

# **Bryant Planning Commission Meeting**

Boswell Municipal Complex - City Hall Court Room

210 SW 3rd Street

YouTube: <a href="https://www.youtube.com/c/bryantarkansas">https://www.youtube.com/c/bryantarkansas</a>

Date: July 08, 2024 - Time: 9:00 AM

# Call to Order

# **Approval of Minutes**

- 1. Planning Commission Meeting Minutes 6/10/2024
  - 2024-06-10 Planning Commission Meeting Minutes.pdf

# **Announcements**

# **Director's Report**

2. Brief Update on Master Pedestrian/Trail Plan

# **DRC Report**

3. Walgreens - 5500 HWY 5 - Site Plan Revisions

Kimley-Horn - Requesting Approval for Site Plan Revisions - APPROVED

- · 0880-PLN-01.pdf
- <u>0880-LTR-01.pdf</u>
- 4. Big Dog Gym 201 S Elm Fencing

Requesting Approval for Fencing - APPROVED

- <u>0881-PLN-01.pdf</u>
- 5. Five Star Fireworks Temporary Business License

Mark Bradford - Requesting Approval for Temporary Business License for Firework Sales at: 1.) 5407 HWY 5, 2.) 23395 I-30 - APPROVED, contingent upon proof of insurance, copy of state police license, and site inspection at each location.

- <u>0877-APP-01.pdf</u>
- 0878-APP-01.pdf

# 6. Hurricane Lake Baptist Church - 2516 Springhill Road - New Awning

Requesting Site Plan Approval for New Awning - APPROVED

• <u>0885-PLN-01.jpg</u>

# 7. Arnold's Fireworks - Temporary Business License

Terry Harper - Requesting Approval for Temporary Business License for Firework Sales at: 1.) 604 S Reynolds Road, 2.) 2625 Springhill Road - APPROVED, Contingent upon Site Inspections

- · 0883-APP-01.pdf
- 0882-APP-01.pdf

### 8. Miller and Hilltop Road - Two Lot Subdivision Plat

Hope Consulting - Requesting Final Plat Approval - RECOMMENDED APPROVAL, Contingent upon ROW Modification to plat, and BOA

# 9. Little Caesars - N. Reynolds and Brown Ln - Plat

Thomas Engineering - Requesting Approval for One Lot Commercial Subdivison Plat - RECOMMENDED APPROVAL

# 10. Alcoa 40 Park - Lacrosse Concessions Container

 $Adam\ Baker-Requesting\ Non-standard\ Building\ Approval\ for\ use\ of\ Modified\ Metal\ Shipping\ Container-RECOMMENDED\ APPROVAL$ 

# **Old Business**

# **New Business**

# 11. Miller and Hilltop Road - Two Lot Subdivision Plat

Hope Consulting - Requesting Final Plat Approval

• <u>0884-PLN-01.pdf</u>

# 12. Little Caesar's - N Reynold's and Brown Ln

Thomas Engineering - Requesting Approval for One Lot Commercial Plat

- 0886-LTR-01.pdf
- · 0886-PLT-01.pdf

#### 13. Alcoa 40 Park - Lacrosse Concessions Container

Adam Baker - Requesting Non-standard Building Approval for use of Modified Metal Shipping Container

· 0887-PLN-01.pdf

# 14. Planning Commission By-Law Revisions

Discussion and vote on approval of revisions to by-laws

# **Adjournments**



# **Bryant Planning Commission Meeting Minutes**

Monday, June 10th, 2024 Boswell Municipal Complex – City Hall Courtroom 6:00 PM

# **Agenda**

#### **CALL TO ORDER**

- Chairman Lance Penfield calls the meeting to order.
- Commissioners Present: Penfield, Hooten, Statton, Johnson, Burgess, Edwards, Erwin, Speed
- Commissioners Absent: None

# **ANNOUNCEMENTS**

None

# **APPROVAL OF MINUTES**

1. Planning Commission Meeting Minutes 4/11/2024

Motion to Approve Minutes made by Commissioner Stratton, Seconded by Commissioner Burgess. Voice Vote, 8 Yays, 0 nays. 0 Absent.

Vice-Chairman Hooten read the DRC Report.

# **DRC REPORT**

- 2. **A-1 Fireworks 25612 I-30** Temporary Business License Joan Rey - Requesting Approval for TBL for Firework Stand - APPROVED
- **3.** 25631 I-30 Fencing McDonald Fencing - Requesting Approval for New Fencing on Site - APPROVED

# 4. 2312 Bishop Road - Site Plan Addition

Giron Builders - Requesting Approval for New Building Addition - APPROVED with Granted Administrative Waiver on the one Facade of new addition. APPROVED fencing around site as proposed in meeting, contingent upon review of commercial fencing permit.

- **5.** Marketplace II Subdivision Phase 3 Lots 17R, 18R, 22R Site Plans GarNat Engineering Requesting Site Plan Approval, APPROVED, Contingent upon Replat Approval by Planning Commission and Facades Provided for Building Permits
- **6. Creekside Addition Ph. 2** Replat GarNat Engineering - Requesting Approval for a Replat to fix a wording error on Plat, APPROVED
- **7. Seven Brew Coffee 2202 Reynolds Road** Sign Permit Springfield Signs Requesting Sign Permit Approval APPROVED
- **8.** Practical Wellness Clinic 205 Progress Way Ste 100 Sign Permit L Graphics Requesting Sign Permit Approval STAFF APPROVED
- **9. Evie Brooks 3507 Market Place Ste 100** Sign Permit L Graphics - Requesting Sign Permit Approval - STAFF APPROVED
- **10.Splash Carwash 107 Bryant Ave** Sign Permit Arkansas Sign and Neon - Requesting Sign Permit Approval - STAFF APPROVED
- **11.Empire Vape and Tobacco 319 Bryant Ave** Sign Permit Doug Blanford - Requesting Sign Permit Approval - STAFF APPROVED
- **12.Gassy's Fuel Station 6101 HWY 5** Sign Permit

  Drew Files Requesting Sign Permit Approval STAFF APPROVED
- **13.Edward Jones 2305 Springhill Road** SIGN PERMIT

  Arkansas Sign & Neon Requesting Sign Permit Approval STAFF APPROVED
- **14.Hill Valley Estates** PUD

Hope Consulting - Requesting Approval for PUD Zoning Plan. Project previously named "Legacy Woods - PUD" - RECOMMENDED APPROVAL, Based on Completed Application Requirements

15.1710 Shoal Road - Rezoning R-E to R-1

William Kalkbrenner - Requesting Approval for Rezoning from R-E to R-1 - RECOMMENDED APPROVAL, Based on Completed Application Requirements

16.3927 Springhill Road - Rezoning R-2 to R-1.S

Tim Lemons - Requesting Approval for Rezoning from R-2 to R-1.S - RECOMMENDED APPROVAL, Based on Completed Application Requirements

#### 17.307 SW 4th Street - Conditional Use Permit

Bill Gray - Requesting Approval of CUP for Additional Square Footage of Accessory Structure - RECOMMENDED APPROVAL, Based on Completed Application Requirements

# **18.2806 Hurricane Lake Road** - Two Lot Subdivision

Hope Consulting - Requesting Approval for Two Lot Subdivision - RECOMMENDED APPROVAL

# 19. Springhill Retail - Commercial Center - Springhill and HWY 5

Phillip Lewis Engineering - Requesting Approval for Commercial Subdivision Plat, Waiver on Building Multi-Use Trail along the Springhill Road Frontage, and Site Plan. RECOMMENDED APPROVAL of Site Plan and Waiver. APPROVED Site Plan contingent upon updated plat and engineering review of drainage plan.

# 20. Marketplace II Subdivision Phase 3 - Lots 17, 18, & 22

GarNat Engineering - Requesting Approval for Replat - RECOMMENDED APPROVAL

### **PUBLIC HEARING**

# **21.Hill Valley Estates** - PUD

Hope Consulting - Requesting Approval for PUD Zoning Plan. Project listed as "Legacy Woods - PUD" in DRC report

After a brief discussion on the project, Chairman Penfield asked for anyone wishing to speak to come forward and talk at the podium. Three residents voiced comments and some concerns.

Joyce Koozer - 2805 Barbara Ct. - Stormwater and flooding concerns.

Tenia Marshal - 2800 Mary Kathryn Ct - Concerns over stormwater and wanted to know if any greenspace or trees would be left between the development and the neighboring subdivision.

Tonisha Farmer - 2800 Lynn Ct - Concerned about the loss of the trees and screening. Through discussion, it was found out that her property does not back up to this development, but to the existing building/lot just to the South.

Jonathan Hope addressed the concerns of those that spoke, and after brief discussions between him and the Commission, Chairman Penfield called for a roll call vote to approve. 8 Yays, 0 nays. 0 Absent.

# **22.1710 Shoal Road** - Rezoning R-E to R-1

William Kalkbrenner - Requesting Approval for Rezoning from R-E to R-1

After a brief discussion on the project, Chairman Penfield asked for anyone wishing to speak to come forward and talk at the podium. None in attendance came forward to speak. Seeing and hearing none, Chairman Penfield called for a roll call vote to approve. 8 Yays, 0 nays. 0 Absent.

# 23.3927 Springhill Road - Rezoning R-2 to R-1.S

Tim Lemons - Requesting Approval for Rezoning from R-2 to R-1.S

After a brief discussion on the project, Chairman Penfield asked for anyone wishing to speak to come forward and talk at the podium. Three residents voiced concerns.

Jack Eoff - 2508 Hurricane Garden - Concerns over stormwater. Existing stormwater and flooding issues in the subdivision. Also concerned over the retaining wall between subdivision and this property.

Stacy Baker - 2527 Hurricane Garden - Concerns of Stormwater and Flooding. POA Board member. There are existing flooding issues in Hurricane and don't want more water to be put off into their subdivision.

Diane Williams - 5513-4 St Regis - Wanted to know where the road would be going on the proposed subdivision. Concerned about the traffic impact to Springhill Road.

There was discussion between Tim Lemons and the Commission on the lot sizes and being able to meet stormwater requirements that are necessary for the potential new development. Tim Lemons addressed the concerns regarding stormwater, stating that they would have to meet the very stringent stormwater guidelines the city has in place. After the discussions, Chairman Penfield called for a roll call vote to approve. 0 Yays, 8 Nays. 0 Absent. Rezoning was not approved, Chairman Penfield stated the reasoning is that they feel he will need the additional space in order to adequately take care of the stormwater for the site.

# 24.307 SW 4th Street - Conditional Use Permit

Bill Gray - Requesting Approval of CUP for Additional Square Footage of Accessory Structure

After a brief discussion on the conditional use permit, Chairman Penfield asked for anyone wishing to speak to come forward and talk at the podium. None in attendance came forward to speak. Seeing and hearing none, Chairman Penfield called for a roll call vote to approve. 7 Yays, 1 nay. 0 Absent.

# **NEW BUSINESS**

### 25.2806 Hurricane Lake Road - Two Lot Subdivision

Hope Consulting - Requesting Approval for Two Lot Subdivision

After a brief discussion on the item, Chairman Penfield called for a roll call vote to approve. 8 Yays, 0 nays. 0 Absent.

# 26.Springhill Retail - Commercial Center - Springhill and HWY 5

Phillip Lewis Engineering - Requesting Approval for Commercial Subdivision Plat, Waiver on Building Multi-Use Trail along the Springhill Road Frontage, and Site Plan

Interim Planning Director Colton Leonard stated that the site plan was approved by the DRC. This approval is for the Commercial Plat to go along with the site plan and a waiver on the proposed multi-use trail that is shown along the East property line.

After a brief discussion on the item, Chairman Penfield called for a roll call vote to approve the plat. 8 Yays, 0 nays. 0 Absent.

Chairman Penfield then called for a roll call vote to approve the waiver on the trail and send it onto City Council for their approval. 8 Yays, 0 nays. 0 Absent.

# 27. Marketplace II Subdivision Phase 3 - Lots 17, 18, & 22

GarNat Engineering - Requesting Approval for Replat

After a brief discussion on the item, Chairman Penfield called for a roll call vote to approve the plat. 8 Yays, 0 nays. 0 Absent.

# 28. Planning Commission By-Law Revision

Discussion on Revisions to Commission By-laws

After a brief discussion on the by-law changes, Interim Director Colton Leonard let the commissioners know to review the revisions and send any comments to him through email. The plan is to bring the By-law revisions back before the Planning Commission at the July meeting for a more detailed review and vote on the approval of the changes.

## **ADJOURNMENT**

Motion to Adjourn	n made by Commis	sioner Edwards,	Seconded by Co	mmissioner
Buraess. Voice Va	ote. 8 Yavs. 0 navs.	. 0 Absent. Meet	ina was adiourn	ed.

Chairman, Lance Penfield	Date
Secretary, Tracy Picanco	Date

# CONSTRUCTION PLANS for

# WALGREENS #10240 - BRYANT, AR

5500 HIGHWAY 5 N, BRYANT, AR 72022 CITY OF BRYANT, SALINE COUNTY, ARKANSAS

# UTILITY AND GOVERNING AGENCIES **CONTACT LIST:**

# WATER COMPANY

CITY OF BRYANT PUBLIC WORKS TIM FOURNIER 210 SW 3RD STREET BRYANT, AR 72022 (501) 943-0469

# SANITARY SEWER COMPANY

CITY OF BRYANT PUBLIC WORKS TIM FOURNIER 210 SW 3RD STREET BRYANT, AR 72022 (501) 943-0469

# FIRE MARSHAL

CITY OF BRYANT FIRE DEPARTMENT THOMAS HAMMOND 312 ROYA LANE BRYANT, AR 72022 (501) 943-0397

# **EROSION CONTROL**

CITY OF BRYANT ENGINEERING/CONSTRUCTION SCOTT CHANDLER 210 SW 3RD STREET BRYANT, AR 72022 (501) 943-0454

# POWER COMPANY

**ENTERGY** 1(800) 368-3749

# CABLE COMPANY

XFINITY (800) 934-6489

# DEPARTMENT OF TRANSPORTATION

ARKANSAS DEPARTMENT OF TRANSPORTATION (501) 569-2000

# PLANNING DEPARTMENT

CITY OF BRYANT COMMUNITY DEVELOPMENT COLTON LEONARD 210 SW 3RD STREET BRYANT. AR 72022 (501) 943-0301

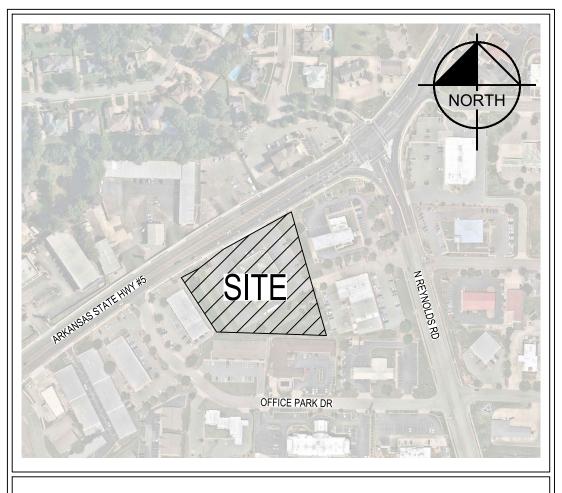
# ZONING DEPARTMENT

CITY OF BRYANT COMMUNITY DEVELOPMENT COLTON LEONARD 210 SW 3RD STREET BRYANT, AR 72022 (501) 943-0301

# PHONE COMPANY

(800) 288-2020

**CENTERPOINT ENERGY** (800) 992-7552



# SITE LOCATION MAP

KIMLEY-HORN SHALL HAVE NO LIABILITY WHATSOEVER FOR ANY COSTS ARISING OUT OF THE CLIENT'S DECISION TO OBTAIN BIDS OR PROCEED WITH CONSTRUCTION BEFORE KIMLEY-HORN HAS ISSUED FINAL, FULLY-APPROVED PLANS AND SPECIFICATIONS. THE CLIENT ACKNOWLEDGES THAT ALL PRELIMINARY PLANS ARE SUBJECT TO SUBSTANTIAL REVISION UNTIL PLANS ARE FULLY APPROVED AND ALL PERMITS

# **NOTICE TO CONTRACTOR:**

ALL WORK AND MATERIALS SHALL CONFORM TO THE MOST CURRENT STANDARDS AND SPECIFICATIONS AS PROVIDED IN THE:

CITY OF BRYANT ZONING CODE AND ORDINANCES ARDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES OR THE MORE RESTRICTIVE OF ANY STANDARDS THAT CONFLICT.

