



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: January 30, 2025 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Panera Bread - 23146 I-30 - Site Plan

Crafton Tull - Requesting Site Plan Approval

- [0935-PLN-02b.pdf](#)
- [0935-RSP-01.pdf](#)
- [0935-CAA-01.pdf](#)
- [0935-DRN-02.pdf](#)
- [0935-PLN-02.pdf](#)

2. Big Oak Addition - Lot 18 - Replat

Rasburry Surveying - Requesting Recommendation for Approval of Replat of Lot 18 into 18A and 18B

- [0938-app-01.pdf](#)
- [0938-ppln-01.pdf](#)
- [0938-RPLT-01.pdf](#)
- [0938-SUB-01.pdf](#)

Staff Approved

3. Sherwin Williams - 4000 Hwy 5 N Ste 1 - Sign Permit

Arkansas Sign & Neon - Requesting Sign Permit Approval - STAFF APPROVED

- [93335-SGNAPP-02.pdf](#)
- [93335-SGNAPP-01.pdf](#)

Permit Report

Adjournments

SPECIFICATIONS

Notes:

1. 6" plain end inlet/outlet
2. Unit weight - w/ cast iron covers: 824 lbs. (for wet weight add 8,413 lbs.)
3. Maximum operating temperature: 150° F continuous
4. Capacities - Liquid: 1,000 gal.;
Grease: 5,495 lbs. (753 gal.) @100GPM
Grease: 4,959 lbs (679 gal.) @200GPM
Solids: 211 gal.
5. Satisfies Miami DERM 99% efficiency requirements; retaining the following capacities at 99.0% efficiency:
5,272 lbs. (722 gal.) @100GPM
3,127 lbs. (428 gal.) @200GPM
6. For gravity drainage applications only.
7. Do not use for pressure applications.
8. Cover placement allows full access to tank for proper maintenance.
9. Vent not required unless per local code.
10. Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
11. Integral air relief / Anti-siphon / Sampling access.
12. Adjustable cover adapters provide up to 4" of additional height.
13. Designed for below-grade, above-grade, indoor or outdoor installations.
14. Safety Star®, access restrictor built into each cover adapter, prevents accidental entry to tanks (450 lb rating).

ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB-1000 shall be lifetime guaranteed and made in USA of seamless, molded polyethylene with minimum 7/16" uniform wall thickness. Interceptor shall be furnished for above or below-grade installation with adjustable cover adapter and Safety Star® access restrictor built into each cover adapter. Interceptor shall be certified to ASME A112.14.3 (Type D) and CSA B481.1 as well as certified to IAPMO/ANSI Z1001-2021. Interceptor flow rate shall be 100 GPM or 200GPM. Interceptor grease capacity shall be 5,495 lbs. Cover shall provide water/gas-tight seal and have minimum 16,000 lbs. load capacity.

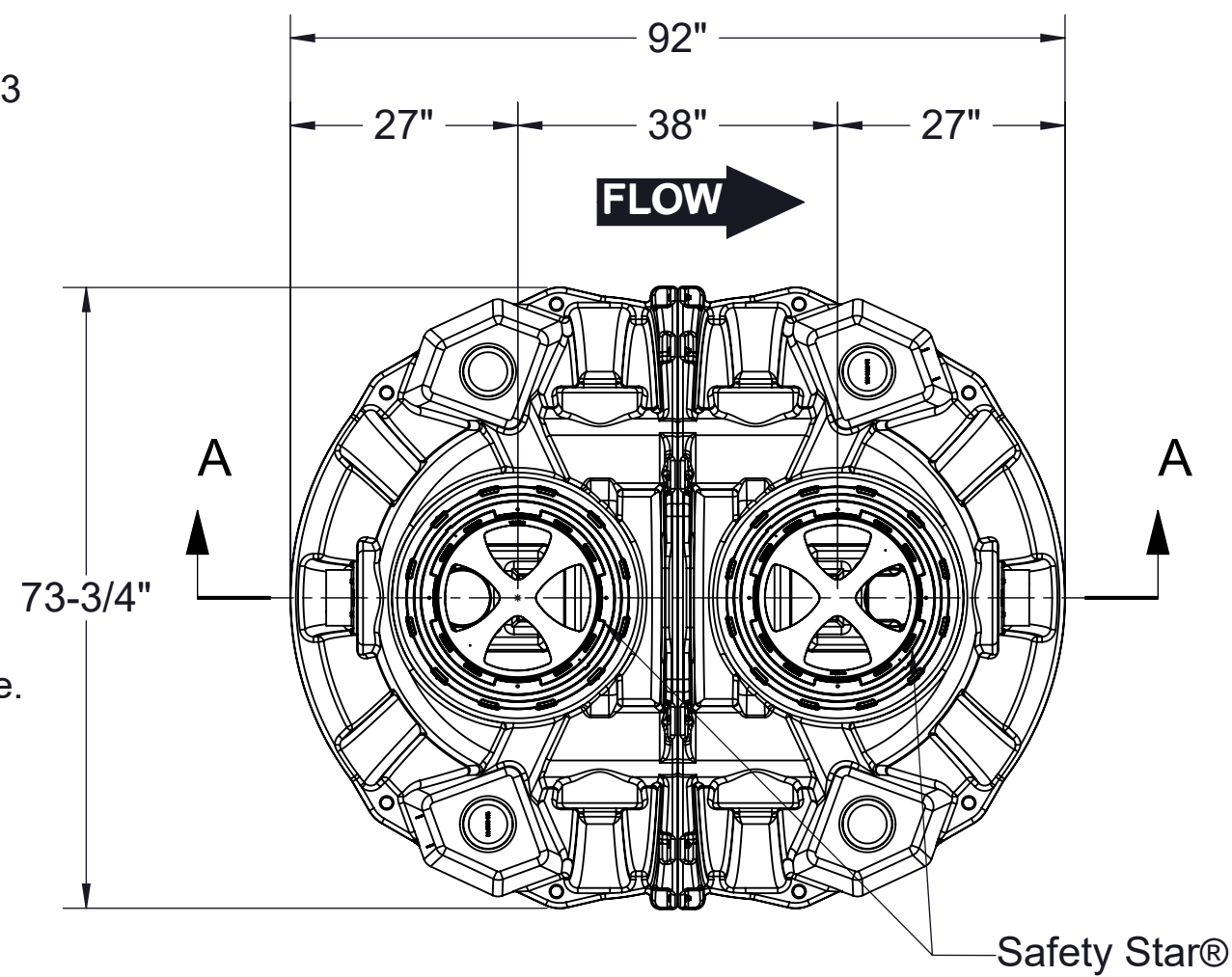
CERTIFIED PERFORMANCE

Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

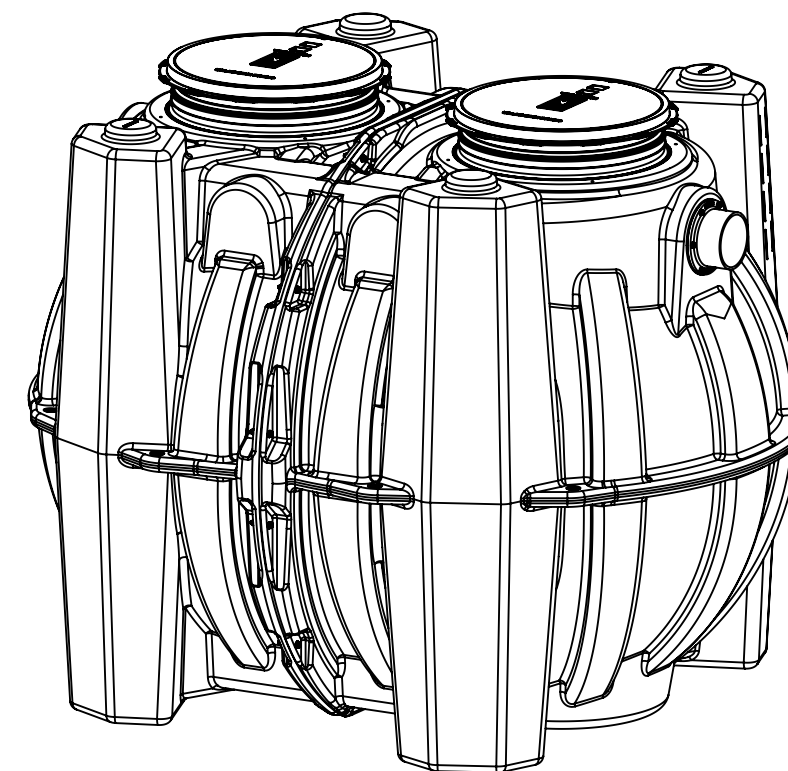
Type D certification does not require a flow control



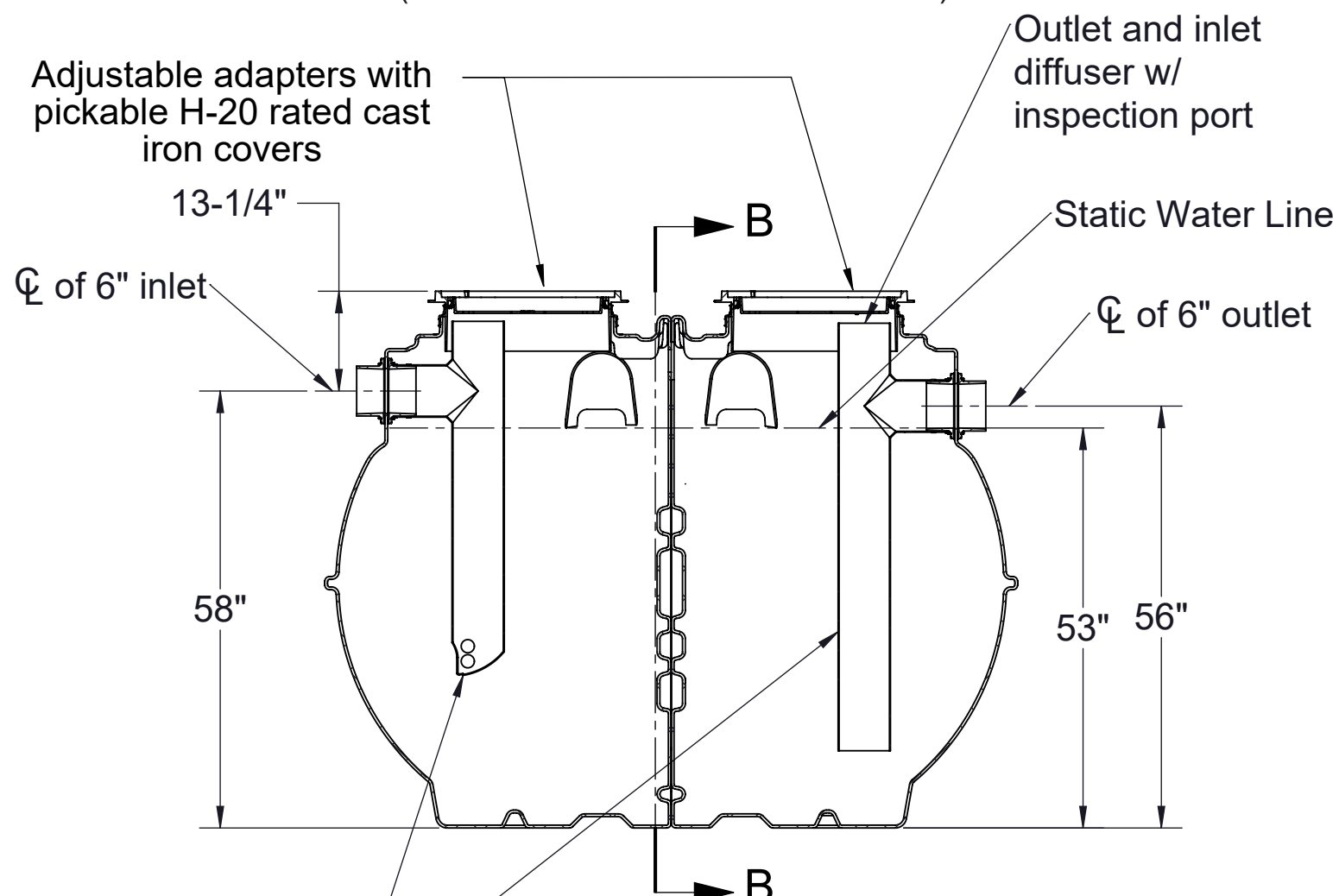
Satisfies Miami DERM 99% efficiency requirements. Product labels are permanently attached to inside and outside of unit for easy viewing.



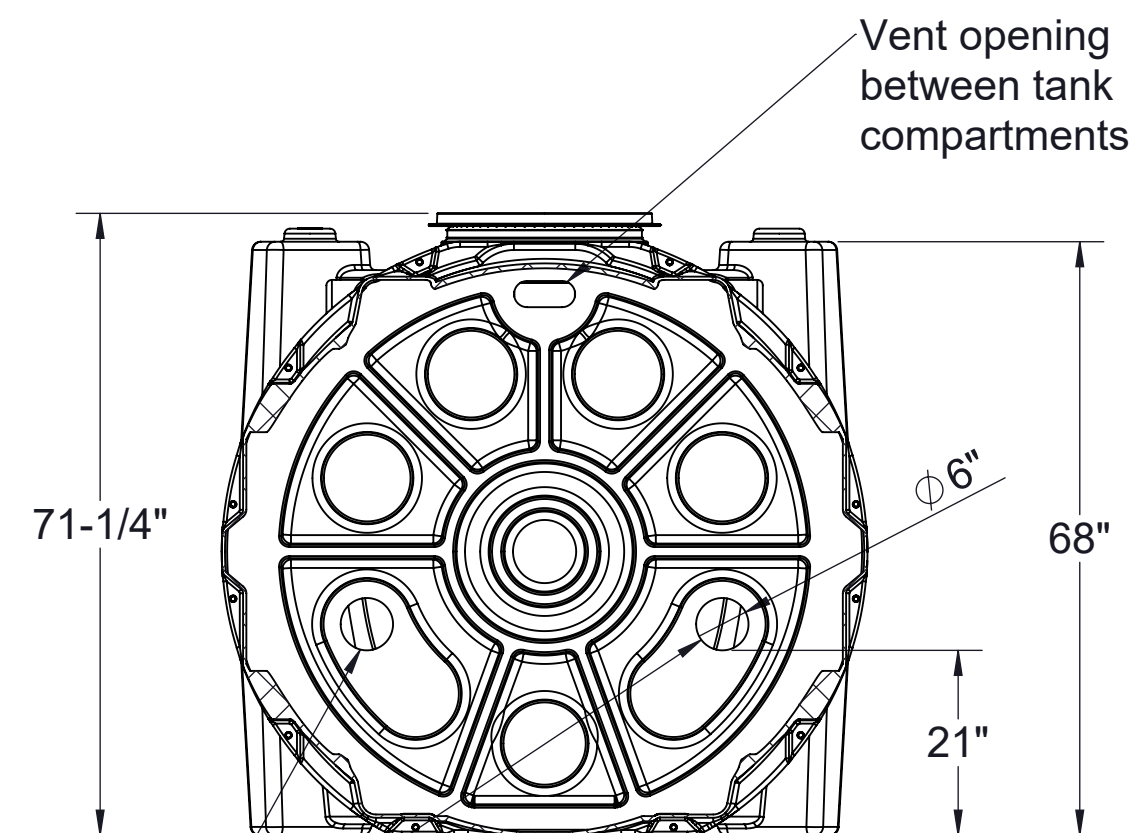
TOP VIEW
(COVERS REMOVED FOR CLARITY)



ISOMETRIC VIEW



SECTION A-A



SECTION B-B

SPECIFICATION SHEET

MODEL NUMBER:

PART NUMBER: 4080-002-01

GB-1000

DESCRIPTION:

GB-1000 GREASE INTERCEPTOR 100 GPM/ 200 GPM
6" INLET/OUTLET, H-20 RATED CAST IRON COVER

PROPRIETARY AND CONFIDENTIAL

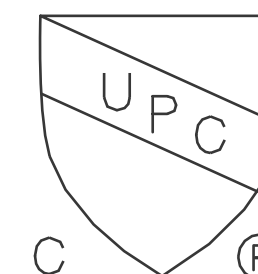
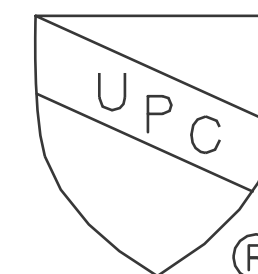
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.

DWG BY: B.BROWN

DATE: 10/18/2021

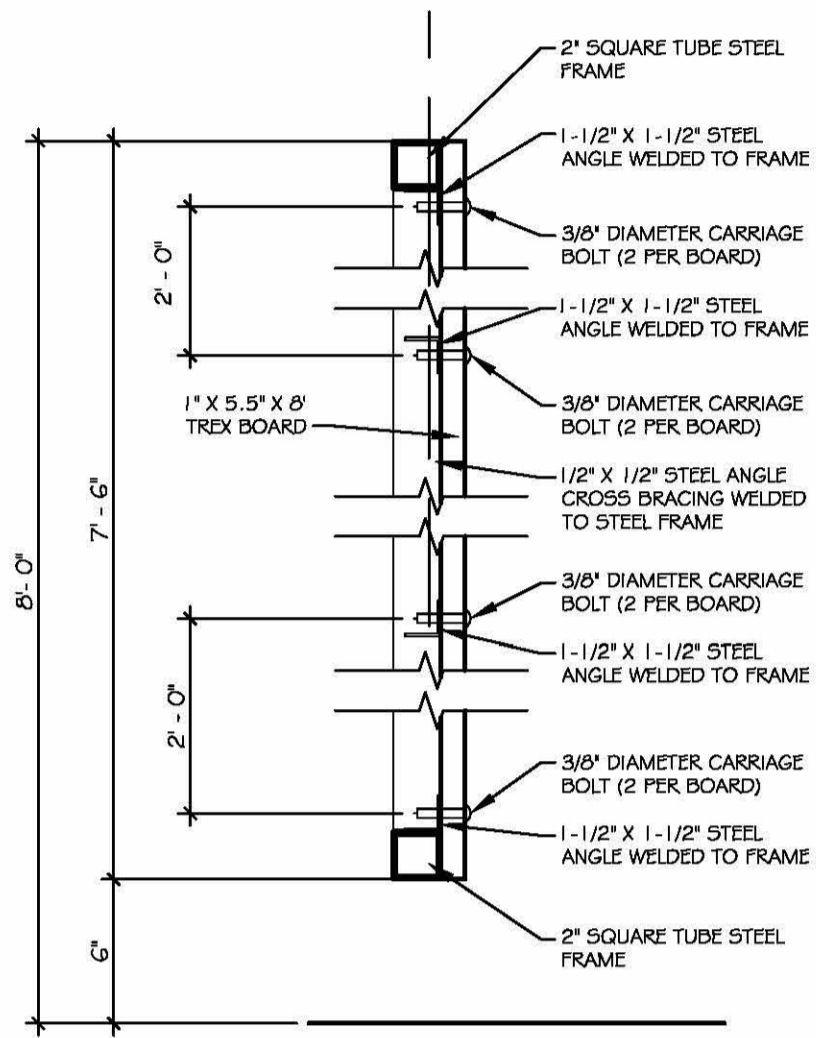
REV: 02

ECO: 032822TA

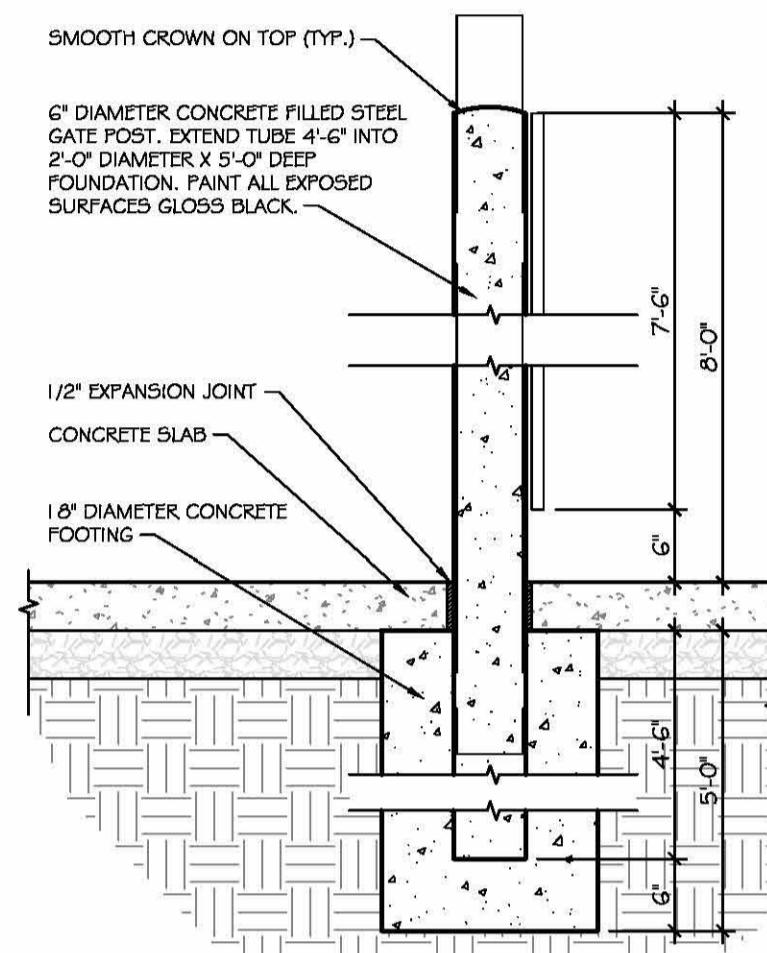


SCHIER

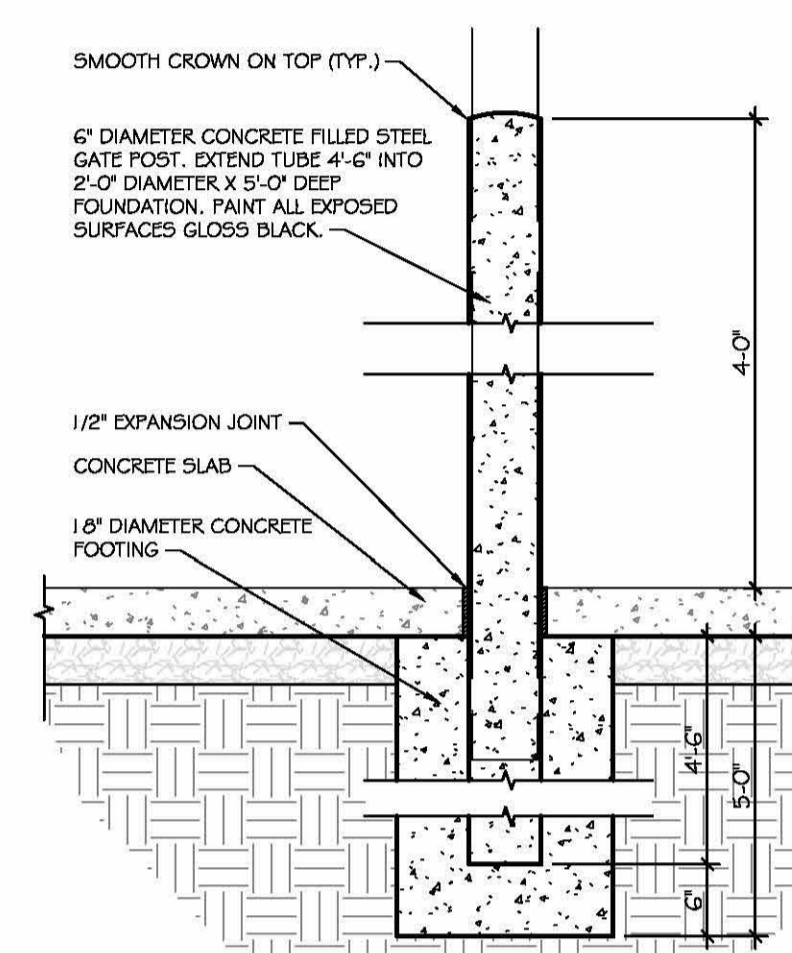
6455 Woodland Dr
Shawnee, KS 66218
Tel: 913-951-3300
Fax: 913-951-3399
schierproducts.com



