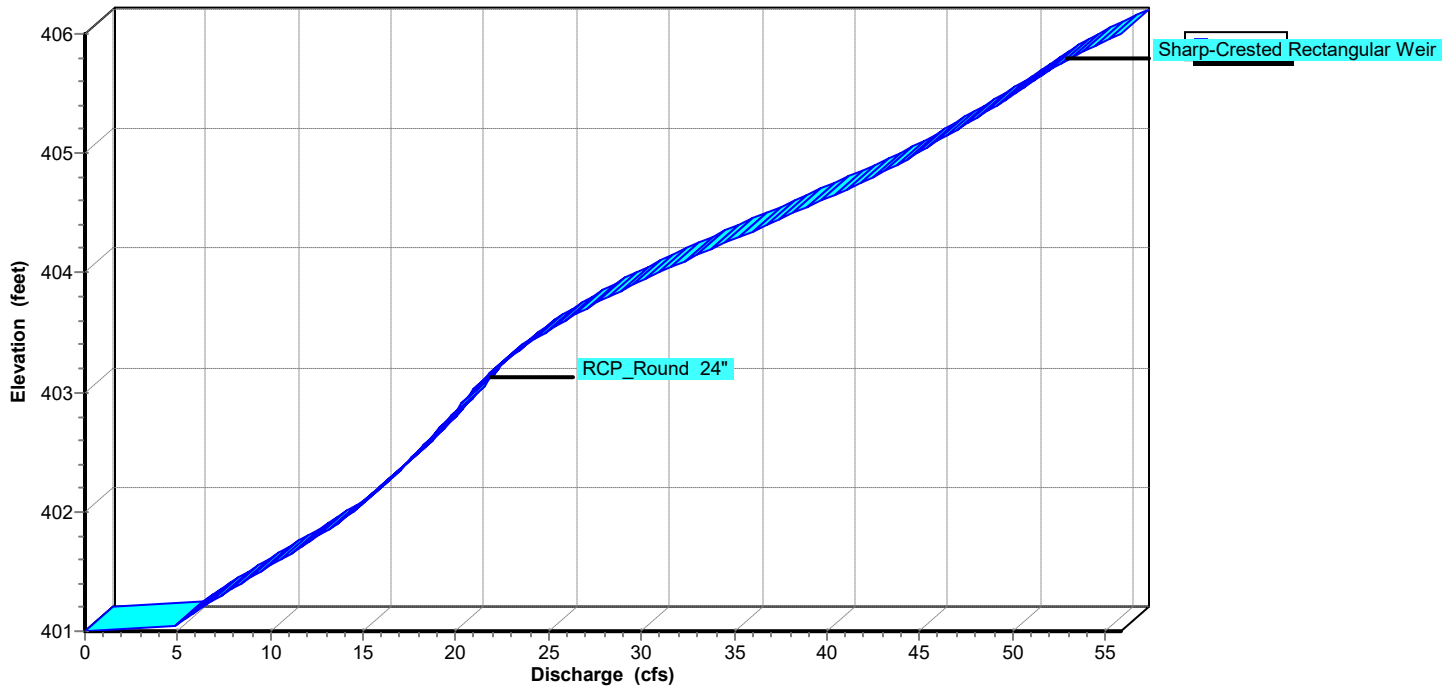
Pond Pond: Regional Detention Basin

Hydrograph



Pond Pond: Regional Detention Basin

Stage-Discharge



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Stage-Area-Storage for Pond Pond: Regional Detention Basin

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
401.00	0	403.60	1,944
401.05	5	403.65	2,039
401.10	10	403.70	2,134
401.15	15	403.75	2,229
401.20	21	403.80	2,324
401.25	26	403.85	2,419
401.30	31	403.90	2,514
401.35	36	403.95	2,609
401.40	41	404.00	2,704
401.45	46	404.05	2,921
401.50	52	404.10	3,137
401.55	57	404.15	3,354
401.60	62	404.20	3,571
401.65	67	404.25	3,788
401.70	72	404.30	4,004
401.75	77	404.35	4,221
401.80	82	404.40	4,438
401.85	88	404.45	4,654
401.90	93	404.50	4,871
401.95	98	404.55	5,088
402.00	103	404.60	5,304
402.05	138	404.65	5,521
402.10	173	404.70	5,738
402.15	208	404.75	5,955
402.20	243	404.80	6,171
402.25	278	404.85	6,388
402.30	313	404.90	6,605
402.35	348	404.95	6,821
402.40	383	405.00	7,038
402.45	418	405.05	7,327
402.50	453	405.10	7,615
402.55	488	405.15	7,904
402.60	523	405.20	8,193
402.65	558	405.25	8,482
402.70	593	405.30	8,770
402.75	628	405.35	9,059
402.80	663	405.40	9,348
402.85	698	405.45	9,636
402.90	733	405.50	9,925
402.95	768	405.55	10,214
403.00	803	405.60	10,502
403.05	898	405.65	10,791
403.10	993	405.70	11,080
403.15	1,088	405.75	11,369
403.20	1,183	405.80	11,657
403.25	1,278	405.85	11,946
403.30	1,373	405.90	12,235
403.35	1,468	405.95	12,523
403.40	1,563	406.00	12,812
403.45	1,658		
403.50	1,754		
403.55	1,849		

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Summary for Subcatchment ARDOT: ARDOT Offsite

Runoff = 44.14 cfs @ 0.25 hrs, Volume= 39,730 cf, Depth= 0.41"

Routed to Reach A1 : Pipe A1

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

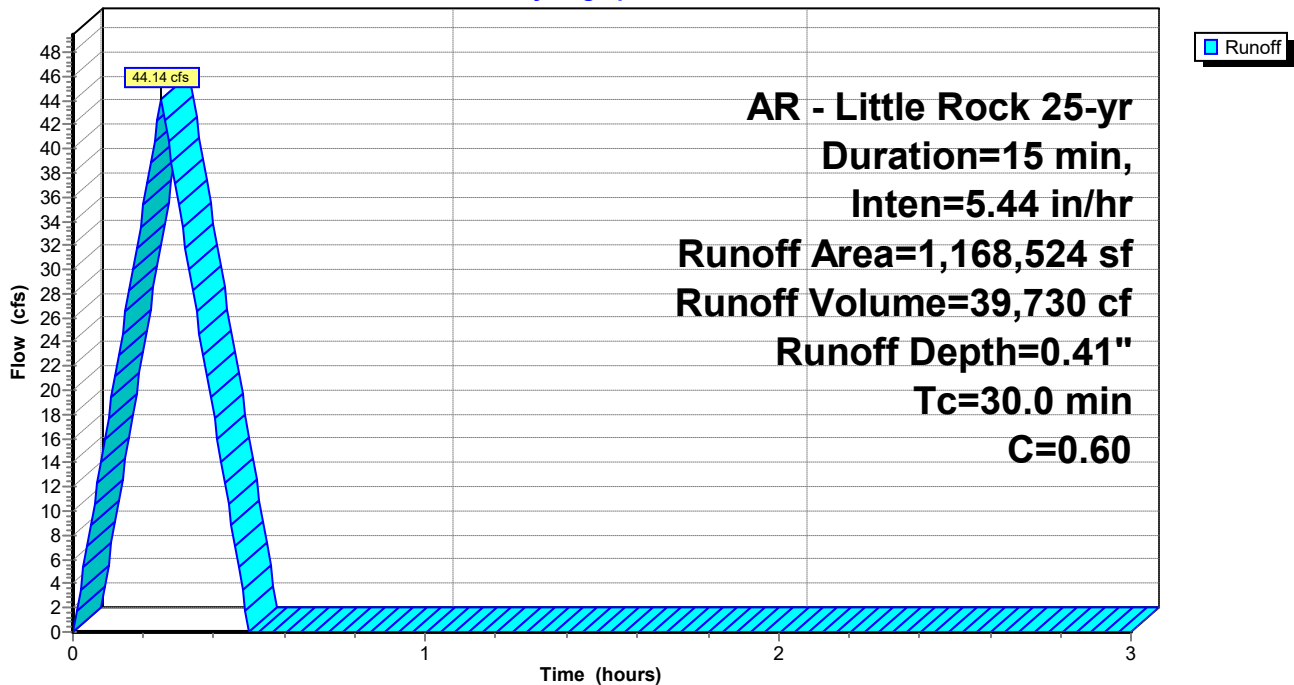
AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Area (sf)	C	Description
1,168,524	0.60	
1,168,524		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
30.0					Direct Entry,

Subcatchment ARDOT: ARDOT Offsite

Hydrograph



Springhill Retail

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Summary for Subcatchment M&F: Merchants and Farmers

Runoff = 4.58 cfs @ 0.09 hrs, Volume= 4,121 cf, Depth= 1.29"

Routed to Reach A2 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

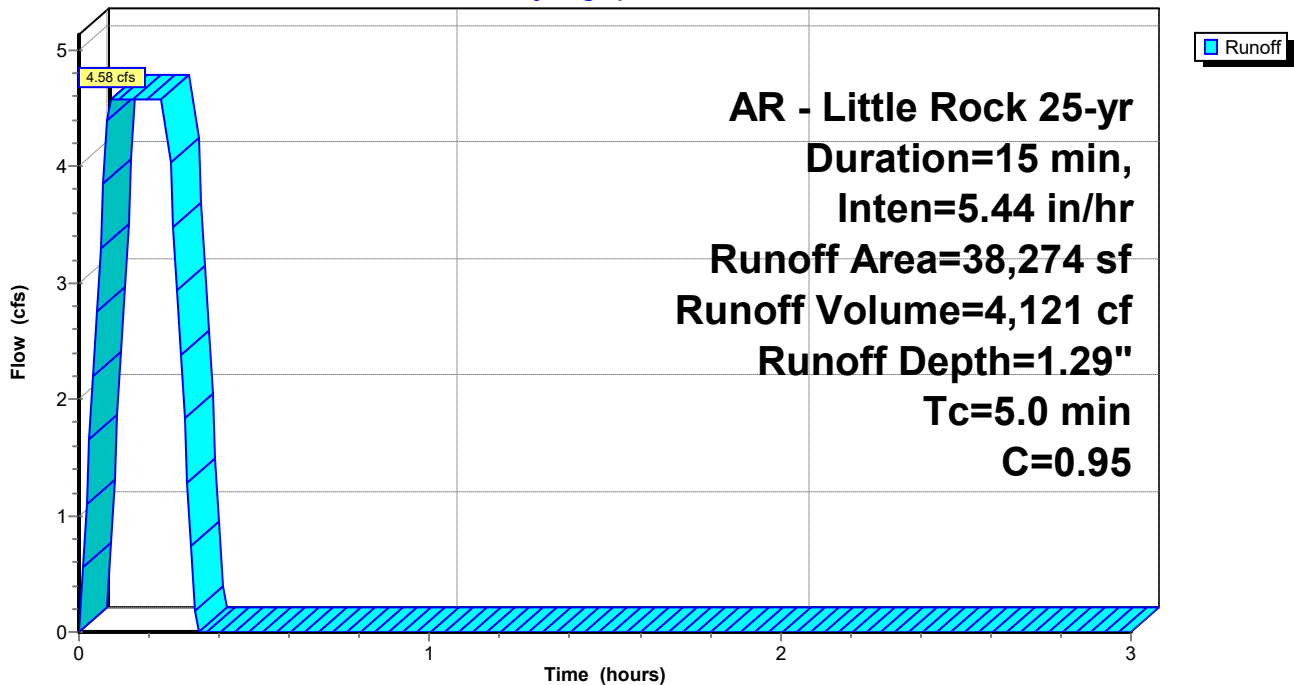
AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Area (sf)	C	Description
38,274	0.95	Developed Site
38,274		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment M&F: Merchants and Farmers

Hydrograph



Springhill Retail

AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Summary for Subcatchment SR: Springhill Retail Post

Runoff = 4.50 cfs @ 0.09 hrs, Volume= 4,051 cf, Depth= 1.03"

Routed to Pond Pond : Regional Detention Basin

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
33,632	0.92	Drives, Roof, Sidewalks
11,886	0.30	Landscaped Areas
47,029	0.76	Weighted Average
47,029		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.8	82	0.0290	1.76		Sheet Flow, Asphalt Sheet Flow Smooth surfaces n= 0.011 P2= 4.19"
0.8	87	0.0080	1.82		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.1	19	0.0210	2.94		Shallow Concentrated Flow, Concentrated Pavement Flow Paved Kv= 20.3 fps
1.0	197	0.0250	3.21		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.3	37	0.0130	2.31		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
2.0					Direct Entry, Minimum adjustment
5.0	422	Total			

Springhill Retail

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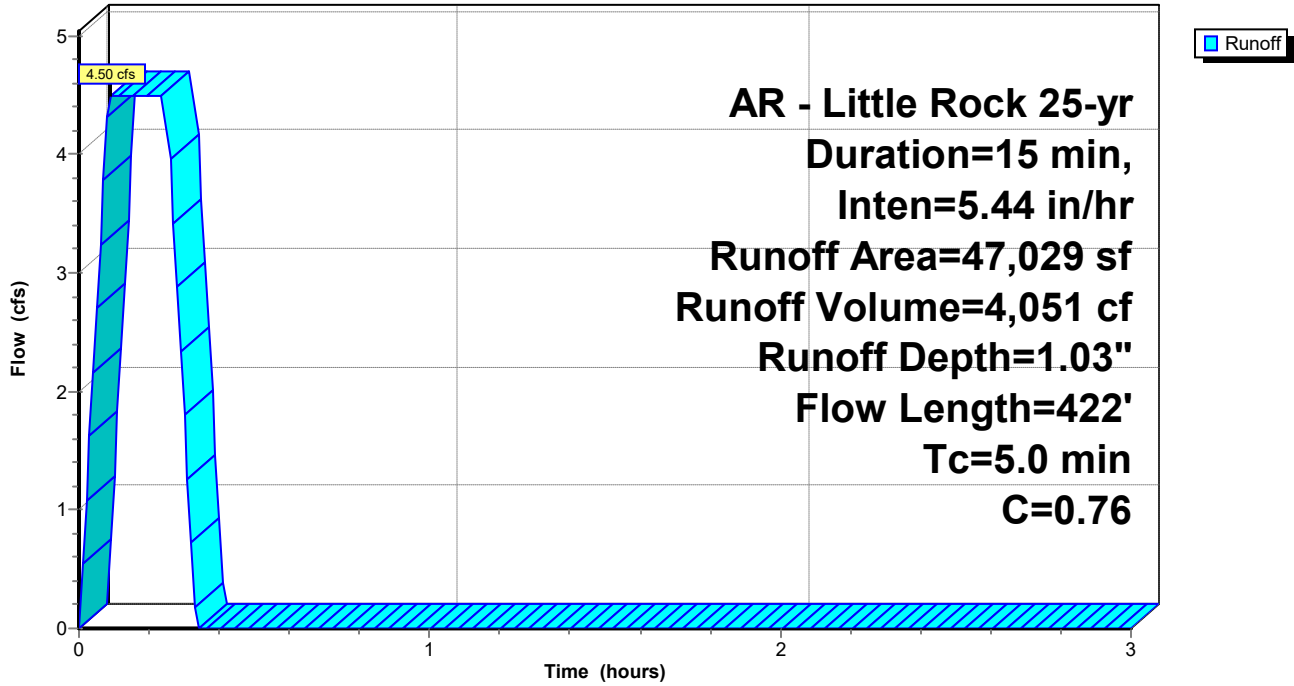
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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Subcatchment SR: Springhill Retail Post

Hydrograph



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Summary for Subcatchment WestProp: West Adjacent Property Drainage Basin

Runoff = 10.46 cfs @ 0.25 hrs, Volume= 9,418 cf, Depth= 0.95"