# SHEET INDEX COVER SHEET GENERAL NOTES TOPOGRAPHICAL SURVEY **EROSION CONTROL PLAN - PHASE 1 EROSION CONTROL DETAILS** SITE PLAN GRADING AND DRAINAGE PLAN

# PROJECT OWNER AND CONSULTANT INFORMATION

# DEVELOPER:

WALGREENS COMPANY 106 WILMOT ROAD DEERFIELD, IL 60015 PHONE (508) 265-9281 **CONTACT: BENJAMIN LANGLOIS** 

# ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.

805 S WALTON BLVD SUITE #520 BENTONVILLE, AR 72712 (479) 388-1015 TEL

CONTACT: BRIAN M. COX, P.E. (AR)

CORNERSTONE LAND SURVEYING 25 SKY DRIVE GREENBRIER, AR 72058

**CONTACT: JARED PAVATT** 

PHONE (501) 679-1318

**SURVEYOR:** 

GEOMETRIC CONTROL HORIZONTAL DATUM: NAD 83 (2011) **VERTICAL DATUM:** NAVD 88 DRAWING UNITS:





**SHEET NUMBER** 

0

ARKANSAS

LICENSED

**PROFESSIONA** 

ENGINEER

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This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE PLANS, AUTHORITY HAVING JURISDICTION (AHJ) STANDARD DETAILS AND SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ADDENDA ISSUED, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE AHJ SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF
- THE CONTRACTOR SHALL COMPLY WITH AHJ "GENERAL NOTES" FOR CONSTRUCTION, IF EXISTING AND REQUIRED BY THE AHJ. FOR INSTANCES WHERE THEY CONFLICT WITH THESE KH GENERAL NOTES, THEN THE MORE RESTRICTIVE SHALL APPLY.

CONFLICTING SPECIFICATIONS OR DETAILS. THE MORE RESTRICTIVE SPECIFICATION AND DETAIL SHALL BE FOLLOWED

- 3. THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS.
- . THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE EXISTING CONDITIONS PRIOR TO BIDDING CONSTRUCTION ACTIVITIES. . THE EXISTING CONDITIONS SHOWN ON THESE PLANS WERE PROVIDED BY THE PROJECT SURVEYOR AND ARE BASED ON THE BENCHMARKS SHOWN. THE CONTRACTOR SHALL REFERENCE THE SAME BENCHMARKS.
- . THE CONTRACTOR SHALL REVIEW AND VERIFY THE EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES IMMEDIATELY
- . IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHIC SURVEY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN 9. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE, MODIFICATION, AND REMOVAL FOR EACH TEMPORARY THE CONTRACTOR MAY SUPPLY, AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY PREPARED BY A REGISTERED PROFESSIONAL LAND SURVEYOR TO THE CLIENT/OWNER AND ENGINEER FOR REVIEW.
- . THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION SURVEYING AND STAKING FOR THE PROJECT
- ). THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROL, INCLUDING BENCHMARKS PRIOR TO COMMENCING CONSTRUCTION. PROPERTY LINES AND CORNERS SHALL BE HELD AS THE HORIZONTAL CONTROL.
- 10.THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS AS THEY RELATE TO CONSTRUCTION ACTIVITIES, INCLUDING ALL UTILITY HORIZONTAL AND VERTICAL ENTRANCES/EXITS FROM THE BUILDING. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS WITHOUT PRIOR APPROVAL
- 11.CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. CLIENT/OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- 12.CONTRACTOR SHALL CALL  $\,$  811 10 DAYS PRIOR TO COMMENCING CONSTRUCTION OR ANY EXCAVATION.
- 13.CONTRACTOR SHALL USE EXTREME CAUTION AS THE SITE MAY CONTAIN VARIOUS KNOWN AND UNKNOWN PUBLIC AND PRIVATE 14.LOCATIONS, ELEVATIONS, DEPTHS, AND DIMENSIONS OF EXISTING UTILITIES WERE OBTAINED FROM SURVEY, AVAILABLE UTILITY
- COMPANY MAPS AND PLANS. AND ARE CONSIDERED APPROXIMATE AND INCOMPLETE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE PRESENCE, LOCATION, ELEVATION, DEPTH, AND DIMENSION OF EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY WHEN A PROPOSED IMPROVEMENT CONFLICTS WITH AN EXISTING UTILITY.
- 15.THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY ADJUSTMENTS AND RELOCATIONS OF EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, ADJUSTING EXISTING MANHOLES TO MATCH PROPOSED GRADE. RELOCATING EXISTING POLES AND GUY WIRES AS NEEDED. ADJUSTING THE HORIZONTAL OR VERTICAL ALIGNMENT OF EXISTING UNDERGROUND UTILITIES TO ACCOMMODATE PROPOSED GRADE OR CROSSING WITH A PROPOSED UTILITY,
- AND ANY OTHERS THAT MAY BE ENCOUNTERED THAT ARE UNKNOWN AT THIS TIME AND NOT SHOWN ON THESE PLANS. 16.CONTRACTOR SHALL ARRANGE FOR OR PROVIDE, AT ITS EXPENSE, ALL GAS, TELECOMMUNICATIONS, CABLE, OVERHEAD AND
- UNDERGROUND POWER LINE, AND UTILITY POLE ADJUSTMENTS NEEDED. 17.CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF FRANCHISE UTILITIES THAT ARE NECESSARY FOR ON-SITE AND OFF-SITE CONSTRUCTION, AND SERVICE TO THE PROPOSED PROJECT.
- 18.THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTORS' FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. IF IT IS NECESSARY TO SHORE, BRACE, SWING 20.SOIL STABILIZATION SHALL BE INITIATED IMMEDIATELY WHEN CLEARING, GRADING, OR EXCAVATION ACTIVITIES HAVE PERMANENTLY OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 19.BRACING OF UTILITY POLES MAY BE REQUIRED BY THE UTILITY COMPANIES WHEN TRENCHING OR EXCAVATING IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR, WITH NO SEPARATE PAY ITEM FOR THIS WORK.
- 20.CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND UNDERGROUND POWER LINES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND UTILITY OWNER REGULATIONS PERTAINING TO WORK SETBACKS FROM POWER LINES.
- 21.THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, APPROVALS, AND BONDS PRIOR TO CONSTRUCTION.
- 22.THE CONTRACTOR SHALL HAVE THE FOLLOWING AVAILABLE AT THE JOB SITE: A COPY OF THE CONTRACT DOCUMENTS. LATEST SEALED PLANS, GEOTECHNICAL REPORT AND ADDENDA, PROJECT AND AHJ SPECIFICATIONS, SPECIAL CONDITIONS, COPIES OF REQUIRED CONSTRUCTION PERMITS, STORM WATER POLLUTION PREVENTION PLAN (SWPPP) (INCLUDING THE EROSION CONTROL PLANS), AND INSPECTION REPORTS.
- 23.ALL SHOP DRAWINGS AND OTHER DOCUMENTS THAT REQUIRE ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR NO LESS THAN 10 BUSINESS DAYS IN ADVANCE OF CONSTRUCTION OF THAT ITEM, SO THAT THERE IS SUFFICIENT TIME FOR REVIEW AND
- 24.ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES, AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO USE OF THE FACILITY AND THE FINAL CONNECTION OF SERVICES.
- 25.CONTRACTOR SHALL ARRANGE FOR REQUIRED AHJ INSPECTIONS.
- 26.CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES, UNLESS OTHERWISE AGREED UPON WITH OWNER.
- 27.ALL SYMBOLS SHOWN ON THESE PLANS (E.G. FIRE HYDRANT, METERS, VALVES, INLETS, ETC....) ARE FOR PRESENTATION PURPOSES ONLY AND ARE NOT TO SCALE. THE CONTRACTOR SHALL REFER TO THE DETAILS IN THESE PLANS OR OTHER AHJ APPROVED DETAILS FOR LOCATIONS. IN THE EVENT OF A CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION.
- 28.THE SCOPE OF WORK FOR THE CIVIL IMPROVEMENTS SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING, UNLESS OTHERWISE SHOWN. REFERENCE THE BUILDING PLANS (E.G. ARCHITECTURAL, STRUCTURAL, MEP) FOR AREAS WITHIN 5-FEET OF THE BUILDING AND WITHIN THE BUILDING FOOTPRINT.
- 29.REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL FINAL BUILDING DIMENSIONS.

SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMEDIATELY.

- 30.THE PROPOSED BUILDING FOOTPRINT(S) SHOWN IN THESE PLANS WAS PROVIDED TO KH BY THE PROJECT ARCHITECT. DIMENSIONS AND/OR COORDINATES SHOWN ON THESE PLANS WERE BASED ON THE PROVIDED ARCHITECTURAL FOOTPRINT. THE CONTRACTOR IS SOLELY RESPONSIBLE TO VERIFY WHAT PART OF THE BUILDING THE ARCHITECT'S FOOTPRINT REPRESENTS (E.G. SLAB, OUTSIDE WALL, MASONRY LEDGE, ETC...) AND TO CONFIRM ITS FINAL POSITION ON THE SITE BASED ON THE FINAL ARCHITECTURAL FOOTPRINT (WHICH COULD VARY FROM WHAT IS SHOWN), CIVIL DIMENSION CONTROL PLAN, SURVEY BOUNDARY AND/OR PLAT. THE CONTRACTOR
- 31.ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING SUBSEQUENT ADDENDA. DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEERS RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE
- 32.CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS TESTING AND CERTIFICATION (EARTHWORK, PAVING, ETC...), UNLESS SPECIFIED OTHERWISE BY OWNER. ALL MATERIALS TESTING SHALL BE COORDINATED WITH THE APPROPRIATE AHJ INSPECTOR AND COMPLY WITH AHJ STANDARD SPECIFICATIONS AND THE GEOTECHNICAL REPORT. TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING MATERIALS. THE OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR
- 33.ALL COPIES OF MATERIALS TEST RESULTS SHALL BE SENT TO THE OWNER AND ENGINEER DIRECTLY FROM THE TESTING AGENCY. 34.IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE MATERIALS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND AHJ SPECIFICATIONS.
- 35.ALL CONTRACTORS SHALL CONFINE THEIR ACTIVITIES TO THE WORK AREA. ANY DAMAGE RESULTING FROM ENCROACHMENTS OUTSIDE OF THE WORK AREA SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO REPAIR.
- 36.THE CONTRACTOR SHALL PROTECT ALL EXISTING: STRUCTURES, UTILITIES, MANHOLES, POLES, GUY WIRES, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, COMMUNICATION BOXES/PEDESTALS, OR OTHER FACILITIES UNLESS SPECIFICALLY NOTED FOR RELOCATION OR

  3. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT REMOVAL. ANY DAMAGES TO PROTECTED ITEMS WILL BE REPAIRED AT NO COST TO THE OWNER.
- 37.THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE OR PUBLIC PROPERTY TO ORIGINAL CONDITION OR BETTER AT NO COST TO THE OWNER.
- 38.ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER. ETC... THAT ARE TO BE RELOCATED DURING CONSTRUCTION.
- AND CULVERTS ARE FREE OF OBSTRUCTIONS AT ALL TIMES.
- 41.THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TRENCH SAFETY PLAN, PREPARED BY A PROFESSIONAL ENGINEER IN THE STATE THE PROJECT IS LOCATED PRIOR TO CONSTRUCTION. IF REQUIRED, THE CONTRACTOR SHALL SUBMIT THE TRENCH SAFETY PLAN TO THE AHJ. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH AHJ. STATE. AND FEDERAL REQUIREMENTS, INCLUDING OSHA FOR ALL TRENCHES. NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT WITHOUT PRIOR WRITTEN APPROVAL OF THE AHJ.
- 42.THE CONTRACTOR SHALL KEEP TRENCHES FREE OF WATER.
- 43.SITE SAFETY IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR
- 44.THESE PLANS DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE ENGINEER'S SEAL HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL REQUIRED SAFETY PROCEDURES AND PROGRAMS.
- 45.SIGNS RELATED TO SITE OPERATION OR SAFETY ARE NOT INCLUDED IN THESE PLANS.
- 46.THE LOCATION OF THE CONTRACTOR'S FIELD OFFICE AND STAGING AREA SHALL BE AGREED ON BY THE OWNER AND CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING REQUIREMENTS ASSOCIATED WITH THE CONSTRUCTION OFFICE, JOB TRAILER, MATERIAL STORAGE, AND STAGING OPERATIONS.
- 47.LIGHT POLES, SIGNS, AND OTHER OBSTRUCTIONS SHALL NOT BE PLACED IN ACCESSIBLE ROUTES. 48.ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO MUTCD.
- 49.RIM ELEVATIONS OF ALL EXISTING AND PROPOSED MANHOLES SHALL BE COORDINATED OR ADJUSTED TO BE FLUSH WITH TOP OF
- 50.CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED VALVES, FIRE HYDRANTS, AND OTHER UTILITY APPURTENANCES TO BE FLUSH WITH FINISHED GRADES AT THE TIME OF PAVING.
- 51.THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SEQUENCING/PHASING, AND SHALL CONTACT THE APPROPRIATE AHJ OFFICIALS, INCLUDING BUILDING OFFICIAL, ENGINEERING INSPECTOR, AND FIRE MARSHALL TO LEARN OF ANY REQUIREMENTS.
- 52.CONTRACTOR IS RESPONSIBLE FOR PREPARATION, SUBMITTAL, AND AHJ APPROVAL OF A TRAFFIC CONTROL PLAN PRIOR TO THE
- START OF CONSTRUCTION. ONCE APPROVED, IT IS THE CONTRACTOR'S RESPONSIBILITY FOR THE IMPLEMENTATION OF THE PLAN. 53.THE CONTRACTOR SHALL KEEP A NEAT AND ACCURATE RECORD OF CONSTRUCTION, INCLUDING ANY DEVIATIONS OR VARIANCES FROM THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT PLANS TO THE ENGINEER AND AHJ, IDENTIFYING ALL DEVIATIONS AND VARIATIONS MADE DURING CONSTRUCTION.

GENERAL PERMIT (PERMIT NO. ARR150000)

- . THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING ENVIRONMENTAL QUALITY AGENCY, INCLUDING, BUT NOT LIMITED TO THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY ("ADEQ") AUTHORIZATION TO DISCHARGE STORMWATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM AND THE ARKANSAS WATER AND AIR POLLUTION CONTROL ACT