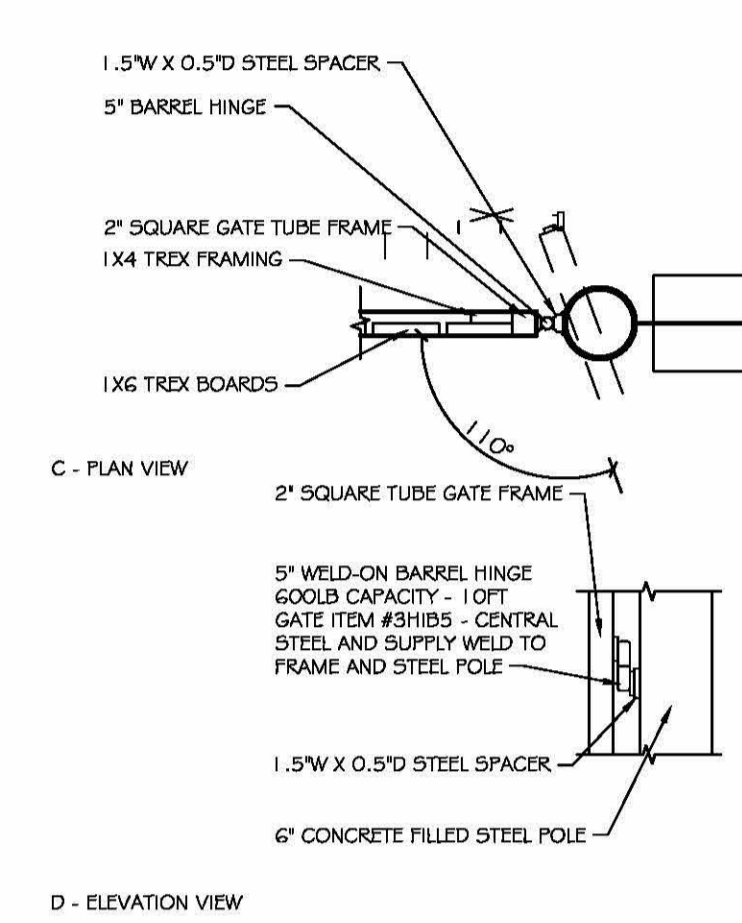
5 DETAIL @ TRASH GATE FRAMING
 1 1/2" = 1'-0"



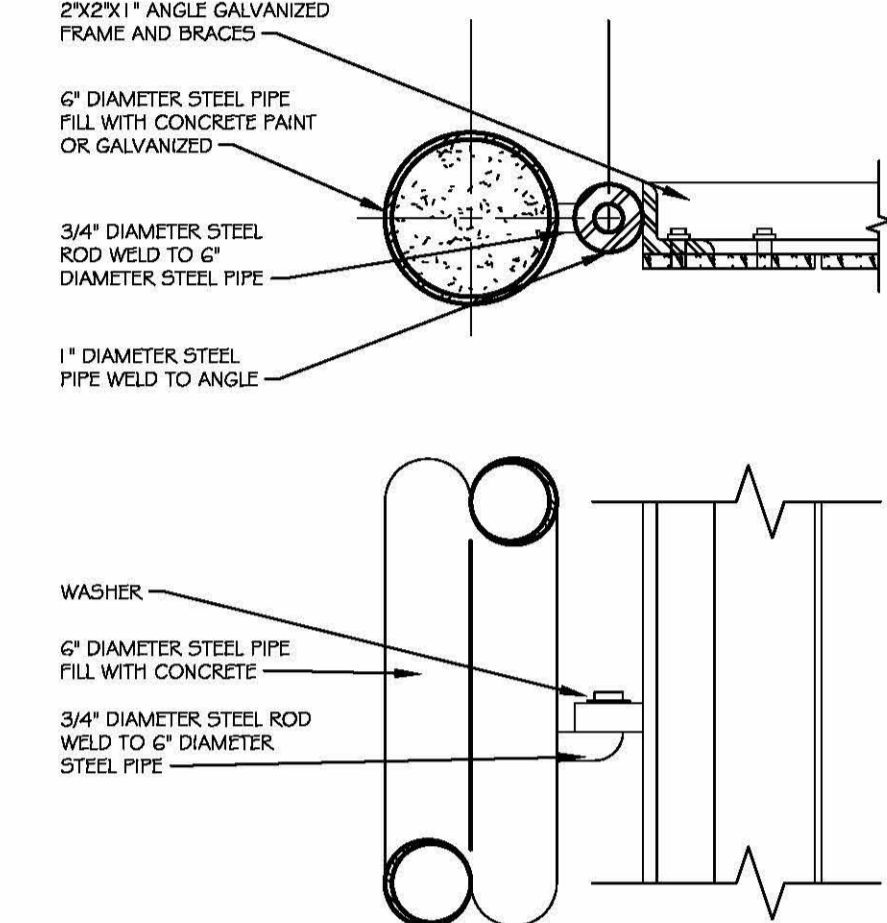
4 GATE POST DETAIL
 3/4" = 1'-0"



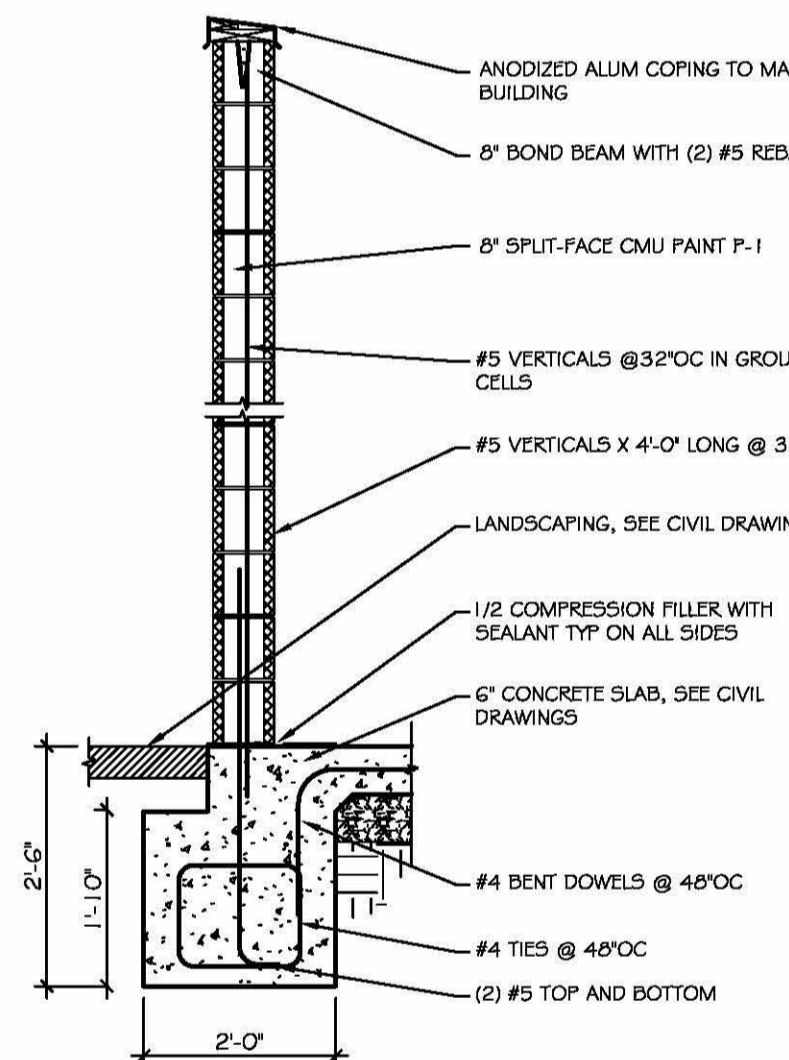
3 DUMPSTER BOLLARD DETAIL
 3/4" = 1'-0"



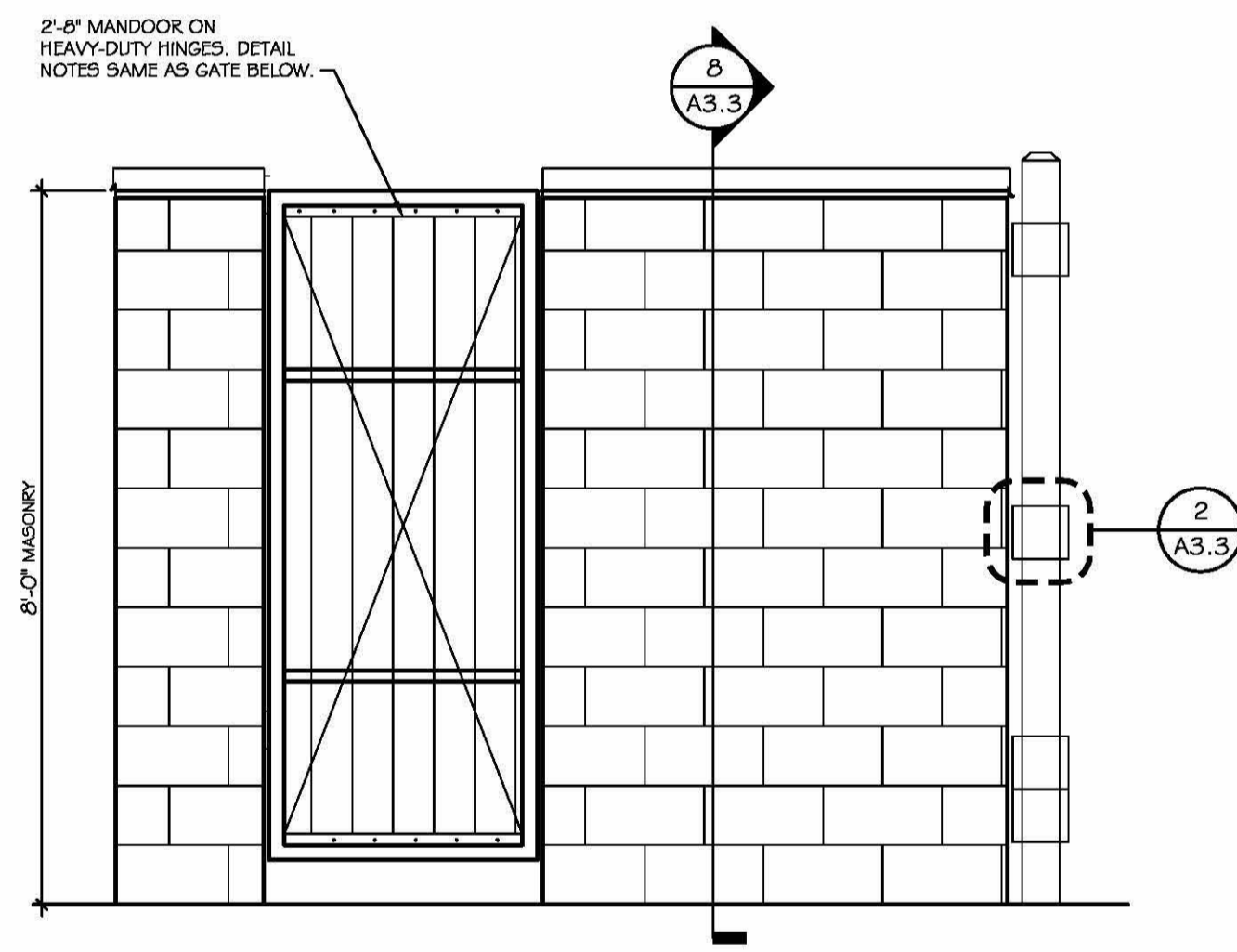
2 TRASH ENCLOSURE GATE HINGE
 3/4" = 1'-0"



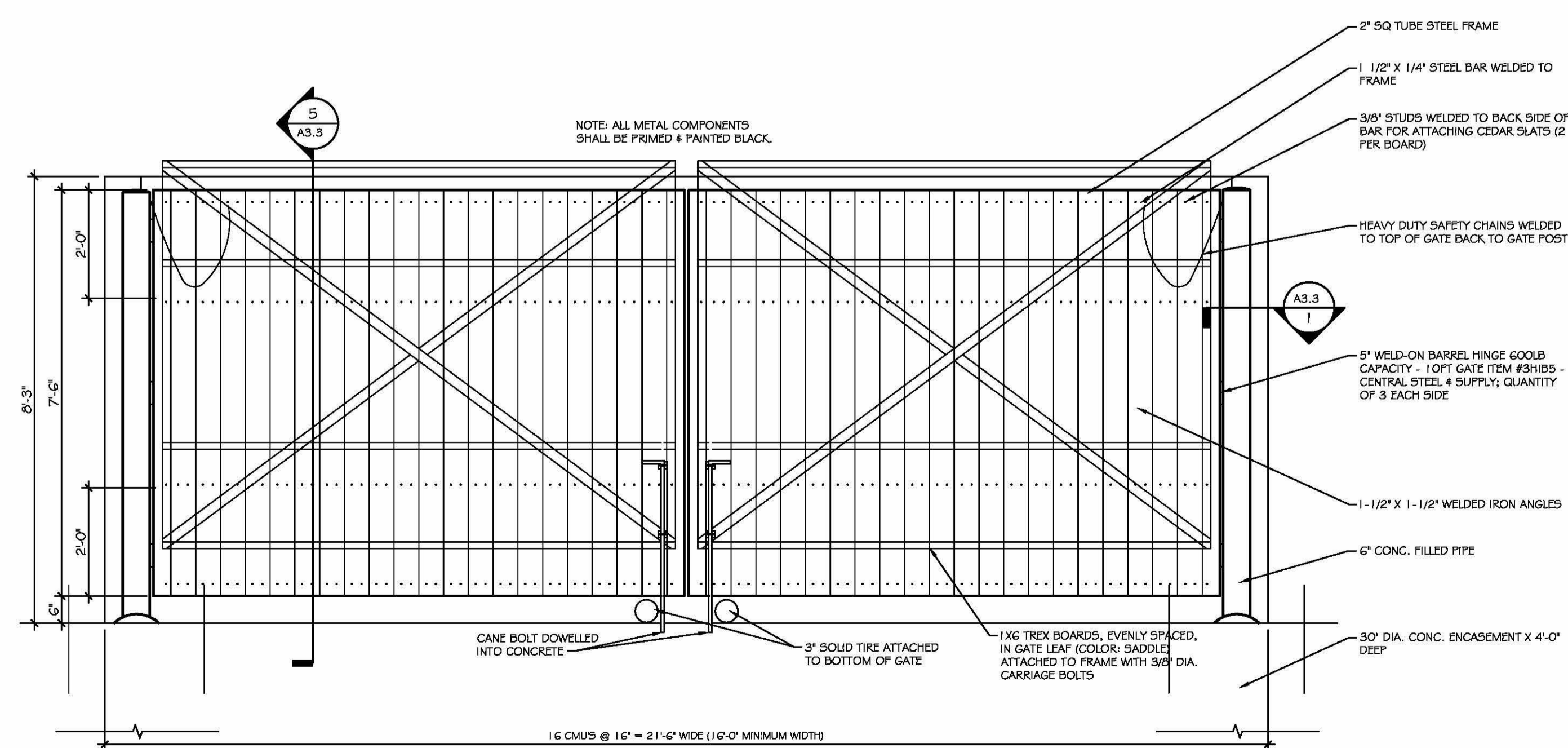
1 TRASH ENCLOSURE DETAIL
 1 1/2" = 1'-0"



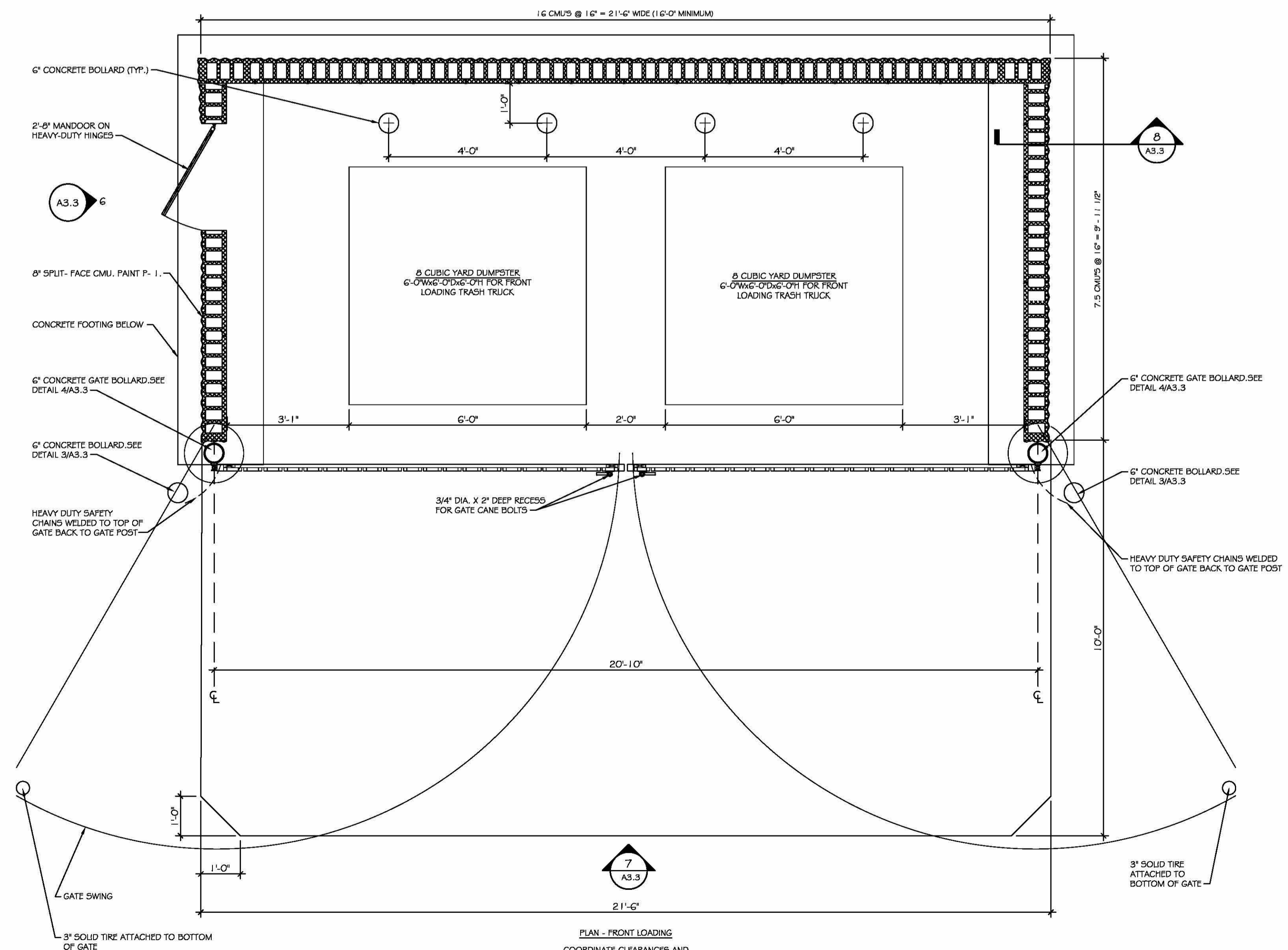
8 TRASH & RECYCLE ENCLOSURE DETAILS
 1/2" = 1'-0"



6 TRASH & RECYCLE ENCLOSURE DETAILS
 1/2" = 1'-0"



7 TRASH & RECYCLE ENCLOSURE DETAILS
 1/2" = 1'-0"



9 PLAN @ TRASH & RECYCLE ENCLOSURE FOR FRONT LOADING TRUCK
 1/2" = 1'-0"

REVISIONS:

DATE:
 01/17/2025

PROJECT NUMBER:
 2421

SHEET NAME:
 DUMPSTER ENCLOSURE
 ELEVATIONS, PLAN, AND
 DETAILS

SHEET NUMBER:

January 21, 2025

Mr. Colton Leonard
City of Bryant
210 SW 3rd St.
Bryant, AR 72022

Re: Bryant Panera – Site Plan – DRC Comments

Mr. Leonard,

Listed below are responses to comments received in by email on 1/17/25

Public Works

1. Provide the 3 way stop signage at span way.
 - 3 way stop added to Span Way.

Stormwater

1. Site will be utilizing the existing in-ground detention. Provide current inspection report on the current status of volume of the pipe sections. Are they free of accumulated solids?
 - Note added to plans to specify “CONTRACTOR TO INSPECT AND VERIFY CONDITION OF EXISTING UNDERGROUND DETENTION SYSTEM ON DAVID’S PROPERTY. IF ENOUGH SILT AND DEBRIS EXISTS TO REDUCE THE CAPACITY OR FUNCTION OF THE SYSTEM, THE CONTRACTOR IS TO CLEANOUT/REMOVE SILT AND DEBRIS.”