Routed to Reach A3 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

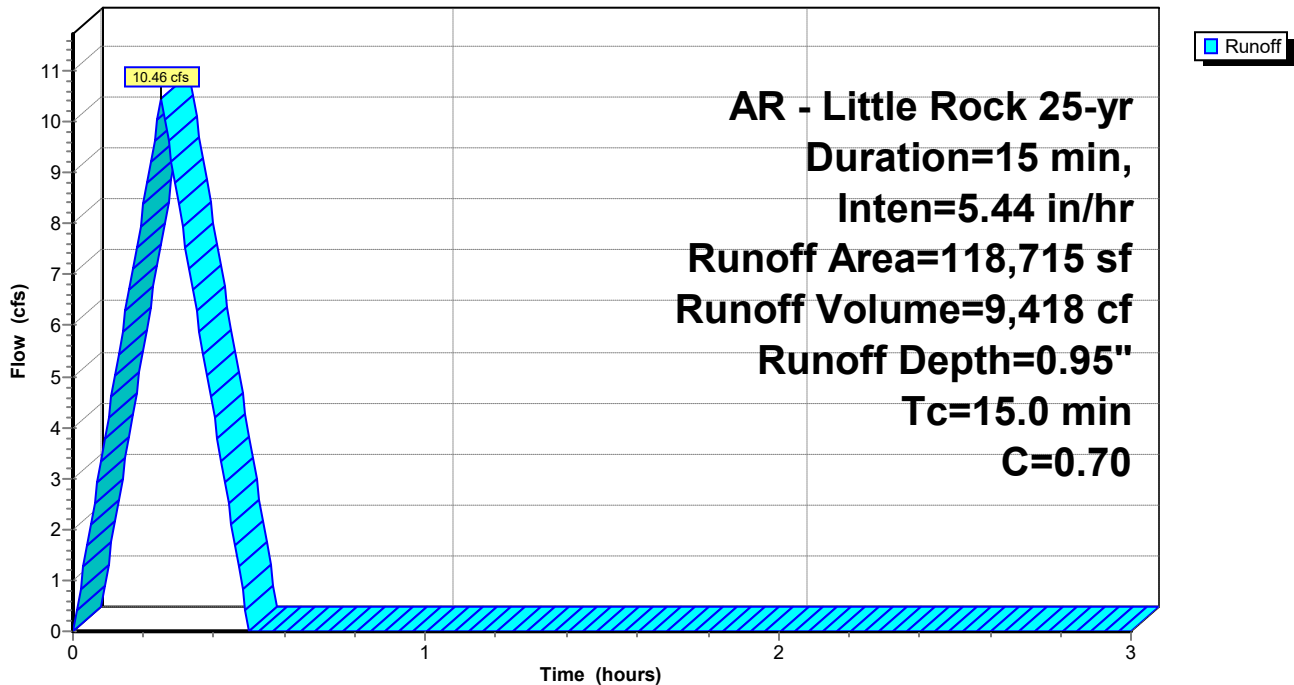
AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

Area (sf)	C	Description
65,063	0.50	Pervious Areas
53,652	0.95	Rooftop/Paving
118,715	0.70	Weighted Average
65,063		54.81% Pervious Area
53,652		45.19% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Subcatchment WestProp: West Adjacent Property Drainage Basin

Hydrograph



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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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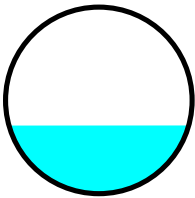
Summary for Reach A1: Pipe A1

Inflow Area = 1,168,524 sf, 0.00% Impervious, Inflow Depth = 0.41" for 25-yr event
Inflow = 44.14 cfs @ 0.25 hrs, Volume= 39,730 cf
Outflow = 44.06 cfs @ 0.25 hrs, Volume= 39,731 cf, Atten= 0%, Lag= 0.0 min
Routed to Reach A2 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 13.79 fps, Min. Travel Time= 0.0 min
Avg. Velocity = 10.71 fps, Avg. Travel Time= 0.0 min

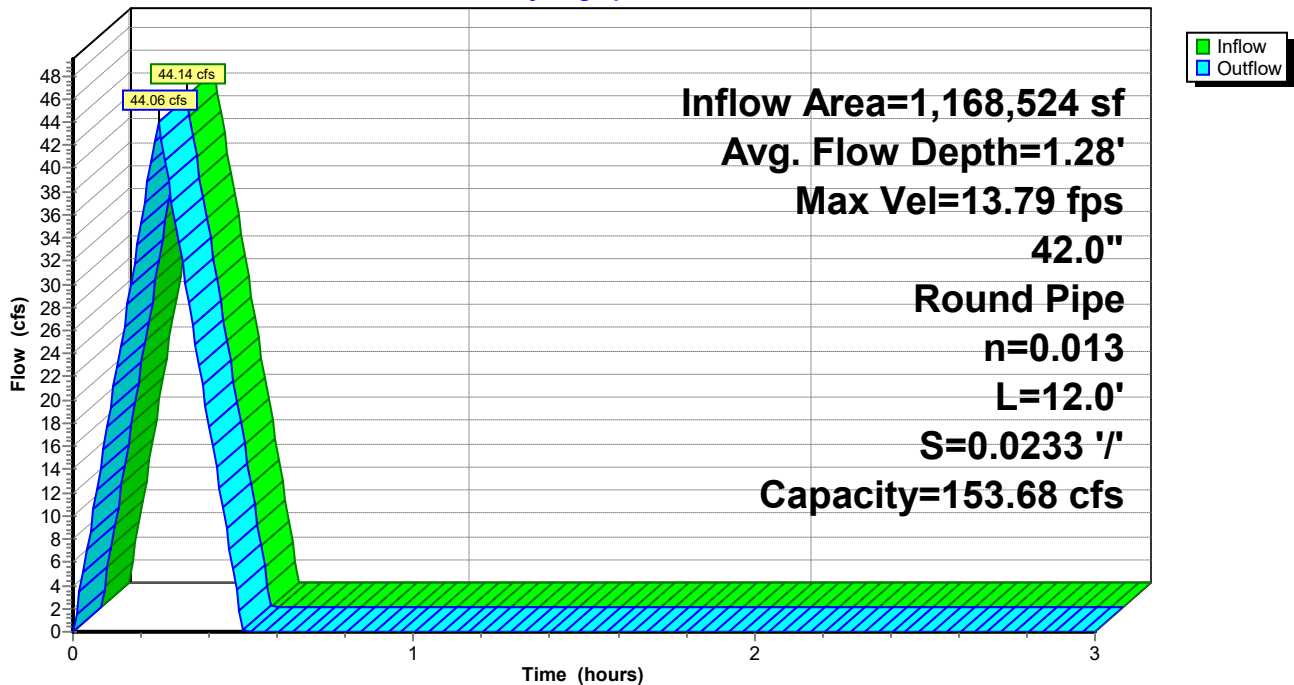
Peak Storage= 38 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.28' , Surface Width= 3.37'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 153.68 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 12.0' Slope= 0.0233 '/'
Inlet Invert= 413.00', Outlet Invert= 412.72'



Reach A1: Pipe A1

Hydrograph



Springhill Retail

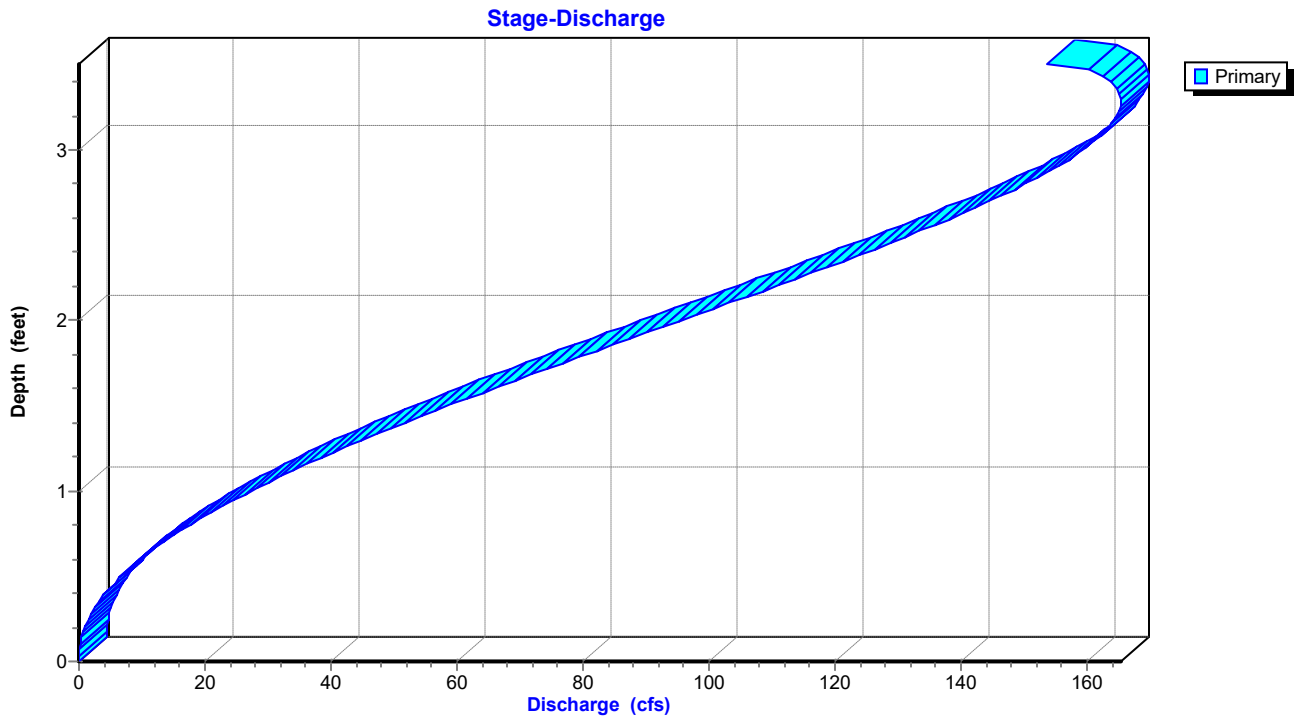
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Reach A1: Pipe A1



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Stage-Area-Storage for Reach A1: Pipe A1

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
413.00	0.0	0	415.60	7.7	92
413.05	0.0	0	415.65	7.8	94
413.10	0.1	1	415.70	8.0	96
413.15	0.1	2	415.75	8.1	97
413.20	0.2	3	415.80	8.3	99
413.25	0.3	4	415.85	8.4	101
413.30	0.4	5	415.90	8.5	102
413.35	0.5	6	415.95	8.7	104
413.40	0.6	7	416.00	8.8	105
413.45	0.7	9	416.05	8.9	107
413.50	0.8	10	416.10	9.0	108
413.55	1.0	12	416.15	9.1	109
413.60	1.1	13	416.20	9.2	111
413.65	1.2	15	416.25	9.3	112
413.70	1.4	16	416.30	9.4	113
413.75	1.5	18	416.35	9.5	114
413.80	1.7	20	416.40	9.5	115
413.85	1.8	22	416.45	9.6	115
413.90	2.0	23	416.50	9.6	115
413.95	2.1	25			
414.00	2.3	27			
414.05	2.4	29			
414.10	2.6	31			
414.15	2.8	33			
414.20	2.9	35			
414.25	3.1	37			
414.30	3.3	39			
414.35	3.4	41			
414.40	3.6	43			
414.45	3.8	45			
414.50	3.9	47			
414.55	4.1	49			
414.60	4.3	51			
414.65	4.5	54			
414.70	4.6	56			
414.75	4.8	58			
414.80	5.0	60			
414.85	5.2	62			
414.90	5.3	64			
414.95	5.5	66			
415.00	5.7	68			
415.05	5.9	70			
415.10	6.0	72			
415.15	6.2	74			
415.20	6.4	76			
415.25	6.5	78			
415.30	6.7	80			
415.35	6.9	82			
415.40	7.0	84			
415.45	7.2	86			
415.50	7.4	88			
415.55	7.5	90			

Springhill Retail

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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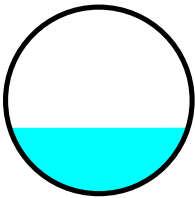
Summary for Reach A2: Pipe A2

Inflow Area = 1,206,798 sf, 3.17% Impervious, Inflow Depth = 0.44" for 25-yr event
Inflow = 48.64 cfs @ 0.25 hrs, Volume= 43,852 cf
Outflow = 47.87 cfs @ 0.26 hrs, Volume= 43,852 cf, Atten= 2%, Lag= 0.4 min
Routed to Reach A3 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 15.80 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 8.94 fps, Avg. Travel Time= 0.4 min

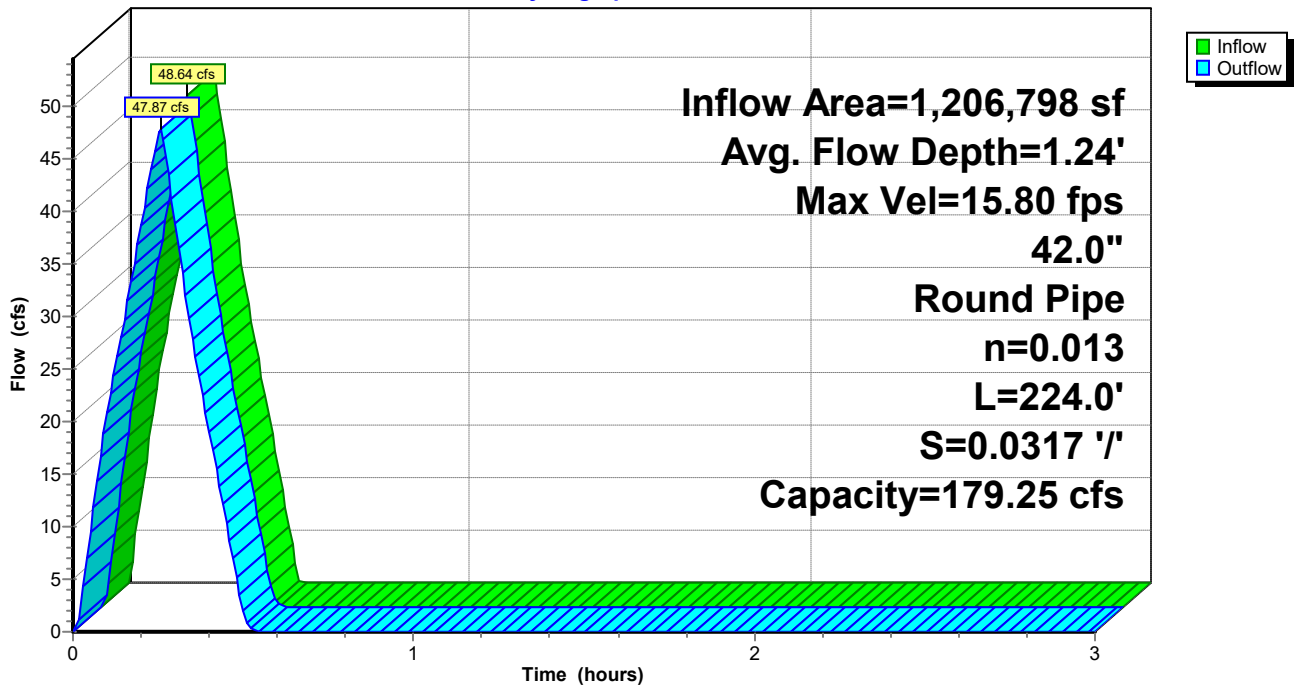
Peak Storage= 683 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.24' , Surface Width= 3.35'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 179.25 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 224.0' Slope= 0.0317 '/'
Inlet Invert= 412.52', Outlet Invert= 405.41'