- 3. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS, STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND SPECIFICATIONS
- 4. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL BEST MANAGEMENT PRACTICES (BMPS) (INSTALLATION, IMPLEMENTATION,
- MAINTENANCE, REPORTING, AND EFFECTIVENESS OF ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES), ALSO INCLUDING UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
- 5. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT EACH INLET PER APPROVED DETAILS.
- 6. THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED WITH FINAL STABILIZATION.
- 7. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY EROSION AND SEDIMENT CONTROL MEAUSURES NEEDED DUE TO PROJECT
- 8. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND MAKE
- FIELD ADJUSTMENTS OR MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE MEASURES ARE NOT WORKING EFFECTIVELY TO CONTROL EROSION AND PREVENT SEDIMENT FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- EROSION AND SEDIMENT CONTROL MEASURES EMPLOYED IN THE SWPPP, IF APPLICABLE.
- 10.0FF-SITE SOIL BORROW. SPOIL. AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED PART OF THE PROJECT SITE AND MUST COMPLY WITH THE SWPPP FOR THIS PROJECT. IF THE OFF-SITE AREA IS NOT COVERED UNDER AN APPROVED PERMIT FOR SOIL DISTURBING ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH PERMITTING AND ENSURE ADEQUATE BMPS ARE USED TO MANAGE RUNOFF FOR THE AREA. THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION IS ACHIEVED ON ANY OFF-SITE 3. RETAINING WALLS SHALL FIT IN THE WALL ZONE OR LOCATION SHOWN ON THESE PLANS AREA PRIOR TO THE COMPLETION OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP AND EROSION CONTROL PLAN TO INCLUDE ANY OFF-SITE AREAS THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
- 11.ALL STAGING, STOCKPILES, SPOIL, AND STORAGE AREAS SHALL BE LOCATED AND BMPS UTILTIZED TO ENSURE THERE IS NO ADVERSE **EFFECT TO STORM WATER QUALITY**
- 12.CONTRACTORS SHALL INSPECT ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. DISTURBED AREAS. AND VEHICLE ENTRY AND EXIT AREAS: 1) AT LEAST ONCE EVERY 7 CALENDAR DAYS OR 2) AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25 INCHES OR GREATER (A RAIN GAUGE MUST BE MAINTAINED ON-SITE). THE SCHEDULE MUST BE SPECIFIED IN THE SWPPP. THE SCHEDULE MUST ALSO COMPLY WITH ANY OTHER LOCAL REQUIREMENTS.
- 13.CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE/EXIT IN ACCORDANCE WITH THESE PLANS AND THE SWPPP. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE/EXIT AT ALL TIMES FOR ALL INGRESS/EGRESS. VEHICLE TIRE WASHING MAY ALSO BE USED AS A SUBSTITUTE.
- 14. WASHING OF VEHICLES TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS TO AN APPROVED SEDIMENT TRAP.
- 15.SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OF SEDIMENT AND FLOWING OF CONTAMINATED RUNOFF ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DEBRIS FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY. 16.THE CONTRACTOR IS ALSO RESPONSIBLE FOR REMOVING ALL SEDIMENT AND DEBRIS FROM THE OFF-SITE ROADWAYS THAT ARE A
- RESULT OF CONSTRUCTION, AS REQUESTED BY OWNER AND CITY. 17.WHEN SEDIMENT OR DEBRIS HAS CLOGGED THE VOID SPACES BETWEEN STONES OF THE CONSTRUCTION ENTRANCE OR DIRT IS BEING 6. CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH, CONNECTION. TRACKED ONTO A ROADWAY, THE CONSTRUCTION ENTRANCE MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH A BMP TO CONTROL SEDIMENT AND DEBRIS LEAVING THE SITE. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
- 18.CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREA EQUALING TEN ACRES OR MORE, INCLUDING RUN-ON FROM OTHER AREAS). IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN, THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
- 19. ALL REGULATORY FINES IMPOSED FOR SEDIMENT OR DEBRIS DISCHARGED FROM THE SITE SHALL BE PAID BY THE CONTRACTOR. CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A
- PERIOD EXCEEDING 14 CALENDAR DAYS 21.CONTRACTOR SHALL FOLLOW GENERAL GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF LOOSE DIRT, DEBRIS, AND TRASH AS CONSTRUCTION PROGRESSES
- 22.UPON COMPLETION OF SITE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. FINA STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER AS OUTLINED IN THE STATE GENERAL PERMIT
- 23.AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAINPIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- 24.THE SWPPP PREPARED FOR THIS PROJECT IS AN INTEGRAL PART OF THE PLANS AND CONTRACT DOCUMENTS. THE CONTRACTOR IS ADVISED TO REVIEW AND STRICTLY FOLLOW THE REQUIREMENTS OUTLINED IN THE SWPPP TO OBTAIN PERMIT COVERAGE FOR STORMWATER DISCHARGE AND UNDERSTAND THE REQUIREMENTS FOR TERMINATING PERMIT COVERAGE AT THE COMPLETION OF CONSTRUCTION.
- . KH IS NOT RESPONSIBLE FOR THE MEANS AND METHODS EMPLOYED BY THE CONTRACTOR TO IMPLEMENT DEMOLITION SHOWN IN THESE PLANS. THE DEMOLITION PLAN INDICATES THE KNOWN OBJECTS ON THE SUBJECT TRACT THAT ARE TO BE DEMOLISHED AND
- REMOVED FROM THE SITE AND IS NOT ALL ENCOMPASSING. 2. THE DEMOLITION PLAN WAS PREPARED BASED ON FIELD SURVEY DATA AND UTILITY INFORMATION PROVIDED BY OTHERS. KH DOES NOT WARRANT OR REPRESENT THAT THE PLAN: SHOWS ALL IMPROVEMENTS AND UTILITIES. THAT THE IMPROVEMENTS AND UTILITIES ARE SHOWN ACCURATELY, OR THAT THE UTILITIES SHOWN CAN BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ITS OWN SITE ASSESSMENT OF THE SCOPE OF DEMOLITION. THE CONTRACTOR IS TO CONFIRM WITH THE OWNERS OF IMPROVEMENTS
- AND UTILITIES, THE ABILITY AND PROCESS FOR THE REMOVAL OF THEIR FACILITIES. THE DEMOLITION PLAN IS INTENDED TO GIVE A GENERAL GUIDE TO THE CONTRACTOR, TO LEAVE THE SITE IN A STATE SUITABLE FOR THE CONSTRUCTION OF THE PROPOSED PROJECT. REMOVAL OR PRESERVATION OF IMPROVEMENTS, UTILITIES, ETC. TO ACCOMPLISH
- THIS GOAL ARE THE RESPONSIBILITY OF THE CONTRACTOR. 1. THE CONTRACTOR IS STRONGLY CAUTIONED TO REVIEW THE FOLLOWING REPORTS DESCRIBING SITE CONDITIONS PRIOR TO BIDDING
- AND IMPLEMENTING THE DEMOLITION PLAN (IF APPLICABLE) a. ENVIRONMENTAL SITE ASSESSMENT PROVIDED BY THE OWNER.
- b. ASBESTOS BUILDING INSPECTION REPORT(S) PROVIDED BY THE OWNER.
- c. GEOTECHNICAL REPORT PROVIDED BY THE OWNER

STRUCTURES, FOUNDATIONS OR WALLS, THAT ARE ALSO TO BE REMOVED.

REPORTS HAVE BEEN PREPARED AND TO OBTAIN/REVIEW/AND COMPLY WITH THE RECOMMENDATIONS OF SUCH REPORTS PRIOR TO STARTING ANY WORK ON THE SITE. 6. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING THE DEMOLITION OF IMPROVEMENTS,

5. CONTRACTOR SHALL CONTACT THE OWNER TO VERIFY WHETHER ADDITIONAL REPORTS OR AMENDMENTS TO THE ABOVE CITED

- UTILITIES, OR ANY OBJECTS ON THE SITE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW THE SITE, DETERMINE THE APPLICABLE REGULATIONS, AND COMPLY WITH THE TERMS OF ANY REQUIRED PERMITS AND AUTHORIZATIONS OBTAINED BY THE CONTRACTOR FROM THE AHJ FOR THE DISPOSAL OF MATERIALS OFFSITE.
- 7. KH DOES NOT REPRESENT THAT THE REPORTS REFERENCED ABOVE ARE ACCURATE, COMPLETE, OR COMPREHENSIVE SHOWING ALL ITEMS THAT WILL NEED TO BE DEMOLISHED AND REMOVED. 8. EXISTING SURFACE PAVEMENT MAY OVERLAY OTHER HIDDEN STRUCTURES, SUCH AS ADDITIONAL LAYERS OF PAVEMENT,
- 1. THE CONTRACTOR AND GRADING SUBCONTRACTOR SHALL VERIFY THE SUITABILITY OF EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE START OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY
- 2. CONTRACTOR SHALL OBTAIN ANY REQUIRED GRADING PERMITS FROM THE AHJ.
- (TP). IN LOCATIONS ALONG A CURB LINE, ADD 6-INCHES (OR THE HEIGHT OF THE CURB) TO THE TP GRADE FOR TOP OF CURB (TC)
- 4. UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN OUTSIDE THE PAVEMENT AREAS REFLECT TOP OF 39.THE CONTRACTOR SHALL SAVE, PROTECT, AND STORE ALL EXISTING POWER POLES, SIGNS, WATER VALVES, FIRE HYDRANTS, METERS, 5. THE PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS, HIGH POINTS (HP), LOW POINTS (LP), AND ANNOTATED SLOPES ARE TO BE USED IN CASE OF DISCREPANCY.
- 40.CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, AND ENSURE EXISTING DITCHES 6. ALL FINISHED GRADES SHALL TRANSITION UNIFORMLY BETWEEN THE FINISHED ELEVATIONS SHOWN. 7. WHEN PERFORMING THE GRADING OPERATIONS, THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE ELEVATION HOLD-DOWN ALLOWANCE FOR THE THICKNESS OF PAVEMENT, SIDEWALK, TOPSOIL, MULCH, STONE, LANDSCAPING, RIP-RAP AND ALL OTHER SURFACE MATERIALS THAT WILL CONTRIBUTE TO THE TOP OF FINISHED GRADE.
  - NO REPRESENTATIONS OF EARTHWORK QUANTITIES OR SITE BALANCE ARE MADE BY THESE PLANS. THE CONTRACTOR SHALL PROVIDE THEIR OWN EARTHWORK CALCULATIONS TO DETERMINE THEIR CONTRACT QUANTITIES AND COST. ANY SIGNIFICANT VARIANCE FROM A BALANCED SITE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. 9. UNLESS OTHERWISE AGREED UPON BY THE OWNER, ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS
  - ENCOUNTERED. ALL UNUSABLE EXCAVATED MATERIAL AND WASTE RESULTING FROM SITE CLEARING, GRUBBING, AND STRIPPING OPERATIONS SHALL BE REMOVED FROM THE SITE AND BE APPROPRIATELY DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE. DISPOSAL SHALL BE IN A MANNER THAT ADHERES TO LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS. 10. THE CONTRACTOR SHALL KEEP A RECORD OF ALL DISPOSAL LOCATIONS, ALONG WITH RECEIVING LANDOWNER'S WRITTEN APPROVAL
  - 11.BEFORE ANY EARTHWORK OPERATIONS ARE PERFORMED, THE CONTRACTOR SHALL STAKE AND MARK THE LIMITS OF THE PROJECT'S PROPERTY LINE AND SITE IMPROVEMENTS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE (HORIZONTAL) AND GRADE (VERTICAL) CONTROL POINTS RELATED TO EARTHWORK. THE CONTRACTOR SHALL REFER TO THE APPLICABLE SITE PLAN, SURVEY, OR PLAT FOR THE PROJECT'S PROPERTY LINE AND PROPOSED IMPROVEMENT HORIZONTAL
  - 12.CONTRACTOR TO DISPOSE OF ALL EXCESS EXCAVATION MATERIALS IN A MANNER THAT ADHERES TO LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL KEEP A RECORD OF WHERE EXCESS EXCAVATION WAS DISPOSED, ALONG WITH 13.THE CONTRACTOR SHALL CLEAR, GRUB, AND STRIP THE SITE AND PLACE, COMPACT, AND CONDITION FILL PER THE GEOTECHNICAL
  - REPORT. FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. 14.CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TOPSOIL AT THE COMPLETION OF FINE GRADING. CONTRACTOR SHALL REFER TO LANDSCAPE ARCHITECTURE PLANS FOR SPECIFICATIONS AND REQUIREMENTS FOR TOPSOIL.
  - REASON OR ANY LENGTH OF TIME, UNLESS OTHERWISE SHOWN ON THE PLANS AND PROVIDE PROVISIONS FOR ADEQUATE DRAINAGE. 16.TEMPORARY CULVERTS MAY BE REQUIRED IN SOME LOCATIONS TO CONVEY RUN-OFF DURING CONSTRUCTION. 15. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND SPECIFICATIONS FOR FILL, CONDITIONING,

15.NO EARTHWORK FILL SHALL BE PLACED IN ANY EXISTING DRAINAGE WAY, SWALE, CHANNEL, DITCH, CREEK, OR FLOODPLAIN FOR ANY

AND PREPARATION OF THE BUILDING PAD AND ANY NOTED OVERBUILD OF THE BUILDING PAD. 18.CONTRACTOR SHALL ENSURE THAT SUFFICIENT POSITIVE SLOPE AWAY FROM THE BUILDING PAD IS ACHIEVED FOR ENTIRE PERIMETER OF THE PROPOSED BUILDING(S) DURING GRADING OPERATIONS AND IN THE FINAL CONDITION. IF THE CONTRACTOR OBSERVES THAT

AND LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH THE TREE PRESERVATION PLAN AND PROPOSED GRADING PRIOR TO

19.THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE AHJ, AT NO ADDITIONAL COST TO THE OWNER. 20.EXISTING TREE LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL TREE LOCATIONS GENERAL PROTECTED ZONES, AND INDIVIDUAL PROTECTED TREE CRITICAL ROOT ZONES. CONTRACTOR SHALL NOTIFY THE ENGINEER

- COMMENCING THE WORK 21.TREE PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE AHJ STANDARD TREE PROTECTION DETAILS AND THE
  - APPROVED TREE PRESERVATION PLAN. 22.CONTRACTOR SHALL REFER TO THE LANDSCAPING LANDSCAPE AND TREE PRESERVATIONS PLANS FOR ALL INFORMATION AND DETAILS REGARDING EXISTING TREES TO BE REMOVED AND PRESERVED.
  - 23.NO TREE SHALL BE REMOVED UNLESS A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE AHJ, OR AHJ HAS OTHERWISE CONFIRMED IN WRITING THAT ONE IS NOT NEEDED 24.IN THE EVENT THAT A TREE PRESERVATION PLAN DOES NOT EXIST OR IS NOT REQUIRED BY THE AHJ, NO TREE SHALL BE REMOVED OR
  - DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER. EXISTING TREES SHALL BE PRESERVED WHENEVER POSSIBLE AND GRADING IMPACT TO THEM HELD TO A MINIMUM
  - 25.AFTER PROPER PLACEMENT OF THE PAVEMENT SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, THE CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING AND INADEQUATE SLOPE FOR DRAINAGE. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED DRAINAGE STRUCTURE TO CONVEY STORMWATER RUNOFF. CONTRACTOR SHALL
  - 26.THE CONTRACTOR MAY MAKE FIELD ADJUSTMENTS OF PROPOSED SPOT GRADES, IF THE APPROVED BY THE ENGINEER.

IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY AREAS OF POOR DRAINAGE ARE DISCOVERED.

- 1. RETAINING WALLS SHOWN ARE FOR SITE GRADING PURPOSES ONLY, AND INCLUDE ONLY LOCATION AND SURFACE SPOT ELEVATIONS AT THE TOP AND BASE OF WALL AT FINISHED GRADE.
- 2. RETAINING WALL TYPE, SYSTEM, AND COLORS SHALL BE SELECTED BY THE OWNER. RETAINING WALL DESIGNS SHALL BE PROCURED BY THE CONTRACTOR, UNLESS OTHERWISE AGREED UPON WITH THE OWNER.
- 4. STRUCTURAL DESIGN AND PERMITTING OF RETAINING WALLS, RAILINGS, AND OTHER WALL SAFETY DEVICES SHALL BE PERFORMED BY A LICENSED ENGINEER AND ARE NOT PART OF THIS PLAN SET. RETAINING WALL DESIGN SHALL MEET THE INTENT OF THE GRADING PLAN AND SHALL ACCOUNT FOR ANY INFLUENCE ON ADJACENT BUILDING FOUNDATIONS, UTILITIES, PROPERTY LINES AND OTHER CONSTRUCTABILITY NOTES.
- 5. RETAINING WALL DESIGN ENGINEER SHALL CONSULT THESE PLANS AND THE GEOTECHNICAL REPORT FOR POTENTIAL CONFLICTS. 1. ALL SUBGRADE AND PAVING MATERIALS AND ASSOCIATED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE: PLANS, ARDOT
- STANDARD DETAILS AND SPECIFICATIONS (UNLESS OTHERISE NOTED THAT AHJ DETAILS AND SPECIFICATIONS SHALL BE FOLLOWED), FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE ARDOT SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST.
- 2. ACCESSIBLE CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE AHJ STANDARD CONSTRUCTION DETAIL AND SPECIFICATIONS. 3. ACCESSIBLE PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS
- 4. ALL ACCESSIBLE RAMPS, STRIPING, SIGNAGE, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA AND AHJ STANDARDS. 5 ANY COMPONENTS OF THE PROJECT SERVING MULTIFAMILY DWELLINGS IN BUILDINGS THAT HAVE 4 OR MORE UNITS PER BUILDING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT, AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- 7. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS. ALL PAINT AND PAVEMENT MARKINGS SHALL ADHERE TO AHJ AND OWNER STANDARDS
- 8. REFER TO GEOTECHNICAL REPORT FOR PAVING JOINT LAYOUT PLAN REQUIREMENTS FOR PRIVATE PAVEMENT. IF NONE EXISTS, THE CONTRACTOR SHALL PREPARE A JOINT LAYOUT PLAN FOR REVIEW BY THE GEOTECHNICAL ENGINEER PRIOR TO BEGINNING PAVEMENT ADEQ
- 9. REFER TO AHJ STANDARD DETAILS AND SPECIFICATIONS FOR JOINT LAYOUT PLAN REQUIREMENTS FOR PUBLIC PAVEMENT 10. ALL REINFORCING STEEL SHALL CONFORM TO THE GEOTECHNICAL REPORT, AHJ STANDARDS, AND ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS. CONTRACTOR SHALL USE THE MORE STRINGENT OF THE AHJ AND GEOTECHNICAL STANDARDS.
- 11. ALL JOINTS SHALL EXTEND THROUGH THE CURB. 12.THE MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS SHALL BE 2 FEET.

AND FIELD CONDITIONS PRIOR TO THEIR INSTALLATION.