Engineering

1. Drainage
 - a. Exhibit 400-1 in the Bryant Stormwater Management Manual shows a 100-year intensity of 10.0 in/hr using a time of concentration of 5 minutes. Page 11 shows an intensity of 9.50 in/hr.
 - Updated to 10.00 in/hr.
 - a. Page 10 shows Pre-Development composite C-factors less than Post-Development. With an increase in discharge from the site demonstrate why detention is not required.
 - Existing detention designed to accommodate our development.
 - a. Demonstrate that proposed and existing drainage structures can handle the design flows for the improvements.
 - Inlet calculations added to drainage letter

Community Development

1. Verify Grease Interceptor sizing is on the MEP Plan. Don’t currently see it. Minimum Grease trap sizing is 1000 gallons. A Grease trap permit is required from the Code Department.
 - Grease interceptor detail provided with resubmittal.

2. Confirm material used for dumpster enclosure. Plans state to refer to Arch Plans, but I did not see anything included with submittal.
 - [Dumpster detail provided with resubmittal.](#)
3. Parking on the South Side of the building will most likely be used by David's Burger's customers as well as Panera customers, was that accounted for in the parking plan? - **ADDRESSED**. If possible can we receive a copy of the REA for the Stormwater maintenance agreement?
 - [Copy of REA provided with resubmittal.](#)
4. Small Scale Engineering review fee will need to be paid. \$250
 - [Check is being mailed.](#)

Fire

1. All fire department access roads are required to be at least 20' wide and support a weight of 75,000 lbs per the 2021 Edition of the Arkansas Fire Prevention Code. All roads surrounding the building show to be more than 20' wide on the plans. Need to ensure they meet weight requirements.
 - [Heavy Duty Asphalt provided.](#)
2. Knox box installation near main entry door
 - [Note added to Site Plan.](#)
3. Will we get an interior floor plan - one labeled floor plan simply shows exterior walls
 - [Will be submitted as part of the buildout permit.](#)

Please let me know if you need any additional information.
Submitted by:

Caroline Gardner
Crafton Tull - Civil Engineer

8

2017-007502

I certify this instrument
was filed on:

04/25/2017 3:12:23 PM

Myka Bono Sample
Saline County Circuit Clerk

When recorded return to:
J. Cliff McKinney, Esq.
Quattlebaum, Grooms & Tull PLLC
111 Center Street, Suite 1900
Little Rock, Arkansas 72201
501-379-1700

Pages: 17
ER

**DECLARATION OF RESTRICTIONS AND CROSS-
ACCESS AGREEMENT
("AGREEMENT")**

THIS AGREEMENT is made as of the 21 day of April, 2017, between ANCHOR REALTY INVESTMENTS, LLC, an Arkansas limited liability company ("Anchor"), and HUDDIE HOLDINGS, LLC, an Arkansas limited liability company ("Huddie").

WHEREAS, Anchor is the owner of Lot 1 and Lot 2, being the "Anchor Tract" as shown on the diagram attached hereto as Exhibit A hereof, said tract being more particularly described in Exhibit B hereof; and

WHEREAS, Huddie is the lessee with the option to purchase Lot 3, being the "Huddie Tract" shown on the diagram attached hereto as Exhibit A hereof, said tract being more particularly described in Exhibit C hereof.

NOW, THEREFORE, for and in consideration of the premises, covenants, conditions, restrictions and encumbrances contained herein, the sufficiency of which is hereby acknowledged, Anchor and Huddie do hereby agree as follows:

1. Use. The Huddie Tract shall be used exclusively for operation of a primary care medical clinic for the treatment only of ambulatory patients unless an alternate use is approved by Anchor in its sole and absolute discretion. Without limiting Anchor's discretion over the approval of alternate uses, in absolutely no event shall Huddie Tract be used for a restaurant.

2. Buildings. All buildings constructed on the Huddie Tract shall be designed so that the exterior elevation of each shall be architecturally and aesthetically compatible and so that building wall footings shall not encroach from one lot onto another lot. The design and construction shall be of high quality. No buildings or improvements shall be constructed, erected or expanded or altered on Huddie Tract until the plans for the same (including site layout, exterior building materials and colors and parking) have been approved in writing by Anchor. No building shall have a metal exterior; provided, however, that this restriction shall not be deemed to prohibit metal architectural elements on any building.

3. Access Easement. Each party hereby grants to the other party, its successors and assigns, for the use and benefit of Anchor and Huddie as an appurtenance to the Anchor Tract and the Huddie Tract, respectively, a non-exclusive, access easement over, on and

across such portions of the Anchor Tract and the Huddie Tract, respectively, as are used for driveways (the "Access Easement"). The Access Easement is for the sole purpose of permitting the flow of vehicular traffic through the designated area of the common boundary lines and shall be each party's only access to the other party's tract. Each party shall use commercially reasonable efforts to prevent any damage to the Access Easement directly or indirectly resulting from construction traffic or deliveries to its tract, and each party shall immediately repair any damage it causes to the Access Easement. Each party shall maintain, at its expense, the portion of the Access Easement located on its tract except for the portion labeled Primary Drive #1 and Primary Drive #2 on Exhibit A. No curb cuts or connections onto the Access Easement shall be permitted except where shown on Exhibit A. Nothing herein shall restrict Anchor's ability to close or relocate any driveway on the Anchor Tract other than Primary Drive #1 and Primary Drive #2, which Anchor may temporarily close for maintenance, repairs and to prohibit the establishment of prescriptive rights. Huddie will not change the configuration of the access drives shown on Exhibit A without the consent of Anchor, which consent may be withheld at Anchor's discretion; provided, in no event may the access drives shown on Exhibit A be modified on Lot 2 or Lot 3 in a manner that would inhibit the free flow of traffic from Lot 1 through Lot 2 and Lot 3, as well as Primary Drive #1 and Primary Drive #2 substantially in accordance with the layout shown on Exhibit A. Furthermore, nothing herein shall give any party authority or approval rights over any changes to the Lot 1 parking lot configuration or driveway configuration, so long as reasonably direct two-way paved access to the public streets is maintained to Primary Drive #1 and Primary Drive #2. The configuration of Primary Drive #1 and Primary Drive #2 will not be modified without the consent of the owners of Lots 1, 2 and 3.

The owner of Lot 1 shall maintain Primary Drive #1. The owner of Lot 2 shall maintain Primary Drive #2. The maintenance shall be in accordance with the standards established in Section 8. The owners of Lot 1, Lot 2 and Lot 3 shall each pay for one-third (1/3) of the maintenance costs of Primary Drive #1. The owners of Lot 2 and Lot 3 shall each pay for one-half (1/2) of the maintenance costs of Primary Drive #2. This reimbursement shall be paid within thirty (30) days after written demand for payment thereof along with a statement of the costs. In the event a party fails to timely pay such reimbursement, the party responsible for performing the maintenance shall have the right to seek any and all remedies afforded by either law or equity. Furthermore, the party performing the maintenance shall be entitled to a lien on the non-paying lots for past due amounts owed for the maintenance of Primary Drive #1 and/or Primary Drive #2, as the case may be. Notwithstanding the foregoing, Anchor has the right to elect to dedicate Primary Drive #1 and/or Primary Drive #2 to an appropriate governmental entity and, if such dedication is accepted by the governmental entity, thereafter the parties shall not be responsible for maintaining the dedicated Primary Drive.

4. Cross-Parking. Each party hereby grants for the benefit of the other party a non-exclusive cross-parking easement over and across the parking areas as may exist from time-to-time on the Anchor Tract and the Huddie Tract. Each party, at its expense, shall maintain the parking area on its Tract in good order and condition, including without limitation promptly repairing pot holes, keeping striping painted in a clearly visible manner and resurfacing the parking as reasonably necessary to maintain a level, high-quality parking field; provided, maintenance shall be done in a manner reasonably calculated to minimize disruption to the other tracts. Each party shall use reasonable efforts to require employees to park on the lot where the employee works.

5. "Parking Area" Ratio; No Storage. Each party shall maintain on its Tract the amount of parking required by applicable law. Nothing contained here shall be construed as an express or implied right for the overnight storage of vehicles.

6. Water Flow. Each party hereby establishes and grants a nonexclusive easement on its Tract for the benefit of the owner of each other Tract to use, maintain and repair any stormwater drainage system (the "Storm Drainage System") now or hereafter located on either Tract, together with the right to discharge surface water runoff across portions of either Tract in accordance with the design of the Storm Drainage System. Any alteration in the natural water flow which may occur as a natural consequence of normal construction activities and the existence of the party's improvements (including without limitation building and building expansion, curbs, drives and paving) shall be permitted.

The owner of Lot 1 shall maintain the underground stormwater detention pond, if any, located on the Anchor Tract (the "Pond"). Huddie, at its expense, shall maintain any and all stormwater drainage facilities located on Huddie Tract. Huddie shall reimburse the owner of Lot 1 for Huddie's pro rata share of the actual maintenance costs for the Pond as well as the costs of maintaining the Pond in compliance with all applicable laws. The pro rata share of the maintenance costs of the Pond shall be as follows: Lot 1's share is 33.34%; Lot 2's share is 33.33%; and Lot 3's share is 33.33%. This reimbursement shall be paid by Huddie within thirty (30) days after written demand for payment thereof along with a statement of the costs. In the event Huddie fails to timely pay such reimbursement, the owner of Lot 1 shall have the right to terminate all easements granted to Huddie as provided herein and/or to seek any and all remedies afforded by either law or equity. Furthermore, Anchor shall be entitled to a lien on the Huddie Tract for past due amounts owed by Huddie for the maintenance of the Pond.

Huddie shall use the Pond only for the intended purposes and shall not overburden the same. Huddie's use of the Pond shall comply with all applicable laws, rules and regulations at all times, and Huddie shall not permit any contamination or hazardous materials to flow from the Huddie Tract into the Pond. The Huddie Tract shall be developed in accordance with good engineering practices to utilize curbs, drains, filters and other structures necessary to minimize garbage, debris, pollutants and sediment from Huddie Tract to flow into the Pond. To the extent underground drainage improvements are installed as part of the Pond, the parties draining stormwater through the Pond shall utilize such underground improvements and shall not use the surface of such area for drainage.

7. Signs. No sign shall be located on the Huddie Tract except an individual sign advertising the business on the Huddie Tract. The Anchor Tract may install individual advertising signs and/or Multi-Party Signs (as defined below) on Lots 1 and 2, though the business on the Huddie Tract will not have the right to advertise on the Multi-Party Signs. No rooftop sign shall be erected on any building without Anchor's approval. No freestanding identification sign may be erected on Huddie Tract without the approval of Anchor.

a. Multi-Party Signs. Anchor hereby establishes and grants for the benefit of Lots 1 and 2 an easement for the installation and maintenance of two (2) pylon or monument signs, or digital signs in the locations indicated on Exhibit A, in accordance with the

terms of this Section (the "Sign Easement"). The Sign Easement includes the right to access the Multi-Party Signs for the purpose of installing, maintaining and repairing the Multi-Party Signs in accordance with this Agreement; provided, to the extent possible, any such access shall be over the paved areas. No party shall permit vegetation or trees to grow in front of a Multi-Party Sign in a manner that would obscure the visibility of the advertising panels on the Multi-Party Signs. In the event a Multi-Party Sign is ever prohibited by applicable governmental authorities or taken by an act of eminent domain, the Multi-Party Sign shall be removed from such area, and the parties shall leave such area paved or attractively landscaped in a manner that does not obstruct the visibility of traffic. Upon such occurrence, the affected portion of the Sign Easement granted hereby shall automatically terminate; provided, the parties shall work in good faith to obtain a new location for such Multi-Party Sign and establish a replacement Sign Easement for such replacement Multi-Party Sign; provided, Anchor shall have the absolute right to control (or refuse to allow) any substitute Multi-Party Sign on a lot owned, leased or otherwise controlled by Anchor.

b. *Sign Design.* Each advertising panel or digital sign on the Multi-Party Signs is hereafter referred to as a "Panel". For purposes of this Agreement, a Panel shall constitute both the front and back of the Panel if the applicable Multi-Party Sign has two faces. The same business shall advertise on both sides of the Panel if the Multi-Party Sign has two faces. All Panels shall at all times comply with all applicable laws, ordinances and regulations. All Panels shall be compatible with the structure and design of the Multi-Party Sign and shall not harm the Multi-Party Sign or obscure the view of another Panel. All Panels on the Multi-Party Sign shall only advertise businesses located on the Tract, or Lots. No Panels shall contain images or words that are offensive to the ordinary reasonable person (whether cloaked in images, words, or phrases carrying double meanings). For purposes of this Section, any word or commonly considered a vulgar, swear or curse word or of a sexual nature shall be deemed offensive to the ordinary reasonable person; provided, other images, words or phrases may be offensive to the ordinary reasonable person. In the event the business or trade name of any business violates this provision, such name shall not be permitted on the Sign (provided, in no event shall any corporate tradenames of David's Burgers or its affiliates be deemed in violation of this Section). Anchor shall have the right, but not the obligation, to remove and dispose of the Panel at the respective party's expense. Anchor shall have the right to make the Panel assignments on each Multi-Party Sign so long as Lot 1 and Lot 2 each have Panel assignments.

c. *Maintenance of the Multi-Party Signs.* Anchor, subject to reimbursement as provided in this Section, shall maintain in good working order and condition the Multi-Party Signs, including the necessary maintenance and replacement of landscaping located within the Sign Easement. Anchor may convey this responsibility for one or more of the Multi-Party Signs to the owner of Lot 1 or 2 at its discretion. Any work involving the Multi-Party Signs shall be performed in full compliance with all applicable laws, regulations and ordinances, including appropriate sign control ordinances of the City of Bryant, Saline County or the Arkansas Highway and Transportation Department. Any work involving the Multi-Party Signs shall be performed in a manner that minimizes interference with the business operations. Anchor shall limit its access to the Multi-Party Signs, to the extent possible, over the paved areas. After assignment of some or all of the maintenance obligations, in the event the party responsible for such maintenance fails to properly maintain the Multi-Party Signs, Anchor shall have the right, but not the obligation, after first sending the responsible party thirty (30) days prior written notice

specifying the failure to maintain, to cure such failure and in such event Anchor shall be entitled to reimbursement from the Panel Users for the actual and reasonable costs of such cure. For the purpose of this Section, each owner or tenant entitled to place Panels on the Multi-Party Signs shall be called "Panel Users."

d. *Prorations and Reimbursements.* Each Panel User is responsible for their pro rata share of the Multi-Party Signs. The pro rata share will be determined by sign area or amount of time on the digital sign, which Anchor may allocate. Each Panel User shall reimburse the party maintaining the Multi-Party Signs for the reasonable and documented costs associated with maintaining the Multi-Party Signs. Any reimbursements due under this Agreement shall be paid within 30 days after an invoice is sent by the party entitled to reimbursement along with adequate supporting documentation and paid invoices to document the reasonable expenses incurred. The reimbursable expenses shall not include any sort of administrative, management or overhead fee or charge. Any party causing maintenance to occur on a Multi-Party Sign shall prevent any liens from attaching (or immediately discharge such lien if one attaches) to the Multi-Party Sign, the Sign Easement or the where the Multi-Party Sign is located.

8. Maintenance. Huddie Tract and Anchor Tract shall be kept neat, orderly, planted in grass and trimmed until improved and constructed. Following the paving of the access easements, the owner of each Tract where any such access easement is located shall maintain the improved condition of the portion of the access easement on its property in good condition and repair at its own cost and expense. In addition, following the development of any Tract, the owner of each Tract shall maintain the building and site improvements on its property in good condition and repair at its own cost and expense. Each of the parties hereto agrees to pay or cause to be paid, prior to delinquency, directly to the appropriate taxing authorities all real property taxes and assessments which are levied against that part of the access easements owned by it. The respective owners shall pay the maintenance expense of their Lots except as expressly provided otherwise in this Agreement. The required maintenance is to include, without limitation, the following:

a. Maintaining the surfaces of driveways and parking areas in a level, smooth and evenly-covered condition with the type of surfacing material originally installed or such substitute as shall in all respects be equal in quality, use, and durability;

b. Removing all papers, ice and snow, mud and sand, debris, filth and refuse and thoroughly sweeping the area to the extent reasonably necessary to keep the area in a clean and orderly condition;

c. Placing, keeping in repair and replacing any necessary appropriate directional signs, markers and lines;

d. Operating, keeping in repair and replacing, where necessary, such artificial lighting facilities as shall be reasonably required;

e. Maintaining all perimeter and exterior building walls including but not limited to all retaining walls in a good condition and state of repair; and

f. Maintaining, mowing, weeding, trimming and watering all landscaped areas and making such replacements of shrubs and other landscaping as is necessary.

Subject to the mutual agreement of Anchor and Huddie, a third party (the "Management Firm") may be appointed as an agent of the parties to maintain the access easement areas, sewer, storm drainage, or other common areas on their respective Lots in the manner as above outlined. The Management Firm may receive for such agency a fee that is mutually acceptable to all parties to cover supervision, management, accounting and similar fees, which sums are to be included in the general maintenance expense paid by the respective owners of the access easements. The Management Firm shall bill each owner of fee simple title to any portion of the Tract for its share of such costs, based upon the respective acreages of those Tracts or subdivided portions thereof.

No party shall be deemed in default under this Agreement for failure to perform maintenance obligations, whether required pursuant to this Section 8 or other Sections of this Agreement, nor shall a party be held liable for damages as a result of a failure to perform maintenance, until the party alleging a failure to comply with maintenance obligations provides the party failing to perform the maintenance obligations with thirty (30) days written notice specifying the alleged default with particularity during which time the maintenance obligation may be cured.

9. Dumpster Corral. Dumpster corral on Lot 3 will be shared with Lot 2. The cost for construction and maintenance of the dumpster corral will be paid by the owner of Lot 2. The cost for trash pickup from the dumpster shall be allocated according the pro rata share of each lot's area. Huddie will not use the dumpster to dispose of any hazardous substances or biological waste.

10. No Covenant of Continued Operation. Nothing contained in this Agreement shall be construed to contain a covenant, either express or implied, to either commence the operation of a business or thereafter continuously operate a business by either Anchor or Huddie on their respective tracts. Anchor and Huddie each agree that either Anchor or Huddie may in its sole discretion and at any time during the term of this Agreement, cease the operation of its business on its respective Tract covered hereby; and each of Anchor and Huddie hereby waive any legal action for damages or for equitable relief which might be available to them because of such cessation of business activity by the other party.

11. Indemnification. Each party hereby indemnifies and saves the other party harmless from any and all liability, damage, expense, causes of action, suits, claims, or judgments arising from personal injury, death or property damage and occurring on or from its own tract, except if caused by the act or neglect of the other party hereto.

12. Insurance. Upon the commencement of development of each of the Anchor Tract and the Huddie Tract, each party shall procure and maintain in full force and effect throughout the term of this Agreement commercial general liability insurance and property damage insurance against claims for personal injury, death or property damage occurring upon, in or about its property, each party's insurance to afford protection to the limit of not less than \$2,000,000.00 for injury or death of a single person, and to the limit of not less than \$2,000,000.00 for any one occurrence, and to the limit of not less than \$2,000,000.00 for property damage.

13. Compliance. Huddie agrees that all activities on the Huddie Tract shall be conducted in compliance with all applicable laws, ordinances and regulations of any applicable governmental authority.

14. Breach. In the event of breach or threatened breach of this Agreement, only all record owners of the Anchor Tract as a group, or all record owners of the Huddie Tract as a group, or Anchor so long as it or any affiliate has an interest as owner or lessee of Lot 1 or Lot 2, shall be entitled to institute proceedings for full and adequate relief from the consequences of said breach or threatened breach. The unsuccessful party in any action shall pay to the prevailing party a reasonable sum for attorneys' fees, which shall be deemed to have accrued on the date such action was filed.

15. Rights of Successors. The restrictions, benefits and obligations hereunder shall create mutual benefits and servitudes running with the land. This Agreement shall bind and inure to the benefit of the parties hereto, their respective heirs, representatives, lessees, successors and assigns. The singular number includes the plural and the masculine gender includes the feminine and neuter. References to Anchor shall mean any successor owner of Lot 1. References to Huddie shall mean any successor owner of the Huddie Tract. Anchor may sell Lot 2 to a third party, in which event the maintenance obligations of Anchor under this Agreement pertaining to the portion of the Anchor Tract known as Lot 2 shall become the maintenance obligations of the owner of Lot 2.

16. Modification and Cancellation. This Agreement (including exhibits) may be modified or canceled only by Anchor, as long as it or its affiliate has any interest as either owner or lessee of the Anchor Tract, or its successors in interest, and together with the written consent of Huddie, so long as it has an interest as an owner in the Huddie Tract, or its successors in interest. Such consents shall not be unreasonably withheld.

17. Duration. Unless otherwise canceled or terminated, this Agreement and all the easements, rights and obligations hereof shall automatically terminate and be of no further force and effect after ninety-nine (99) years from the date hereof.

18. Release from Liability. Any person acquiring fee or leasehold title to any portion of the Anchor Tract or the Huddie Tract shall be bound by this Agreement only as to such portion of such tract acquired by such person. In addition, such person shall be bound by this Agreement only during the period such person is the fee or leasehold owner of such tract (or portion of a tract) except as to obligations, liabilities or responsibilities that accrue during said period. Although persons may be released under this Section, the easements, covenants and restrictions in this Agreement shall continue to be benefits to and servitudes upon said tracts running with the land.

19. Headings. The headings herein are inserted only as a matter of convenience and for reference and in no way define, limit or describe the scope or intent of this document nor in any way affect the terms and provisions hereof.

20. Entire Agreement. This Agreement constitutes the entire agreement between the parties hereto. The parties do not rely upon any statement, promise or representation

not herein expressed, and this Agreement once executed and delivered shall not be modified or altered in any respect except by a writing executed and delivered in the same manner as required by this document.