Reach A2: Pipe A2

Hydrograph



Springhill Retail

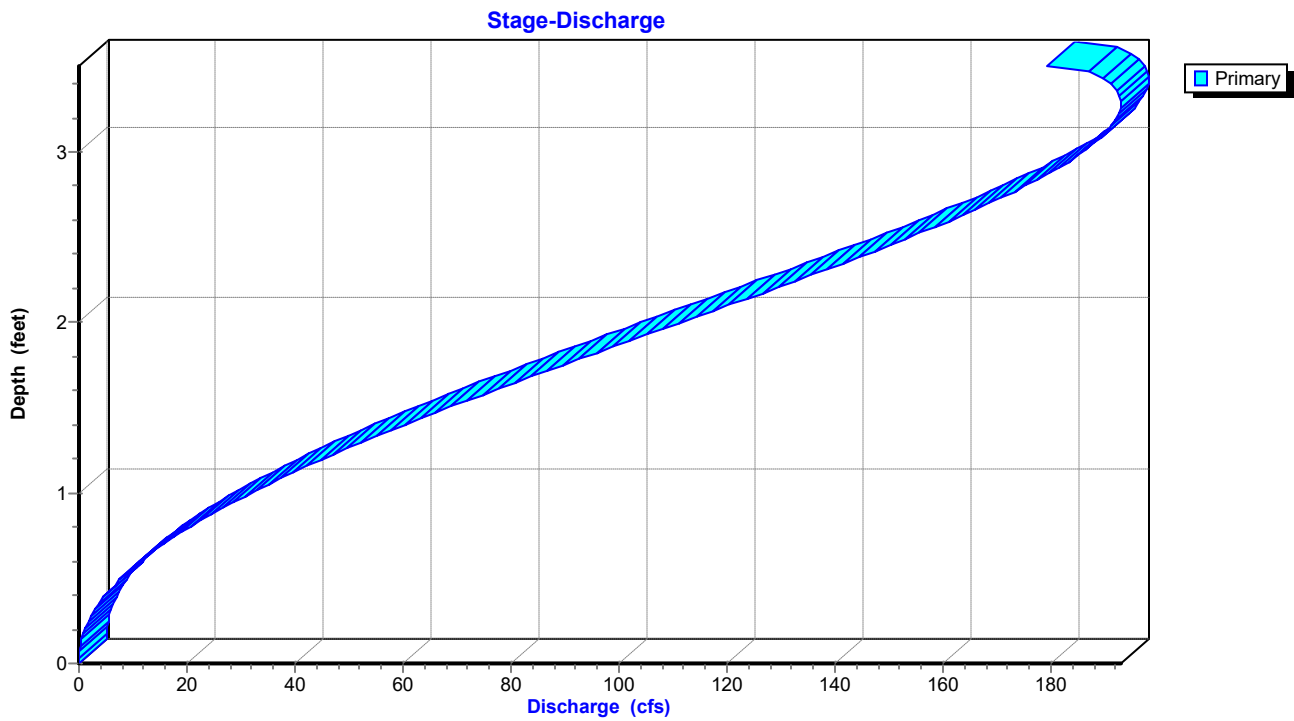
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Reach A2: Pipe A2



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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Stage-Area-Storage for Reach A2: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
412.52	0.0	0	415.12	7.7	1,717
412.57	0.0	6	415.17	7.8	1,751
412.62	0.1	18	415.22	8.0	1,784
412.67	0.1	32	415.27	8.1	1,816
412.72	0.2	49	415.32	8.3	1,848
412.77	0.3	68	415.37	8.4	1,879
412.82	0.4	90	415.42	8.5	1,909
412.87	0.5	112	415.47	8.7	1,938
412.92	0.6	136	415.52	8.8	1,966
412.97	0.7	162	415.57	8.9	1,993
413.02	0.8	189	415.62	9.0	2,019
413.07	1.0	217	415.67	9.1	2,043
413.12	1.1	246	415.72	9.2	2,066
413.17	1.2	276	415.77	9.3	2,087
413.22	1.4	307	415.82	9.4	2,106
413.27	1.5	339	415.87	9.5	2,123
413.32	1.7	371	415.92	9.5	2,138
413.37	1.8	404	415.97	9.6	2,149
413.42	2.0	438	416.02	9.6	2,155
413.47	2.1	473			
413.52	2.3	508			
413.57	2.4	544			
413.62	2.6	580			
413.67	2.8	617			
413.72	2.9	654			
413.77	3.1	691			
413.82	3.3	729			
413.87	3.4	767			
413.92	3.6	805			
413.97	3.8	844			
414.02	3.9	882			
414.07	4.1	921			
414.12	4.3	960			
414.17	4.5	999			
414.22	4.6	1,038			
414.27	4.8	1,078			
414.32	5.0	1,117			
414.37	5.2	1,156			
414.42	5.3	1,195			
414.47	5.5	1,234			
414.52	5.7	1,273			
414.57	5.9	1,312			
414.62	6.0	1,350			
414.67	6.2	1,388			
414.72	6.4	1,426			
414.77	6.5	1,464			
414.82	6.7	1,502			
414.87	6.9	1,539			
414.92	7.0	1,575			
414.97	7.2	1,611			
415.02	7.4	1,647			
415.07	7.5	1,682			

Springhill Retail

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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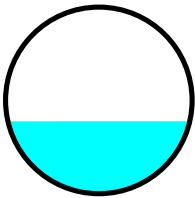
Summary for Reach A3: Pipe A2

Inflow Area = 1,325,513 sf, 6.94% Impervious, Inflow Depth = 0.48" for 25-yr event
Inflow = 58.14 cfs @ 0.25 hrs, Volume= 53,270 cf
Outflow = 58.03 cfs @ 0.26 hrs, Volume= 53,270 cf, Atten= 0%, Lag= 0.1 min
Routed to Pond Pond : Regional Detention Basin

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 16.80 fps, Min. Travel Time= 0.1 min
Avg. Velocity = 9.35 fps, Avg. Travel Time= 0.1 min

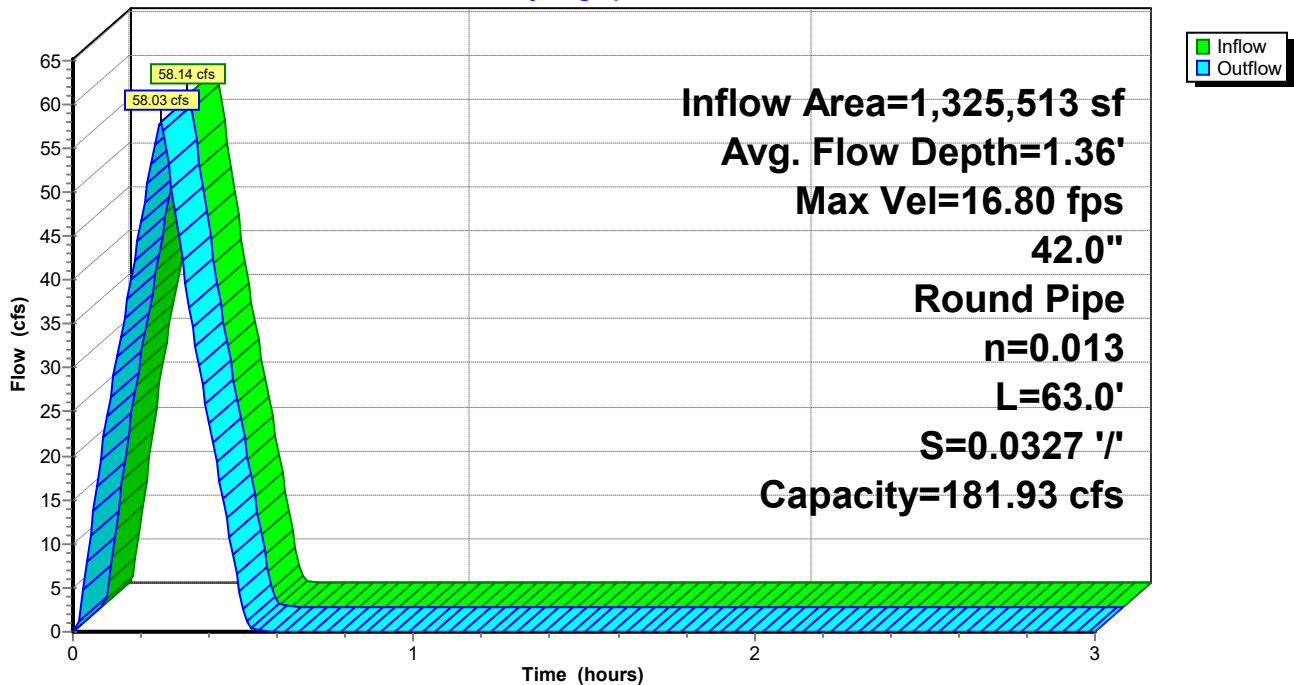
Peak Storage= 218 cf @ 0.26 hrs
Average Depth at Peak Storage= 1.36' , Surface Width= 3.41'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 181.93 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 63.0' Slope= 0.0327 '/'
Inlet Invert= 405.31', Outlet Invert= 403.25'



Reach A3: Pipe A2

Hydrograph



Springhill Retail

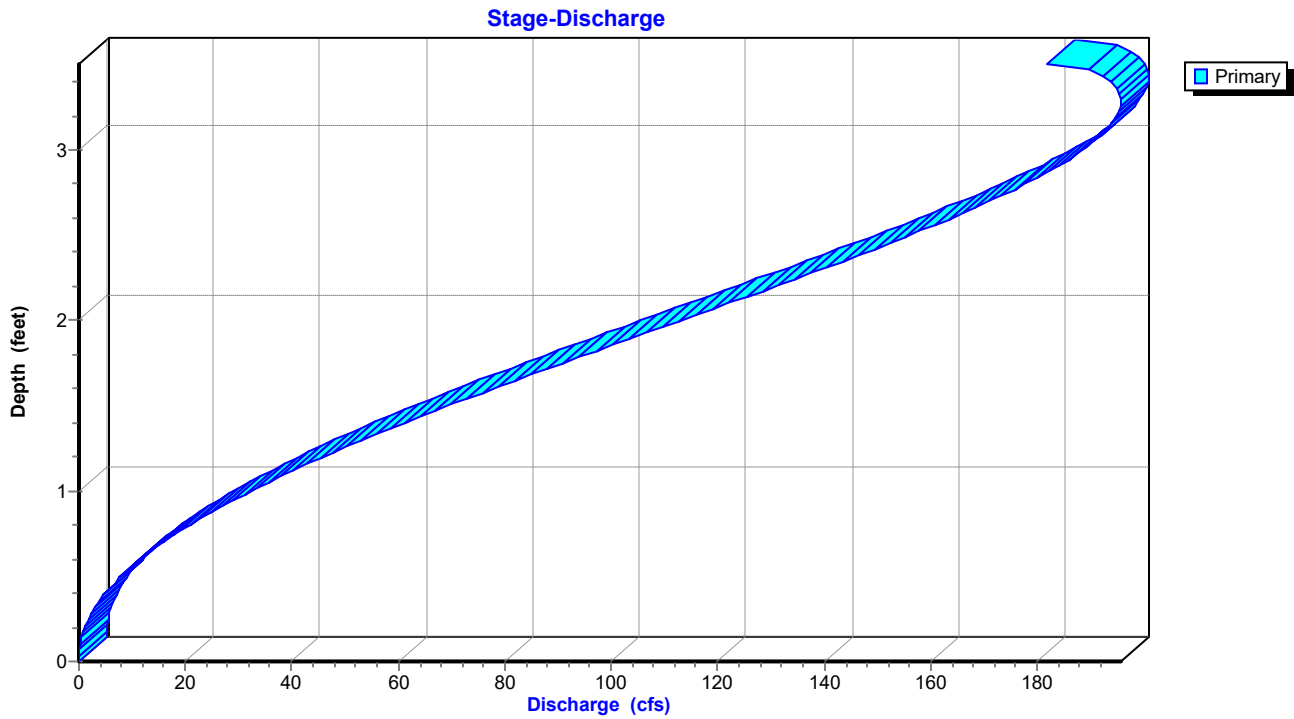
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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Reach A3: Pipe A2



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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Stage-Area-Storage for Reach A3: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
405.31	0.0	0	407.91	7.7	483
405.36	0.0	2	407.96	7.8	492
405.41	0.1	5	408.01	8.0	502
405.46	0.1	9	408.06	8.1	511
405.51	0.2	14	408.11	8.3	520
405.56	0.3	19	408.16	8.4	529
405.61	0.4	25	408.21	8.5	537
405.66	0.5	32	408.26	8.7	545
405.71	0.6	38	408.31	8.8	553
405.76	0.7	46	408.36	8.9	561
405.81	0.8	53	408.41	9.0	568
405.86	1.0	61	408.46	9.1	575
405.91	1.1	69	408.51	9.2	581
405.96	1.2	78	408.56	9.3	587
406.01	1.4	86	408.61	9.4	592
406.06	1.5	95	408.66	9.5	597
406.11	1.7	104	408.71	9.5	601
406.16	1.8	114	408.76	9.6	604
406.21	2.0	123	408.81	9.6	606
406.26	2.1	133			
406.31	2.3	143			
406.36	2.4	153			
406.41	2.6	163			
406.46	2.8	173			
406.51	2.9	184			
406.56	3.1	194			
406.61	3.3	205			
406.66	3.4	216			
406.71	3.6	226			
406.76	3.8	237			
406.81	3.9	248			
406.86	4.1	259			
406.91	4.3	270			
406.96	4.5	281			
407.01	4.6	292			
407.06	4.8	303			
407.11	5.0	314			
407.16	5.2	325			
407.21	5.3	336			
407.26	5.5	347			
407.31	5.7	358			
407.36	5.9	369			
407.41	6.0	380			
407.46	6.2	390			
407.51	6.4	401			
407.56	6.5	412			
407.61	6.7	422			
407.66	6.9	433			
407.71	7.0	443			
407.76	7.2	453			
407.81	7.4	463			
407.86	7.5	473			

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AR - Little Rock 25-yr Duration=15 min, Inten=5.44 in/hr

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Summary for Pond Pond: Regional Detention Basin

Inflow Area = 1,372,542 sf, 6.70% Impervious, Inflow Depth = 0.50" for 25-yr event
Inflow = 62.24 cfs @ 0.25 hrs, Volume= 57,321 cf
Outflow = 48.70 cfs @ 0.30 hrs, Volume= 57,371 cf, Atten= 22%, Lag= 2.9 min
Primary = 48.70 cfs @ 0.30 hrs, Volume= 57,371 cf

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 405.36' @ 0.30 hrs Storage= 9,099 cf

Plug-Flow detention time= 2.1 min calculated for 57,180 cf (100% of inflow)
Center-of-Mass det. time= 2.1 min (17.0 - 14.8)

Volume	Invert	Avail.Storage	Storage Description
#1	401.00'	12,812 cf	Custom Stage Data Listed below

Elevation (feet)	Cum.Store (cubic-feet)
401.00	0
402.00	103
403.00	803
404.00	2,704
405.00	7,038
406.00	12,812

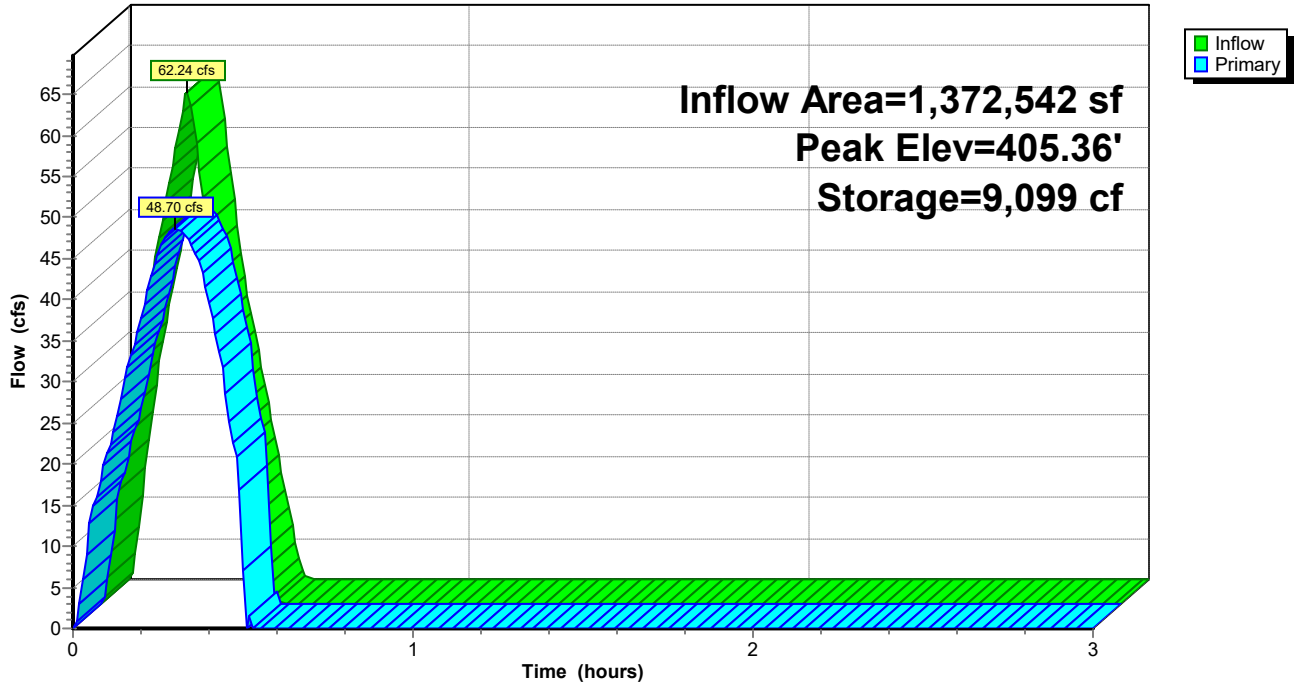
Device	Routing	Invert	Outlet Devices
#1	Primary	400.10'	24.0" Round RCP_Round 24" L= 100.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 400.10' / 397.97' S= 0.0213 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf
#2	Primary	403.02'	24.0" Round RCP_Round 24" L= 35.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 403.02' / 401.73' S= 0.0369 '/' Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 3.14 sf
#3	Primary	405.69'	2.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=48.68 cfs @ 0.30 hrs HW=405.35' (Free Discharge)