- 13.REMOVAL OF EXISTING PAVEMENTS REQUIRE ALL SAWCUTS TO EXTEND THROUGH THE FULL DEPTH OF THE EXISTING PAVEMENT
- 14.FIRE LANES SHALL BE MARKED AND LABELED AS A FIRE LANE PER AHJ STANDARDS
- 15.UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED. 16.CONTRACTOR IS RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF
- PAVEMENT. ALL CONSTRUCTION DOCUMENTS (CIVIL, MEP, LANDSCAPE, IRRIGATION, AND ARCHITECTURE) SHALL BE CONSULTED FOR POTENTIAL PLACEMENT LOCATIONS. 17.BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA, AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES.
- IN NO CASE SHALL AN ACCESSIBLE RAMP RUN SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE (INCLUDING RAMPS OR LANDINGS) EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION. 18.CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT
- TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE
- STORM DRAINAGE THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING STORM SEWER FACILITIES THAT ARE TO BE CONNECTED TO PRIOR TO START OF CONSTRUCTION OF ANY STORM SEWER. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, BOTH HORIZONTAL AND VERTICAL AS THEY RELATE TO UTLITIES CROSSING THE STORM SEWER, TO INCLUDE THE HORIZONTAL AND VERTICAL LOCATION OF ANY DRAINAGE INLET 4. FLOW LINE, TOP-OF-CURB, RIM, THROAT, AND GRATE ELEVATIONS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE GRADING PLAN
- 5. ALL PUBLIC STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO AHJ STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR REQUIRED AHJ INSPECTIONS. 6. ALL PRIVATE STORM SEWER CONSTRUCTION, PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO THE APPLICABLE PLUMBING CODE,
- UNLESS OTHERWISE NOTED. CONTRACTOR SHALL ARRANGE FOR REQUIRED AHJ INSPECTIONS ALL STORM PIPE CONNECTIONS ENTERING STRUCTURES OR OTHER STORM PIPES SHALL HAVE A CONCRETE COLLAR AND BE GROUTED TO ASSURE THE CONNECTION IS WATERTIGHT.
- 8. ALL PUBLIC OR PRIVATE STORM SEWER PIPE 18-INCHES AND GREATER SHALL BE CLASS III RCP OR OTHER APPROVED MATERIAL. 9. WHERE COVER EXCEEDS 20-FEET OR IS LESS THAN 2-FEET, CLASS IV RCP SHALL BE USED. 10.IF CONTRACTOR PROPOSES TO USE HDPE OR PVC IN LIEU OF RCP FOR PRIVATE STORM SEWER, CONTRACTOR SHALL SUBMIT
- ANY PROPOSED HDPE AND PVC SHALL BE WATERTIGHT. 11. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SURVEYING FOR ALL STORM SEWER LINES
- 12.EMBEDMENT AND BACKFILL FOR ALL STORM SEWER LINES, PUBLIC OR PRIVATE, SHALL BE PER AHJ STANDARD DETAILS.
- 1. ANY PONDS THAT ARE INTENDED TO HOLD WATER INDEFINITELY (WET PONDS) SHALL BE CONSTRUCTED AS FOLLOWS:
- b. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR POND LINER SPECIFICATIONS. c. A GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE ALL POND LINER MATERIAL, PLACEMENT PROCEDURES, AND PROVIDE
- 1-FOOT ABOVE THE NORMAL POOL WATER SURFACE ELEVATION.
- PROVIDED. BACKFILL IN THESE AREAS SHALL BE OF IMPERVIOUS MATERIAL f. THE WATER LEVEL FOLLOWING COMPLETION AND FILLING OF THE WET POND SHALL BE MONITORED BY THE CONTRACTOR FOR AT
- LEAST 60 DAYS TO OBSERVE WATER INFLOW, OUTFLOW, AND CALCULATE EVAPORATION TO VERIFY THAT THE POND IS WATERTIGHT. g. THE WET POND WATER LEVEL SHALL ALSO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION SO THAT IT REMAINS FULL TO ITS DESIGN WATER LEVEL, AND IS NOT LOWERED, AS THIS MAY DRY-OUT THE POND LINER AND RISK ITS
- 2. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE, CONDITION, HORIZONTAL, AND VERTICAL LOCATIONS OF ALL EXISTING WATER AND WASTEWATER FACILITIES THAT ARE TO BE CONNECTED TO PRIOR TO START OF CONSTRUCTION OF ANY WATER OR WASTEWATER. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- 4. ALL PUBLIC WATER AND WASTEWATER PIPE, STRUCTURES, AND FITTINGS SHALL ADHERE TO AHJ STANDARD DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL ARRANGE FOR REQUIRED AHJ INSPECTIONS.
- 5. ALL PRIVATE FIRE SERVICE MAINS SHALL BE PVC C900-16, DR-18 (MIN PC200) OR APPROVED EQUAL. ALL PRIVATE FIRE SERVICE MAINS AND ALL ASSOCIATED FIRE PROTECTION APPURTENANCES SHALL BE INSTALLED, FLUSHED, AND TESTED TO CONFORM WITH NFPA 13 AND 24. INCLUDING ALL AHJ AMENDMENTS.
- 1. ALL NON-POTABLE WATER REUSE PIPING SHALL CONFORM TO AND BE INSTALLED PER THE PLUMBING CODE, INCLUDING ANY AHJ AMENDMENTS. THIS INCLUDES ALL SIGNAGE, LABELING, AND MARKING. THE COLOR PURPLE SHALL BE USED, PER CODE, TO IDENTIFY
- 8 INCHES OR LARGER MAY BE SDR35). BUILDING SEWER LINES SHALL CONFORM TO AND BE INSTALLED PER THE PLUMBING CODE, INCLUDING ANY AHJ AMENDMENTS. 9. FIRE SPRINKLER LINES SHALL BE DESIGNED AND INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR, AND COMPLY TO ALL
- AND FITTINGS CLEAN AND CAPPED AT TIMES WHEN INSTALLATION IS NOT IN PROGRESS. 12.ALL WATER AND WASTEWATER SERVICES SHALL TERMINATE 5-FEET OUTSIDE THE BUILDING, UNLESS NOTED OTHERWISE 13. CONTRACTOR SHALL SEQUENCE WATER AND WASTEWATER CONSTRUCTION TO AVOID INTERRUPTION OF SERVICE TO SURROUNDING

- PROPERTIES. IF REQUIRED, CONTRACTOR SHALL COMPLY WITH AHJ REQUIREMENTS FOR WATER AND WASTEWATER SERVICE DISRUPTIONS AND THE AMOUNT OF PRIOR NOTICE THAT IS REQUIRED, AND SHALL COORDINATE DIRECTLY WITH THE AHJ
- 14.CONTRACTOR SHALL MAINTAIN WATER SERVICE AND WASTEWATER SERVICE TO ALL CUSTOMERS THROUGHOUT CONSTRUCTION (IF NECESSARY, BY USE OF TEMPORARY METHODS APPROVED BY THE AHJ AND OWNER). THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO THE PROJECT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 15.CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING WATER AND WASTEWATER LINES CROSSING THE PROJECT. THE CONTRACTOR SHALL REPAIR ALL DAMAGED LINES IMMEDIATELY. ALL REPAIRS OF EXISTING WATER MAINS, WATER SERVICES, SEWER MAINS, AND SANITARY SEWER SERVICES ARE SUBSIDIARY TO THE WORK, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 16.VALVE ADJUSTMENTS SHALL BE CONSTRUCTED SUCH THAT THE COVERS ARE AT FINISHED GRADE OF THE PROPOSED PAVEMENT. 17. THE ENDS OF ALL EXISTING WATER AND WASTEWATER MAINS THAT ARE CUT, BUT NOT REMOVED, SHALL BE PLUGGED AND ABANDONED IN PLACE PER AHJ REQUIREMENTS. THIS WORK SHALL BE CONSIDERED AS A SUBSIDIARY COST TO THE PROJECT AND NO
- ADDITIONAL COMPENSATION SHALL BE ALLOWED. 18.ALL FIRE HYDRANTS, VALVES, TEES, BENDS, WYES, REDUCERS, FITTINGS, AND ENDS SHALL BE MECHANICALLY RESTRAINED AND/OR THRUST BLOCKED TO AHJ STANDARDS.
- 19.CONTRACTOR SHALL INSTALL A FULL SEGMENT OF WATER OR WASTEWATER PIPE CENTERED AT ALL UTILITY CROSSINGS SO THAT THE JOINTS ARE GREATER THAN 10-FEET FROM THE CROSSING.
- 20.ALL CROSSINGS AND LOCATIONS WHERE WASTEWATER IS LESS THAN 10-FEET FROM WATER, SHALL BE PROTECTED ACCORDING TO
- 21.ALL CROSSING AND LOCATIONS WHERE WATER IS LESS THAN 10-FEET FROM WASTEWATER, SHALL BE PROTECTED ACCORDING TO AHJ SPECIFICATIONS
- 22.ALL WATER AND WASTEWATER SHALL BE TESTED IN ACCORDANCE WITH THE AHJ, AND AWWA STANDARDS AND SPECIFICATIONS. AT A MINIMUM, THIS SHALL CONSIST OF THE FOLLOWING:
- a. ALL WATERLINES SHALL BE HYDROSTATICALLY TESTED AND CHLORINATED BEFORE BEING PLACED INTO SERVICE. CONTRACTOR SHALL COORDINATE WITH THE AHJ FOR THEIR REQUIRED PROCEDURES b. WASTEWATER LINES AND MANHOLES SHALL BE PRESSURE TESTED. CONTRACTOR SHALL COORDINATE WITH THE AHJ FOR THEIR
- REQUIRED PROCEDURES. AFTER COMPLETION OF THESE TESTS, A TELEVISION INSPECTION SHALL BE PERFORMED AND PROVIDED TO THE AHJ AND OWNER IN DIGITAL FORMAT 23.CONTRACTOR SHALL INSTALL DETECTABLE WIRING OR MARKING TAPE A MINIMUM OF 12" ABOVE WATER AND WASTEWATER LINES. MARKER DECALS SHALL BE LABELED "CAUTION - WATER LINE", OR "CAUTION - SEWER LINE". DETECTABLE WIRING AND MARKING TAPE
- SHALL COMPLY WITH AHJ STANDARDS, AND SHALL BE INCLUDED IN THE COST OF THE WATER AND WASTEWATER PIPE 24.DUCTILE IRON PIPE SHALL BE PROTECTED FROM CORROSION BY A LOW-DENSITY POLYETHYLENE LINER WRAP THAT IS AT LEAST A SINGLE LAYER OF 8-MIL. ALL DUCTILE IRON JOINTS SHALL BE BONDED. CORROSION PROTECTION SHALL COMPLY WITH AHJ STANDARDS, AND SHALL BE INCLUDED IN THE COST OF THE WATER PIPE.
- 25.WATERLINES SHALL BE INSTALLED AT NO LESS THAN THE MINIMUM COVER REQUIRED BY THE AHJ. 26.CONTRACTOR SHALL PROVIDE CLEAN-OUTS FOR PRIVATE SANITARY SEWER LINES AT ALL CHANGES IN DIRECTION AND 100-FOOT INTERVALS, OR AS REQUIRED BY THE APPLICABLE PLUMBING CODE. CLEAN-OUTS REQUIRED IN PAVEMENT OR SIDEWALKS SHALL
- HAVE CAST IRON COVERS FLUSH WITH FINISHED GRADE. 27.CONTRACTOR SHALL PROVIDE BACKWATER VALVES FOR PLUMBING FIXTURES AS REQUIRED BY THE APPLICABLE PLUMBING CODE (E.G FLOOR ELEVATION OF A FIXTURE UNIT IS BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE
- PUBLIC SEWER). CONTRACTOR SHALL REVIEW BOTH MEP AND CIVIL PLANS TO CONFIRM WHERE THESE ARE REQUIRED. ABBREVIATIONS AND DEFINITIONS: AMERICANS WITH DISABILITIES ACT AUTHORITY HAVING JURISDICTION ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY ARDOT ARKANSAS DEPARTMENT OF TRANSPORTATION AWWA AMERICAN WATER WORKS ASSOCIATION BACK-TO-BACK **BEGIN CURVE** BACK OF CURB BEGIN CURB RETURN
- BEST MANAGEMENT PRACTICE BACK OF CURB BEGIN VERTICAL CURVE ELEVATION BEGIN VERTICAL CURVE STATION BASE OF WALI AT TOP OF FINISHED GRADE CUBIC FEET PER SECOND
- AUTHORITY HAVING JURISDICTION (CITY, TOWN, OR OTHER APPLICABLE GOVERNMENT JURISDICTION) C/L OR CL CENTERLINE CONC CONCRETE CUBIC YARD DEMO DEMOLITION
- DECOMPOSED GRANITE DTL DETAIL EACH END CURVE **END CURB RETURN**
- **ELEVATION** ELECTRICAL **ELEVATION** EDGE OF PAVEMENT
- ENGINEER OF RECORD UNITES STATES ENVIRONMENTAL PROTECTION AGENCY

EXISTING GROUND

- END VERTICAL CURVE ELEVATION FXISTING FACE TO FACE FINISHED GROUND
- FIRE HYDRAN FLOW LINE FACE OF CURB FEET

MINUTE / MINIMUM

NOTICE OF INTENT

NOT TO SCALE

ON CENTER

PROPOSED

**PAVEMENT** 

RIGHT

STATION

STANDARD

SQUARE YARD

TOP OF CURB

**TEMPORARY** 

TOP OF WALL

VERTICAL CURVE

WASTEWATER

MOST CURRENT EDITION OF THE SAME.

THROAT

TYPICAL

WATER

RIGHT OF WAY

SQUARE FEET

SANITARY SEWER

NOTICE OF TERMINATION

POINT OF CURVATURE

POINT OF INFLECTION

POINT OF TANGENCY

POLYVINYL CHLORIDE

PROPOSED GRADE LINE

POINT OF REVERSE CURVATURE

POINT OF VERTICAL INFLECTION

REINFORCED CONCRETE PIPE

SANITARY SEWER MANHOLE

ENGINEER BEFORE CONSTRUCTION COMMENCES.

POUNDS PER SQUARE INCH

NUMBER

MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES

OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION

PORTLAND CEMENT CONCRETE / POINT OF COMPOUND CURVATURE

ALL THE NOTES AND SPECIFICATIONS ON THIS PAGE ARE APPLICABLE TO THE ENTIRE

PROJECT. SECTION HEADINGS ARE PROVIDED FOR GENERAL GUIDANCE AND SUBJECT ORGANIZATION ONLY. NOTES WITHIN ANY GIVEN SECTION ARE NOT TO BE CONSTRUED

AS THE ONLY NOTES APPLICABLE TO THAT SUBJECT. INDIVIDUAL SHEETS (E.G. GRADING

PLAN) SHALL ALSO BE REFERENCED FOR ADDITIONAL NOTES AND SPECIFICATIONS. ALL

CONTRACTORS AND SUBCONTRACTORS SHALL READ AND UNDERSTAND ALL NOTES AND

SPECIFICATIONS, THE STRICTER SHALL GOVERN UNLESS OTHERWISE APPROVED BY THE

SPECIFICATIONS FOR THE PROJECT AND IMPLEMENT THE REQUIREMENTS SPECIFIED

ALL REFERENCES TO AHJ OR ADA SPECIFICATIONS OR STANDARDS SHALL MEAN THE

HEREIN AS APPLICABLE TO ANY TRADE. FOR ANY CONFLICT BETWEEN NOTES OR

- GUTTER HYDRAULIC GRADE LINE KIMLEY-HORN AND ASSOCIATES, INC.
- KIMLEY-HORN AND ASSOCIATES, INC. LATERAL LINEAR FEET
- TECHNICAL DATA TO THE OWNER, ENGINEER AND AHJ ENGINEER/INSPECTOR FOR APPROVAL PRIOR TO ORDERING THE MATERIAL. MAXIMUM MATCH EXISTING ELEVATION MANHOLE
- 13. ALL WYE CONNECTIONS AND PIPE BENDS ARE TO BE PREFABRICATED AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- a. WET PONDS SHALL BE WATERTIGHT.
- TESTING TO ENSURE THE POND LINER MATERIAL PLACED IS WATERTIGHT. d. STORM SEWER PIPES AND HEADWALLS THAT CONNECT TO A WET POND SHALL BE INSTALLED WITH WATERTIGHT JOINTS TO AT LEAST e. ANY GRAVEL OR OTHER PERVIOUS EMBEDMENT AROUND PIPES OR OUTFALL STRUCTURES NEAR THE WET POND SHALL BE
- ELIMINATED FOR AT LEAST 20-FEET FROM THE WET POND SO NO ROUTE FOR WATER TO LEAK THROUGH THE EMBEDMENT MATERIAL IS PROP
- WATERTIGHT PROPERTIES.
- 1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE WATER AND WASTEWATER IMPROVEMENTS
- 3. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF ALL UTILITY CROSSINGS PRIOR TO THE INSTALLATION OF ANY WATER OR WASTEWATER PIPE.
- E. ALL PRIVATE WATER SERVICE PIPE SHALL BE TYPE K COPPER TUBING OR SCHEDULE 40 PVC, AND CONFORM TO AND BE INSTALLED PER THE PLUMBING CODE, INCLUDING ANY AHJ AMENDMENTS.
- 8. ALL PRIVATE BUILDING SEWER LINES SHALL BE A MINIMUM OF SCHEDULE 40, ASTM F789/D3212. ALL SANITARY SEWER LINES DEEPER THAN 15 FEET SHALL BE A MINIMUM OF PVC SDR-26. (PIPE SIZES 6 INCHES AND SMALLER SHALL BE PVC SCHEDULE 40, AND PIPE SIZES
- CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES IMMEDIATELY. 10.EMBEDMENT AND BACKFILL FOR ALL WATER AND WASTEWATER LINES, PUBLIC OR PRIVATE, SHALL BE PER AHJ STANDARD DETAILS 11.CONTRACTOR SHALL TAKE REQUIRED SANITARY PRECAUTIONS, FOLLOWING ANY AHJ, AND AWWA STANDARDS, TO KEEP WATER PIPE