21. Notices. All notices and other communications required or permitted to be given hereunder shall be in writing and shall be mailed by certified or registered mail, postage prepaid, or by Federal Express, Airborne Express, or similar overnight delivery service, addressed as follows:

Anchor: Anchor Realty Investments, LLC
102 Country Club Parkway
Maumelle, AR 72113
Attention: D. Alan Bubbus

With a copy to:
J. Cliff McKinney, Esq.
Quattlebaum, Grooms & Tull PLLC
111 Center Street, Suite 1900
Little Rock, AR 72201

Huddie: Huddie Holdings, LLC
3515 Richmond Road
Texarkana, TX 75503
Attention: Rebecca Miller

Notices shall be effective upon receipt or refusal.

22. Counterparts/Facsimiles. This Agreement may be executed in one or more counterparts which may be disassembled and aggregated into a single instrument. A telecopied facsimile of a duly executed counterpart to this Agreement shall be sufficient to evidence the binding agreement of each party to the terms herein. However, the parties each agree to promptly return an original, duly executed counterpart of this Agreement following the delivery of a telecopied facsimile hereof.

23. Severability. In any provision of this Agreement shall be held to be invalid, inoperative or unenforceable, the remainder of this Agreement shall not be affected thereby and shall be valid and enforceable to the fullest extent permitted by law.


24. Choice of Law. This Agreement is governed by the laws of the State of Arkansas.

25. No Merger. This Agreement shall not be subject to the doctrine of merger. The parties acknowledge that Anchor presently owns both tracts, but the parties anticipate that Huddie will own the Huddie Tract upon exercise of the option to purchase currently held by Huddie, and the parties intend for this Agreement to survive Huddie's acquisition of the Huddie Tract and remain binding as provided herein on both tracts.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first written above.

ANCHOR:

ANCHOR REALTY INVESTMENTS, LLC,
an Arkansas limited liability company

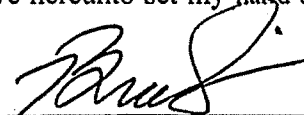

By _____
D. Alan Bubbus, Member

STATE OF ARKANSAS)
)ss.
COUNTY OF PULASKI)

ACKNOWLEDGMENT

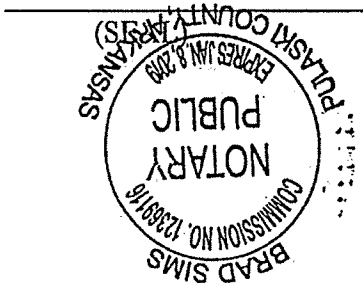
On this day, before me, a Notary Public, duly commissioned, qualified and acting, with and for said County and State, appeared in person the within named **D. Alan Bubbus**, to me well known, who stated he was the Member of **Anchor Realty Investments, LLC**, an Arkansas limited liability company, and was duly authorized in such capacity to execute the foregoing instrument for and in the name and on behalf of the statutory trust, and further stated and acknowledged he had so signed, executed and delivered the foregoing instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal this 21st
day of April, 2017.



Notary Public

My commission expires:



HUDDIE:

HUDDIE HOLDINGS, LLC,
an Arkansas limited liability company

By: Rebecca Miller
Rebecca Miller, Managing Member

STATE OF TEXAS)
)ss.
COUNTY OF Bowie)

ACKNOWLEDGMENT

On this day, before me, a Notary Public, duly commissioned, qualified and acting, with and for said County and State, appeared in person the within named **Rebecca Miller**, to me well known, who stated she was the Managing Member of **Huddie Holdings, LLC**, an Arkansas limited liability company, and was duly authorized in such capacity to execute the foregoing instrument for and in the name and on behalf of the statutory trust, and further stated and acknowledged she had so signed, executed and delivered the foregoing instrument for the consideration, uses and purposes therein mentioned and set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal this 7th
day of April, 2017.

Leann Watlington
Notary Public

My commission expires:
02-19-2020
(SEAL)

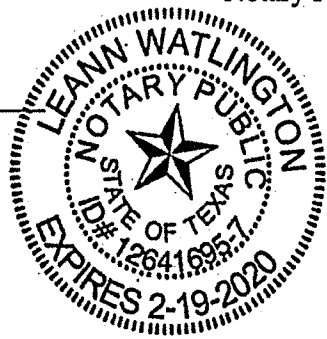


EXHIBIT A

(Diagram showing Anchor Tract and Huddie Tract)
(Close-Ups Follow)

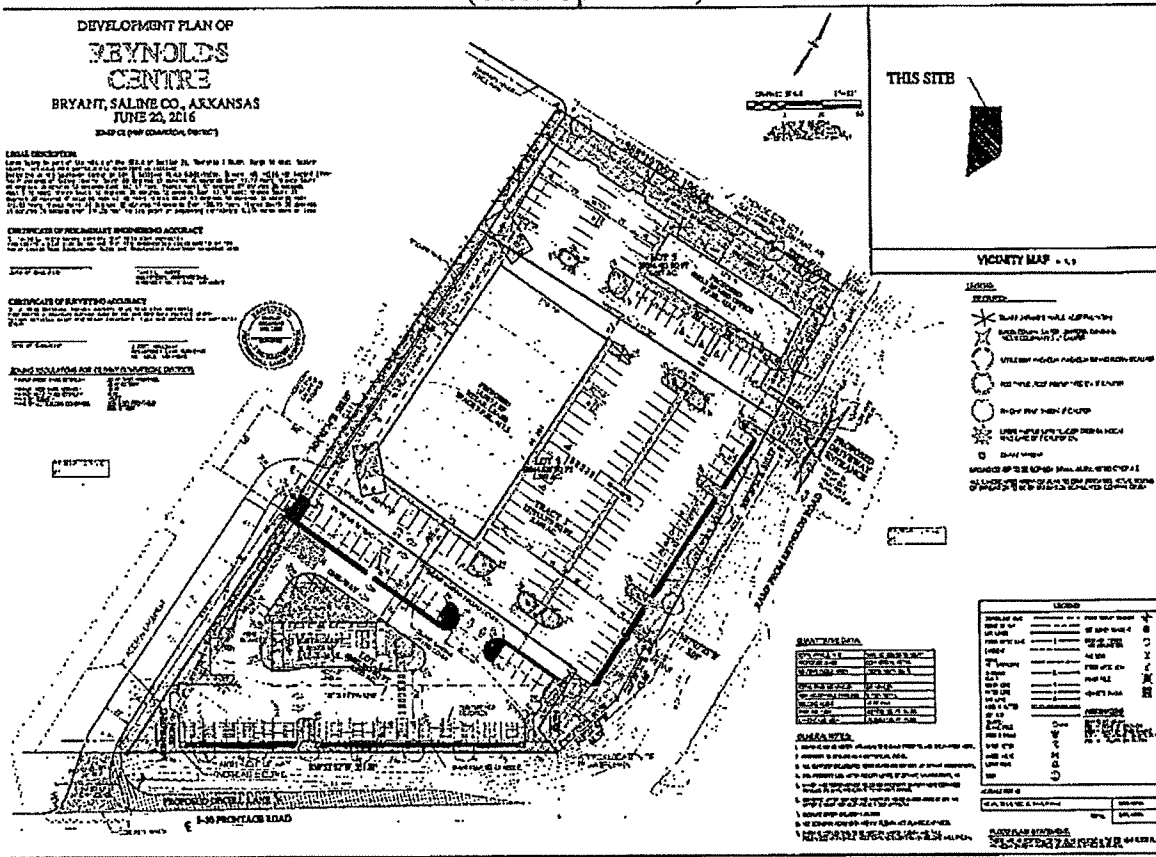
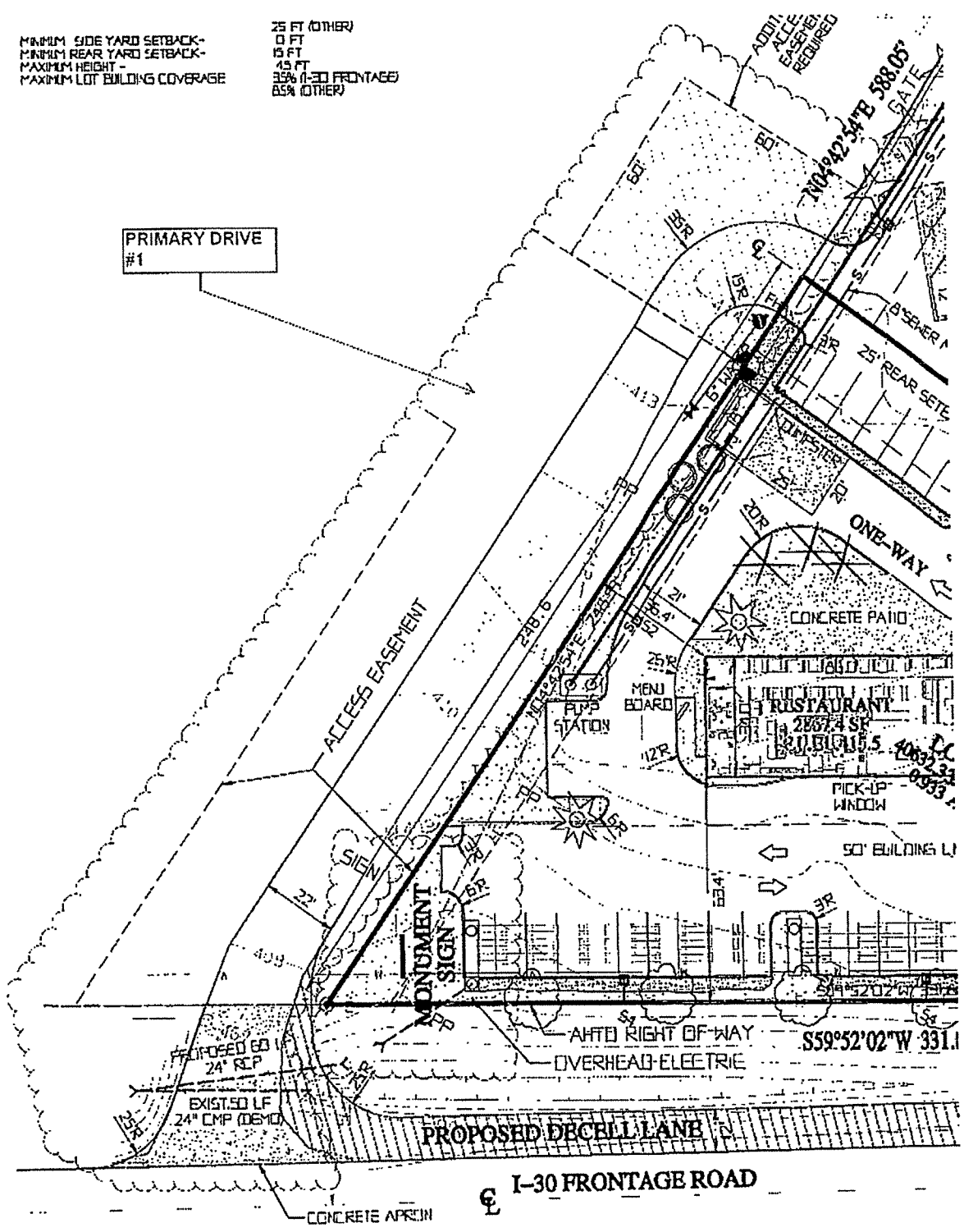


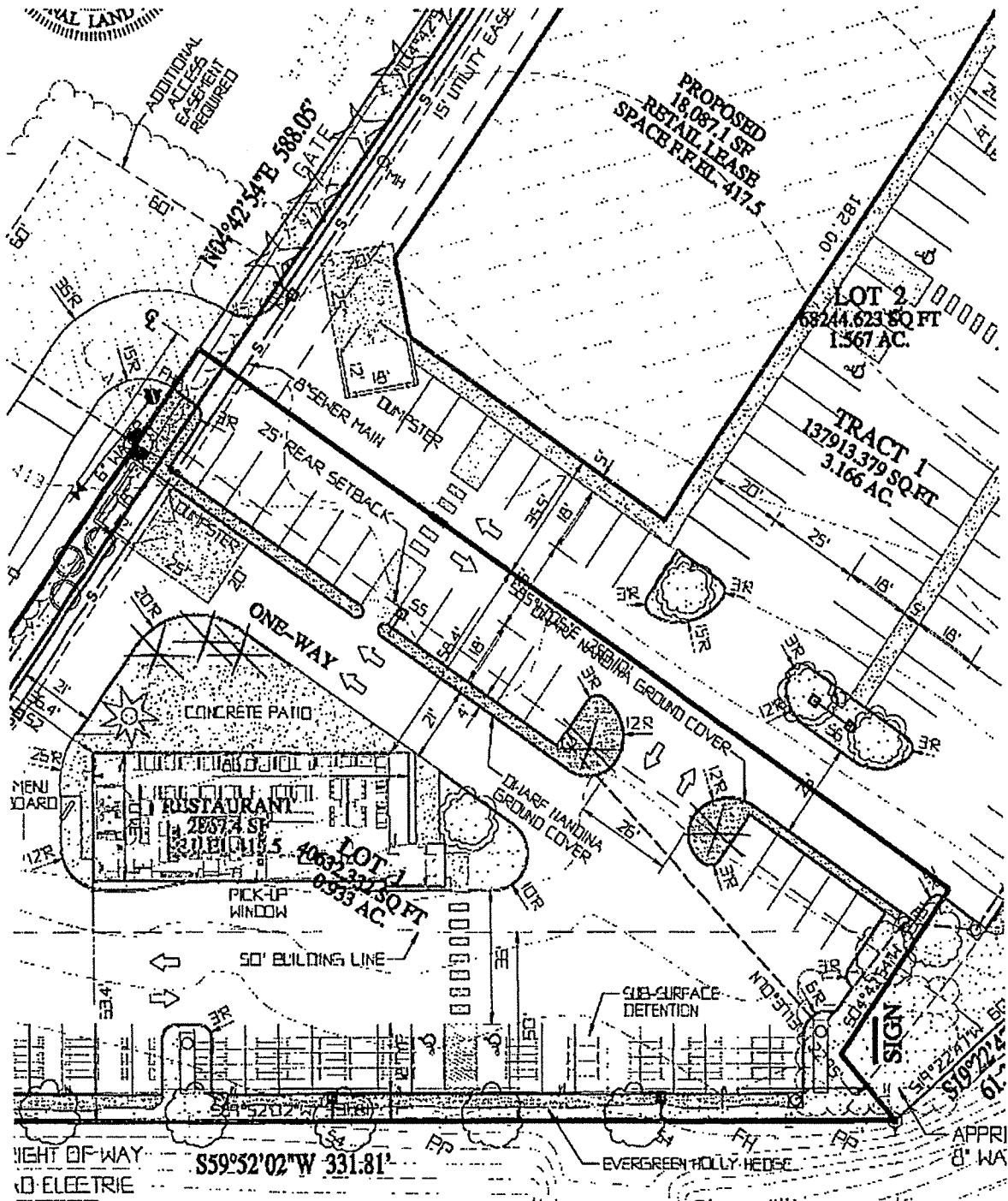
EXHIBIT A

MINIMUM SIDE YARD SETBACK- 25 FT (OTHER)
 MINIMUM REAR YARD SETBACK- 15 FT
 MAXIMUM HEIGHT - 45 FT
 MAXIMUM LOT BUILDING COVERAGE 35% (I-30 FRONTAGE) 65% (OTHER)



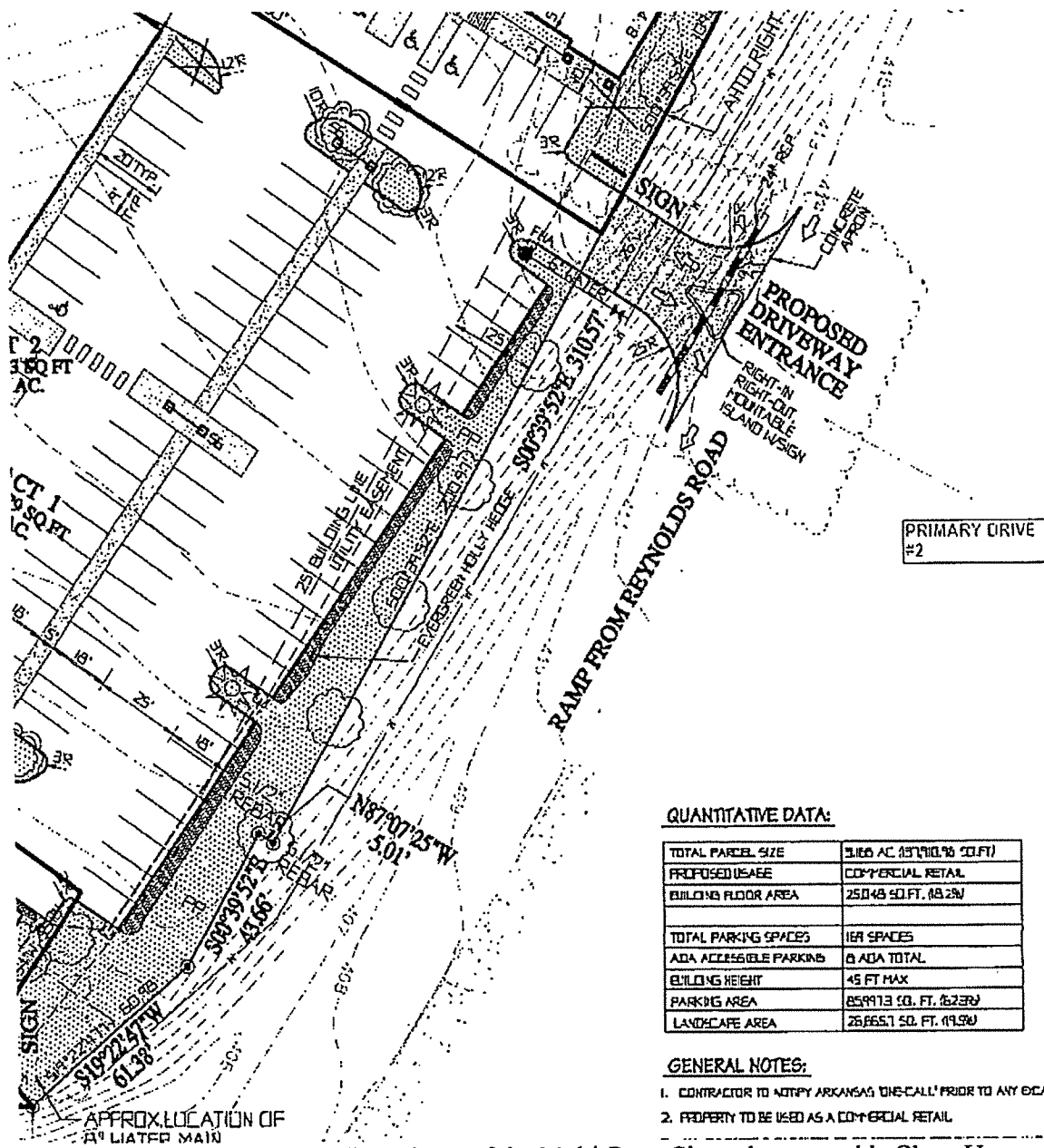
Note: Primary Drive #1 and one of the Multi-Party Signs shown on this Close-Up.

EXHIBIT A



Note: One of the Multi-Party Signs shown on this Close-Up.

EXHIBIT A



NOTE: Primary Drive #2 and one of the Multi-Party Signs shown on this Close-Up.

QUANTITATIVE DATA:

TOTAL PARCEL SIZE	3.166 AC (137,110.76 SQ. FT.)
PROPOSED USAGE	COMMERCIAL RETAIL
BUILDING FLOOR AREA	25048 SQ. FT. (88.2%)
TOTAL PARKING SPACES	161 SPACES
ADA ACCESSIBLE PARKING	8 ADA TOTAL
BUILDING HEIGHT	45 FT MAX
PARKING AREA	85991.3 SQ. FT. (62.3%)
LANDSCAPE AREA	26,865.7 SQ. FT. (19.5%)

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY ARKANSAS ONE-CALL PRIOR TO ANY EXCAVATION
2. PROPERTY TO BE USED AS A COMMERCIAL RETAIL

EXHIBIT A

EXHIBIT B

(Anchor Tract legal description)

Lot 1

Lands lying in part of the NE1/4 of the SE1/4 of Section 21, Township 1 South, Range 14 West, Saline County, Arkansas more particularly described as follows:

Commencing at the Southeast corner of Lot 1 Sullivan Place Subdivision, Bryant, AR, filed for record 1999-54493 records of Saline County; thence South 88 degrees 19 minutes 06 seconds East 63.73 feet; thence South 00 degrees 39 minutes 52 seconds East 310.57 feet; thence North 87 degrees 07 minutes 25 seconds West 5.01 feet; thence South 00 degrees 39 minutes 52 seconds East 43.66 feet; thence South 19 degrees 22 minutes 47 seconds West 61.38 feet which is also the point of beginning; thence South 59 degrees 52 minutes 02 seconds West 331.81 feet; thence North 04 degrees 42 minutes 54 seconds East 248.59 feet; thence South 85 degrees 17 minutes 06 seconds East 250.10 feet; thence South 04 degrees 42 minutes 54 seconds West 53.18 feet; thence South 70 degrees 37 minutes 13 seconds East 22.95 feet to the point of beginning containing 0.933 acres more or less.

Lot 2

Lands lying in part of the NE1/4 of the SE1/4 of Section 21, Township 1 South, Range 14 West, Saline County, Arkansas more particularly described as follows:

Commencing at the Southeast corner of Lot 1 Sullivan Place Subdivision, Bryant, AR, filed for record 1999-54493 records of Saline County; thence South 88 degrees 19 minutes 06 seconds East 63.73 feet; thence South 00 degrees 39 minutes 52 seconds East 109.60 feet which is also the point of beginning; thence continue South 00 degrees 39 minutes 52 seconds East 200.97 feet; thence North 87 degrees 07 minutes 25 seconds West 5.01 feet; thence South 00 degrees 39 minutes 52 seconds East 43.66 feet; thence South 19 degrees 22 minutes 47 seconds West 61.38 feet; thence North 70 degrees 37 minutes 13 seconds West 22.95 feet; thence North 04 degrees 42 minutes 54 seconds East 53.18 feet; thence North 85 degrees 17 minutes 06 seconds West 250.10 feet; thence North 04 degrees 42 minutes 54 seconds East 229.80 feet; thence South 88 degrees 19 minutes 06 seconds East 270.30 feet to the point of beginning containing 1.567 acres more or less.