1=RCP_Round 24" (Inlet Controls 31.20 cfs @ 9.93 fps)
2=RCP_Round 24" (Inlet Controls 17.48 cfs @ 5.56 fps)
3=Sharp-Crested Rectangular Weir (Controls 0.00 cfs)

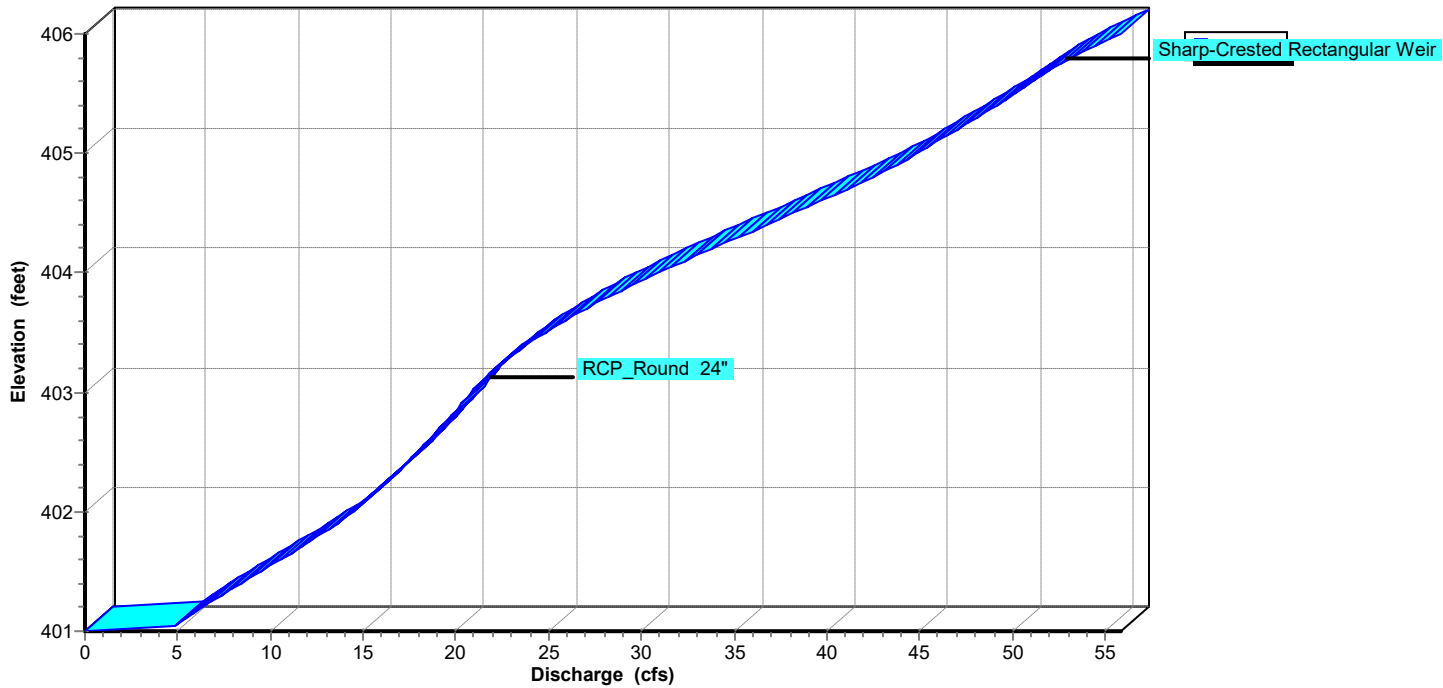
Pond Pond: Regional Detention Basin

Hydrograph



Pond Pond: Regional Detention Basin

Stage-Discharge



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Stage-Area-Storage for Pond Pond: Regional Detention Basin

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
401.00	0	403.60	1,944
401.05	5	403.65	2,039
401.10	10	403.70	2,134
401.15	15	403.75	2,229
401.20	21	403.80	2,324
401.25	26	403.85	2,419
401.30	31	403.90	2,514
401.35	36	403.95	2,609
401.40	41	404.00	2,704
401.45	46	404.05	2,921
401.50	52	404.10	3,137
401.55	57	404.15	3,354
401.60	62	404.20	3,571
401.65	67	404.25	3,788
401.70	72	404.30	4,004
401.75	77	404.35	4,221
401.80	82	404.40	4,438
401.85	88	404.45	4,654
401.90	93	404.50	4,871
401.95	98	404.55	5,088
402.00	103	404.60	5,304
402.05	138	404.65	5,521
402.10	173	404.70	5,738
402.15	208	404.75	5,955
402.20	243	404.80	6,171
402.25	278	404.85	6,388
402.30	313	404.90	6,605
402.35	348	404.95	6,821
402.40	383	405.00	7,038
402.45	418	405.05	7,327
402.50	453	405.10	7,615
402.55	488	405.15	7,904
402.60	523	405.20	8,193
402.65	558	405.25	8,482
402.70	593	405.30	8,770
402.75	628	405.35	9,059
402.80	663	405.40	9,348
402.85	698	405.45	9,636
402.90	733	405.50	9,925
402.95	768	405.55	10,214
403.00	803	405.60	10,502
403.05	898	405.65	10,791
403.10	993	405.70	11,080
403.15	1,088	405.75	11,369
403.20	1,183	405.80	11,657
403.25	1,278	405.85	11,946
403.30	1,373	405.90	12,235
403.35	1,468	405.95	12,523
403.40	1,563	406.00	12,812
403.45	1,658		
403.50	1,754		
403.55	1,849		

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Summary for Subcatchment ARDOT: ARDOT Offsite

Runoff = 52.91 cfs @ 0.25 hrs, Volume= 47,617 cf, Depth= 0.49"

Routed to Reach A1 : Pipe A1

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

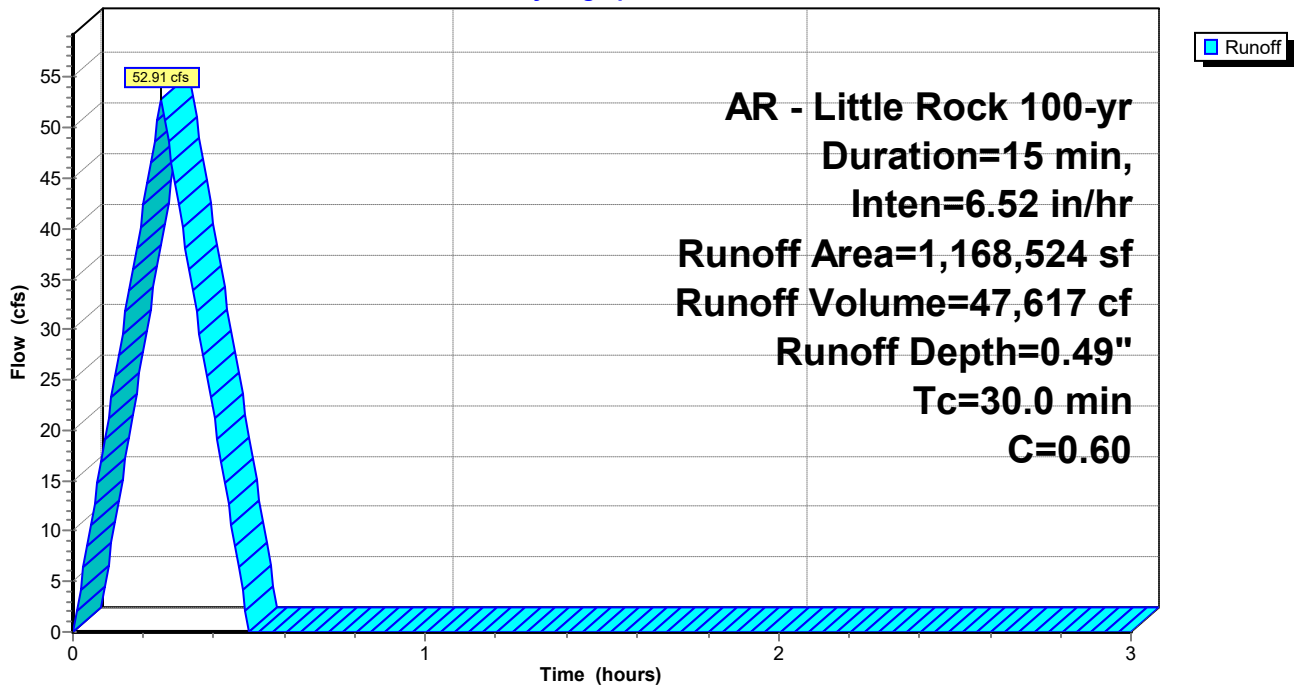
AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Area (sf)	C	Description
1,168,524	0.60	
1,168,524		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
30.0					Direct Entry,

Subcatchment ARDOT: ARDOT Offsite

Hydrograph



Springhill Retail

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Summary for Subcatchment M&F: Merchants and Farmers

Runoff = 5.49 cfs @ 0.09 hrs, Volume= 4,939 cf, Depth= 1.55"

Routed to Reach A2 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

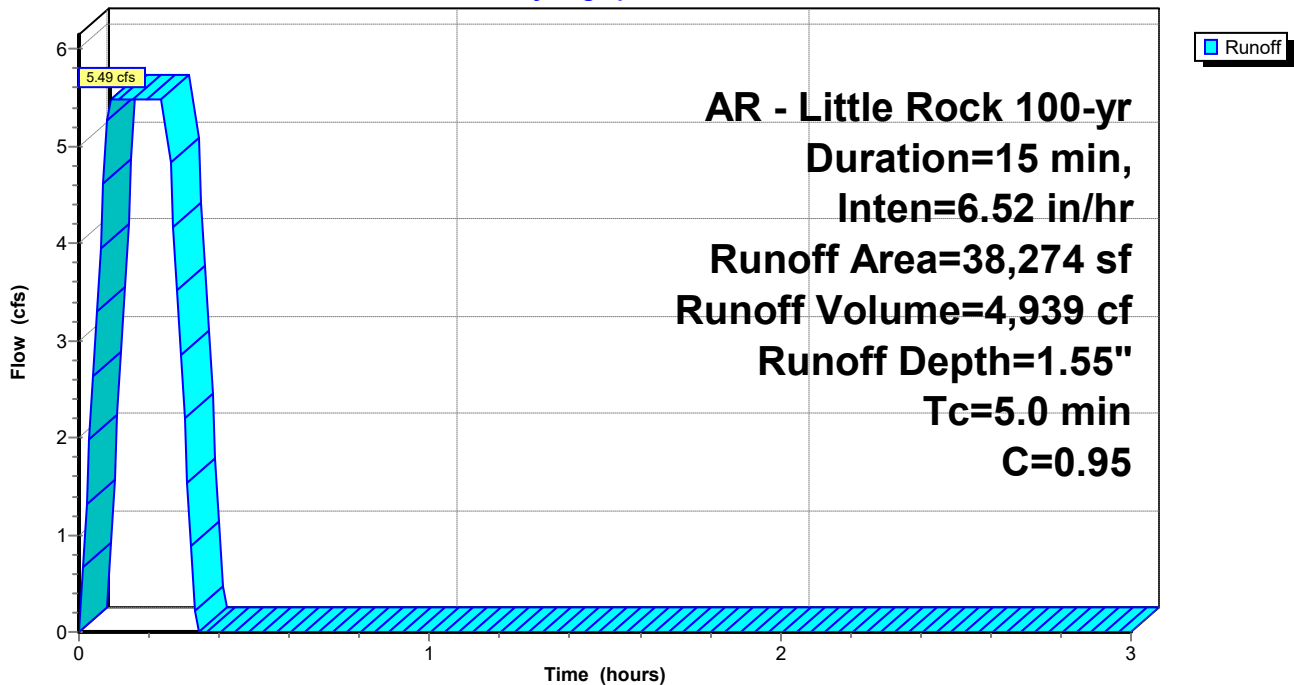
AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Area (sf)	C	Description
38,274	0.95	Developed Site
38,274		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment M&F: Merchants and Farmers

Hydrograph



Springhill Retail

AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Summary for Subcatchment SR: Springhill Retail Post

Runoff = 5.39 cfs @ 0.09 hrs, Volume= 4,855 cf, Depth= 1.24"

Routed to Pond Pond : Regional Detention Basin

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Area (sf)	C	Description
1,511	0.86	Existing Drive
33,632	0.92	Drives, Roof, Sidewalks
11,886	0.30	Landscaped Areas
47,029	0.76	Weighted Average
47,029		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.8	82	0.0290	1.76		Sheet Flow, Asphalt Sheet Flow Smooth surfaces n= 0.011 P2= 4.19"
0.8	87	0.0080	1.82		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.1	19	0.0210	2.94		Shallow Concentrated Flow, Concentrated Pavement Flow Paved Kv= 20.3 fps
1.0	197	0.0250	3.21		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
0.3	37	0.0130	2.31		Shallow Concentrated Flow, Gutter Paved Kv= 20.3 fps
2.0					Direct Entry, Minimum adjustment
5.0	422	Total			

Springhill Retail

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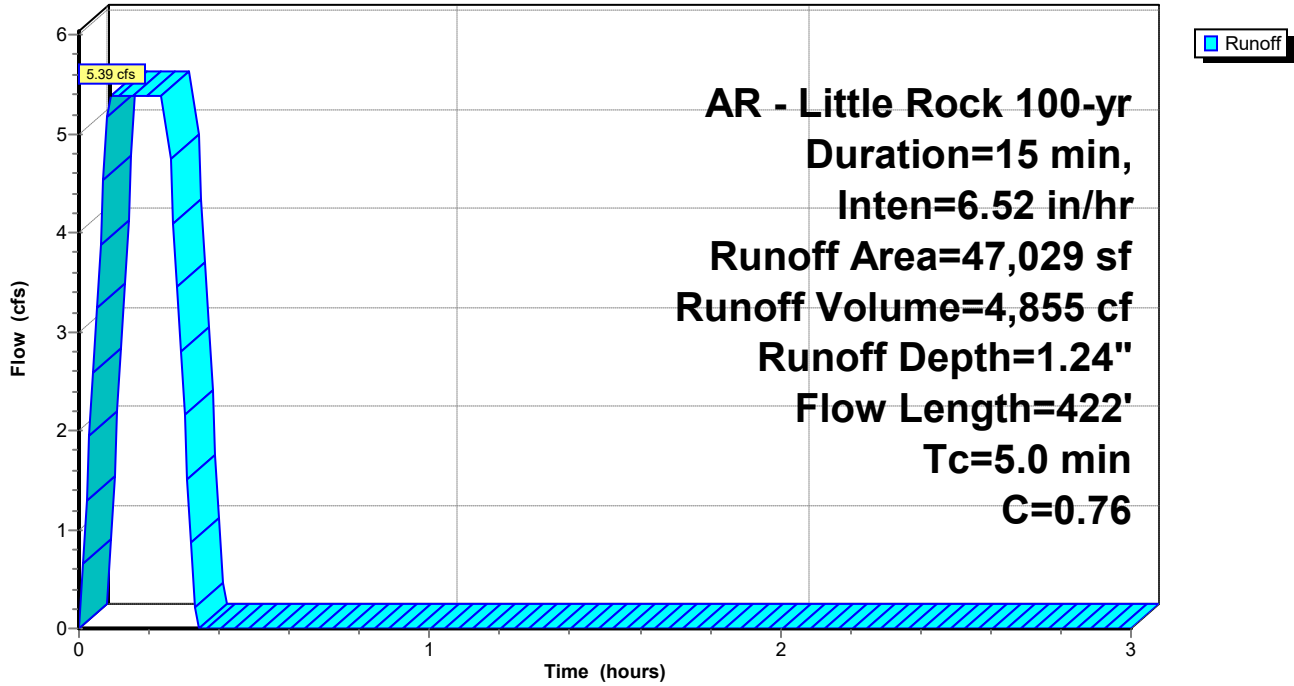
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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Subcatchment SR: Springhill Retail Post