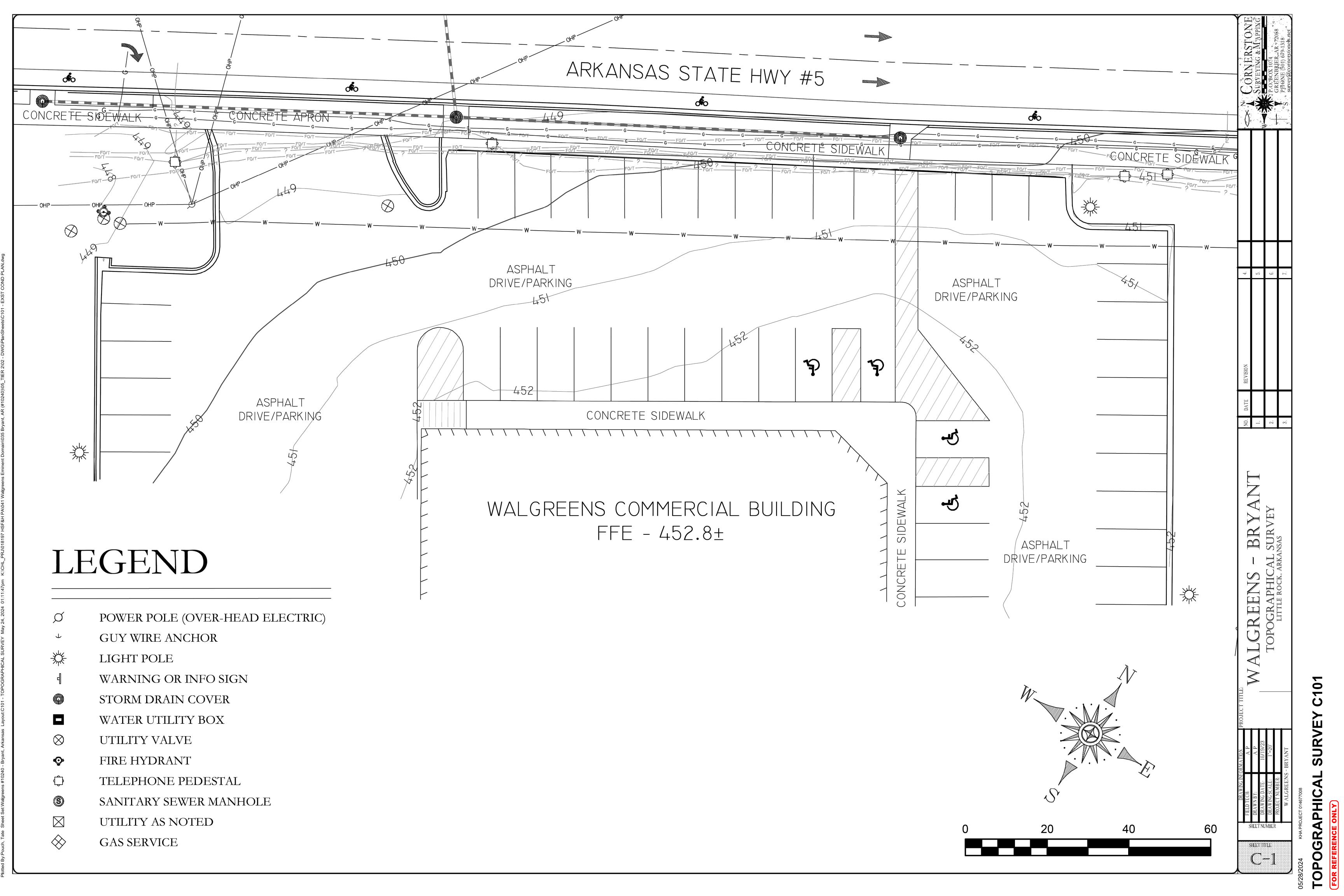
APPLICABLE CODES REQUIRED. THESE PLANS WERE PREPARED WITHOUT THE BENEFIT OF THE FIRE SPRINKLER DESIGN.

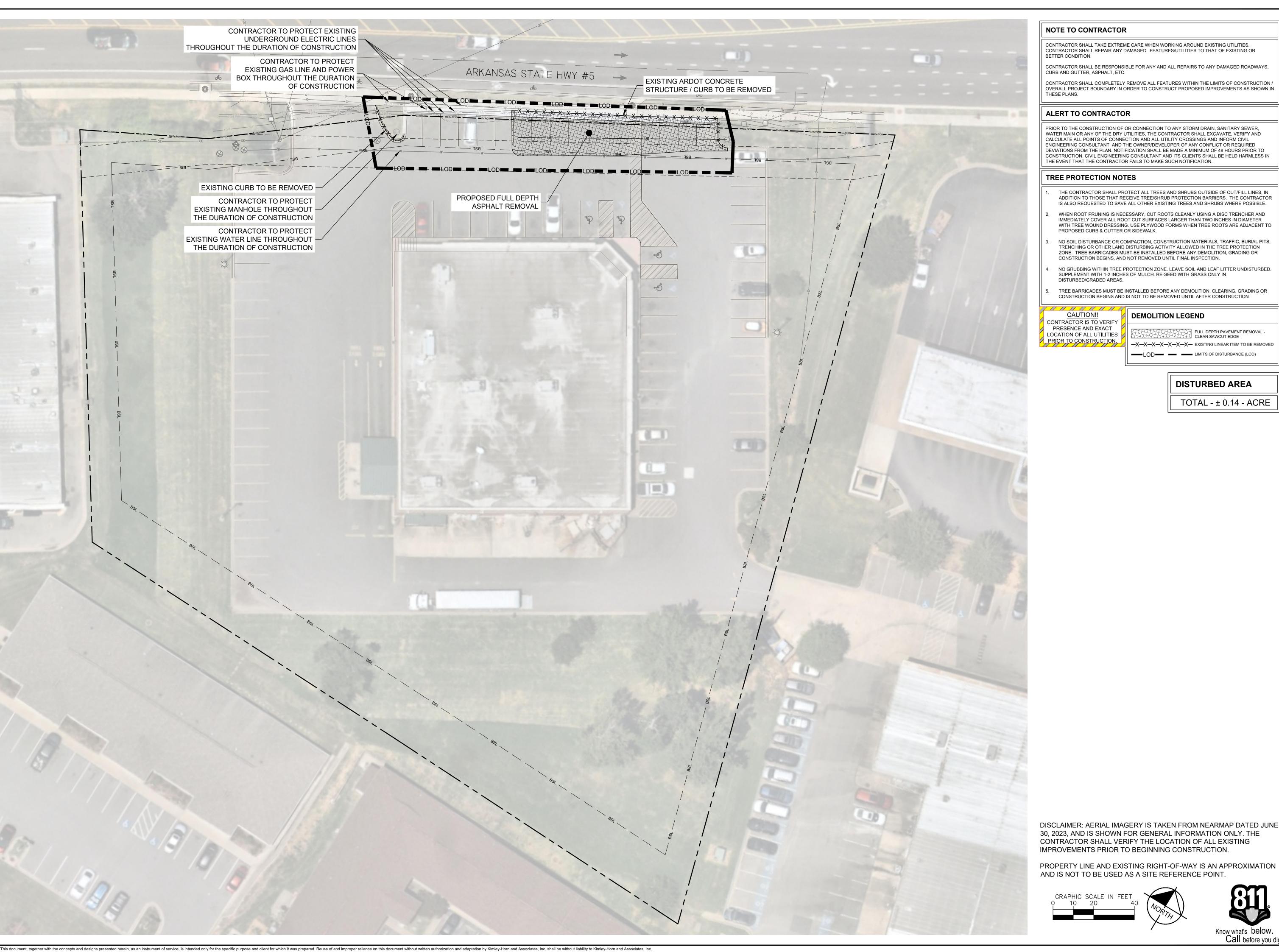
LICENSED **PROFESSIONA ENGINEER** NOT FOR CONSTRUCTION

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THIS WILL NOT BE ACHIEVED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.

SHEET NUMBER





NOTE TO CONTRACTOR

CONTRACTOR SHALL TAKE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES. CONTRACTOR SHALL REPAIR ANY DAMAGED FEATURES/UTILITIES TO THAT OF EXISTING OR

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL REPAIRS TO ANY DAMAGED ROADWAYS, CURB AND GUTTER, ASPHALT, ETC.

CONTRACTOR SHALL COMPLETELY REMOVE ALL FEATURES WITHIN THE LIMITS OF CONSTRUCTION / OVERALL PROJECT BOUNDARY IN ORDER TO CONSTRUCT PROPOSED IMPROVEMENTS AS SHOWN IN

# ALERT TO CONTRACTOR

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CIVIL ENGINEERING CONSULTANT AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CIVIL ENGINEERING CONSULTANT AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

# TREE PROTECTION NOTES

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS. TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

CAUTION!!

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

**DEMOLITION LEGEND** 

FULL DEPTH PAVEMENT REMOVAL -CLEAN SAWCUT EDGE —X—X—X—X—X—X—X— EXISTING LINEAR ITEM TO BE REMOVED

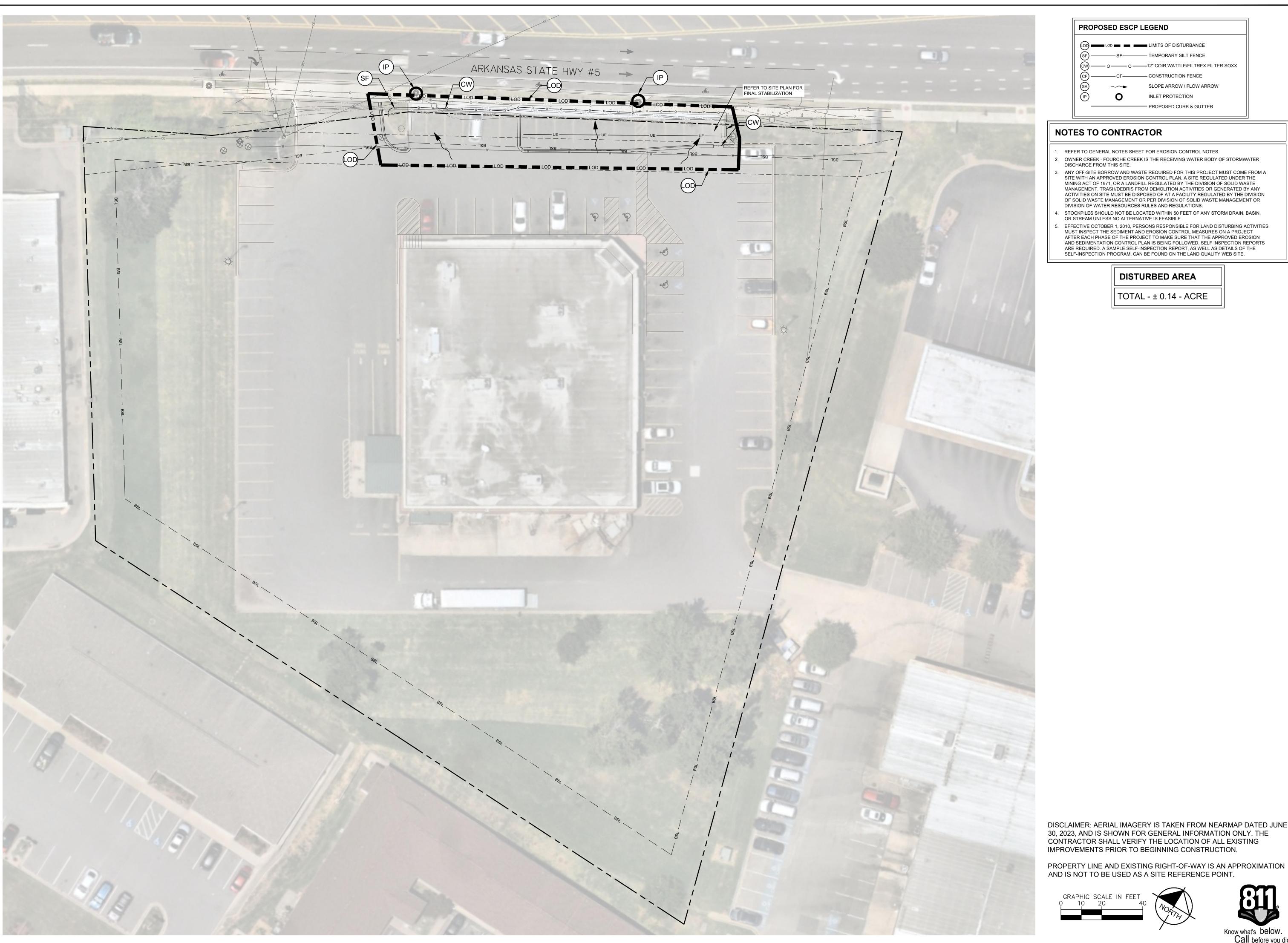
LIMITS OF DISTURBANCE (LOD)

DISTURBED AREA

TOTAL - ± 0.14 - ACRE

ARKANSAS LICENSED **PROFESSIONAL** ENGINEER \* \* \* No. 21699 NOT FOR CONSTRUCTION

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PROPOSED ESCP LEGEND

(OD) LOD LOD LOD LIMITS OF DISTURBANCE ————— TEMPORARY SILT FENCE O O 12" COIR WATTLE/FILTREX FILTER SOXX -CF----CONSTRUCTION FENCE SLOPE ARROW / FLOW ARROW INLET PROTECTION PROPOSED CURB & GUTTER

# NOTES TO CONTRACTOR

- . REFER TO GENERAL NOTES SHEET FOR EROSION CONTROL NOTES. 2. OWNER CREEK - FOURCHE CREEK IS THE RECEIVING WATER BODY OF STORMWATER
- DISCHARGE FROM THIS SITE. ANY OFF-SITE BORROW AND WASTE REQUIRED FOR THIS PROJECT MUST COME FROM A
- SITE WITH AN APPROVED EROSION CONTROL PLAN, A SITE REGULATED UNDER THE MINING ACT OF 1971, OR A LANDFILL REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT. TRASH/DEBRIS FROM DEMOLITION ACTIVITIES OR GENERATED BY ANY ACTIVITIES ON SITE MUST BE DISPOSED OF AT A FACILITY REGULATED BY THE DIVISION OF SOLID WASTE MANAGEMENT OR PER DIVISION OF SOLID WASTE MANAGEMENT OR
- DIVISION OF WATER RESOURCES RULES AND REGULATIONS. STOCKPILES SHOULD NOT BE LOCATED WITHIN 50 FEET OF ANY STORM DRAIN, BASIN, OR STREAM UNLESS NO ALTERNATIVE IS FEASIBLE.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT THE SEDIMENT AND EROSION CONTROL MEASURES ON A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF INSPECTION REPORTS
  ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM, CAN BE FOUND ON THE LAND QUALITY WEB SITE.