EXHIBIT B

EXHIBIT C

(Huddie Tract legal description)

Lot 3

Lands lying in part of the NE1/4 of the SE1/4 of Section 21, Township 1 South, Range 14 West, Saline County, Arkansas more particularly described as follows:

Beginning at the Southeast corner of Lot 1 Sullivan Place Subdivision, Bryant, AR, filed for record 1999-54493 records of Saline County; thence South 88 degrees 19 minutes 06 seconds East 63.73 feet; thence South 00 degrees 39 minutes 52 seconds East 109.60 feet; thence North 88 degrees 19 minutes 06 seconds West 270.30 feet; thence North 04 degrees 42 minutes 54 seconds East 109.66 feet; thence South 88 degrees 19 minutes 06 seconds East 196.28 feet to the point of beginning containing 0.667 acres more or less.

EXHIBIT C

January 21, 2024

City of Bryant
Attn: Engineering Department
210 SW 3rd. Street,
Bryant, AR 72022

Re: Panera Bread - Drainage Letter
CT Job #: 24304000

Mr. Wilson,

The following information concerns a new Panera Bread being proposed to be constructed just north of the David's Burgers at 23140 I-30 W Bryant, AR. This project is part of a larger commercial development (Reynolds Centre) that was designed by Holloway Engineering previously. A portion of the Panera Bread site will remain unimproved to allow for future development.

As part of the previous development of David's Burgers/Reynolds Centre, regional underground detention chambers were designed and constructed to provide detention for the overall development. This underground detention design accounted for the commercial development of the property upon which this project sits.

The original design for this site was a large retail center with associated parking. The development of the Panera Bread will have a smaller runoff coefficient than that of the original designed retail center. A portion of the site will remain unimproved to allow for future development. Because of the original retail design and conservative runoff coefficient, the Panera Bread and the future development (once constructed) will have no negative impact upon Bryant's stormwater system. A summary of the runoff coefficients is shown below:

Runoff Coefficient			
	10 YR Storm	25 YR Storm	100 YR Storm
Original Design Retail Center (By Others)	0.9	0.93	0.95
Panera Bread with unimproved remaining future development area	0.59	0.64	0.72

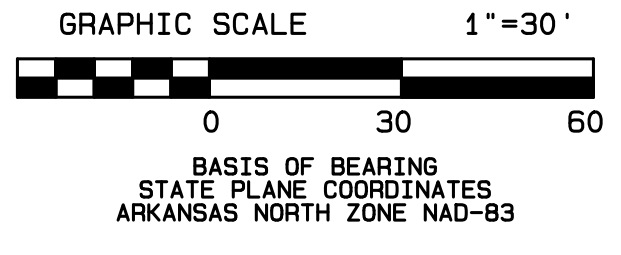
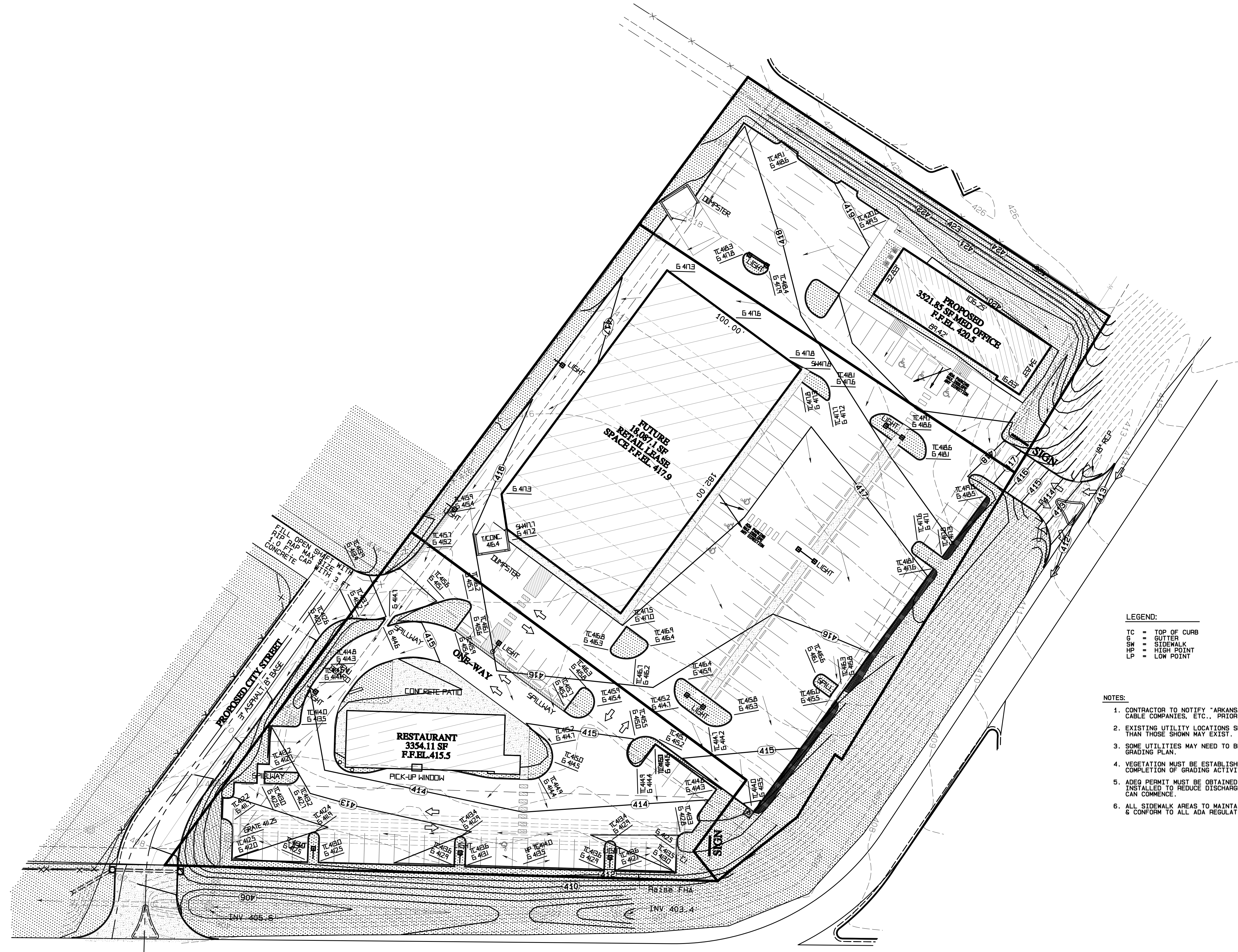
Should you have any questions, please feel free to contact us at your earliest convenience.

Sincerely,

Caroline Gardner, PE
Project Engineer
Crafton Tull

**REYNOLDS CENTER
APPLICABLE PLAN SHEETS
(BY OTHERS)**

L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\GradingPlan2016-083.pro
 5/8/2017
 11:32:31AM



LEGEND:

TC = TOP OF CURB
 G = GUTTER
 SW = SIDEWALK
 HP = HIGH POINT
 LP = LOW POINT

- NOTES:
1. CONTRACTOR TO NOTIFY "ARKANSAS ONE-CALL" AND ALL APPROPRIATE UTILITIES, CABLE COMPANIES, ETC., PRIOR TO STARTING ANY EXCAVATION. DIAL 811.
 2. EXISTING UTILITY LOCATIONS SHOWN MAY NOT BE ACCURATE. ALSO UTILITIES OTHER THAN THOSE SHOWN MAY EXIST.
 3. SOME UTILITIES MAY NEED TO BE RELOCATED IN ORDER TO COMPLY WITH THIS GRADING PLAN.
 4. VEGETATION MUST BE ESTABLISHED ON DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
 5. ADEQ PERMIT MUST BE OBTAINED AND EROSION CONTROL MEASURES MUST BE INSTALLED TO REDUCE DISCHARGE OF POLLUTED STORMWATER BEFORE CONSTRUCTION CAN COMMENCE.
 6. ALL SIDEWALK AREAS TO MAINTAIN A MAXIMUM 2% CROSS-SLOPE AND A 5% RUNNING SLOPE & CONFORM TO ALL ADA REGULATIONS. ALL ADA PARKING TO BE MAX. 2% SLOPE ALL DIRECTIONS.

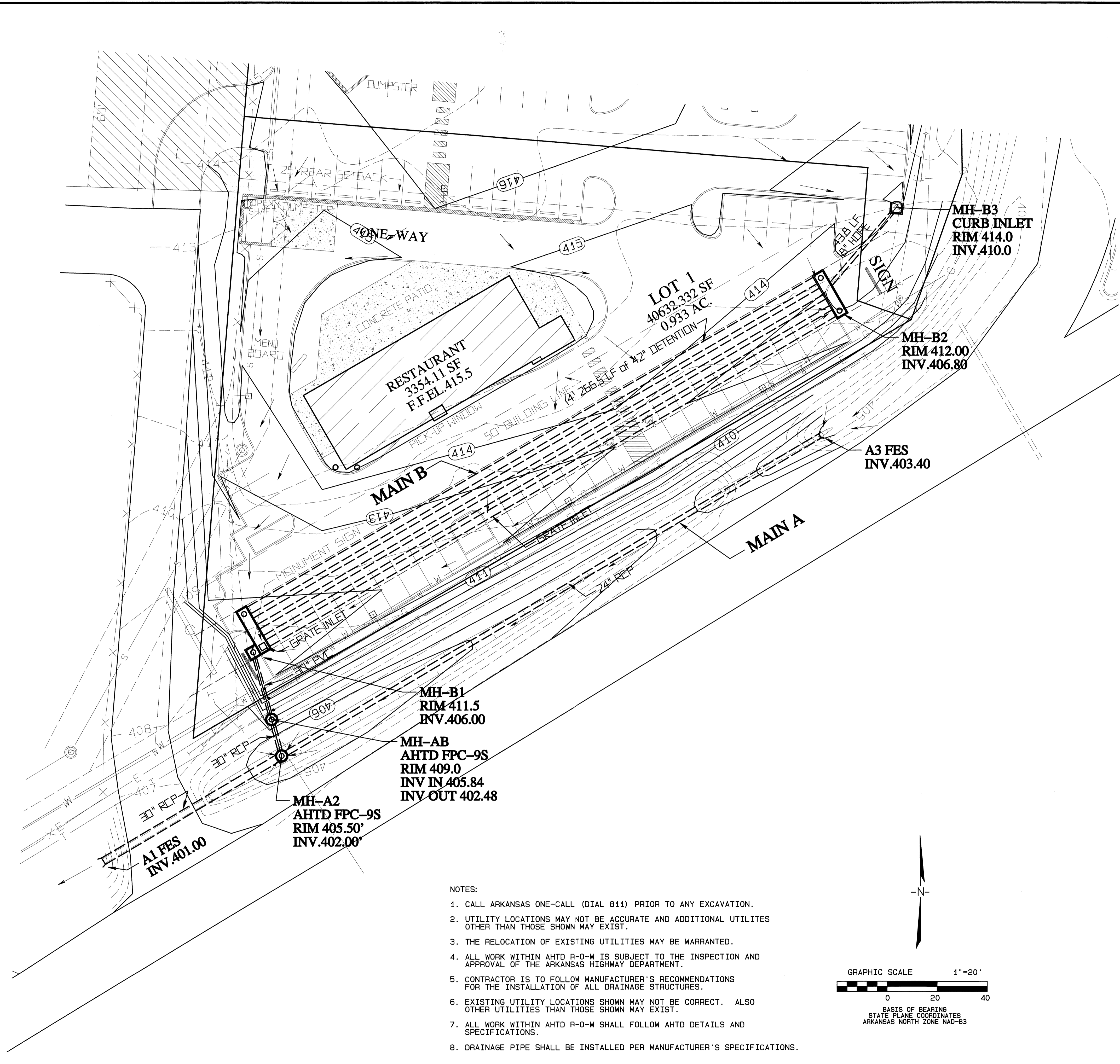
**Grading Plan of the
 Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC**

date	revisions	Int.
2/28/17	Remove Decal Line	DLW

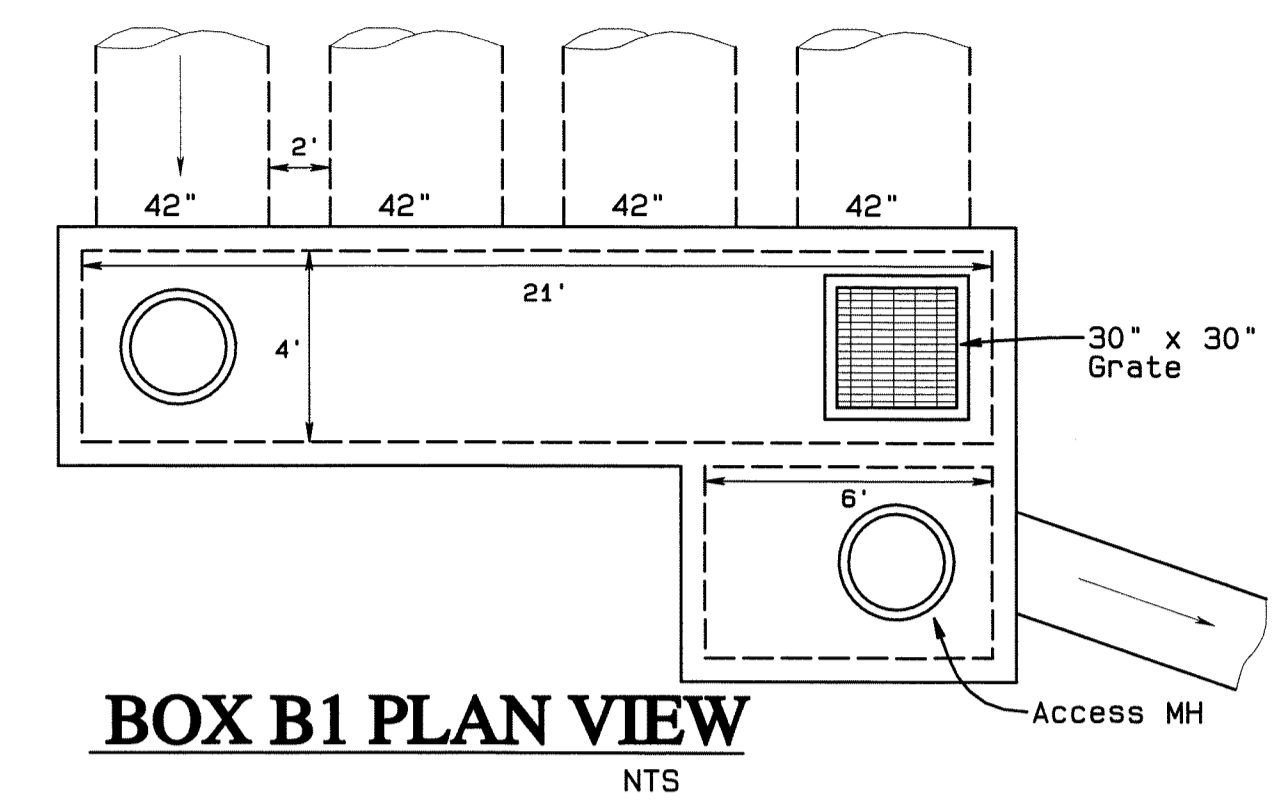
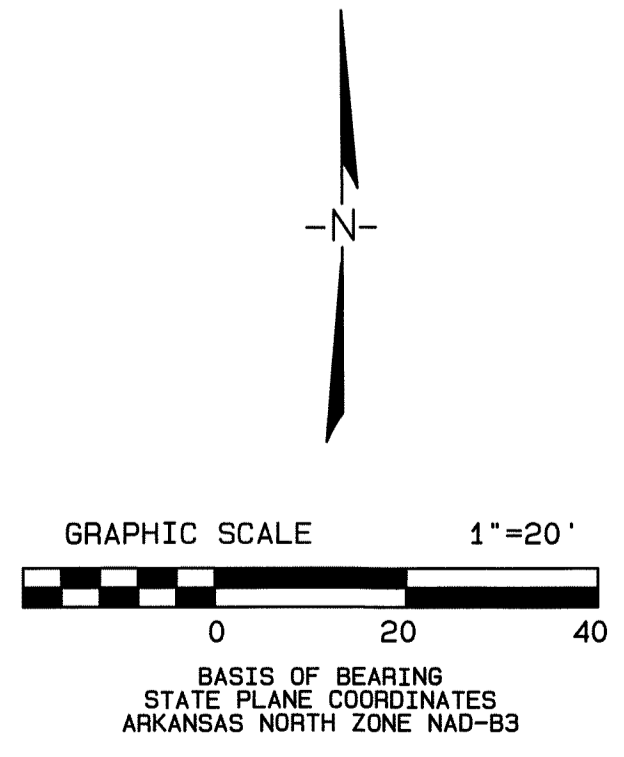
dwg by: MDR
 Checked: DLW
 date: 5/8/2017
 scale: noted

C2.00

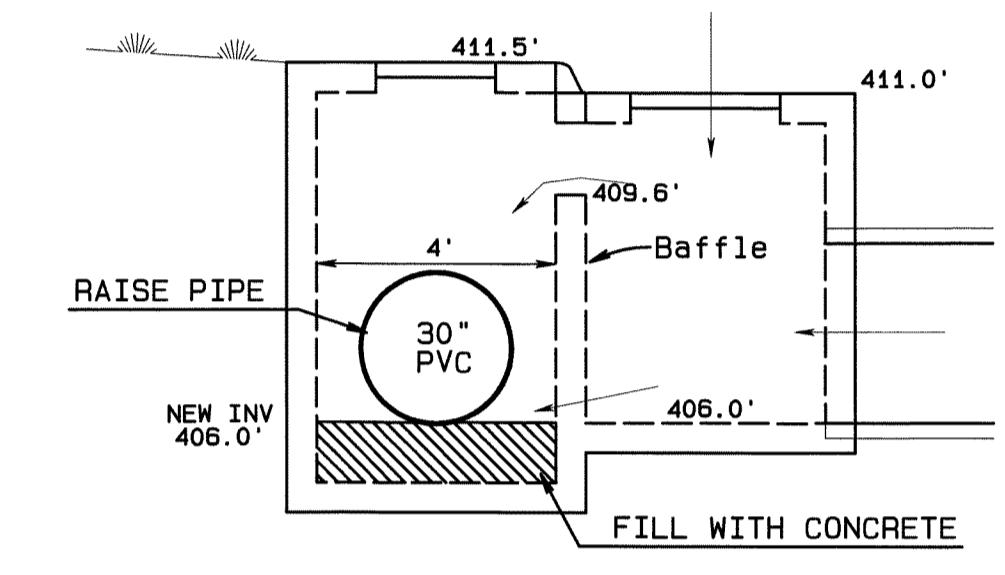
L:\2016\2016-083 Davids Burgers Bryant - Alan Bubbus\DrainagePlan2016-083.pro
 4/7/2017
 4:24:13PM



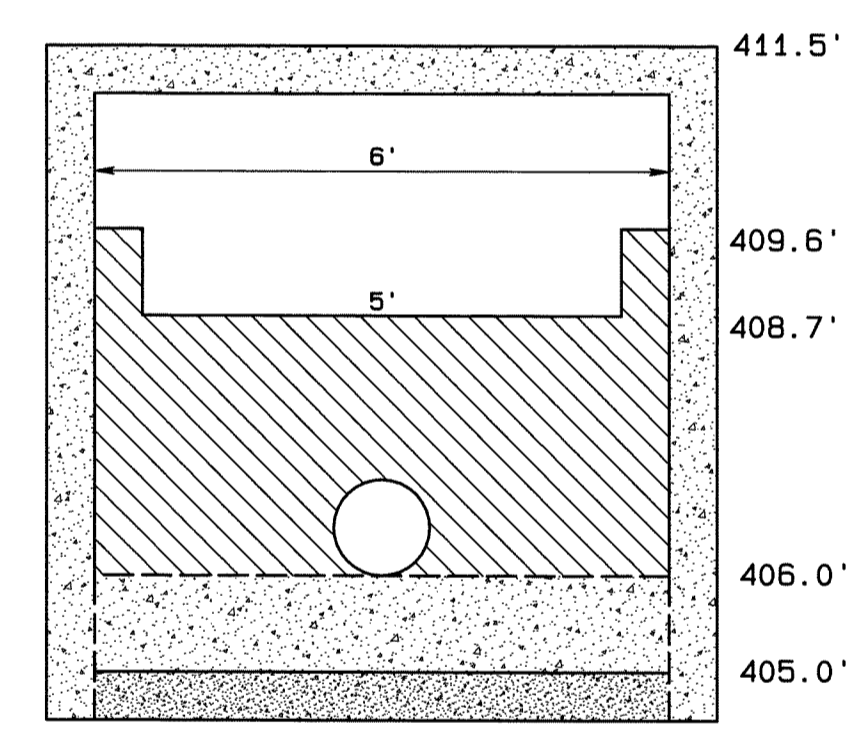
- NOTES:
1. CALL ARKANSAS ONE-CALL (DIAL 811) PRIOR TO ANY EXCAVATION.
 2. UTILITY LOCATIONS MAY NOT BE ACCURATE AND ADDITIONAL UTILITES OTHER THAN THOSE SHOWN MAY EXIST.
 3. THE RELOCATION OF EXISTING UTILITIES MAY BE WARRANTED.
 4. ALL WORK WITHIN AHTD R-O-W IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE ARKANSAS HIGHWAY DEPARTMENT.
 5. CONTRACTOR IS TO FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR THE INSTALLATION OF ALL DRAINAGE STRUCTURES.
 6. EXISTING UTILITY LOCATIONS SHOWN MAY NOT BE CORRECT. ALSO OTHER UTILITIES THAN THOSE SHOWN MAY EXIST.
 7. ALL WORK WITHIN AHTD R-O-W SHALL FOLLOW AHTD DETAILS AND SPECIFICATIONS.
 8. DRAINAGE PIPE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