Hydrograph



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Summary for Subcatchment WestProp: West Adjacent Property Drainage Basin

Runoff = 12.54 cfs @ 0.25 hrs, Volume= 11,288 cf, Depth= 1.14"

Routed to Reach A3 : Pipe A2

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

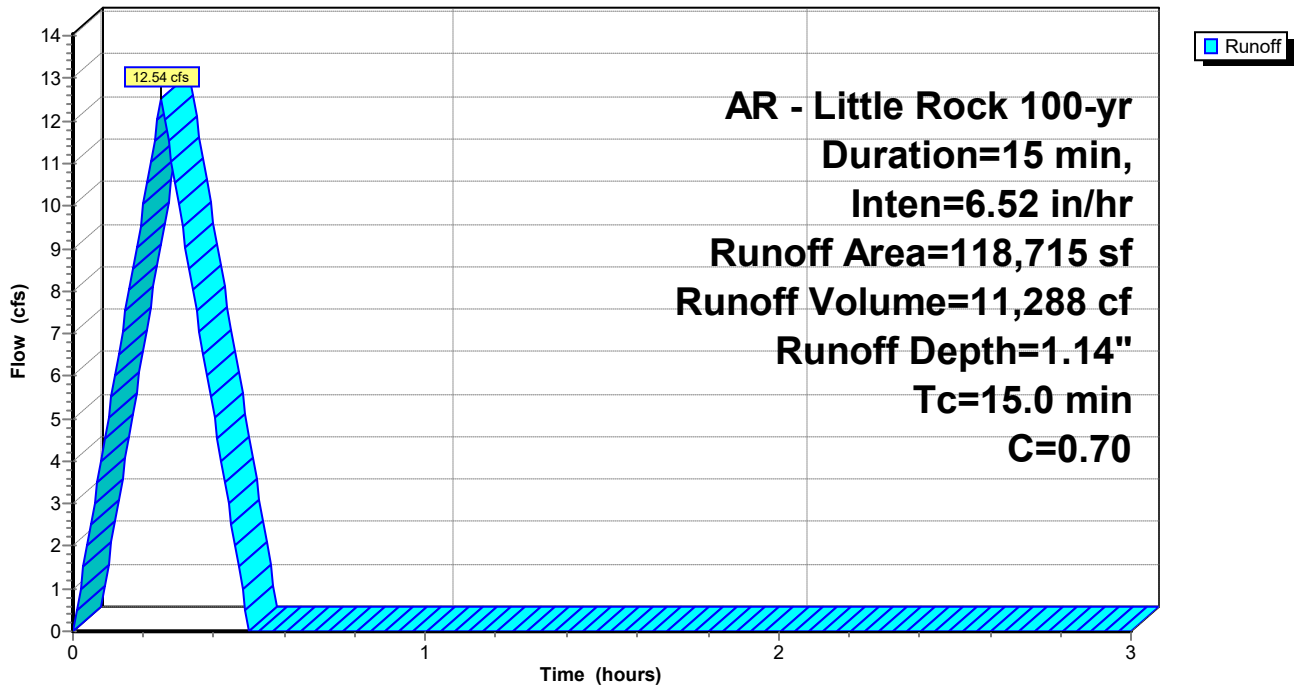
AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Area (sf)	C	Description
65,063	0.50	Pervious Areas
53,652	0.95	Rooftop/Paving
118,715	0.70	Weighted Average
65,063		54.81% Pervious Area
53,652		45.19% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					Direct Entry,

Subcatchment WestProp: West Adjacent Property Drainage Basin

Hydrograph



Springhill Retail

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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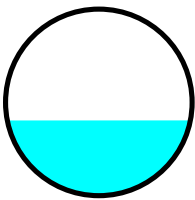
Summary for Reach A1: Pipe A1

Inflow Area = 1,168,524 sf, 0.00% Impervious, Inflow Depth = 0.49" for 100-yr event
Inflow = 52.91 cfs @ 0.25 hrs, Volume= 47,617 cf
Outflow = 52.81 cfs @ 0.25 hrs, Volume= 47,619 cf, Atten= 0%, Lag= 0.0 min
Routed to Reach A2 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 14.49 fps, Min. Travel Time= 0.0 min
Avg. Velocity = 11.28 fps, Avg. Travel Time= 0.0 min

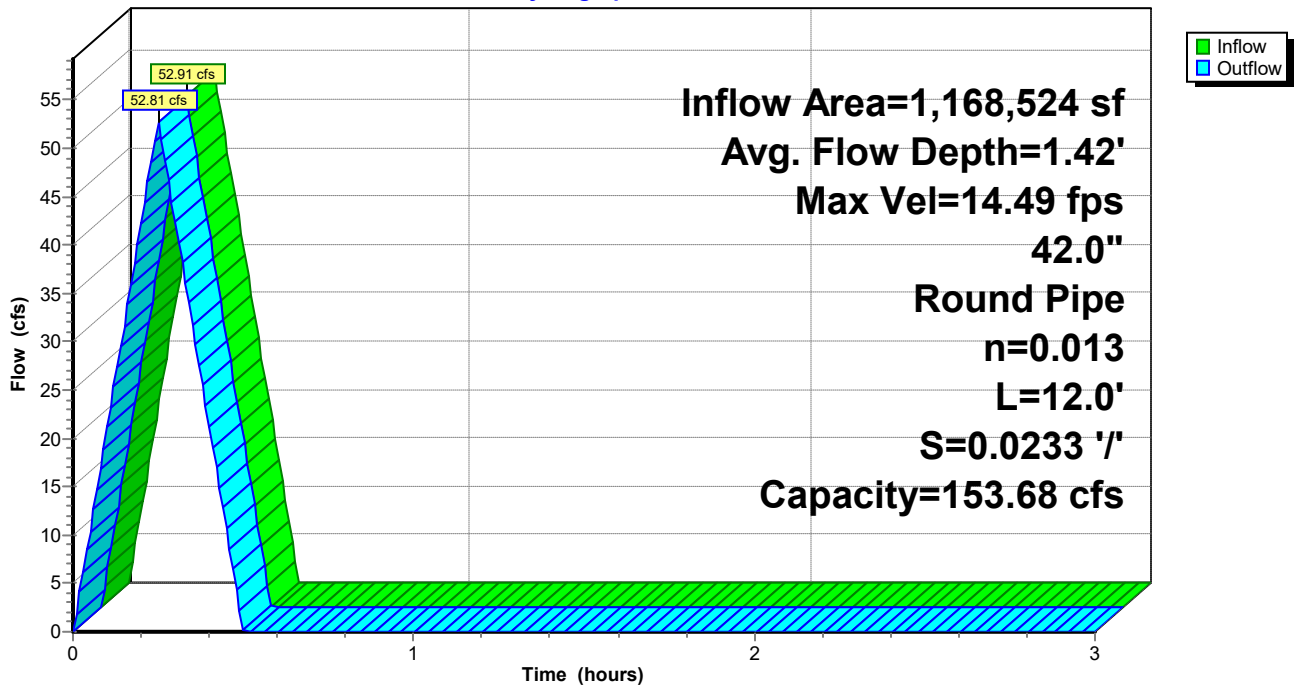
Peak Storage= 44 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.42' , Surface Width= 3.44'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 153.68 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 12.0' Slope= 0.0233 '/'
Inlet Invert= 413.00', Outlet Invert= 412.72'



Reach A1: Pipe A1

Hydrograph



Springhill Retail

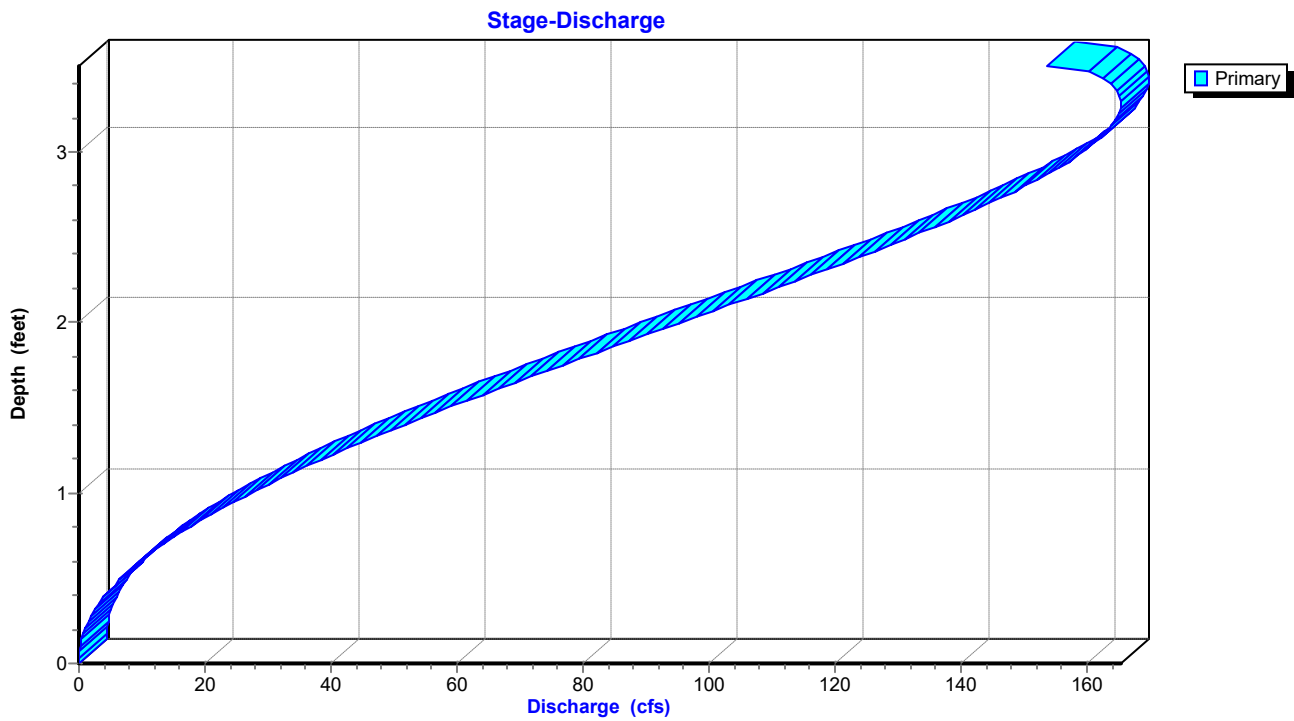
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Reach A1: Pipe A1



Springhill Retail*AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr*

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Stage-Area-Storage for Reach A1: Pipe A1

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
413.00	0.0	0	415.60	7.7	92
413.05	0.0	0	415.65	7.8	94
413.10	0.1	1	415.70	8.0	96
413.15	0.1	2	415.75	8.1	97
413.20	0.2	3	415.80	8.3	99
413.25	0.3	4	415.85	8.4	101
413.30	0.4	5	415.90	8.5	102
413.35	0.5	6	415.95	8.7	104
413.40	0.6	7	416.00	8.8	105
413.45	0.7	9	416.05	8.9	107
413.50	0.8	10	416.10	9.0	108
413.55	1.0	12	416.15	9.1	109
413.60	1.1	13	416.20	9.2	111
413.65	1.2	15	416.25	9.3	112
413.70	1.4	16	416.30	9.4	113
413.75	1.5	18	416.35	9.5	114
413.80	1.7	20	416.40	9.5	115
413.85	1.8	22	416.45	9.6	115
413.90	2.0	23	416.50	9.6	115
413.95	2.1	25			
414.00	2.3	27			
414.05	2.4	29			
414.10	2.6	31			
414.15	2.8	33			
414.20	2.9	35			
414.25	3.1	37			
414.30	3.3	39			
414.35	3.4	41			
414.40	3.6	43			
414.45	3.8	45			
414.50	3.9	47			
414.55	4.1	49			
414.60	4.3	51			
414.65	4.5	54			
414.70	4.6	56			
414.75	4.8	58			
414.80	5.0	60			
414.85	5.2	62			
414.90	5.3	64			
414.95	5.5	66			
415.00	5.7	68			
415.05	5.9	70			
415.10	6.0	72			
415.15	6.2	74			
415.20	6.4	76			
415.25	6.5	78			
415.30	6.7	80			
415.35	6.9	82			
415.40	7.0	84			
415.45	7.2	86			
415.50	7.4	88			
415.55	7.5	90			

Springhill Retail

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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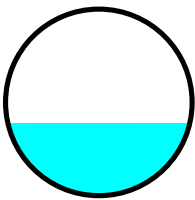
Summary for Reach A2: Pipe A2

Inflow Area = 1,206,798 sf, 3.17% Impervious, Inflow Depth = 0.52" for 100-yr event
Inflow = 58.30 cfs @ 0.25 hrs, Volume= 52,558 cf
Outflow = 57.39 cfs @ 0.26 hrs, Volume= 52,558 cf, Atten= 2%, Lag= 0.4 min
Routed to Reach A3 : Pipe A2

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 16.60 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 9.39 fps, Avg. Travel Time= 0.4 min

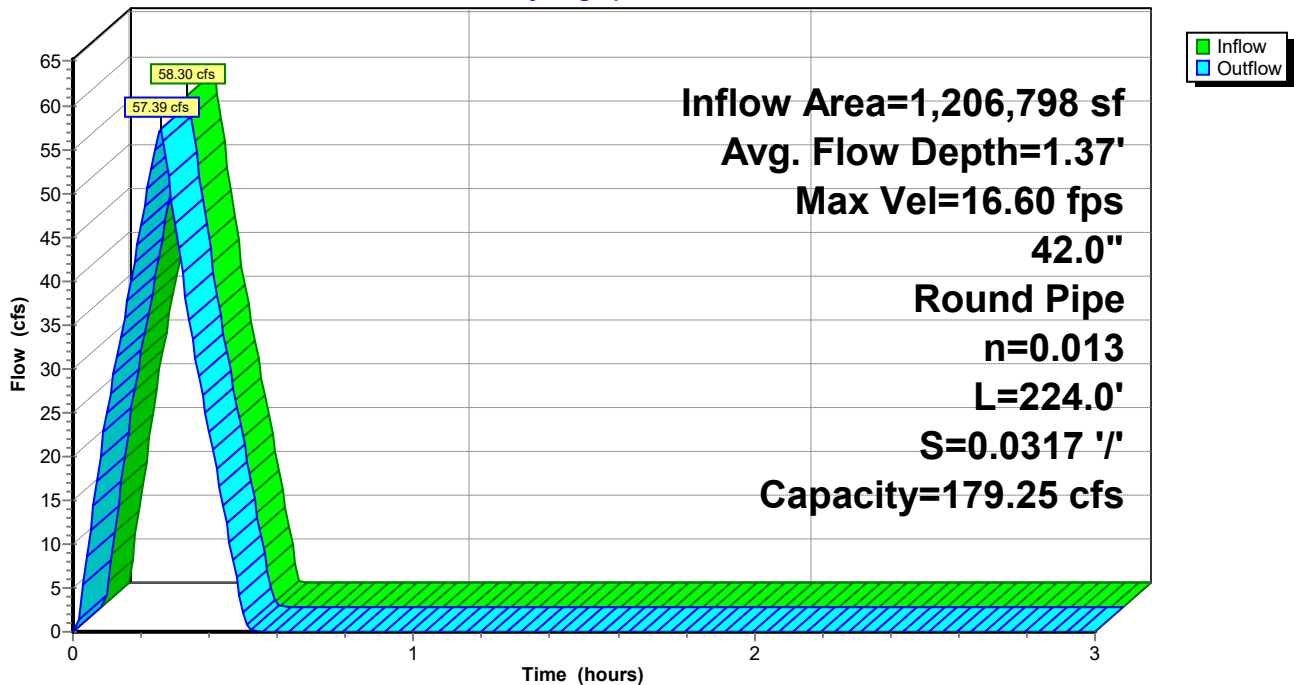
Peak Storage= 779 cf @ 0.25 hrs
Average Depth at Peak Storage= 1.37' , Surface Width= 3.42'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 179.25 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 224.0' Slope= 0.0317 '/'
Inlet Invert= 412.52', Outlet Invert= 405.41'