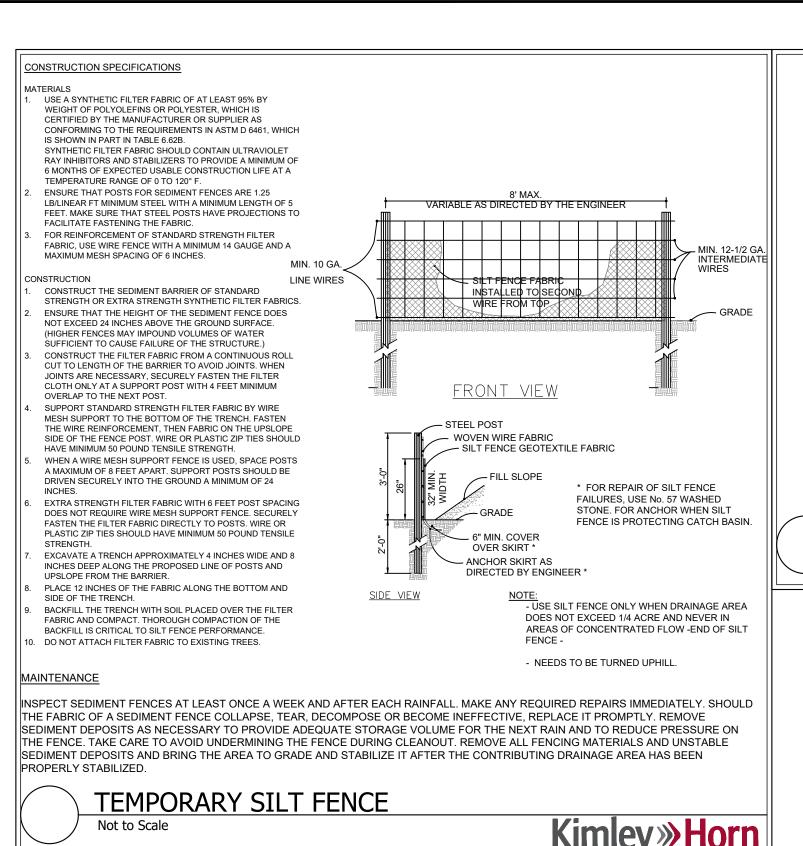
DISTURBED AREA

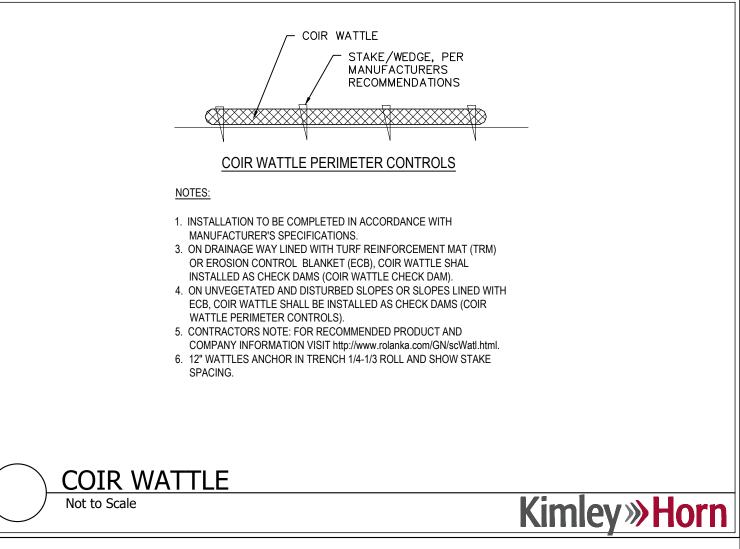
TOTAL - ± 0.14 - ACRE

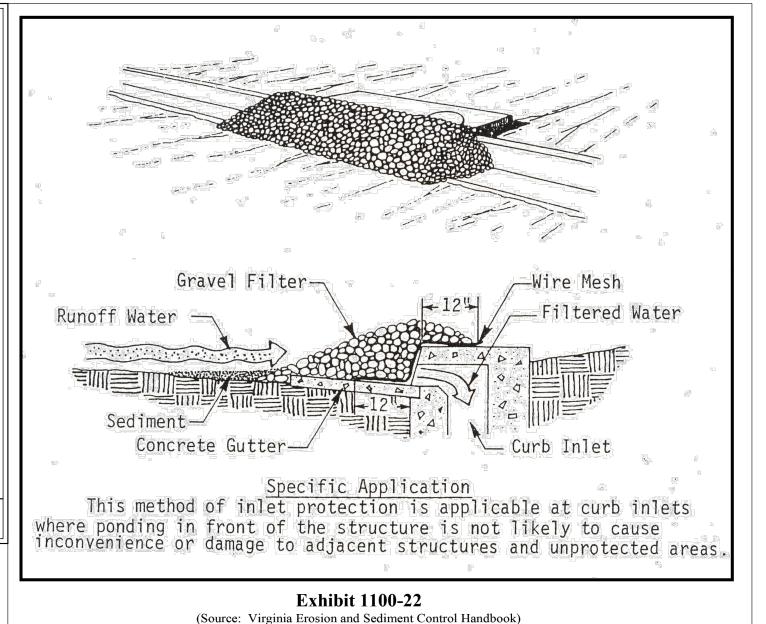
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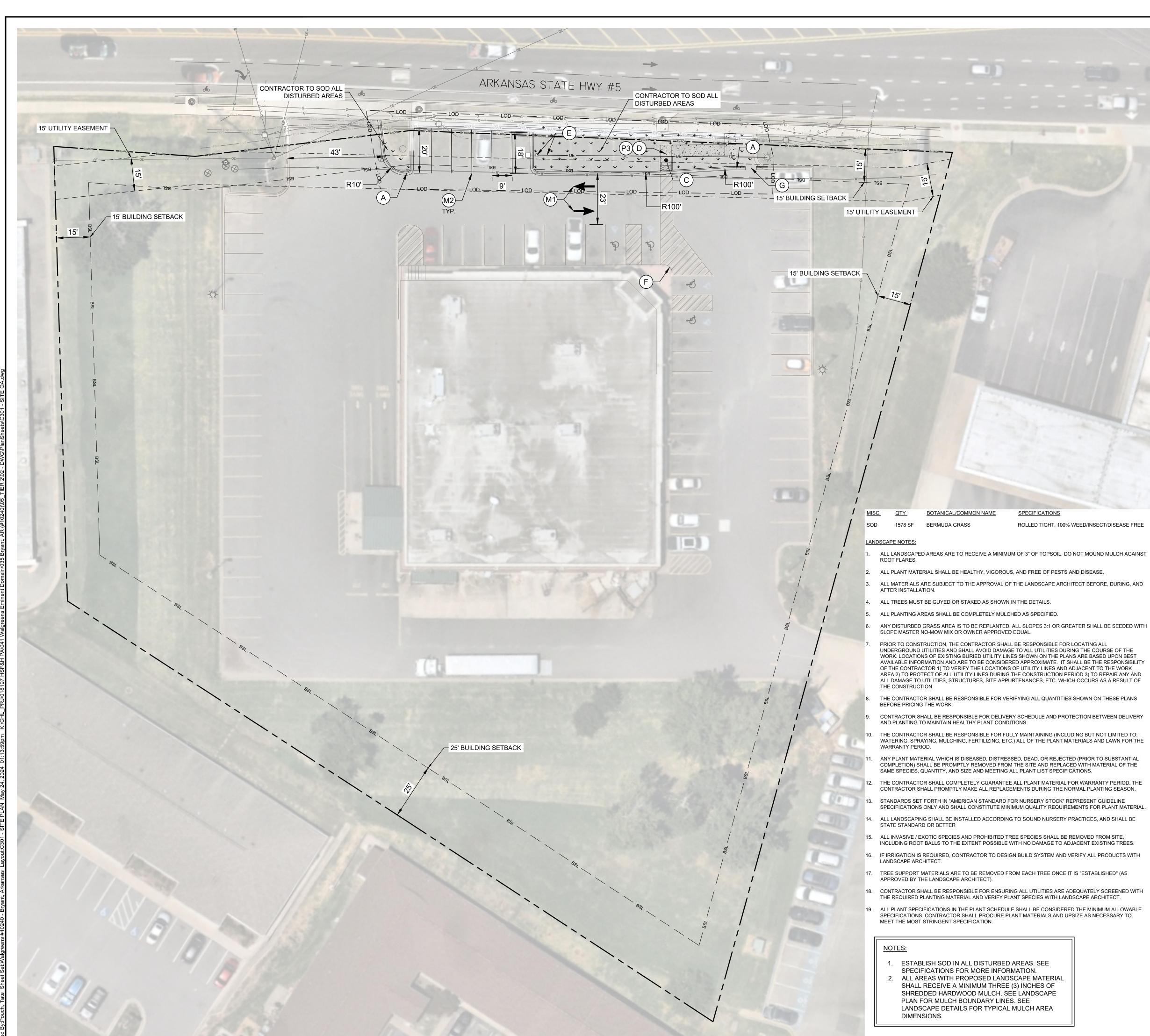


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SHEET NUMBER **C202** 

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# SITE DEVELOPMENT PLAN NOTES

- . SEE "GENERAL NOTES" SHEET FOR SITE GENERAL CONSTRUCTION NOTES, PAVING, STRIPING, GRADING, AND ZONING NOTES.
  - 2. SEE "TOPOGRAPHICAL SURVEY" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING
  - PROPERTIES, ZONING AND USE. 3. SEE "SITE DETAILS" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.
- . ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS LABELED "EOP" ARE MEASURED FROM LIP OF GUTTER TO LIP
- . DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.

6. BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE. REFER TO RECORDED PLATS AND SURVEYS FOR ADDITIONAL PROPERTY INFORMATION.

SITE DATA TABLE		SITE DATA TABLE			
DEVELOPMENT DATA:		PARKING	_		
TAX PARCEL ID	840-12074-002	PARKING PROVIDED:	69 SPACES		
		STANDARD PARKING:	65 SPACES		
LAND USE	COMMERCIAL	ADA PARKING / VAN:	3 / 1 SPACES		
TOTAL SITE AREA	2.56 ACRES	PARKING REQUIRED:	50 SPACES		
TOTAL DISTURBED AREA	0.14 ACRES	STANDARD PARKING:	48 SPACES		
		ADA PARKING / VAN:	1 / 1 SPACES		
ZONING DATA:					
FEMA FLOOD PANEL	05125C0360E				
ZONING DISTRICT:	C-2				
MIN. LOT SIZE:	20,000 SF				
MIN. LOT WIDTH:	100 FT				
MAX. HEIGHT:	4 STORIES				

# SITE PLAN KEY NOTES

SETBACKS: FRONT YARD SIDE YARD INTERIOR

REAR YARD

SIDE YARD EXTERIOR

- 1. SEE "GENERAL NOTES" SHEETS FOR SITE GENERAL NOTES .
- 2. SEE "SITE DETAIL" SHEETS FOR DETAILS REFERENCED ON THE SITE PLANS.

15 FT 15 FT

25 FT

# SITE IMPROVEMENTS

- STANDARD 18" CURB AND GUTTER (SEE SITE DETAIL SHEET)
- PROPOSED 2" CURB END TRANSITION NOT USED
- PROPOSED ACCESSIBLE ROUTE
- 4" THICKNESS CONCRETE SIDEWALK PER DETAIL. WIDTH PER PLAN. 2% MAX. CROSS SLOPE, 5% MAX LONGITUDINAL SLOPE.
- PROPOSED SITE LIGHT POLE AND CONDUIT TO BE DESIGNED/COORDINATED BY OTHERS
- EXISTING ACCESSIBLE RAMP
- G 5' CURB CUT (SEE SITE DETAIL SHEET)
- PAVEMENT MARKINGS
- PAINTED DIRECTIONAL ARROW PAVEMENT MARKING WHITE
- SWSL /4" SINGLE WHITE SOLID LINE 4" WIDE

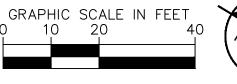
PROPOSED PROPERTY LEGEND							
EXISTING RIGHT-OF-WAY							
——————————————————————————————————————							
———— UE —— —— EXISTING UTILITY EASEMENT							
—— LOD — — LOD — — PROPOSED LIMITS OF DISTURBANCE							

# PROPOSED LANDSCAPE

BERMUDA GRASS SOD 1,578 SQ FT

DISCLAIMER: AERIAL IMAGERY IS TAKEN FROM NEARMAP DATED JUNE 30, 2023, AND IS SHOWN FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING IMPROVEMENTS PRIOR TO BEGINNING CONSTRUCTION.

PROPERTY LINE AND EXISTING RIGHT-OF-WAY IS AN APPROXIMATION AND IS NOT TO BE USED AS A SITE REFERENCE POINT.







**SHEET NUMBER** 

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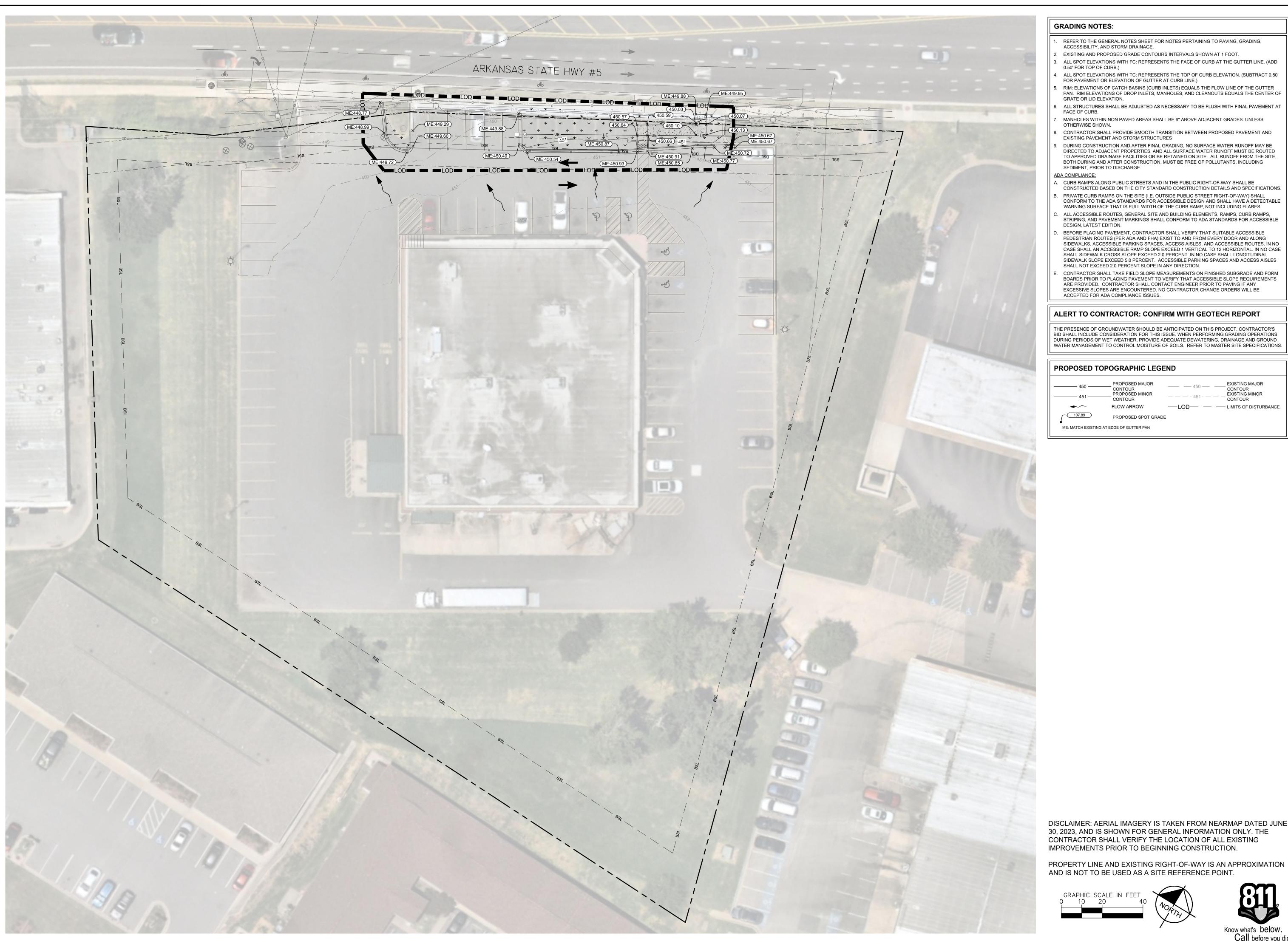
ARKANSAS

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**PROFESSIONAL** 

ENGINEER  $\star\star\star$ No. 21699

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# **GRADING NOTES:**

- REFER TO THE GENERAL NOTES SHEET FOR NOTES PERTAINING TO PAVING, GRADING, ACCESSIBILITY, AND STORM DRAINAGE.
  - EXISTING AND PROPOSED GRADE CONTOURS INTERVALS SHOWN AT 1 FOOT.
- ALL SPOT ELEVATIONS WITH FC: REPRESENTS THE FACE OF CURB AT THE GUTTER LINE. (ADD 0.50' FOR TOP OF CURB.)
- ALL SPOT ELEVATIONS WITH TC: REPRESENTS THE TOP OF CURB ELEVATION. (SUBTRACT 0.50' FOR PAVEMENT OR ELEVATION OF GUTTER AT CURB LINE.) RIM: ELEVATIONS OF CATCH BASINS (CURB INLETS) EQUALS THE FLOW LINE OF THE GUTTER
- PAN. RIM ELEVATIONS OF DROP INLETS, MANHOLES, AND CLEANOUTS EQUALS THE CENTER OF GRATE OR LID ELEVATION.
- ALL STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT AT FACE OF CURB.
- MANHOLES WITHIN NON PAVED AREAS SHALL BE 6" ABOVE ADJACENT GRADES. UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION BETWEEN PROPOSED PAVEMENT AND EXISTING PAVEMENT AND STORM STRUCTURES
- DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING
- . CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE
- CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND SHALL HAVE Á DETECTABLE
- WARNING SURFACE THAT IS FULL WIDTH OF THE CURB RAMP, NOT INCLUDING FLARES. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ACCESSIBLE SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.