BOX B1 PLAN VIEW
NTS



BOX B1 SOUTH VIEW
NTS



BOX B1 BAFFLE
NTS

date	revisions	int.
2/28/17	BT to AD change	DLW
3/28/17	Remove sheet name	DLW
3/27/17	Drainage for Retail Lot	DLW

dwg by: MDR
 checked: DLW
 date: 4/7/2017
 scale: noted

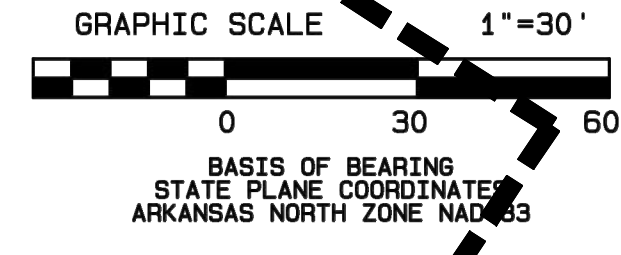
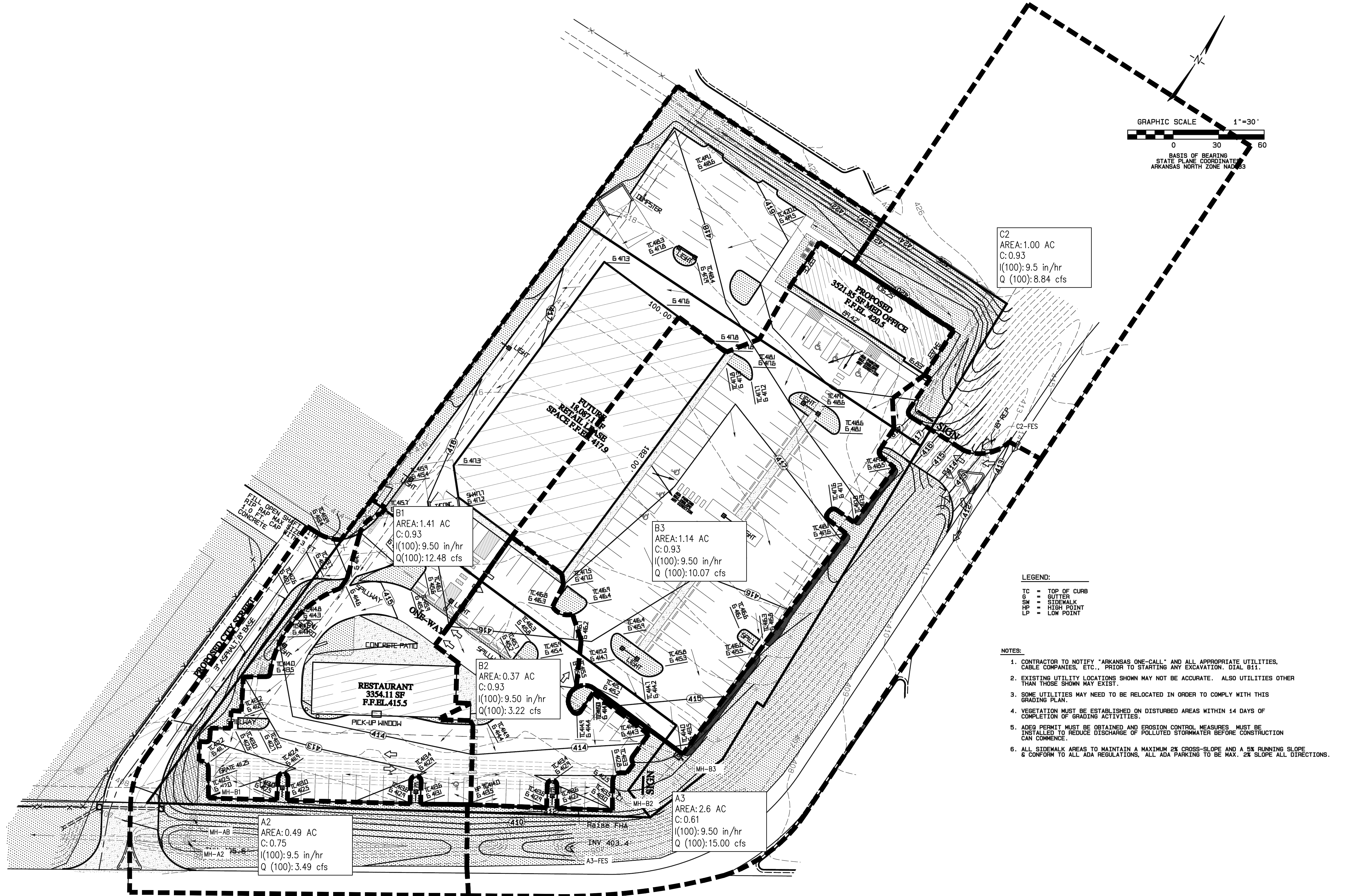
C2.01

Drainage Plan of the
 Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC

HOLLOWAY ENGINEERING
 Surveying, & Civil Design, PLLC
 200 Casey Drive
 Maumelle, Arkansas 72113
 (501) 851-3366
 admin@holloway-eng.com



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 11:32:31AM



Grading Plan of the
 Reynolds Centre
 City of Bryant, Saline County, Arkansas
 for: David's Real Estate, LLC

Int.	date	revisions	Int.
	2/28/17	Remove Detail Lines	

dwg by: MDR
 checked: DLW
 date: 5/8/2017
 scale: noted

PIPES

Design based on 100-year Storm

Inlet	Drainage Area ac	Area Q req'd cfs	Pipe	Q req'd cfs	Pipe Dia in	Area ft ²	W.P. ft	Rh	Slope ft/ft	n	Max Velocity fps	Full Flow Capacity cfs	Vel Head v ² /2g ft	Fig 3-1 Flow Depth ft	H.E.G ft	Rim Elev ft
B3	1.14	10.07	B3 to B2	10.07	18	1.77	4.71	0.375	0.045	0.013	12.66	22.36	2.5			
B2	0.37	3.22	B2 to B1	13.30	42	9.62	10.99	0.875	0.003	0.013	5.74	55.20	0.5			
B1	1.41	12.48	B1 to AB	25.78	30	4.91	7.85	0.625	0.005	0.010	7.69	37.73	0.9			
AB	0.00	0.00	AB to A2	25.78	30	4.91	7.85	0.625	0.015	0.013	10.25	50.27	1.6			
A3	2.60	15.00	A3 to A2	15.00	24	3.14	6.28	0.5	0.005	0.013	5.09	15.99	0.4	1.6		
A2	0.49	3.49	A2 to A1	44.27	30	4.91	7.85	0.625	0.012	0.013	9.16	44.96	1.3	2.0	405.3	405.5
C2	1.00	8.84	C2 to C1	8.84	18	1.77	4.71	0.375	0.019	0.013	8.24	14.55	1.1	0.8		

H.E.G. = Inv + Vel Head + Flow Depth

Q req'd = (Drainage Area) x (9.5 in/hr) x (0.93)

Flow Depth from LR Drainage Manual Fig 3-1

Velocity = ((1.49/n) (Rh)^{0.66} (Slope)^{0.5})

Capacity = Q = Area x Velocity

A2 - Q req'd = (0.49)(9.5)(0.75) = 3.49 cfs

Offsite Drainage into A3:

1) Waffle House Lot

A = 0.90 ac

2) Ditch & Pavement of Ramp Road

A = 0.90 ac

L1 = 300 ft L2 = 525 ft Lo = 825 ft

Δh = 20 ft

Slope = 2.5%

Tc = 30 min

I = 5.5 in/hr

Q = CIA = (0.75)(5.5)(1.80) = 7.4 cfs

3) Interstate Area

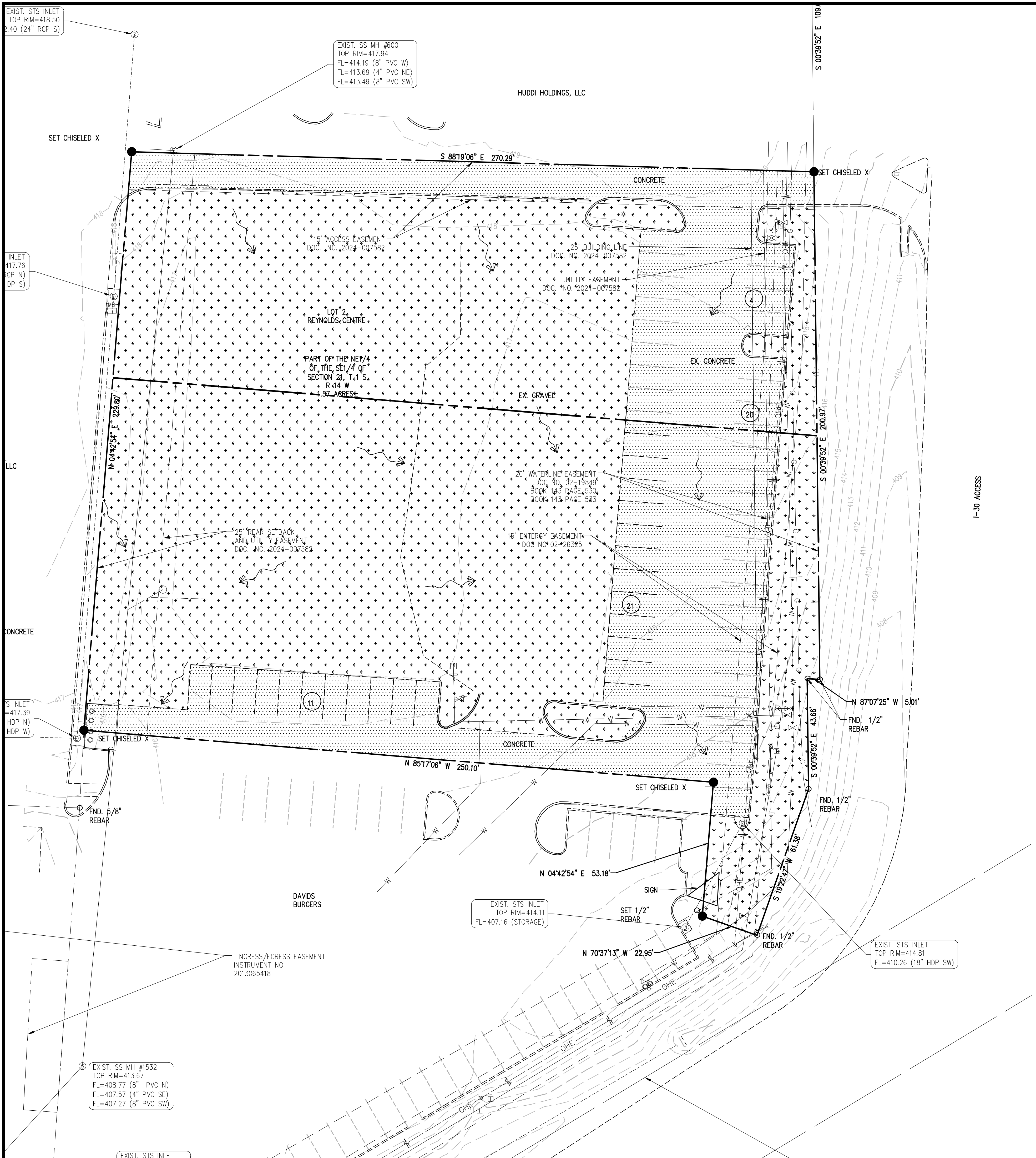
A = 0.85 ac

Q = CIA = (0.90)(10.0)(0.85) = 7.6 cfs

A3 - 15.0 cfs

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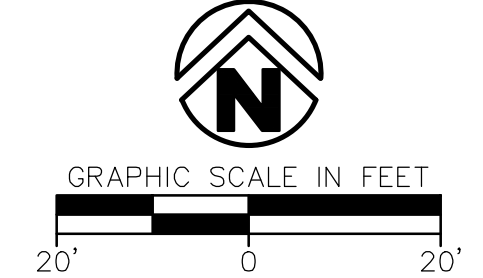
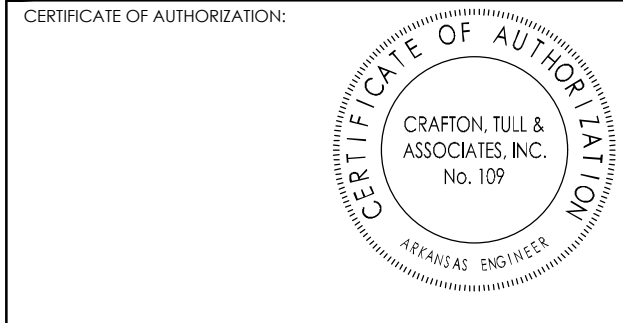
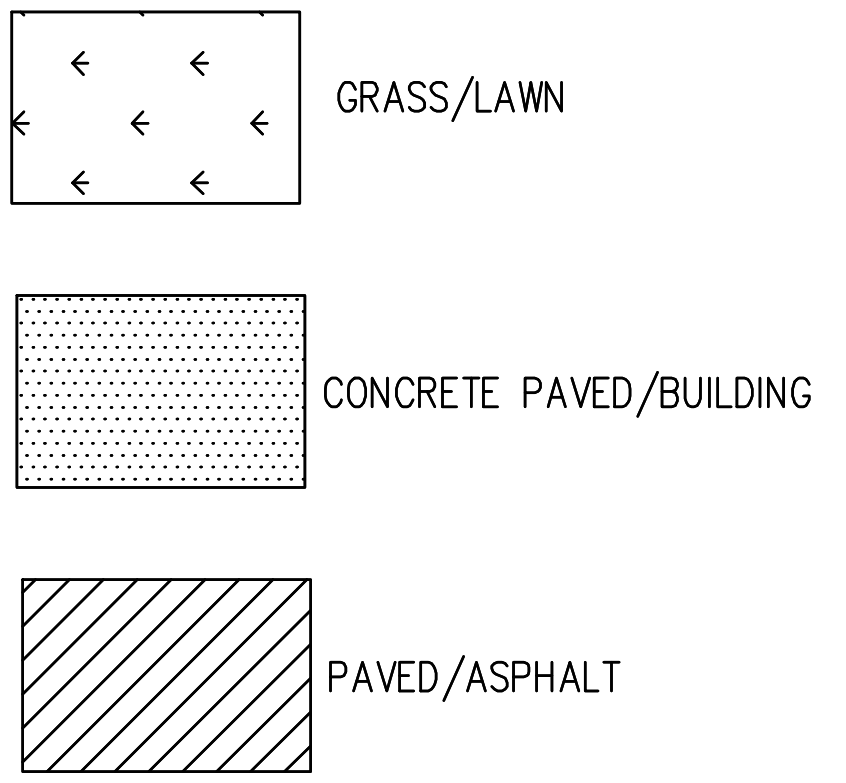
PREDEVELOPMENT DRAINAGE EXHIBIT



INTENSITY CALCULATIONS						
STORM YEAR	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR
INTENSITY (IN/HR)	5.88	6.79	7.58	8.53	9.45	10.00
TC (MIN)	5	5	5	5	5	5

COMPOSITE C- VALUE (PRE-DEV)						
SURFACE	AREA (AC)	C VALUE				
		2-YR	5-YR	10-YR	25-YR	100-YR
ASPHALTIC	0.00	0.73	0.77	0.81	0.86	0.90
CONCRETE/ROOF	0.50	0.75	0.80	0.83	0.88	0.92
GRASS AREA	1.07	0.25	0.28	0.30	0.34	0.37
TOTAL/COMPOSITE	1.57	0.41	0.45	0.47	0.51	0.59

FLOW OFF OF SITE (PRE-DEV)						
YEAR	2	5	10	25	50	100
A (ACRES)	1.57	1.57	1.57	1.57	1.57	1.57
C VALUE	0.41	0.45	0.47	0.51	0.55	0.59
INTENSITY (IN/HR)	5.88	6.79	7.58	8.53	9.45	10.00
Q (CFS)	3.78	4.75	5.58	6.86	8.09	9.24



PANERA BREAD
BRYANT, AR

Key Plan

No.	Description	Date

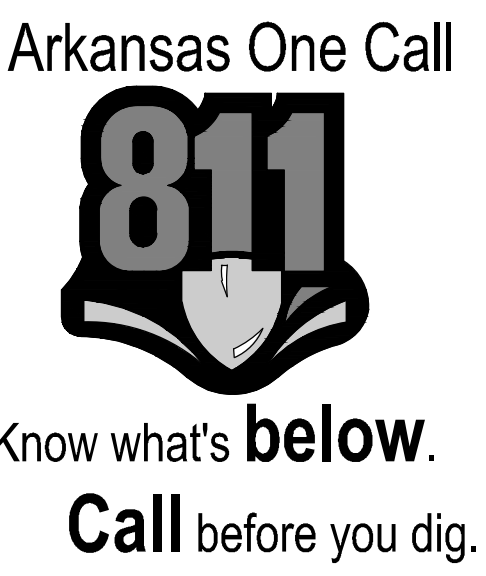
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PROJECT NO: 24304000
ISSUE DATE: 11/20/24
CONTACT: T. TOLLEY
DESIGNER: [Redacted]
CHECKED: [Redacted]
DATE: [Redacted]

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.

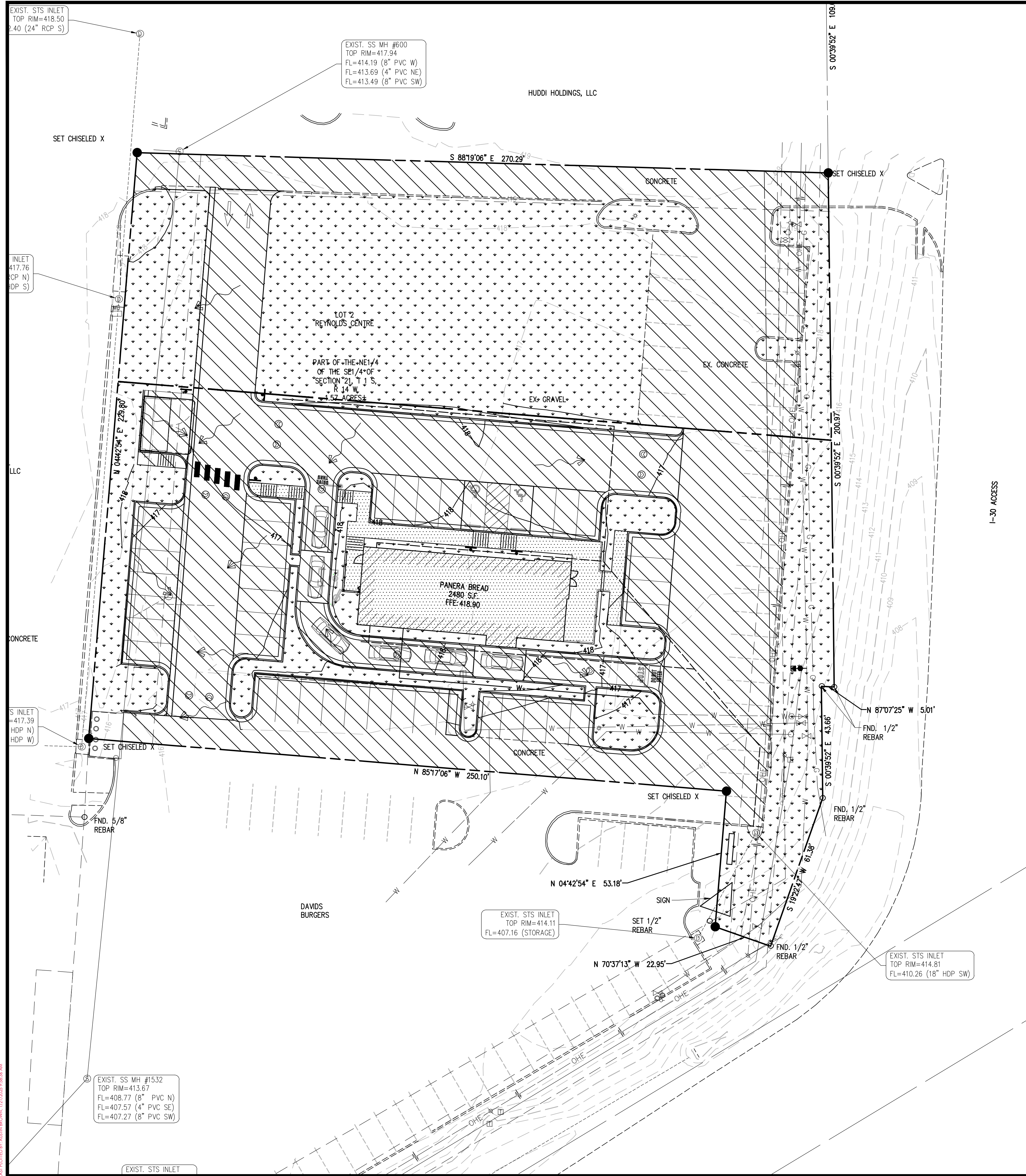
PRELIMINARY PLANS

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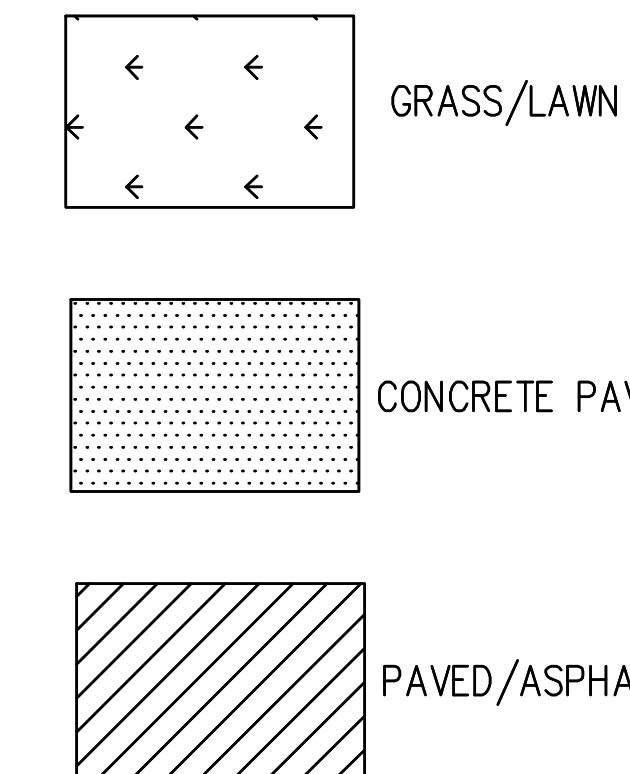
POST DEVELOPMENT DRAINAGE EXHIBIT