Reach A2: Pipe A2

Hydrograph



Springhill Retail

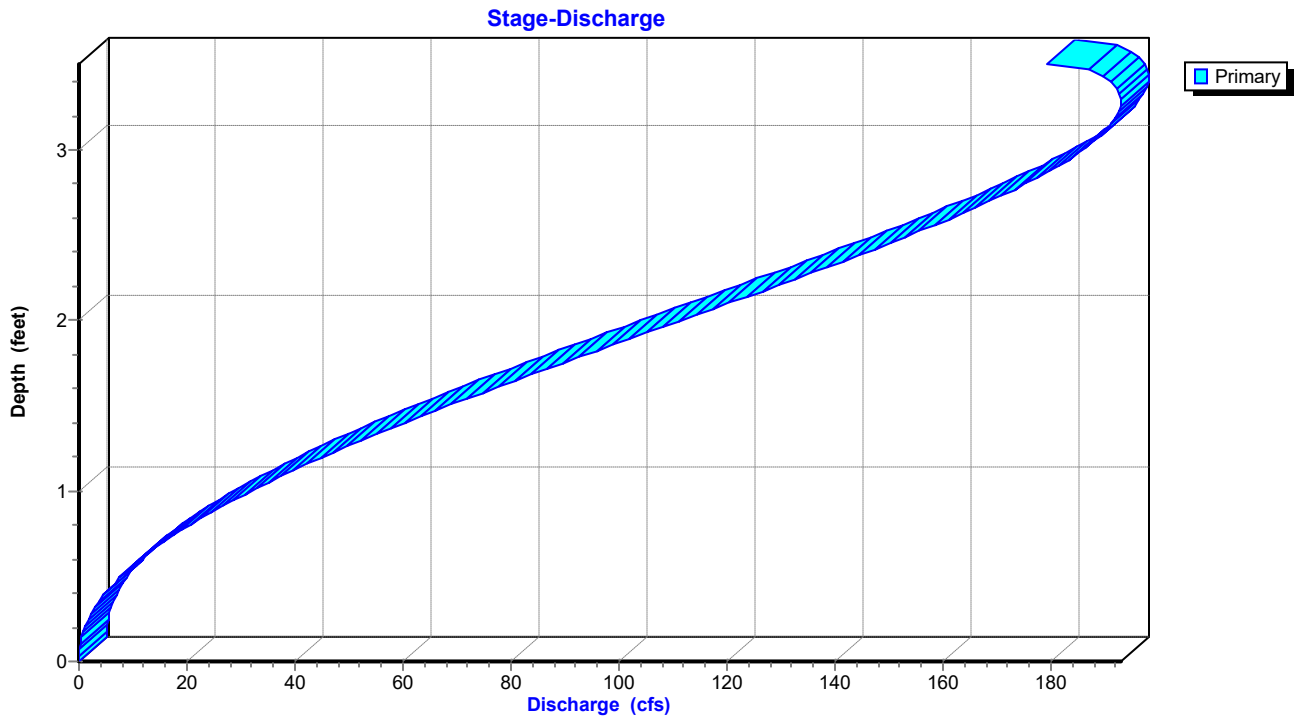
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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Reach A2: Pipe A2



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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Stage-Area-Storage for Reach A2: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
412.52	0.0	0	415.12	7.7	1,717
412.57	0.0	6	415.17	7.8	1,751
412.62	0.1	18	415.22	8.0	1,784
412.67	0.1	32	415.27	8.1	1,816
412.72	0.2	49	415.32	8.3	1,848
412.77	0.3	68	415.37	8.4	1,879
412.82	0.4	90	415.42	8.5	1,909
412.87	0.5	112	415.47	8.7	1,938
412.92	0.6	136	415.52	8.8	1,966
412.97	0.7	162	415.57	8.9	1,993
413.02	0.8	189	415.62	9.0	2,019
413.07	1.0	217	415.67	9.1	2,043
413.12	1.1	246	415.72	9.2	2,066
413.17	1.2	276	415.77	9.3	2,087
413.22	1.4	307	415.82	9.4	2,106
413.27	1.5	339	415.87	9.5	2,123
413.32	1.7	371	415.92	9.5	2,138
413.37	1.8	404	415.97	9.6	2,149
413.42	2.0	438	416.02	9.6	2,155
413.47	2.1	473			
413.52	2.3	508			
413.57	2.4	544			
413.62	2.6	580			
413.67	2.8	617			
413.72	2.9	654			
413.77	3.1	691			
413.82	3.3	729			
413.87	3.4	767			
413.92	3.6	805			
413.97	3.8	844			
414.02	3.9	882			
414.07	4.1	921			
414.12	4.3	960			
414.17	4.5	999			
414.22	4.6	1,038			
414.27	4.8	1,078			
414.32	5.0	1,117			
414.37	5.2	1,156			
414.42	5.3	1,195			
414.47	5.5	1,234			
414.52	5.7	1,273			
414.57	5.9	1,312			
414.62	6.0	1,350			
414.67	6.2	1,388			
414.72	6.4	1,426			
414.77	6.5	1,464			
414.82	6.7	1,502			
414.87	6.9	1,539			
414.92	7.0	1,575			
414.97	7.2	1,611			
415.02	7.4	1,647			
415.07	7.5	1,682			

Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Printed 5/22/2024

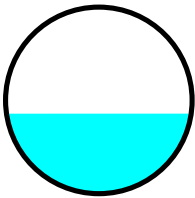
Summary for Reach A3: Pipe A2

Inflow Area = 1,325,513 sf, 6.94% Impervious, Inflow Depth = 0.58" for 100-yr event
Inflow = 69.72 cfs @ 0.25 hrs, Volume= 63,846 cf
Outflow = 69.58 cfs @ 0.26 hrs, Volume= 63,846 cf, Atten= 0%, Lag= 0.1 min
Routed to Pond Pond : Regional Detention Basin

Routing by Stor-Ind+Trans method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Max. Velocity= 17.63 fps, Min. Travel Time= 0.1 min
Avg. Velocity = 9.81 fps, Avg. Travel Time= 0.1 min

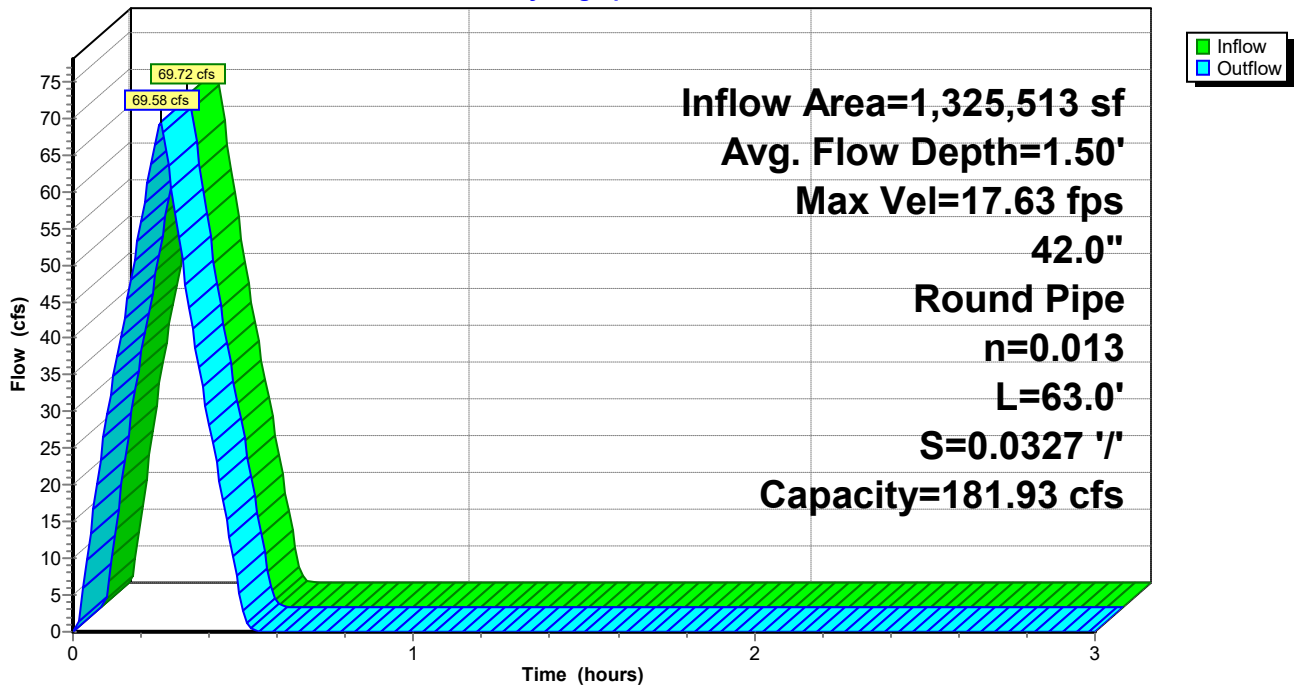
Peak Storage= 249 cf @ 0.26 hrs
Average Depth at Peak Storage= 1.50' , Surface Width= 3.46'
Bank-Full Depth= 3.50' Flow Area= 9.6 sf, Capacity= 181.93 cfs

42.0" Round Pipe
n= 0.013 Concrete pipe, bends & connections
Length= 63.0' Slope= 0.0327 '/'
Inlet Invert= 405.31', Outlet Invert= 403.25'



Reach A3: Pipe A2

Hydrograph



Springhill Retail

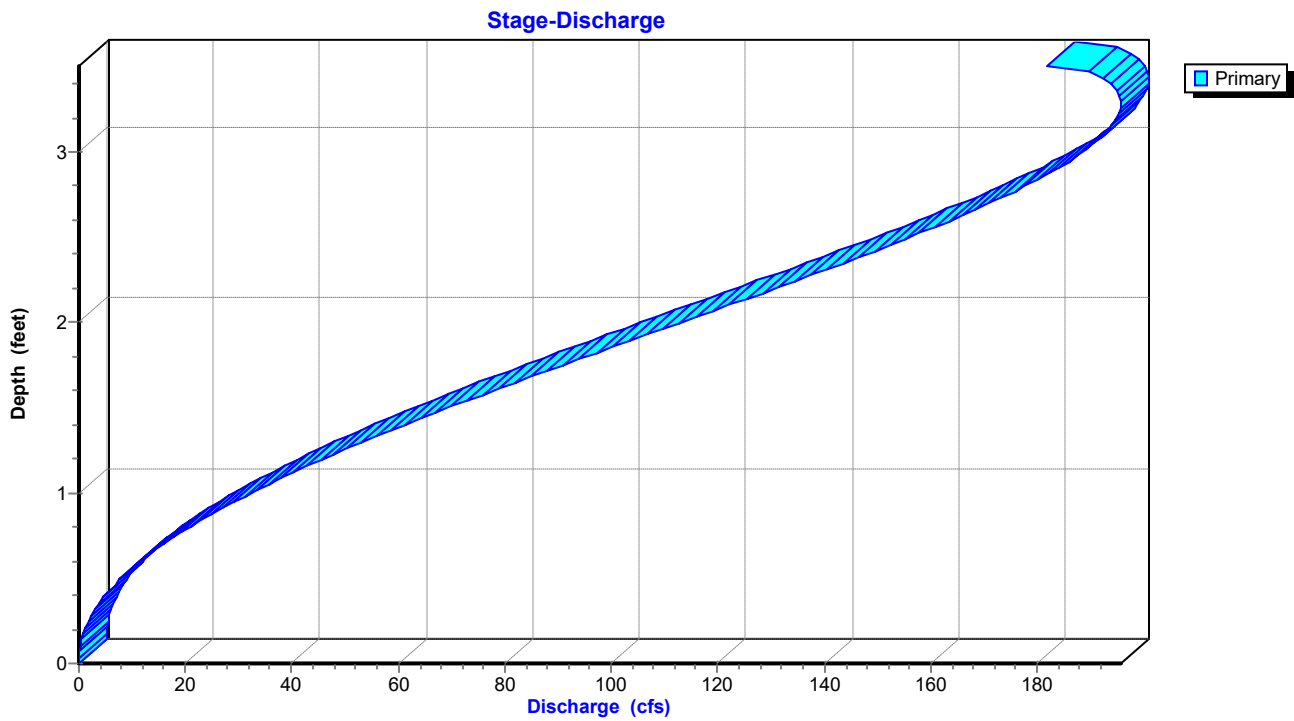
Prepared by Phillip Lewis Engineering

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Printed 5/22/2024

Reach A3: Pipe A2



Springhill Retail

Prepared by Phillip Lewis Engineering

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AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

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Stage-Area-Storage for Reach A3: Pipe A2

Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)	Elevation (feet)	End-Area (sq-ft)	Storage (cubic-feet)
405.31	0.0	0	407.91	7.7	483
405.36	0.0	2	407.96	7.8	492
405.41	0.1	5	408.01	8.0	502
405.46	0.1	9	408.06	8.1	511
405.51	0.2	14	408.11	8.3	520
405.56	0.3	19	408.16	8.4	529
405.61	0.4	25	408.21	8.5	537
405.66	0.5	32	408.26	8.7	545
405.71	0.6	38	408.31	8.8	553
405.76	0.7	46	408.36	8.9	561
405.81	0.8	53	408.41	9.0	568
405.86	1.0	61	408.46	9.1	575
405.91	1.1	69	408.51	9.2	581
405.96	1.2	78	408.56	9.3	587
406.01	1.4	86	408.61	9.4	592
406.06	1.5	95	408.66	9.5	597
406.11	1.7	104	408.71	9.5	601
406.16	1.8	114	408.76	9.6	604
406.21	2.0	123	408.81	9.6	606
406.26	2.1	133			
406.31	2.3	143			
406.36	2.4	153			
406.41	2.6	163			
406.46	2.8	173			
406.51	2.9	184			
406.56	3.1	194			
406.61	3.3	205			
406.66	3.4	216			
406.71	3.6	226			
406.76	3.8	237			
406.81	3.9	248			
406.86	4.1	259			
406.91	4.3	270			
406.96	4.5	281			
407.01	4.6	292			
407.06	4.8	303			
407.11	5.0	314			
407.16	5.2	325			
407.21	5.3	336			
407.26	5.5	347			
407.31	5.7	358			
407.36	5.9	369			
407.41	6.0	380			
407.46	6.2	390			
407.51	6.4	401			
407.56	6.5	412			
407.61	6.7	422			
407.66	6.9	433			
407.71	7.0	443			
407.76	7.2	453			
407.81	7.4	463			
407.86	7.5	473			

Springhill Retail

AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Prepared by Phillip Lewis Engineering