# ALERT TO CONTRACTOR: CONFIRM WITH GEOTECH REPORT

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

# PROPOSED TOPOGRAPHIC LEGEND

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	<b>~</b> ~	FLOW ARROW	—LOD— —	— LIMITS OF DISTURBANCE
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PROPOSED SPOT GRADE

ARKANSAS \*\*\* LICENSED **PROFESSIONAL** ENGINEER \* \* \* No. 21699

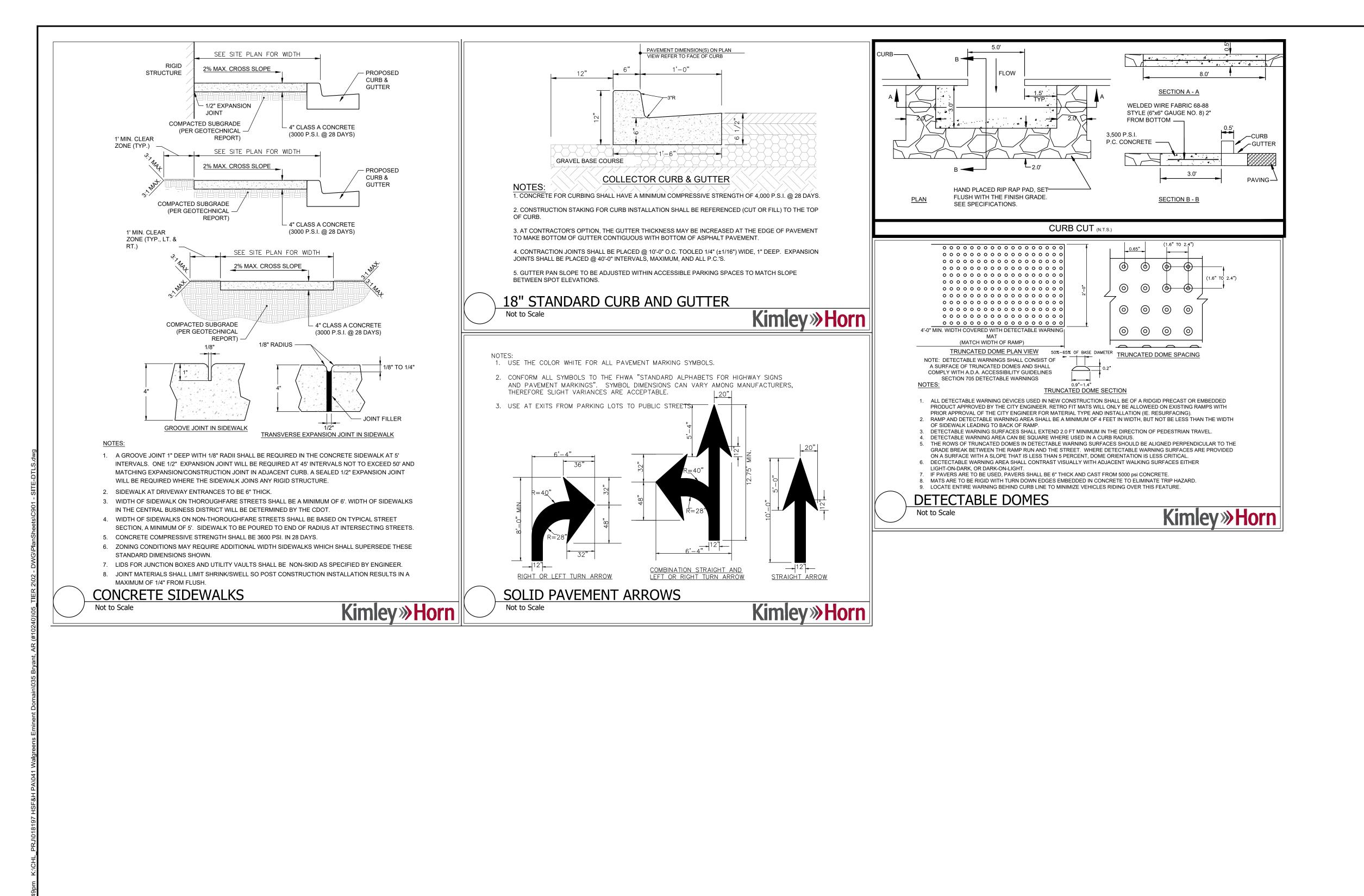
NOT FOR CONSTRUCTION

SHEET NUMBER

C401

Know what's below.

Call before you dig.



SITE DETAI

ALGREENS #10240 - RYANT, ARKANSAS
PREPARED FOR

SHEET NUMBER
C901

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



May 29, 2024

# Walgreens Store #10240 - Bryant Modification Narrative

This letter is to outline the modifications being proposed at the Walgreens site located at 5500 Highway 5 N, Bryant, AR 72022.

Due to the construction of the ARDOT roadway project no. 061335, the Walgreens' parking spaces located along Highway 5 frontage were taken out of compliance from the City's ordinance due to the loss in parking space depth. Therefore, we are proposing the removal of 10 of the existing 16 parking spaces. A landscaped island will replace the 10 parking spaces and contain a new sidewalk that connects the site's accessible route to the public sidewalk. This project will also require further coordination with ARDOT as we are working within their existing right-of-way.

If you have any further questions, please do not hesitate to contact me by phone at 479-388-1015 or by email at <a href="mailto:matt.cox@kimley-horn.com">matt.cox@kimley-horn.com</a> should you have any questions or need any addition information.

Thank you,

KIMLEY-HORN AND ASSOCIATES, INC.

Matt Cox, PE

**SUBJECT PROPERTY** 

Fence Installation



JOI S. Elm St.

Big Dog Gym

Tonya Nichols

501-258-5462



# City of Bryant Community Development

210 SW 3rd Street Bryant, AR 72022 PHONE: 501-943-0857 FAX: 501-943-0992

EMAIL: tsmith@cityofbryant.com

# Temporary Business Application and Information

- Applications are due by 5:00 Pm Wednesday the week prior to the scheduled Development Review Committee meeting.
- Application deadlines and meeting dates can be found on the City of Bryant's website under the Planning and Community Development page or by clicking HERE.

Re	Requirements for Submission							
4		Letter stating your request						
		Complete and submit a <u>Temporary Business Application</u>						
M	Su	bmit <u>\$25.00 application fee</u>						
	Su	bmit 8 copies of <b>site plan</b> showing:						
	ū	Exact location of proposed temporary business including setbacks from streets or highway right-of-way.						
		Clearly identifying any open display areas.						
		The parking spaces to be dedicated by the owner of the property for use by this temporary business.						
ū	Sub the s	mit a <u>letter from the property owner</u> stating that they are in agreement with site plan.						
	a rood establishment – snow approval from Arkansas Department of Healt							
0								

# **Temporary Business Application**

**City of Bryant** 

City of Bryant						
Date: 5/20/24						
Name of Business: FINE STAN FINEWORKS						
Federal Tax Employer Identification Number: 453216261						
Arkansas State Sales Tax Number: 55025/23						
Type of Business: FETAIL SALES						
Location of proposed Temporary Business: 23395 15-30 BRYANT, ANK						
Parcel Number of Location of proposed Temporary Business: 23395 1-36						
Owner Mailing Address: P.O. BOYG BRYANT, ANK 72089						
Contact Person: JEFF HOLDER						
Daytime Phone Number: Evening Phone Number: 501-350-6684						
Please check the category you are applying for. Permits cannot exceed the following						
Carnivals Fireworks stands or tents Christmas tree stands, tents or lots General commercial sales stands, tents or lots Concession/Refreshment stands/Food Service  30 Days 60 Days 90 Days 180 Days						
Beginning Date Requested July 2014 Ending Date Requested July 214						
I hereby certify the above to be true and correct, and state that I am operating a business in accordance with the city's zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.						

Owners Signature Mark Bridfort

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Tello my name in Mark Bridgerd.

I am the owner of Fine Star Friedrand.

I am requesting to have Justice to

retail Fireworks inside the city limits

of Bry and Ank. I have previously done

business the past two years at the jusposed

business for this pelling season. I follow

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all rules, regulations, and ordinances that

all rules, regulations by the City of Bryant.

have been established by the City of Bryant.

Please consider my business for their

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5/20/24



# **City of Bryant Community Development**

210 SW 3rd Street Bryant, AR 72022 PHONE: 501-943-0857 FAX: 501-943-0992

EMAIL: tsmith@cityofbryant.com

# **Temporary Business Application and Information**

- Applications are due by 5:00 Pm Wednesday the week prior to the scheduled Development Review Committee meeting.
- Application deadlines and meeting dates can be found on the City of Bryant's website under the Planning and Community Development page or by clicking <u>HERE</u>.

# **Requirements for Submission**

<b>a</b>	Letter stating your request					
d	Complete and submit a <u>Temporary Business Application</u>					
	Submit \$25.00 application fee					
ū	Submit 8 copies of site plan showing:					
		Exact location of proposed temporary business including setbacks from streets or highway right-of-way.				
		Clearly identifying any open display areas.				
		The parking spaces to be dedicated by the owner of the property for use by this temporary business.				
	Submit a <u>letter from the property owner</u> stating that they are in agreement with the site plan.					
	If food establishment – show approval from Arkansas Department of Health.					
a	Provide \$1,000 surety bond made payable to City of Bryant conditioned for faithful performance of the payment of all applicable fees and penalties.					

# **Temporary Business Application**

**City of Bryant** 

5/20/24 To the City of Bryant.

I am the owner of Fire Star Firedork. I am requesting to have privilege to retail fireworks inside the city limits of Bryant, Ank. I have meriously done business the post two years at the gruposed locations for this selling season! I follow all rules, regulations, and ordinances that have been established by the City of Bryont. Please consider my business for their repearing finanks Deason & Lank you Made Boffer

903-826-4453

CORNER THE LOT EXIT BUILDINGS BANIL FOOD TRAILER SNOW STAND DRIVEWAY CONE 5407 Hwy 5 Bryant, Ank

Hwy 5

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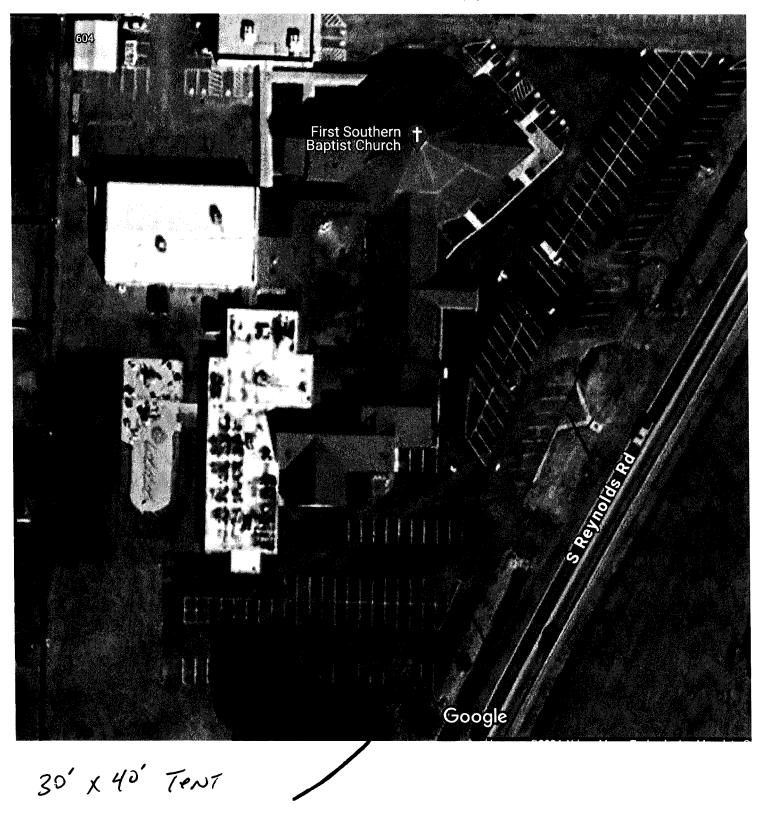
(Continued on Page 2)

# Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at <u>www.\_tyusbryans.son</u> under the Community Development tab.

Date: _	6/0/24
Busine	ess Information:
Name _	AMOCD'S Fineworks
Federal	Tax Employer ID Number 710311720
Arkansa	s State Sales Tax Number <u>034327-60-001</u>
Name _	of Proposed Temporary Business Peter Curry Am First Sortin BATRICT Che SAME LOCATION AS 604 South Aexwords Ad.  LAST YEAR  ESS Owner:  Tom DANIEL  Name TEARY HAFFEL  S-4802 Lexington PARK CA. Address 3208 S. Shope Ad.
51	BHANT, AR BRYANT, AR
	SUI-758-2624 Phone 501-590-8009 ALKANSAS TENTE YAHOO.CON Email THARPER 1777 & GMAIL.CON
Check	klist for Submission
	Completed Application and Checklist
	Twenty-Five Dollar (\$25.00) Application fee
	Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
	(Further information on the details of liability insurance can be found in Section 2-4 of
	the Temporary Business Section of the Bryant Business Ordinance.)

	Eight (8) copies of a Site Plan:
	<ul> <li>Site Plan shall be to scale, all structures shall be identified. Clear identification of</li> </ul>
	any open display areas
	<ul> <li>Fireworks tent / canopy shall have a minimum 50ft. setback from all other</li> </ul>
	structures
	<ul> <li>Show parking spaces dedicated by the owner of the property for use by the</li> </ul>
	temporary business.
	Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
	Minimum exit width shall be 72 in. All exits shall be identified with proper signage
	No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs
	shall be posted at all entrance / exits
	2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum
	travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may
	be required. Extinguishers shall be clearly visible, marked with appropriate signage, and
	mounted height of not less than 36 in. from the ground
	Generators or other combustion power sources, including fuel, shall be separated from
	tents / canopies by a minimum of 25 ft.
	Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an
	inspection once the business is ready for operation. The inspection shall be conducted
	prior to any sales to the public are allowed. Contact: 501-943-0964
READ	CAREFULLY BEFORE SIGNING
1 7	To Assist
inform	ntion contained within this application is true and correct. I further certify that I agree too
and wi	tablue by all Temporary Business rules and regulations as outlined in the Pright Business
Orama	ice. I also understand that I shall comply with all additional applicable ordinances of the
City us	well us the requirements of all state and federal laws. Furthermore, Lundorstand
to \$500	n of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up 0.00 per occurrence of violation. Each day's occurrence is a separate violation.
Owne	s Signature for Sand





# **CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY) 05/31/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

this certificate does not confer rights t	o the	certi	ficate holder in lieu of su					
PRODUCER				CONTACT NAME:				
PROFESSIONAL PROGRAM INSURANCE BROKERAGE				PHONE (A/C, No, Ext): 415-475-4300 FAX (A/C, No): 415-475-4303				
DIVIDION OF ODO INCUDANCE COLUTIONS 11.0				E-MAIL ADDRES	SS:			
1304 SOUTHPOINT BLVD., #101					Control of the Contro		DING COVERAGE	NAIC#
PETALUMA			CA 94954	INSURE	RA: Certain	Underwriters	at Lloyd's, London	AA-1128623
INSURED				INSURE	RB:			
Arnold Fireworks, Inc.; Spa F	irewo	rks, (	Co.	INSURE	RC:			
PO Box 873				INSURE	RD:			
				INSURE	RE:			
N. Little Rock			AR 72115	INSURE	RF:			
COVERAGES CER	TIFIC	CATE	NUMBER: BL-000911				REVISION NUMBER:	
THIS IS TO CERTIFY THAT THE POLICIES INDICATED. NOTWITHSTANDING ANY RICERTIFICATE MAY BE ISSUED OR MAY EXCLUSIONS AND CONDITIONS OF SUCH	EQUIF PERT POLI	REMEI AIN, CIES.	NT, TERM OR CONDITION THE INSURANCE AFFORD LIMITS SHOWN MAY HAVE	OF AN'	Y CONTRACT THE POLICIE REDUCED BY	OR OTHER D S DESCRIBED PAID CLAIMS.	DOCUMENT WITH RESPECT TO	WHICH THIS
INSR LTR TYPE OF INSURANCE		SUBR WVD	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
COMMERCIAL GENERAL LIABILITY							ENTOTT O CONTROLL	1,000,000
X CLAIMS-MADE OCCUR							DAMAGE TO RENTED PREMISES (Ea occurrence) \$ \$	50,000
							MED EXP (Any one person) \$	
A	X		PY/24-0050		04/30/2024	04/30/2025	PERSONAL & ADV INJURY \$	
GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE \$ \$	1,000,000
X POLICY PRO- JECT LOC							PRODUCTS - COMP/OP AGG \$ I	NCLUDED
OTHER:							\$	
AUTOMOBILE LIABILITY							COMBINED SINGLE LIMIT (Ea accident) \$	
ANY AUTO							BODILY INJURY (Per person) \$	
OWNED SCHEDULED AUTOS ONLY							BODILY INJURY (Per accident) \$	
HIRED NON-OWNED AUTOS ONLY							PROPERTY DAMAGE (Per accident)	
							\$	
UMBRELLA LIAB OCCUR							EACH OCCURRENCE \$	
EXCESS LIAB CLAIMS-MADE	=						AGGREGATE \$	
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AND EMPLOYERS' LIABILITY ANYPROPRIETOR/PARTNER/EXECUTIVE	NI / A						E.L. EACH ACCIDENT \$	
OFFICER/MEMBEREXCLUDED? (Mandatory in NH)	N/A						E.L. DISEASE - EA EMPLOYEE \$	
If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT \$	
								and the first first the sear of the property of the first fi
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHIC	CLES (	ACORI	D 101, Additional Remarks Sched	ule, may b	e attached if mo	re space is requir	red)	
Albert Arey are Additional Insured as respects the retail fireworks stand, located at 2625 Springhill Rd, Bryant, AR 72019 operating from 06/24/2024 through 07/07/2024.								
APPENDATE HOLDED				CAN	OFILI ATION			
CERTIFICATE HOLDER				TOAN	CELLATION			
Albert Arey	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.							
2625 Springhill Rd				AUTH	ORIZED REPRES	ENTATIVE		
Bryant AR 72019				Susan Etter				



Permit Number FWI.0001220

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAY IN PLACE OF BUSINESS

# Office of Fire Services



Date of Issue 05/01/2023

State Fire Marshal

# FIREWORKS LICENSE

This is to certify that

Arnold Fireworks, Inc

is duly license to transact business in the State of Arkansas as a Fireworks: IMPORTER LICENSE

LICENSE EXPIRES

04/30/2025

AJ GARY

DIRECTOR and STATE HOMELAND SECURITY ADVISOR



NON TRANSFERABLE

Jake Dennis Free

Jake Dennis Free STATE FIRE MARSHAL

6/4/24, 1:57 PM IMG\_0423.jpg

# State of Arkansas ARKANSAS SALES AND USE TAX PERMIT

ARNOLD FIREWORKS INC

P 0 BOX 873

N LITTLE ROCK AR 72115

DATE ISSUED:

PERMIT NUMBER: 034327-60-001

DLN:

DATE OPENED: 05/01/1971

TOYS AND HOBBY GOODS AND SUPPLIES

EXEMPTION: 81 THIS BUSINESS TO EXEMPT FROM SALES TAX. ONLY FOR THE PURCHASES OF

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# Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at <u>www.cityofbryant.com</u> under the Community Development tab.