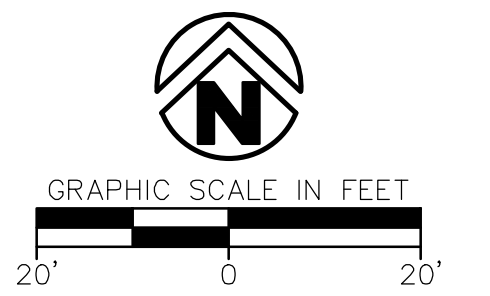
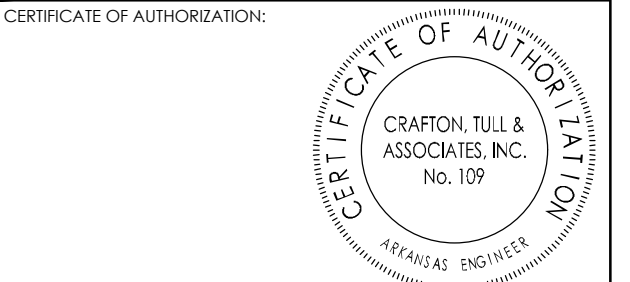
STORM YEAR	INTENSITY CALCULATIONS					
	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR
INTENSITY (IN/HR)	5.88	6.79	7.58	8.53	9.45	10.00
TC (MIN)	5	5	5	5	5	5

SURFACE	AREA (AC)	COMPOSITE C- VALUE (POST-DEV)					
		C VALUE					
		2-YR	5-YR	10-YR	25-YR	50-YR	100-YR
ASPHALTIC	0.85	0.73	0.77	0.81	0.86	0.90	0.95
CONCRETE/ROOF	0.10	0.75	0.80	0.83	0.88	0.92	0.97
GRASS AREA	0.62	0.21	0.23	0.25	0.29	0.32	0.36
TOTAL/COMPOSITE	1.57	0.53	0.56	0.59	0.64	0.67	0.72

YEAR	FLOW OFF OF SITE (POST-DEV)					
	2	5	10	25	50	100
A (ACRES)	1.57	1.57	1.57	1.57	1.57	1.57
C VALUE	0.53	0.56	0.59	0.64	0.67	0.72
INTENSITY (IN/HR)	5.88	6.79	7.58	8.53	9.45	10.00
Q (CFS)	4.86	5.96	7.02	8.52	9.97	11.28



YEAR	CHANGE IN C (RUNOFF COEFFICIENT)					
	2	5	10	25	50	100
DESIGN (BY OTHERS)	-	-	0.90	0.93	-	0.95
POST-DEV	0.53	0.56	0.59	0.64	0.67	0.72



PANERA BREAD
BRYANT, AR

No.	Description	Date

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PROJECT NO: 24304000
 ISSUE DATE: 01/16/25
 CONTACT: T. TOLLEY
 PLOT NO: 109
 DATE: 01/16/25

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PRELIMINARY PLANS

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POST-DEV DRAINAGE EXHIBIT

Arkansas One Call

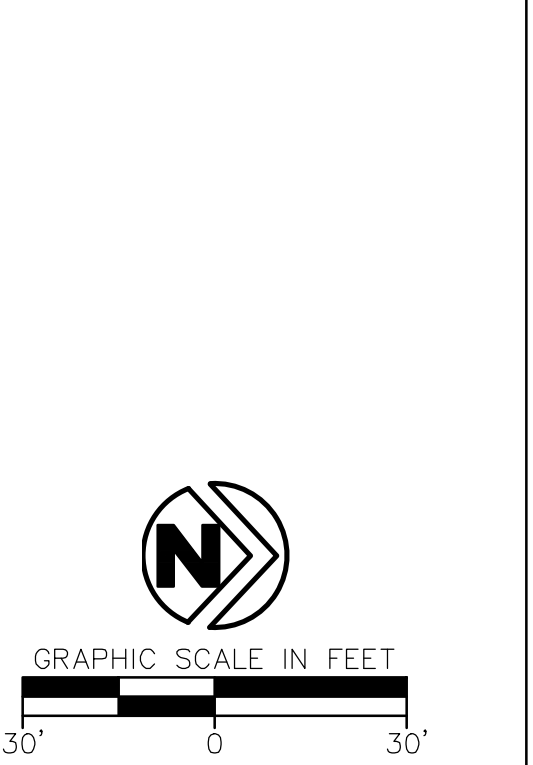
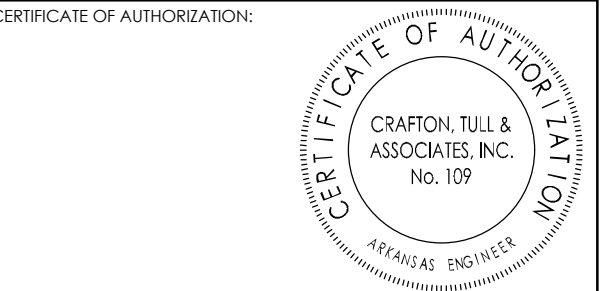
Know what's below.
Call before you dig.

The image features a topographic map background with white contour lines on a grey gradient. A solid blue horizontal band is centered across the map, containing the title text in white, bold, uppercase letters.

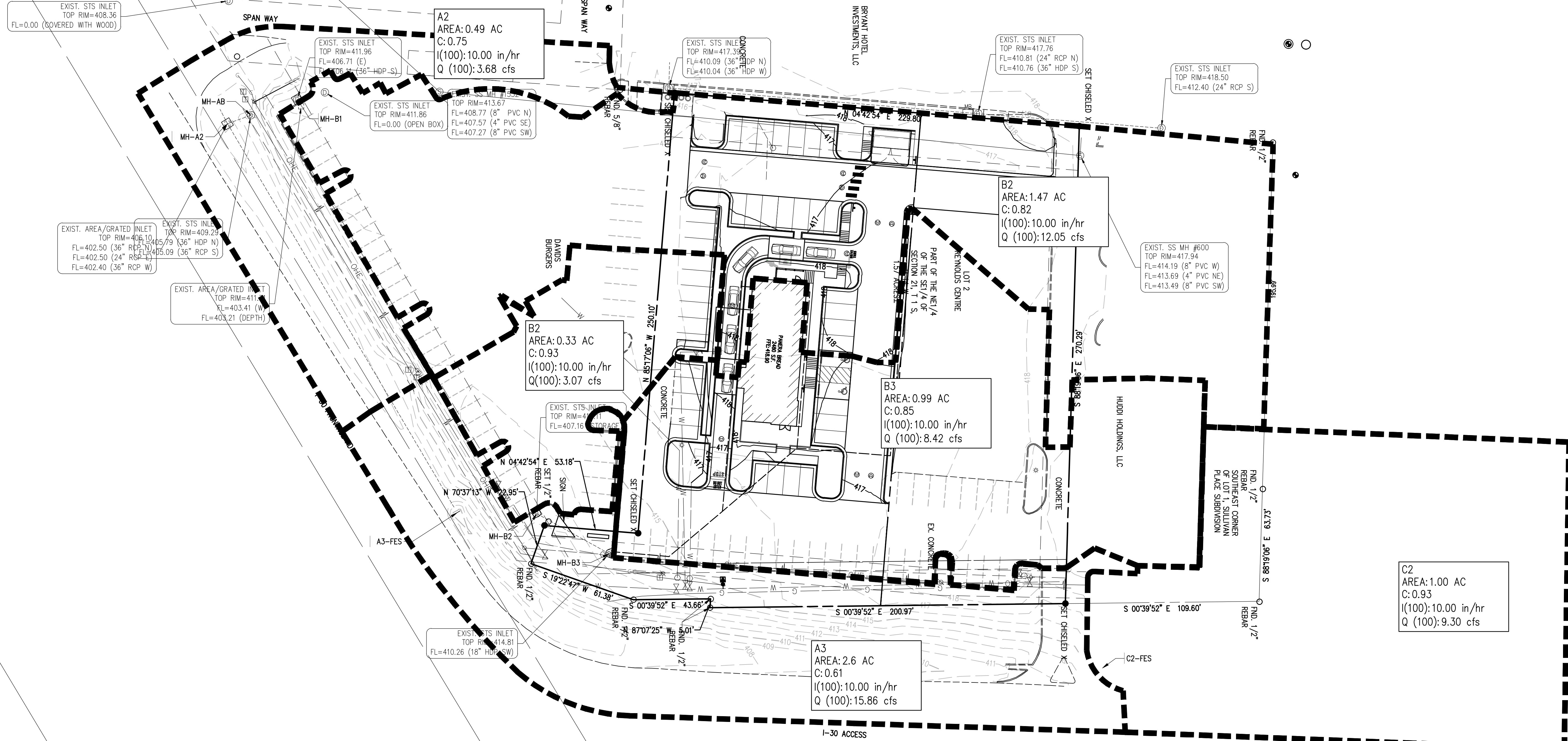
PREDEVELOPMENT INLET AREA MAP



**POST DEVELOPMENT
INLET AREA MAP**



PANERA BREAD
BRYANT, AR



Key Plan

No.	Description	Date

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PROJECT NO: 24304000
ISSUE DATE: 01/16/25
CONTACT: T. TOLLEY
PLOT NO:
PLOT DATE:
SCALE:
DATE:

PRELIMINARY PLANS

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Know what's below.
Call before you dig.

POST-DEV INLET MAP

C-110

DRAWING: 15/24/2025, PANERA BREAD, 10825 FINANCIAL CENTRE PARKWAY, SUITE 300, LITTLE ROCK, AR 72211. DATE PLOTTED BY: ADMIN@CRAFTON-TULL.COM, 1/17/2025 11:58:13 AM.

INLET CALCULATIONS



Job Description: Panera Bryant
 CTA Job Number: 24304000

Date: January 16, 2024
 By: Austin Brown, EI

CATCH BASINS IN A SUMP: DESIGN (10 - YEAR STORM EVENT)

	INLET NUMBER	INLET LOCATION	AREA Tc (min)	TYPE OF INLET	AREA (ac)	C	TOTAL Tc (min)	* I (in/hr)	RUNOFF AT INLET (CA)	CARRY-OVER FROM UPSTREAM INLET (CA)	TOTAL FLOW Qt (cfs)	INLET LENGTH (ft)	AREA OPENING (sf^2)	** CAPAC. Qp (cfs) CURB	** CAPAC. Qp (cfs) GRATE	DEPTH AT CURB d (ft)	DEPTH AT GRATE d (ft)	RDWY CROSS SLOPE (ft/ft)	SPREAD AT INLET (ft)	SPREAD AT GRATE (ft)	TOTAL RUNOFF (CA)
1	B1	Post-develop	5	Curb	0.99	0.85	5	7.58	0.84		6.38	6		6.4	0.0	0.50	0.00	0.0200	25.04	0.00	0.84
2	B2	Post-develop	5	Curb	0.33	0.93	5	7.58	0.31		2.33	4		4.2	0.0	0.33	0.00	0.0200	16.75	0.00	0.31
3	B3	Post-develop	5	Grate	1.47	0.82	5	7.58	1.21		9.14		2.5	0.0	9.5	0.00	0.46	0.0200	0.00	23.16	1.21

* 5 MINUTES IS THE MINIMUM TIME OF CONCENTRATION FOR CATCHMENT BASINS (10 - YEAR I = 7.34 IN/HR).

** CAPACITY FOR A MAXIMUM OF 6" HEADWATER

The background of the page features a topographic map with white contour lines on a grey background. A solid blue horizontal band is centered across the page, containing the title text.

SOILS REPORT



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Saline County, Arkansas



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:671 if printed on A landscape (11" x 8.5") sheet.

0 5 10 20 30 Meters


0 30 60 120 180 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 15N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)


Soils


 Soil Map Unit Polygons


 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features

 Blowout

 Borrow Pit


 Clay Spot


 Closed Depression

 Gravel Pit

 Gravelly Spot


 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water


 Perennial Water

 Rock Outcrop


 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip


 Sodic Spot


 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

Water Features

 Streams and Canals


Transportation

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Saline County, Arkansas
 Survey Area Data: Version 21, Sep 10, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 1, 2022—May 29, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
29	Tiak silt loam, 3 to 8 percent slopes	1.6	100.0%
Totals for Area of Interest		1.6	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Saline County, Arkansas

29—Tiak silt loam, 3 to 8 percent slopes

Map Unit Setting

National map unit symbol: m06q
Elevation: 70 to 570 feet
Mean annual precipitation: 44 to 61 inches
Mean annual air temperature: 49 to 74 degrees F
Frost-free period: 185 to 230 days
Farmland classification: Not prime farmland

Map Unit Composition

Tiak and similar soils: 100 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Tiak

Setting

Landform: Interfluves
Down-slope shape: Convex
Across-slope shape: Linear
Parent material: Loamy and clayey marine deposits

Typical profile

A - 0 to 7 inches: silt loam
E - 7 to 9 inches: loam
Bt1 - 9 to 32 inches: clay
Bt2 - 32 to 72 inches: clay

Properties and qualities

Slope: 3 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Runoff class: Very high
Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)
Depth to water table: About 12 to 24 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: High (about 9.3 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 3e
Hydrologic Soil Group: C/D
Ecological site: F133BY002TX - Seasonally Wet Upland
Hydric soil rating: No

References

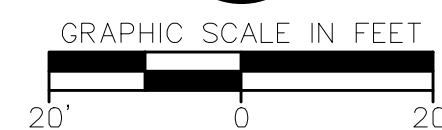
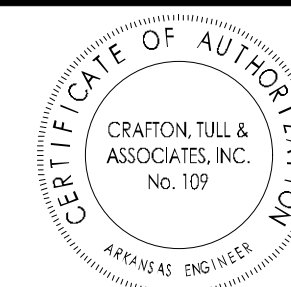
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Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242

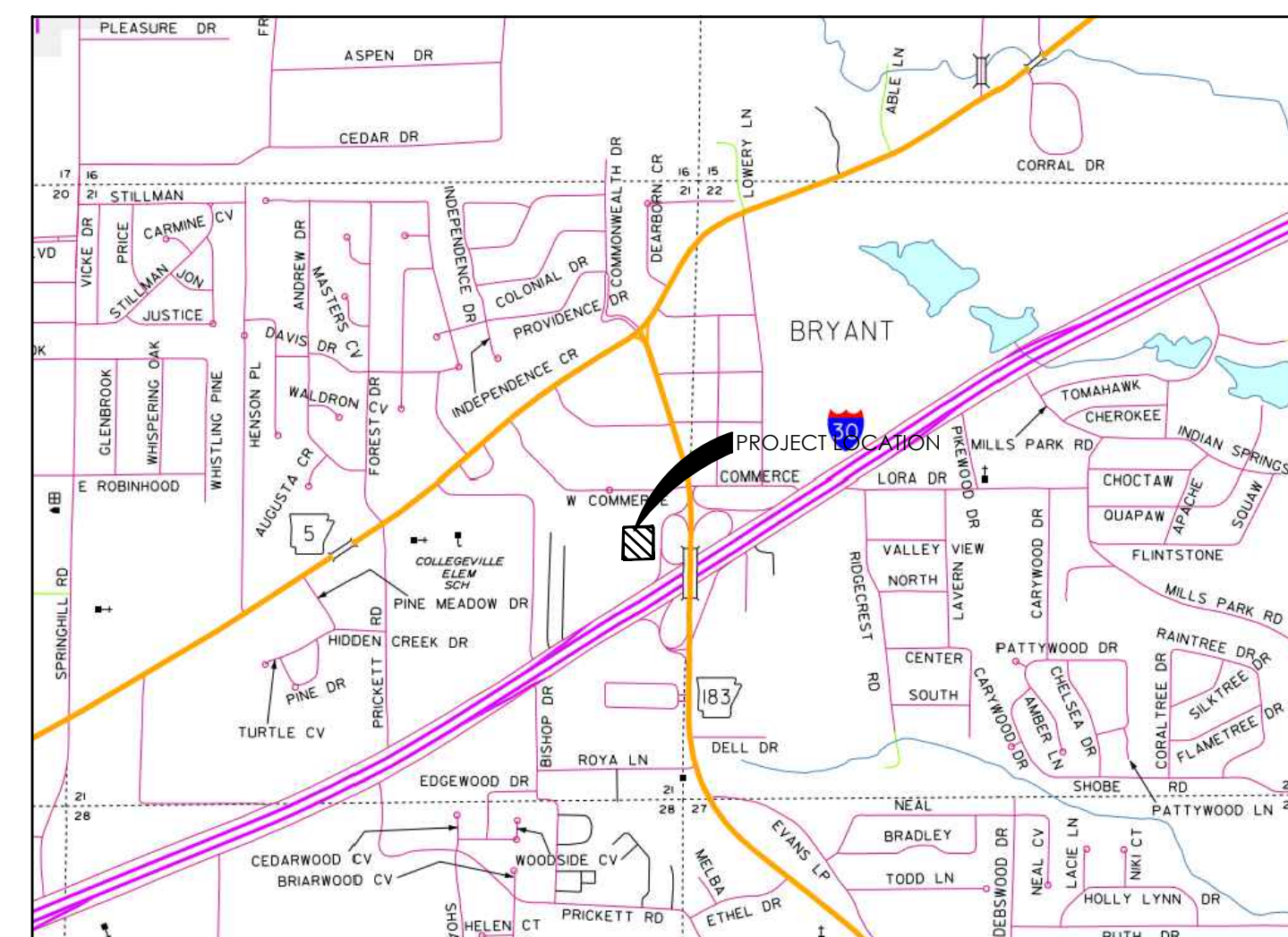
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PANERA BREAD
BRYANT, AR

Key Plan



BASIS OF BEARING: GRID NORTH, ARKANSAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (0302), DETERMINED BY GPS OBSERVATIONS. APPROXIMATE CONVERGENCE ANGLE IS $-00^{\circ} 16' 47.15220''$. DISTANCES ARE STATE PLANE GRID DISTANCES. COMBINED ADJUSTMENT FACTOR = 0.999970446.

Arkansas One Call



Know what's below.
Call before you dig.

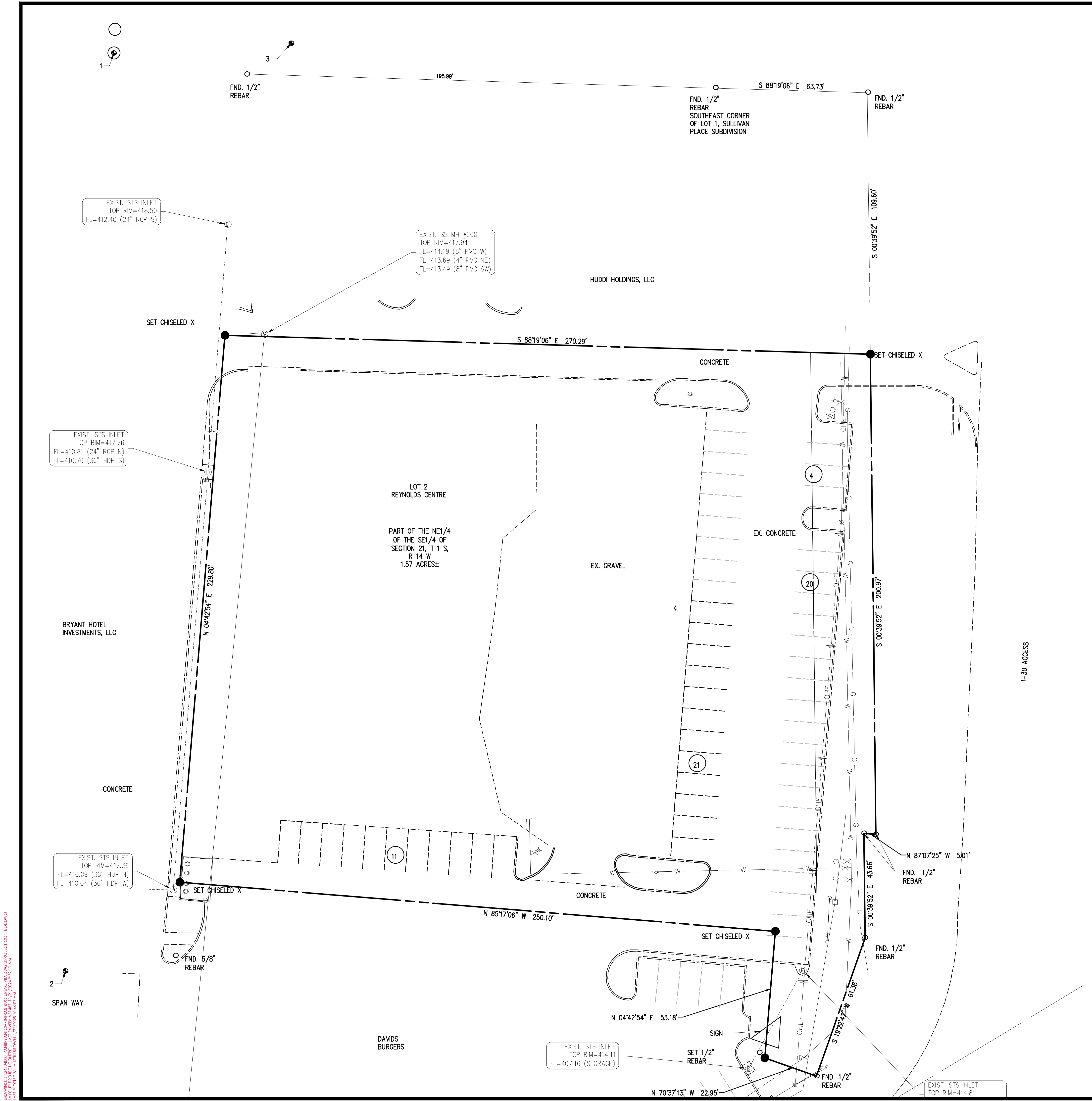
LEGEND (EXISTING)

SYMBOLS	LINWORK
● CONTROL POINT	_____ PROPERTY LINE
	_____ RIGHT-OF-WAY
	_____ CENTERLINE
	_____ CURB

NOTE

ONLY THE CONTROL POINTS, COORDINATE VALUES, AND ELEVATIONS SHOWN ON THIS SHEET SHALL BE USED ON THIS PROJECT. CRAFTON, TULL & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF USING CONTROL POINTS, COORDINATE VALUES OR ELEVATIONS ESTABLISHED OR DERIVED FROM OTHER SOURCES. CRAFTON, TULL & ASSOCIATES, AT ITS SOLE DISCRETION, MAY ALLOW THE USE OF ALTERNATIVE OR ADDITIONAL CONTROL, BY A WRITTEN AMENDMENT TO THIS SHEET SEALED BY THE RESPONSIBLE SURVEYOR. USERS OF THESE CONTROL POINTS SHALL EXERCISE DUE CARE AND GOOD SURVEYING PRACTICE AND IMMEDIATELY NOTIFY THE CRAFTON, TULL & ASSOCIATES PROJECT ENGINEER OF ANY INCONSISTENCIES IN THE OBSERVED COORDINATE VALUES, ELEVATIONS AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	2023482.37	1161796.55	422.47	CTL ALUMCAP
2	2023097.95	1161776.29	414.58	CTL PKNAIL
3	2023486.40	1161870.80	423.60	CTL PKNAIL