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Summary for Pond Pond: Regional Detention Basin

Inflow Area = 1,372,542 sf, 6.70% Impervious, Inflow Depth = 0.60" for 100-yr event
Inflow = 74.65 cfs @ 0.25 hrs, Volume= 68,701 cf
Outflow = 59.88 cfs @ 0.30 hrs, Volume= 68,780 cf, Atten= 20%, Lag= 2.8 min
Primary = 59.88 cfs @ 0.30 hrs, Volume= 68,780 cf

Routing by Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 406.27' @ 0.30 hrs Storage= 12,812 cf

Plug-Flow detention time= 2.7 min calculated for 68,552 cf (100% of inflow)
Center-of-Mass det. time= 2.7 min (17.5 - 14.8)

Volume	Invert	Avail.Storage	Storage Description
#1	401.00'	12,812 cf	Custom Stage Data Listed below

Elevation (feet)	Cum.Store (cubic-feet)
401.00	0
402.00	103
403.00	803
404.00	2,704
405.00	7,038
406.00	12,812

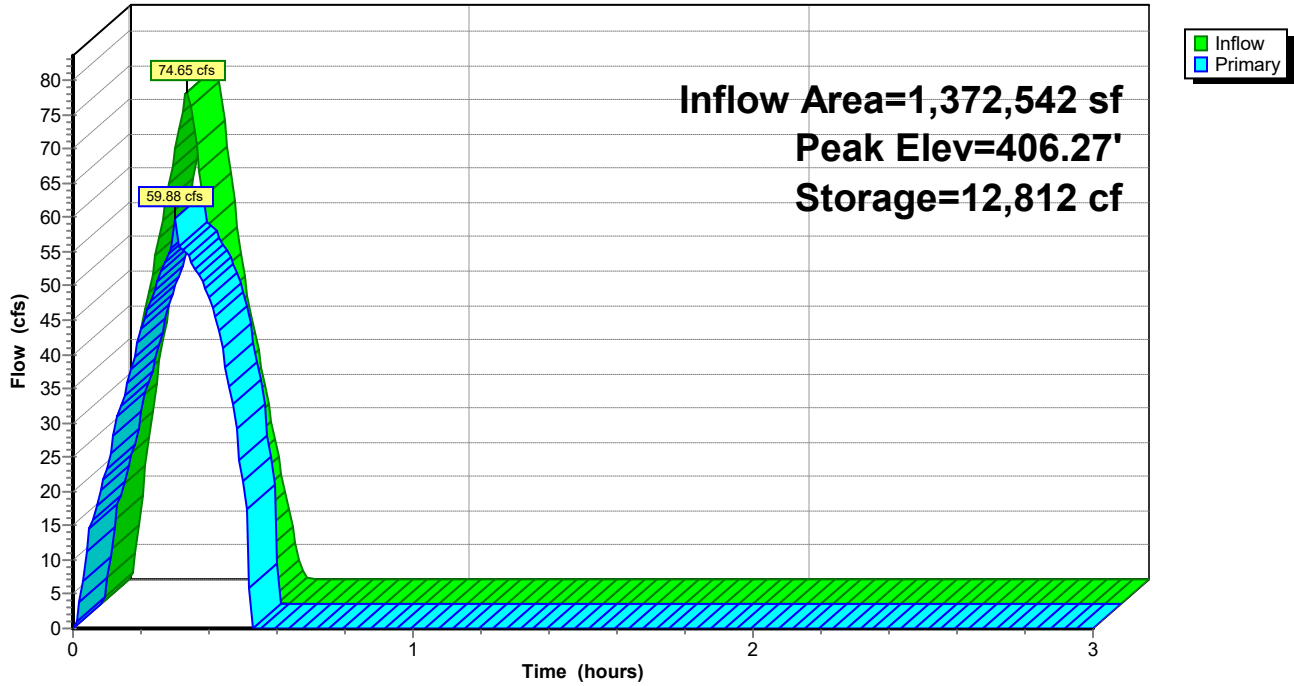
Device	Routing	Invert	Outlet Devices
#1	Primary	400.10'	24.0" Round RCP_Round 24" L= 100.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 400.10' / 397.97' S= 0.0213 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf
#2	Primary	403.02'	24.0" Round RCP_Round 24" L= 35.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 403.02' / 401.73' S= 0.0369 '/' Cc= 0.900 n= 0.013 Concrete pipe, bends & connections, Flow Area= 3.14 sf
#3	Primary	405.69'	2.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)

Primary OutFlow Max=59.82 cfs @ 0.30 hrs HW=406.27' (Free Discharge)

1=RCP_Round 24" (Inlet Controls 34.40 cfs @ 10.95 fps)
2=RCP_Round 24" (Inlet Controls 22.69 cfs @ 7.22 fps)
3=Sharp-Crested Rectangular Weir (Weir Controls 2.73 cfs @ 2.49 fps)

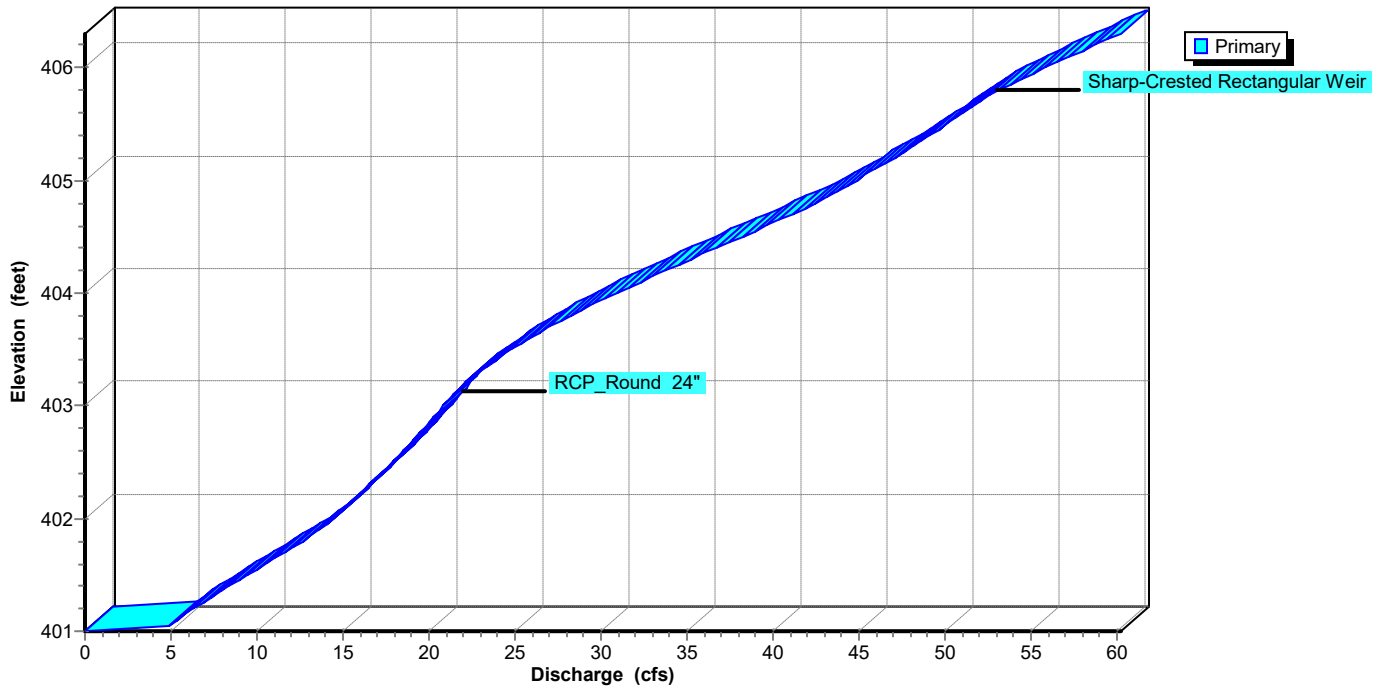
Pond Pond: Regional Detention Basin

Hydrograph



Pond Pond: Regional Detention Basin

Stage-Discharge



Springhill Retail

AR - Little Rock 100-yr Duration=15 min, Inten=6.52 in/hr

Prepared by Phillip Lewis Engineering

Printed 5/22/2024

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Stage-Area-Storage for Pond Pond: Regional Detention Basin

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
401.00	0	403.60	1,944	406.20	12,812
401.05	5	403.65	2,039	406.25	12,812
401.10	10	403.70	2,134	406.30	12,812
401.15	15	403.75	2,229		
401.20	21	403.80	2,324		
401.25	26	403.85	2,419		
401.30	31	403.90	2,514		
401.35	36	403.95	2,609		
401.40	41	404.00	2,704		
401.45	46	404.05	2,921		
401.50	52	404.10	3,137		
401.55	57	404.15	3,354		
401.60	62	404.20	3,571		
401.65	67	404.25	3,788		
401.70	72	404.30	4,004		
401.75	77	404.35	4,221		
401.80	82	404.40	4,438		
401.85	88	404.45	4,654		
401.90	93	404.50	4,871		
401.95	98	404.55	5,088		
402.00	103	404.60	5,304		
402.05	138	404.65	5,521		
402.10	173	404.70	5,738		
402.15	208	404.75	5,955		
402.20	243	404.80	6,171		
402.25	278	404.85	6,388		
402.30	313	404.90	6,605		
402.35	348	404.95	6,821		
402.40	383	405.00	7,038		
402.45	418	405.05	7,327		
402.50	453	405.10	7,615		
402.55	488	405.15	7,904		
402.60	523	405.20	8,193		
402.65	558	405.25	8,482		
402.70	593	405.30	8,770		
402.75	628	405.35	9,059		
402.80	663	405.40	9,348		
402.85	698	405.45	9,636		
402.90	733	405.50	9,925		
402.95	768	405.55	10,214		
403.00	803	405.60	10,502		
403.05	898	405.65	10,791		
403.10	993	405.70	11,080		
403.15	1,088	405.75	11,369		
403.20	1,183	405.80	11,657		
403.25	1,278	405.85	11,946		
403.30	1,373	405.90	12,235		
403.35	1,468	405.95	12,523		
403.40	1,563	406.00	12,812		
403.45	1,658	406.05	12,812		
403.50	1,754	406.10	12,812		
403.55	1,849	406.15	12,812		



PHILLIP LEWIS ENGINEERING

Structural + Civil Consultants

23620 Interstate 30 | Bryant, AR
PH: 501-350-9840

May 23, 2024

Colton Leonard
Community Development
Community development Director
cleonard@cityofbryant.com

RE: Springhill Retail

To whom it may concern,

Please accept this letter as our response to the planning/engineering comments regarding the Springhill Retail development. We are requesting to be placed on the next upcoming DRC agenda. Please find our comment responses below.

Public Works

1. Show sewer connection and water connection.
 - A Utility Plan has been added to the plan set.

Stormwater

1. Ownership of the drainage ditch; Surface and roof water from adjoining sites drains to the ditch. The ditch contains decades of old drainage pipe ranging from ductile iron to corrugated metal.
 - This drainage ditch will be changed to a single 38"x60" elliptical culvert with junction boxes to capture all surrounding areas currently draining to this ditch. Please reference the attached drainage narrative.
2. How will the stormwater water be detained?
 - After speaking with representatives of the Stormwater Division, we agreed to excavate and enlarge the southern "regional ponding area" to account for the increased discharge from this development.
3. A choke point exists at the Springhill II building complex, drainage from the site and multiple locations including Hwy 5 are all being moved to a 24" inch pipe.
 - This 24" culvert will become the "outlet control structure" for the newly enlarged ponding area.

Engineering

1. Show culvert at entrance to tract
 - The location of the existing ARDOT culvert is shown on the "Overall Drainage Plan."
2. How is existing storm pipe in northwest corner tied to new 48" storm pipe, or is it?
 - The new culvert is not connected to the ARDOT culvert. There is approximately 65 feet between flared ends.
3. Show impact of flows on downstream infrastructure.

- Drainage calculations have been included in the attached drainage narrative.
- 4. Show drainage calculations to support culvert sizing and lack of detention.
 - Drainage calculations have been included in the attached drainage narrative.

Com Dev

1. Provide a landscape plan for the site
 - A landscape plan has been added to the plan set.
2. Fix the verbiage on the plat for the Lots/Tracts. They are each called a different name.
 - Corrected
3. On Plat Approval Signature Line, Change the title to Bryant Planning Commission Chairman
 - Corrected
4. Show Utility Connections/ Utility Plan
 - A Utility Plan has been added to the plan set.
5. Final Plat fee \$27
 - Acknowledged
6. Discuss Master Pedestrian Plan For Site. Plan Shows Multi-Use trail along this property.
 - It was my understanding this item was removed per discussions with the DRC.