Date: 4/4/24
Business Information:
Name AMOCD'S Fireworks
Federal Tax Employer ID Number 71031 720
Arkansas State Sales Tax Number <u>034327-60-001</u>
Location of Proposed Temporary Business ALBERT ARCY 2625 STRINGLIC AND BRYANT 501-454-1252
Business Owner: Contact Person:
Name Ton DANIEL Name TERRY HAFFEL
Address 4802 LexingTon PARK CA. Address 3208 3. Shope Rd
BLYANT, AR BRYANT, AR
Phone 501-758-2624 Phone 501-590-8007
Email ALKANSAS TENTE YAHOO. CON Email THARPER 1777 & GMAIL. CON
Checklist for Submission
☐ Completed Application and Checklist
☐ Twenty-Five Dollar (\$25.00) Application fee
☐ Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
(Further information on the details of liability insurance can be found in Section 2-4 of
the Temporary Business Section of the Bryant Business Ordinance.)
(Continued on Page 2)

	Eight (	Eight (8) copies of a <b>Site Plan</b> :								
	0	Site Plan shall be to scale, all structures shall be identified. Clear identification of								
		any open display areas								
	0	Fireworks tent / canopy shall have a minimum 50ft. setback from all other								
		structures								
	0	Show parking spaces dedicated by the owner of the property for use by the								
		temporary business.								
	Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits									
Minimum exit width shall be 72 in. All exits shall be identified with proper signage										
	□ No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs									
	shall b	pe posted at all entrance / exits								
	2 ABC	fire extinguishers, with a 2A rating or greater, shall be provided. The maximum								
	travel	distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may								
	be red	quired. Extinguishers shall be clearly visible, marked with appropriate signage, and								
	moun	ted height of not less than 36 in. from the ground								
	Gene	rators or other combustion power sources, including fuel, shall be separated from								
į.	tents	/ canopies by a minimum of 25 ft.								
	Appli	cant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an								
	inspe	ction once the business is ready for operation. The inspection shall be conducted								
	prior	to any sales to the public are allowed. Contact: 501-943-0964								
READ	CARE	FULLY BEFORE SIGNING								
1/	Un	مرين و لا من من المناوية و المنا								
-		le by all Temporary Business rules and regulations as outlined in the Bryant Business								
		also understand that I shall comply with all additional applicable ordinances of the								
City a	s well d	as the requirements of all state and federal laws. Furthermore, I understand								
		Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up								
to \$50	00.00 p	er occurrence of violation. Each day's occurrence is a separate violation.								
Own	ers Sigr	nature Jam Namel								
OWII	cı ə əigi	ideal C								



30' x 40' TENT



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 05/31/2024

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this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).												
PRODUCE	R				CONTACT NAME:							
PROFES	SSIONAL PROGRAM INSURANCE	BRC	KER	AGE	PHONE (A/C, No, Ext): 415-475-4300 FAX (A/C, No): 415-475-4303							
DIVISIO	N OF SPG INSURANCE SOLUTIO	NS, L	LC		E-MAIL ADDRESS:							
1304 SC	OUTHPOINT BLVD., #101							NAIC#				
PETALL	JMA			CA 94954	INSURER A: Certain Underwriters at Lloyd's, London AA-1			AA-1128623				
INSURED					INSURER B:							
	Arnold Fireworks, Inc.; Spa F	rewo	rks, C	Co.	INSURER C:							
PO Box 873						INSURER D:						
					INSURER E:							
	N. Little Rock	-	AR 72115			INSURER F:						
COVER		-		NUMBER: BL-000909				REVISION NUMBER:				
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.												
INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	3			
X	COMMERCIAL GENERAL LIABILITY			a service a service and a serv					\$ \$1,0	000,000		
	CLAIMS-MADE OCCUR		PY/24-0050					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ \$50,000			
							MED EXP (Any one person)	\$				
Α		Х		PY/24-0050		04/30/2024	04/30/2025	PERSONAL & ADV INJURY	\$			
GEN	L'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE	\$ \$1,000,000			
×	POLICY PRO- JECT LOC							PRODUCTS - COMP/OP AGG	\$ INC	LUDED		
	OTHER:				No. of the Control of				\$			
AU1	OMOBILE LIABILITY							COMBINED SINGLE LIMIT (Ea accident)	\$			
	ANY AUTO							BODILY INJURY (Per person)	Y INJURY (Per person) \$			
	OWNED SCHEDULED AUTOS							,	\$			
	HIRED NON-OWNED AUTOS ONLY							PROPERTY DAMAGE (Per accident)	\$			
					TOTAL TRANSPORT OF THE PARTY OF				\$			
	UMBRELLA LIAB OCCUR							EACH OCCURRENCE	\$			
	EXCESS LIAB CLAIMS-MADE							AGGREGATE	\$			
DED RETENTION\$			-					lore low	\$			
	RKERS COMPENSATION DEMPLOYERS' LIABILITY Y / N							PER OTH- STATUTE ER				
	PROPRIETOR/PARTNER/EXECUTIVE ICER/MEMBER EXCLUDED?	N/A						E.L. EACH ACCIDENT	\$			
(Mai	ndatory in NH) s, describe under							E.L. DISEASE - EA EMPLOYEE	\$	**************************************		
DES	CRIPTION OF OPERATIONS below	ļ	-			-		E.L. DISEASE - POLICY LIMIT	\$			
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)  Peter Cunningham are Additional Insured as respects the retail fireworks stand, located at 604 S Reynolds Rd, Bryant, AR 72022 operating from 06/24/2024 through 07/07/2024.												
CEPTII	FICATE HOLDER				CAN	CELLATION						
		-			TOAN	CLLLATION						
1st Southern Baptist Church  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERE ACCORDANCE WITH THE POLICY PROVISIONS.												
604 S Reynolds Rd					AUTHO	AUTHORIZED REPRESENTATIVE						
Bryant	1			AR 72022	Susan Etter							
Businessan		and agreement was						ORD CORPORATION.	All ric	hts reserved.		



Permit Number FWI.0001220

THIS LICENSE MUST BE CONSPICUOUSLY DISPLAY IN PLACE OF BUSINESS

# Office of Fire Services



State Fire Marshal

Date of Issue 05/01/2023

# FIREWORKS LICENSE

This is to certify that

Arnold Fireworks, Inc.

is duly license to transact business in the State of Arkansas as a Fireworks: IMPORTER LICENSE

LICENSE EXPIRES

04/30/2025

AJ GARY

DIRECTOR and STATE HOMELAND SECURITY ADVISOR



NON TRANSFERABLE

Jake Dennis Free

Jake Dennis Free STATE FIRE MARSHAL

# State of Arkansas ARKANSAS SALES AND USE TAX PERMIT

ARNOLD FIREWORKS INC

P 0 BOX 873

N LITTLE ROCK AR 72115

DATE ISSUED:

PERMIT NUMBER: 034327-60-001

DLNI

DATE OPENED: 05/01/1971

81C1 5042

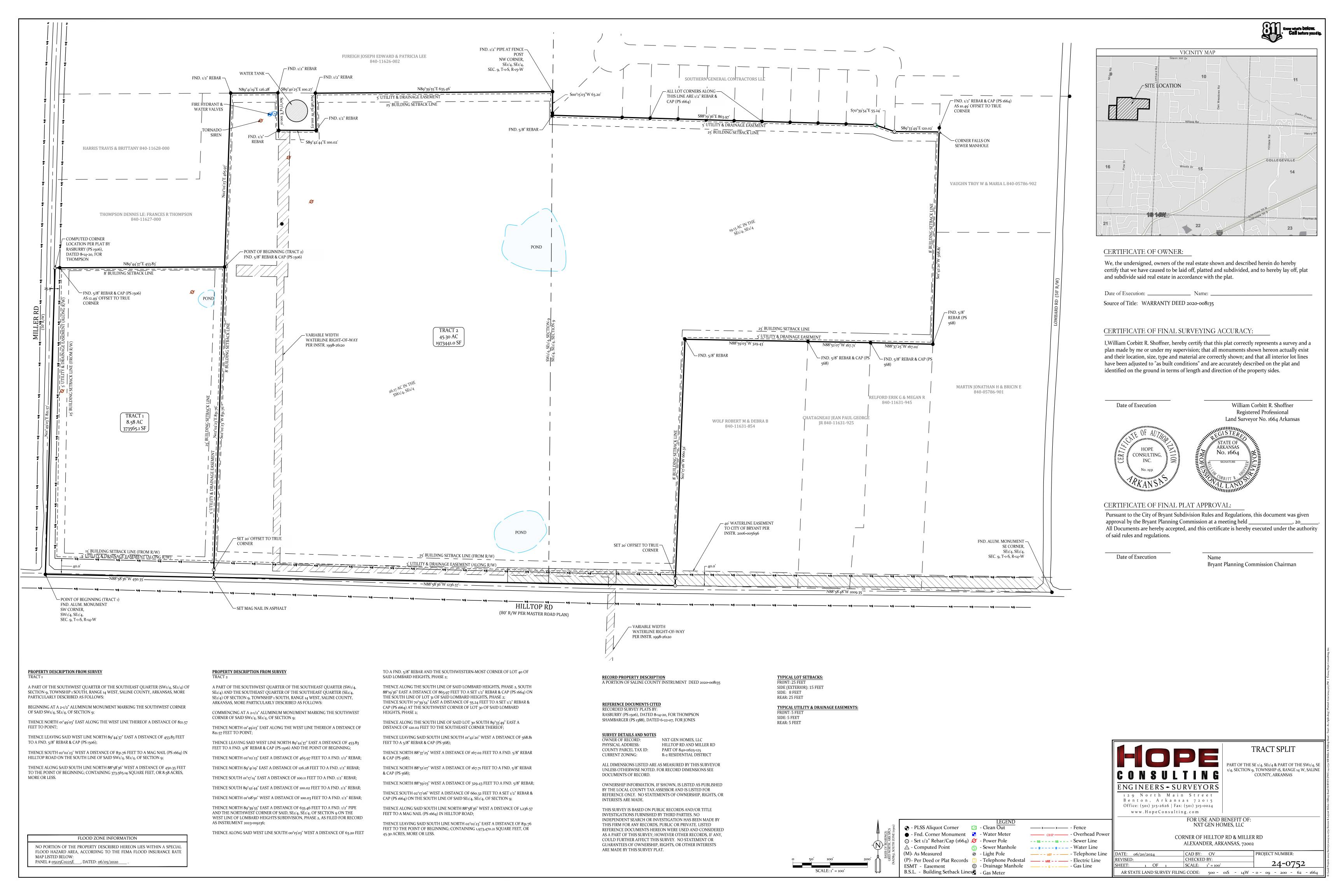
TOYS AND HORBY GOODS AND SUPPLIES

EXEMPTION: 81 THIS SUSINESS IS EXEMPT FROM SALES TAX, ONLY FOR THE PURCHASES OF GOODS TO BE RESOLD IN THE NORMAL BOURSE OF BUSINESS.

THE SPERIES 26 VASAD (UNICLE) OF A CANGOLEO AND SURRENDERED BY THE PERMIT HOLDER OR ENGINEERING YOUR PORCESSIONERS OF REVOLUTIONS.

Brat a lagranting of the community of the companies of th

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# THOMAS ENGINEERING COMPANY

civil engineers

land surveyors

3810 LOOKOUT RD

NORTH LITTLE ROCK, AR 72116 (501)753-4463 NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS

June 19, 2024

Mr. Colton Leonard City of Community Development 210 SW 3<sup>rd</sup> Street Bryant, AR 72022

RE:

Civil Site Plans and Preliminary Plat

Little Caesars

Dear Mr. Leonard:

Please accept this letter as our application for the above referenced submittal.

The owner is requesting a site plan review and preliminary final plat of Lot 1, Little Caesars Addition to the City of Bryant to allow the construction of a Little Caesars Restaurant and associated parking.

If you have any questions, please give me a call.

Sincerely,

John R. Pownall, P.E.

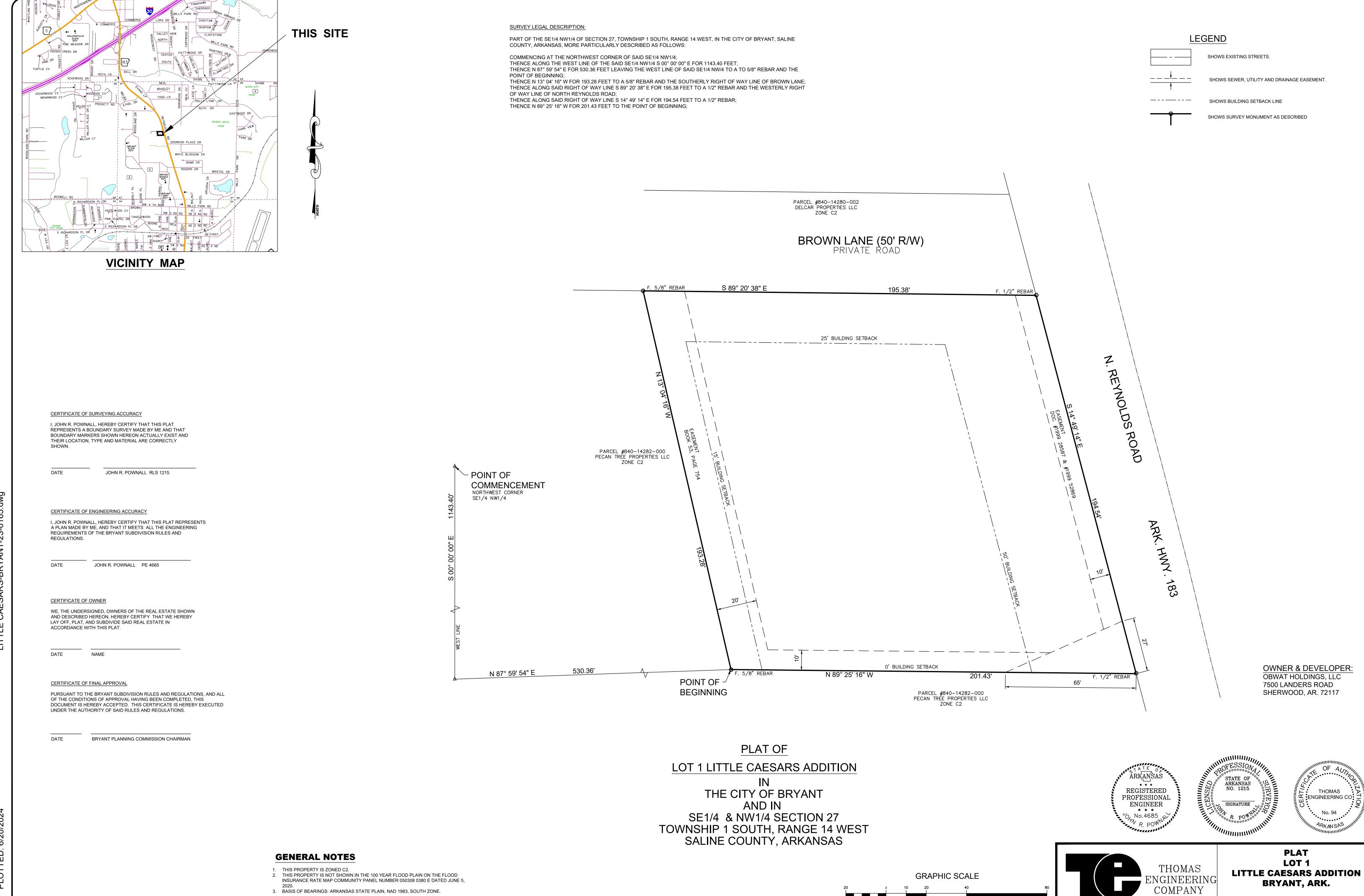
President

JRP/ab

CC:

Mike Fritz

Chris Smith



APPROVED

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116

TEL: 501-753-4463 FAX: 501-753-6814

(IN FEET)

1 inch = 20 ft.

DRAWN BY

DATE 6/20/24 SHEET NO.

DI OTTEN: 6/20/2024