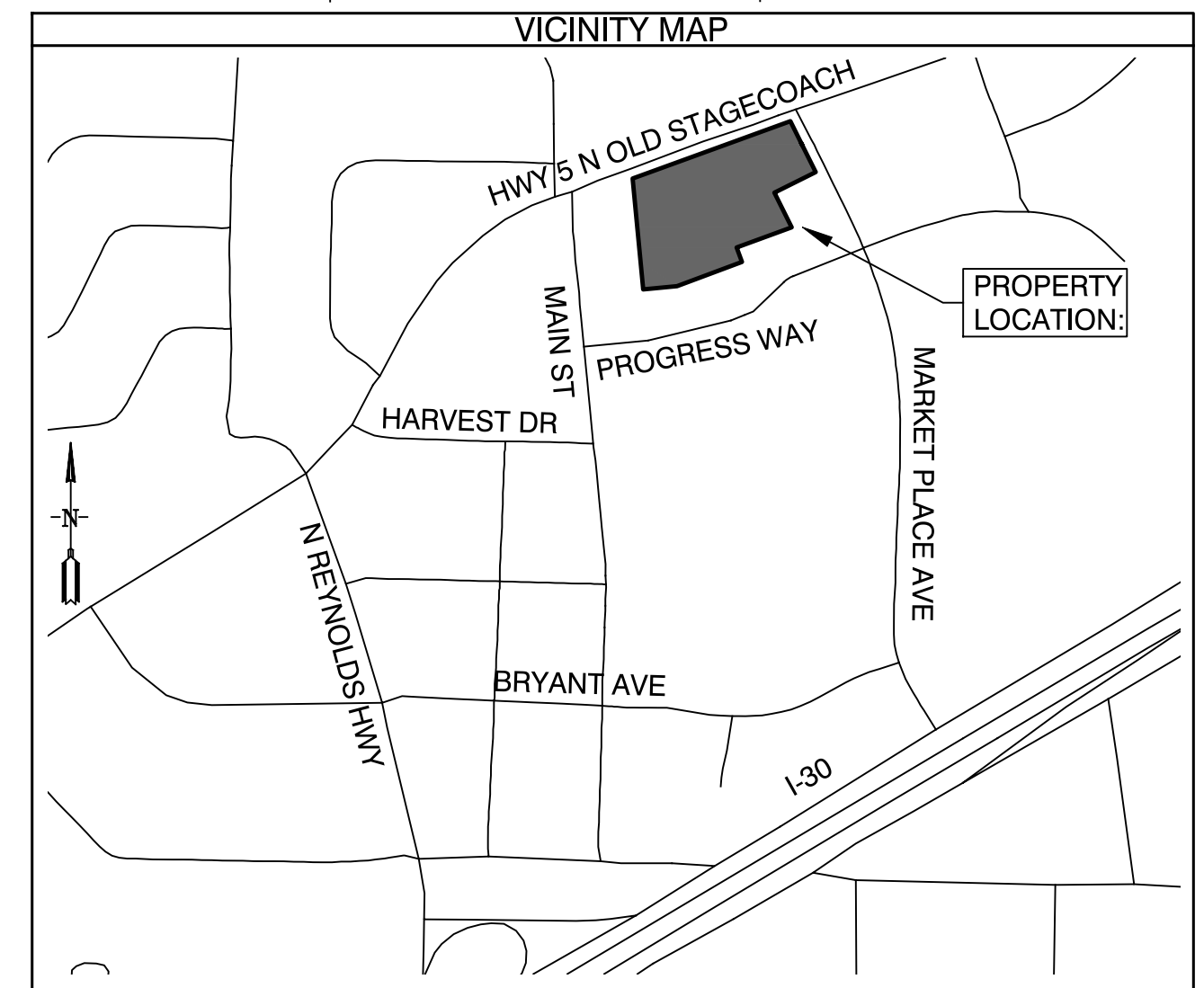
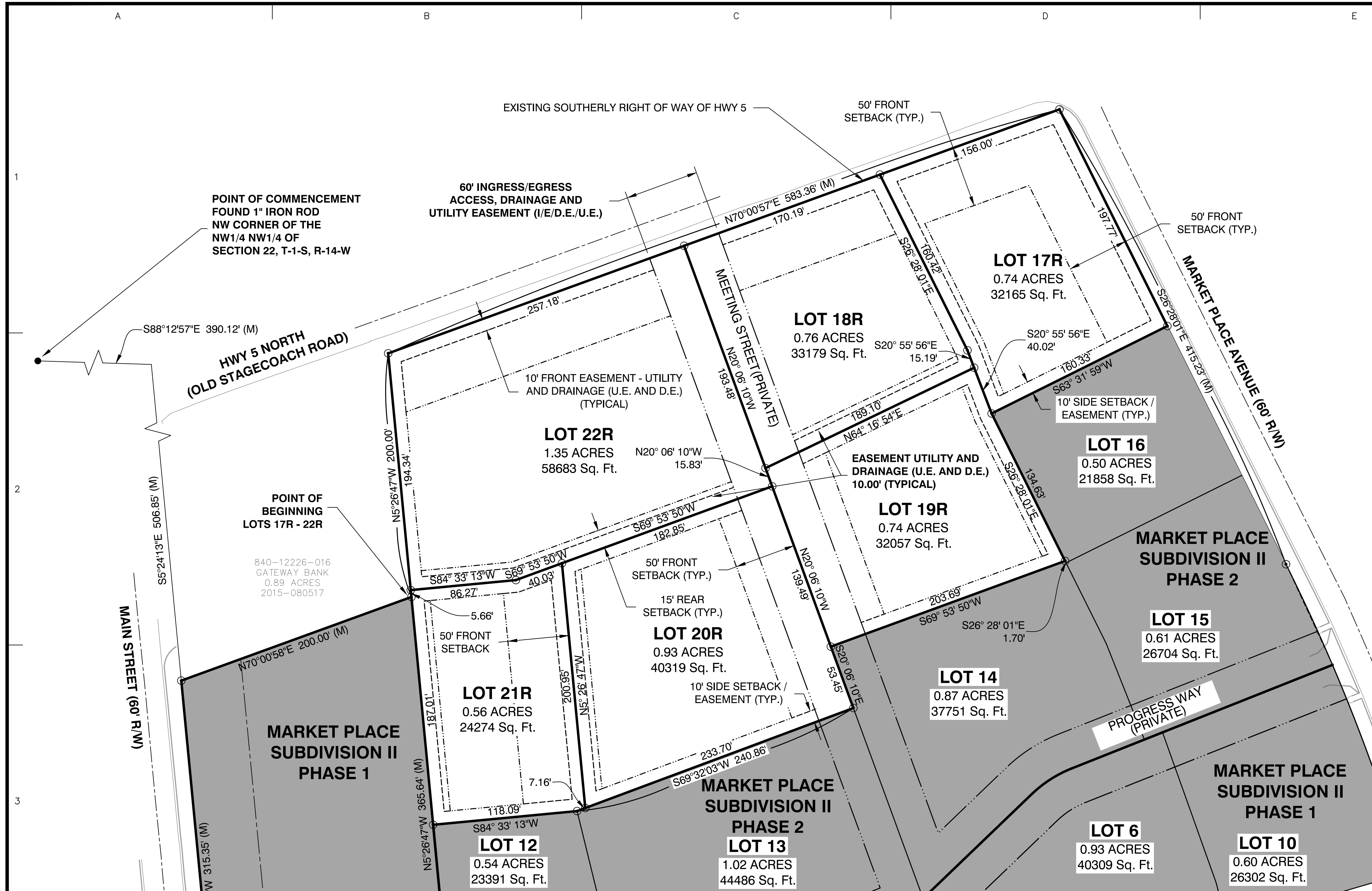
Fire

1. Discuss fire hydrant addition for the complex. Maximum distance between hydrants is 500'
 - There is an existing hydrant located east of the Merchants & Farmers entrance on Highway 5. This is shown on the utility plan.

This letter accompanies a revised civil plan set, architectural renderings, revised replat of the existing lot, and a drainage summary.

If you have any questions, please give me a call.

Sincerely,
Phillip Lewis, P.E.
501-350-9840



SUBDIVISION DESCRIPTION:

LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER (NW1/4 NW1/4), OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS:

LOTS 17R - 22R:
COMMENCING AT A FOUND 1" IRON ROD LOCATED AT THE NORTHWEST CORNER OF THE SAID NW1/4 NW1/4 OF SECTION 22, T-1-S, R-14-W; THENCE S 88°12'57" E, ALONG THE NORTH LINE THEREOF, FOR A DISTANCE OF 390.12 FEET TO A POINT; THENCE S 5°24'13" E, ALONG THE EAST RIGHT OF WAY LINE OF MAIN STREET, FOR A DISTANCE OF 506.85 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE SOUTHWEST CORNER OF GATEWAY BANK PROPERTY DEED BOOK 2015 PAGE 080517; THENCE N 70°00'58" E, LEAVING SAID RIGHT OF WAY AND ALONG SOUTH LINE OF SAID GATEWAY BANK PROPERTY, FOR A DISTANCE OF 200.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 FOR THE **POINT OF BEGINNING**; THENCE N 5°26'47" W, ALONG EAST LINE OF SAID GATEWAY BANK PROPERTY, FOR A DISTANCE OF 200.00 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EXISTING SOUTHERLY RIGHT OF WAY OF HIGHWAY 5; THENCE N 70°00'57" E, CONTINUING ALONG SAID EXISTING SOUTHERLY RIGHT OF WAY, FOR A DISTANCE OF 583.36 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED ON THE EXISTING WESTERLY RIGHT OF WAY OF MARKETPLACE AVENUE; THENCE S 26°28'01" E, ALONG SAID EXISTING WESTERLY RIGHT OF WAY, FOR A DISTANCE OF 197.77 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHEAST CORNER OF LOT 16 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 63°31'59" W, ALONG SAID NORTHERLY LINE OF LOT 16, FOR A DISTANCE OF 160.33 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF SAID LOT 16; THENCE S 26°28'01" E, ALONG WESTERLY LINE OF SAID LOT 16, FOR A DISTANCE OF 134.63 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE INTERSECTION OF THE SOUTHWEST CORNER OF SAID LOT 16 AND THE NORTHEAST CORNER OF SAID LOT 14 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°53'50" W, ALONG SAID NORTHERLY LINE OF LOT 14, FOR A DISTANCE OF 203.69 FEET TO A POINT LOCATED AT THE NORTHWEST CORNER OF SAID LOT 14 AND THE CENTER OF MEETING STREET (PRIVATE STREET); THENCE S 20°06'10" E, ALONG CENTER OF SAID MEETING STREET, FOR A DISTANCE OF 53.45 FEET TO A POINT LOCATED AT THE NORTHEAST CORNER OF LOT 13 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 69°32'03" W, ALONG THE NORTHERLY LINE OF SAID LOT 13, FOR A DISTANCE OF 240.86 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE INTERSECTION OF THE NORTHWEST CORNER OF SAID LOT 13 AND THE NORTHEAST CORNER OF LOT 12 OF MARKET PLACE SUBDIVISION II, PHASE 2; THENCE S 84°33'13" W, ALONG THE NORTHERLY LINE OF SAID LOT 12, FOR A DISTANCE OF 118.09 FEET TO A SET 1/2" REBAR WITH CAP #1573 LOCATED AT THE NORTHWEST CORNER OF LOT 12 AND ON THE EASTERLY LINE OF LOT 11 OF MARKET PLACE SUBDIVISION II, PHASE 1; THENCE N 5°26'47" W, ALONG EASTERLY LINE OF SAID LOT 11, FOR A DISTANCE OF 187.01 FEET TO THE **POINT OF BEGINNING**, CONTAINING 5.07 ACRES, MORE OR LESS.

DOCUMENTS USED:

- FINAL PLAT MARKET PLACE SUBDIVISION II, PHASE 1 BY GARNAT ENGINEERING DATED 10/14/2019
- SURVEY BY REAL ESTATE SERVICES OF SALINE COUNTY, INC. DATED 4/2/2007 KERRY LANE PLS #1141
- FINAL PLAT MARKET PLACE SUBDIVISION II, PHASE 2 BY GARNAT ENGINEERING DATED 11/14/2022
- DEED BOOK 2016 PAGE 016810
- DEED BOOK 1997 PAGE 20341
- DEED BOOK 2008 PAGE 82137
- DEED BOOK 2000 PAGE 27387
- DEED BOOK 2000 PAGE 27387
- DEED BOOK 2015 PAGE 080517
- DEED BOOK 2018 PAGE 000713
- FINAL PLAT OF MARKET PLACE SUBDIVISION SURVEYED BY GARNAT ENGINEERING, LLC DATED 6/4/2019 GEORGE WOODEN PLS #1573

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET. GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON SEPTEMBER 11, 2019.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.

PLAT CERTIFICATES:

<p>OWNER: Name: Bryant Realty Company, LLC Address: 422 North Main Street Benton, AR 72015</p>	<p>DEVELOPER: Name: Bryant Realty Company, LLC Address: 422 North Main Street Benton, AR 72015</p>	<p>CERTIFICATE OF RECORDING:</p>
<p>CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.</p> <p>Date: _____ Signed: _____ Fred Briner, Agent Bryant Realty Company, LLC</p>	<p>CERTIFICATE OF SURVEYING ACCURACY: I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.</p> <p>Date: _____ Signed: _____ George P. Wooden Registered Land Surveyor No. 1573, Arkansas</p>	<p>CERTIFICATE OF FINAL PLAT APPROVAL: Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.</p> <p>Date: _____ Signed: _____ Lance Penfield, Chairman Bryant Planning Commission</p>
<p>CERTIFICATE OF ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.</p> <p>Date: _____ Signed: _____ Vernon J. Williams Registered Professional Engineer No. 9551, Arkansas</p>		



PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: C-2
 MIN. LOT SIZE: 24,274 S.F.
 NUMBER OF LOTS: 6
 SOURCE OF WATER: CITY OF BRYANT
 SOURCE OF SEWER: CITY OF BRYANT

BUILDING SETBACKS (SB):
 FRONT - 5'
 REAR - 15'
 SIDE - 10'

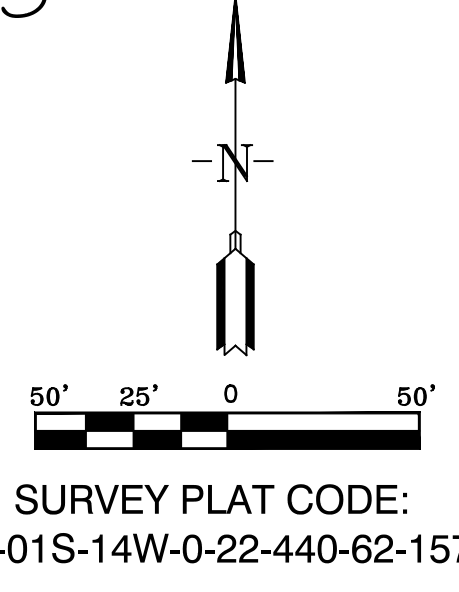
EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
 FRONT, SIDE AND REAR - 10' OR AS SHOWN
 (INGRESS/EGRESS) (I/E)
 LOT CORNERS: SET #4 REBAR WITH CAP

NOTE: DUMPSTER ENCLOSURE BEING MADE OF NON-FENCING MATERIALS AND SCREENING OF MECHANICAL EQUIPMENT.

REPLAT
 MARKET PLACE SUBDIVISION II,
 PHASE 3
 LOTS 17 THROUGH 22
 CITY OF BRYANT
 SALINE COUNTY, ARKANSAS



- SURVEY LEGEND**
- △ - Computed point
 - - Found monument
 - - Set #4 RB/Plas. Cap or Mag Nail with Shiner
 - (M) - Measured
 - (R) - Record
 - (P) - Platted

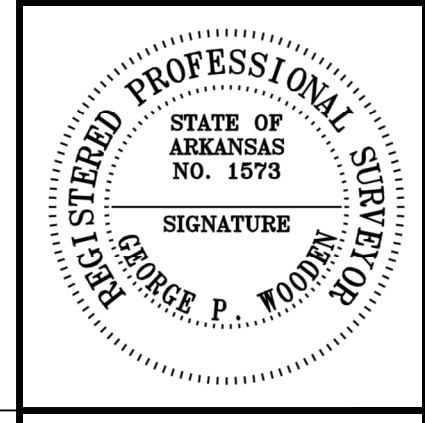


SURVEY PLAT CODE:
 500-01S-14W-0-22-440-62-1573

BY	
REVISION	
DATE	

Designing our client's success
GarNat Engineering, LLC
 3825 Mt. Carmel Road
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72018
 Ph: (501) 408-4650
 garnatenginc@gmail.com

BRYANT REALTY COMPANY, LLC
MARKET PLACE SUBDIVISION II,
PHASE 3
CITY OF BRYANT
SALINE COUNTY, ARKANSAS



REPLAT
LOTS 17 - 22
PHASE 3

PROJECT NO:
18087

DATE:
MAY 7, 2024

SHEET NO:
V1.0

Bryant Planning Commission

Subdivision Checklist

MARKET PLACE II
PHASE 3 - REPLAT

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (whichever is greater) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

MARKET PLACE II SUBDIVISION, PHASE 3

Subdivision/Project Name REPLAT LOTS 17 THROUGH 22

Contact Person VERNON WILLIAMS Phone (501) 408-4650

Mailing Address 3825 MT CARMEL ROAD, BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning C-2
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length of tangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

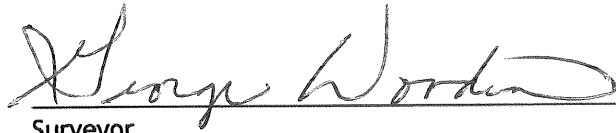
(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

MARKET PLACE II

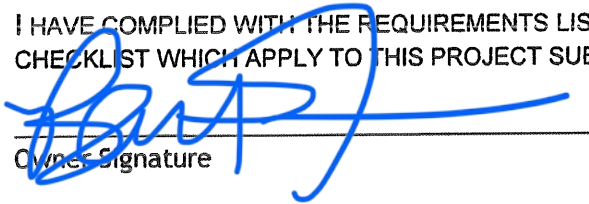
PHASE 3

Name of Subdivision

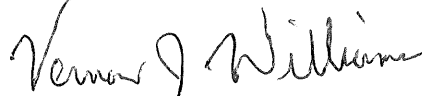


Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.



Owner Signature



Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

GNE

3825 Mt Carmel Rd.
Bryant, AR 72022

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018

May 7, 2024

Mr. Colton Leonard
Bryant Planning Coordinator/Planning Commission Secretary
210 SW 3rd Street
Bryant, AR 72022

Re: Replat – Market Place II Subdivision Phase 3 Lots 17 through 22

Dear Mr. Leonard:

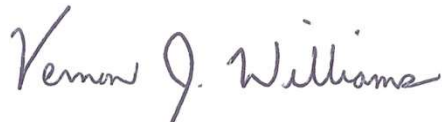
Please allow this letter and following list of enclosures to serve as my application for approval of the referenced replat. It is my desire that this matter be included on the agenda for your June 10, 2024 City of Bryant Planning Commission meeting. The developer for the project is Bryant Realty Company, LLC, 422 North Main Street, Benton, Arkansas 72015 bferg620@gmail.com (501) 840-2282.

List of Enclosures

- Replat
- Bryant Subdivision Checklist

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,
GarNat Engineering, LLC



Vernon J. Williams, P.E., President