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PROJECT NO: 24304000

ISSUE DATE: 01/22/25

CONTACT: C. GARDNER

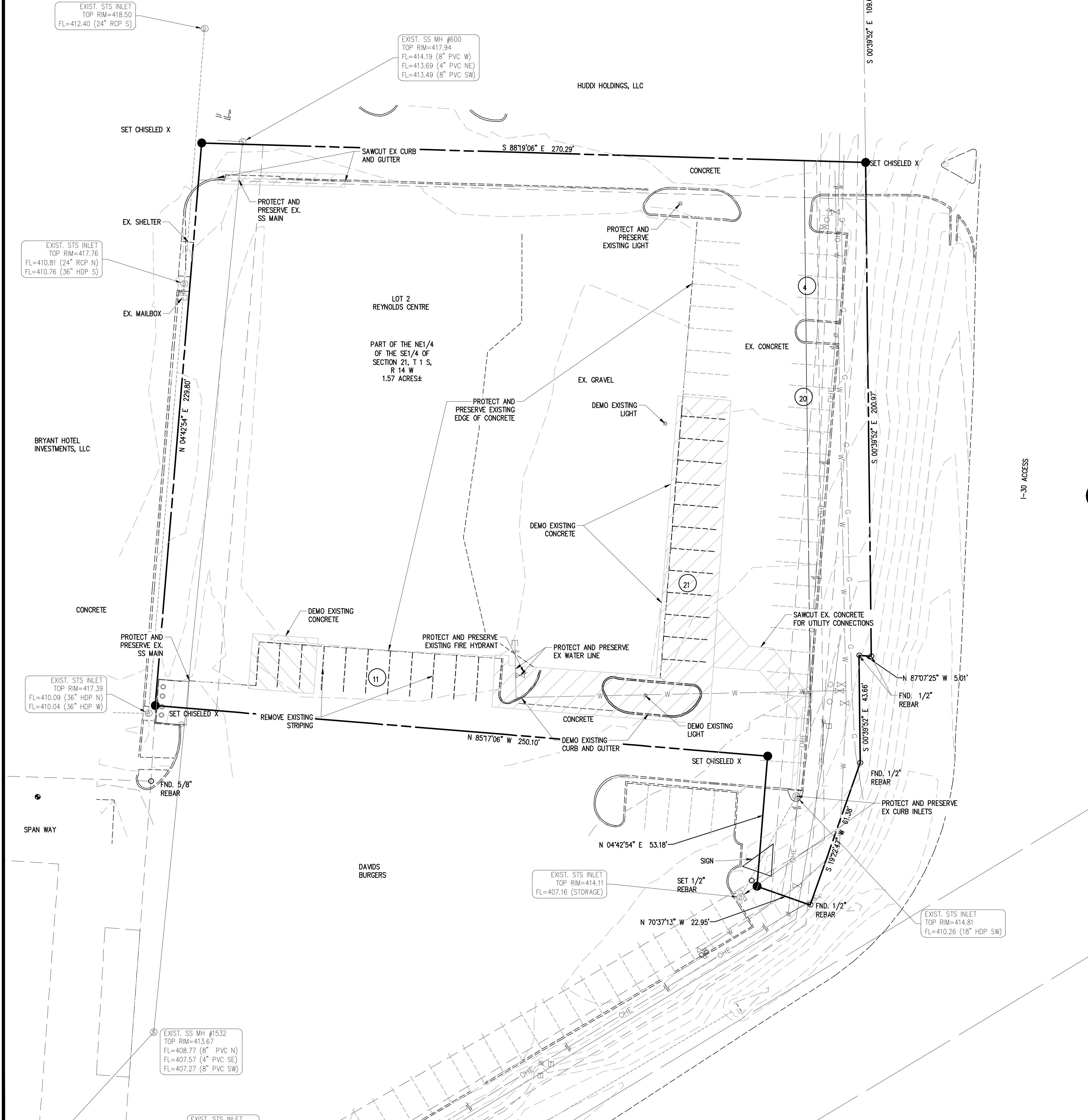
PRELIMINARY PLANS

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PROJECT CONTROL

C-002

DRAWING: 13/24/2025, PANERA BREAD, 10825 FINANCIAL CENTRE PARKWAY, SUITE 300, LITTLE ROCK, AR 72211. PROJECT CONTROL: C. GARDNER. DATE PLOTTED: 01/22/25 10:46:07 AM.

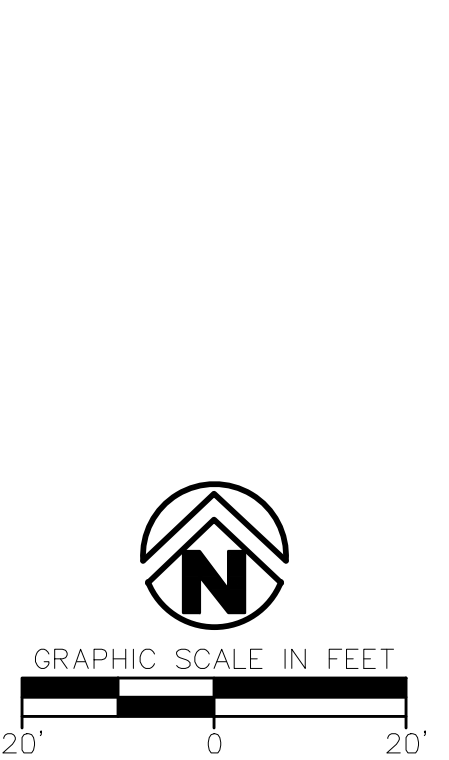
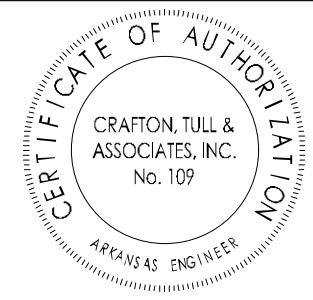


- SYMBOLS**
- BENCHMARK
 - FOUND IRON PIPE/REBAR
 - PRIMARY CONTROL/SET MONUMENT
 - FOUND MONUMENT/ROW
 - AIR CONDITIONER
 - ⊗ ARV AIR RELEASE VALVE
 - ⊗ EB ELECTRIC BOX/PEDESTAL
 - ⊗ EJB ELECTRIC JUNCTION BOX
 - ⊗ EM ELECTRIC METER
 - ⊗ ET ELECTRIC TRANSFORMER
 - ⊗ FDC FIRE DEPARTMENT CONNECTION
 - ⊗ FH FIRE HYDRANT
 - ⊗ GM GAS METER
 - ⊗ GV GAS VALVE
 - GUARD POST
 - ⊗ LP LIGHT POLE
 - ⊗ PP POWER POLE
 - SANITARY MANHOLE
 - SC SANITARY SEWER CLEANOUT
 - ⊗ SIGN
 - ⊗ SH SPRINKLER HEAD
 - ⊗ TP TELEPHONE PEDESTAL
 - ⊗ TPV TV PEDESTAL
 - ⊗ TF TV FAUCET
 - WM WATER METER
 - ⊗ WV WATER VALVE
 - DOWNGUY DOWN GUY
 - ⊗ SSM STORM SEWER MANHOLE
 - ⊗ SSP STORM SEWER PIPE
 - ⊗ DI DROP/CURB INLET
 - ⊗ GI GRATED INLET
 - ⊗ T TREE
 - ⊗ TRB TREE TO BE REMOVED

- LINEWORK**
- EASEMENT
 - ==== CURB
 - 1206- INTERMEDIATE CONTOUR
 - 1205- INDEX CONTOUR
 - SS --- SS SANITARY SEWER LINE (SPECIFY SIZE & TYPE)
 - G --- G GAS LINE
 - W --- W WATER LINE (SPECIFY SIZE & TYPE)
 - UGT --- UGT UNDERGROUND TELEPHONE
 - UGE --- UGE UNDERGROUND ELECTRIC
 - OHE --- OHE OVERHEAD ELECTRIC
 - UGTV --- UGTV UNDERGROUND TELEVISION
 - OHTV --- OHTV OVERHEAD TELEVISION
 - CLF --- CLF CHAIN LINK FENCE
 - WF --- WF WOOD FENCE
 - BWF --- BWF BARBED WIRE FENCE
 - FO --- FO FIBER OPTIC
 - --- RIGHT OF WAY
 - --- ROAD CENTERLINE
 - ▭ LIMITS OF DEMOLITION

DEMOLITION NOTES

1. CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS.
2. CRAFTON, TULL AND ASSOCIATES, INC. SHALL NOT BE LIABLE FOR ANY DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSAL OF ANY MATERIALS.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THAT ADJACENT PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT ALL TIMES, AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP TO LAND OWNERS ADJACENT TO THE CONSTRUCTION SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
5. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE DISCONNECTION, REMOVAL AND RELOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF SITE IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUDED IF UNDER BUILDINGS.
10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.
12. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO DEMOLITION.
13. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
14. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
15. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN WATERMAIN IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT-OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
16. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
17. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED/TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
18. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF DISTURBANCE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
19. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE THEY SHALL CONTACT THE ENGINEER IMMEDIATELY.
20. ALL WELLS SHALL BE CAPPED AND CLOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL LAW.



PANERA BREAD
BRYANT, AR

No.	Description	Date

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PROJECT NO: 24304000
ISSUE DATE: 01/22/25
CONTACT: C. GARDNER
DATE: 01/22/25
DATE: 01/22/25

FOR CONSTRUCTION ... REVIEW SET ...
PRELIMINARY PLANS
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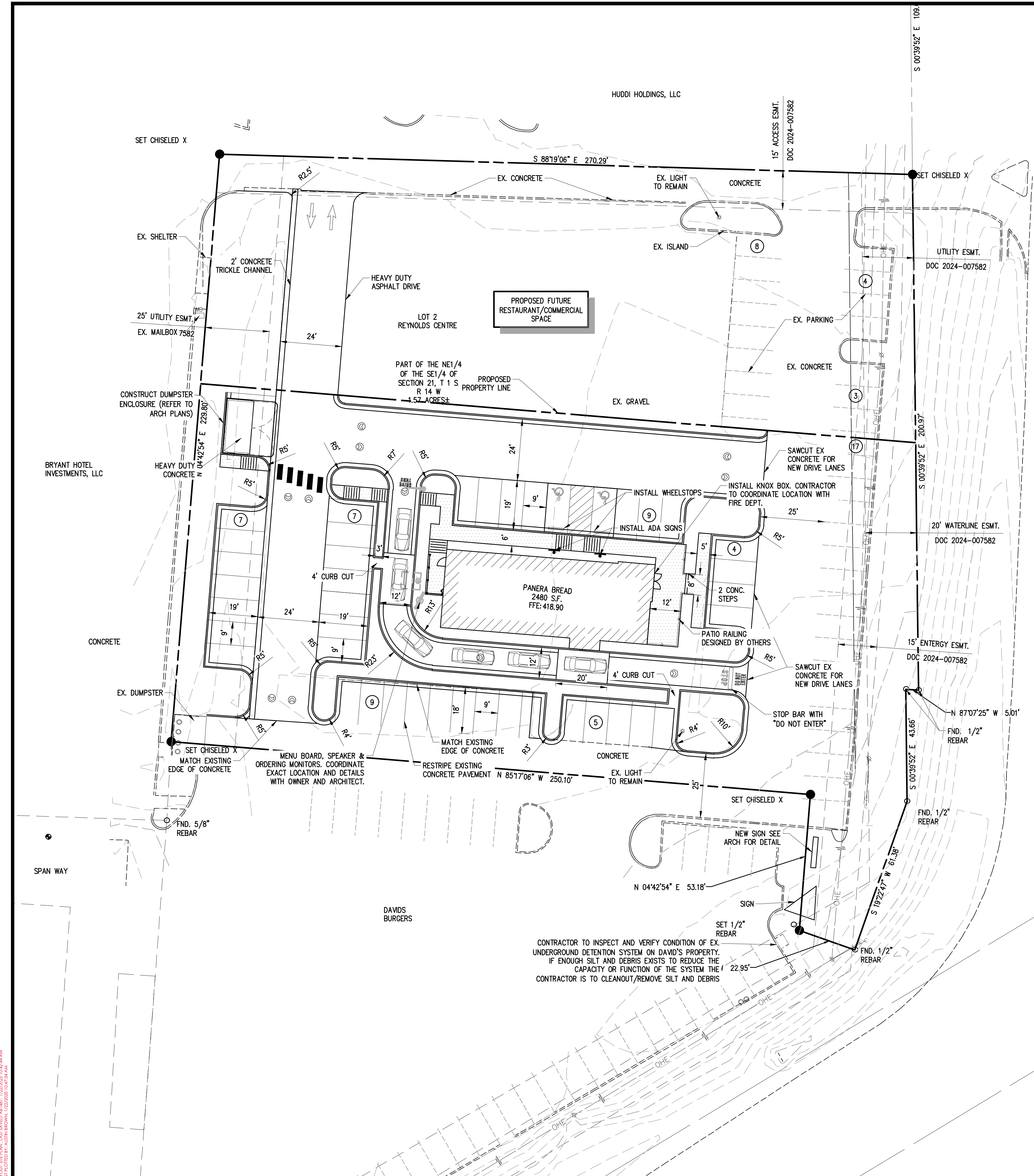
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DEMO PLAN

C-003

Arkansas One Call
811
Know what's below.
Call before you dig.

DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DESIGN SHALL BE MADE BY THE ENGINEER. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CONDITIONS ON THE SITE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



SITE NOTES

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- ALL CURB DIMENSIONS AND RADI ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS DIMENSIONS BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MATCH NEW CURB AND CUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

LEGEND (EXISTING SYMBOLS)

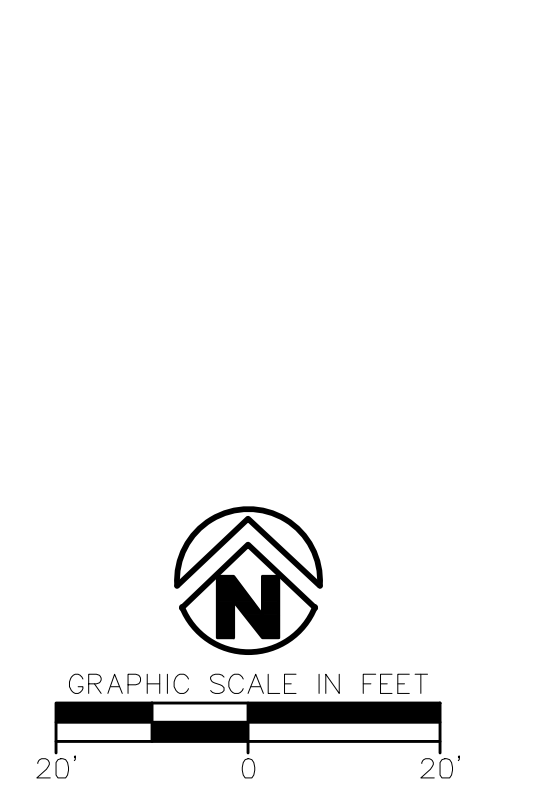
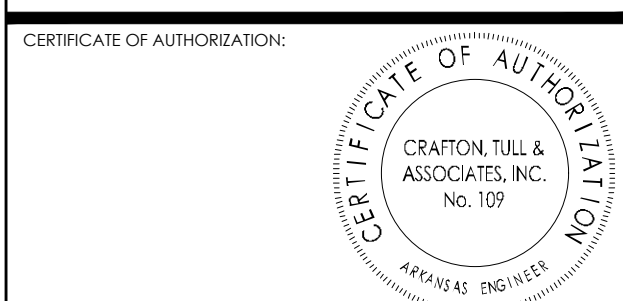
- SYMBOLS**
- BENCHMARK
 - FOUND IRON PIPE/REBAR
 - PRIMARY CONTROL/SET MONUMENT
 - FOUND MONUMENT/ROW
 - AIR CONDITIONER
 - AIR RELEASE VALVE
 - ELECTRIC BOX/PEDESTAL
 - ELECTRIC JUNCTION BOX
 - ELECTRIC METER
 - ELECTRIC TRANSFORMER
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - GUARD POST
 - LIGHT POLE
 - POWER POLE
 - SANITARY MANHOLE
 - SANITARY SEWER CLEANOUT
 - SIGN
 - SPRINKLER HEAD
 - TELEPHONE PEDESTAL
 - TV PEDESTAL
 - WATER FAUCET
 - WATER METER
 - WATER VALVE
 - DOWN GUY
 - STORM SEWER MANHOLE
 - STORM SEWER PIPE
 - DROP/CURB INLET
 - TREE
 - GRATED INLET
 - TREE TO BE REMOVED
- LINEWORK**
- EASEMENT
 - CURB
 - INTERMEDIATE CONTOUR
 - INDEX CONTOUR
 - SANITARY SEWER LINE (SPECIFY SIZE & TYPE)
 - GAS LINE
 - WATER LINE (SPECIFY SIZE & TYPE)
 - UNDERGROUND TELEPHONE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC
 - UNDERGROUND TELEVISION
 - OVERHEAD TELEVISION
 - CHAIN LINK FENCE
 - WOOD FENCE
 - BARBED WIRE FENCE
 - FIBER OPTIC
 - RIGHT OF WAY
 - ROAD CENTERLINE

LEGEND (CONSTRUCT)

- SYMBOLS**
- SET IRON PIN
 - LIGHT POLE
 - POWER POLE
 - TELEPHONE PEDESTAL
 - TV PEDESTAL
 - MANHOLE
 - SANITARY SEWER CLEANOUT
 - GAS METER
 - GAS VALVE
 - STORM SEWER PIPE
 - STRUCTURE NUMBER
 - WATER VALVE
 - FIRE HYDRANT ASSEMBLY
 - AIR RELEASE VALVE
 - FIRE DEPARTMENT CONNECTION
 - WATER METER
 - BACK FLOW PREVENTER
 - REDUCER
 - RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
 - CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)
- LINEWORK**
- EASEMENT
 - CURB
 - INTERMEDIATE CONTOUR
 - INDEX CONTOUR
 - SANITARY SEWER LINE
 - GAS LINE
 - WATER LINE
 - UNDERGROUND TELEPHONE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND TELEVISION
 - CHAIN LINK FENCE
 - WOOD FENCE
 - BARBED WIRE FENCE
 - BUILDING SET BACK
 - RIGHT OF WAY
 - PROPERTY LINE
 - ROAD CENTERLINE

PARKING

STANDARD PARKING SPACES	39
ACCESSIBLE PARKING SPACES	2
TOTAL PARKING SPACES	41



PANERA BREAD
BRYANT, AR

Key Plan

No.	Description	Date

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PRELIMINARY PLANS

Arkansas One Call
Know what's below.
Call before you dig.

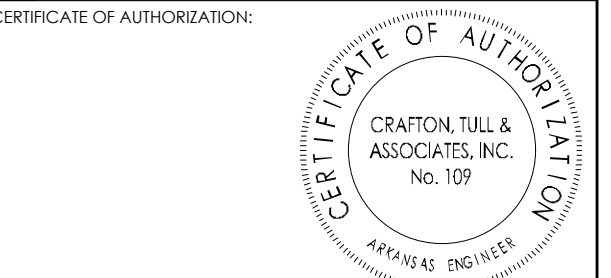
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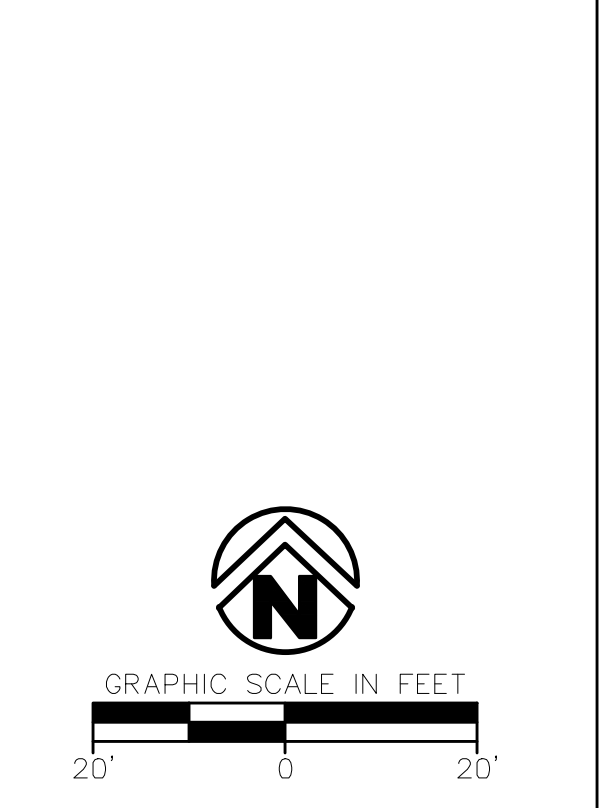
DATE: 01/22/25

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Site Plan
C-101



CERTIFICATE OF AUTHORIZATION



PANERA BREAD
BRYANT, AR

LEGEND (EXISTING SYMBOLS)

SYMBOLS	LINEWORK
● BENCHMARK	EASEMENT
○ FOUND IRON PIPE/REBAR	CURB
○ PRIMARY CONTROL/SET MONUMENT	INTERMEDIATE CONTOUR
○ FOUND MONUMENT/ROW	INDEX CONTOUR
☒ AIR CONDITIONER	SANITARY SEWER LINE (SPECIFY SIZE & TYPE)
☒ AIR RELEASE VALVE	GAS LINE
☒ ELECTRIC BOX/PEDESTAL	WATER LINE (SPECIFY SIZE & TYPE)
☒ ELECTRIC JUNCTION BOX	UNDERGROUND TELEPHONE
☒ ELECTRIC METER	UNDERGROUND ELECTRIC
☒ ELECTRIC TRANSFORMER	OVERHEAD ELECTRIC
☒ FIRE DEPARTMENT CONNECTION	UNDERGROUND TELEVISION
☒ FIRE HYDRANT	OVERHEAD TELEVISION
☒ GAS METER	CHAIN LINK FENCE
☒ GAS VALVE	WOOD FENCE
☒ GUARD POST	BARBED WIRE FENCE
☒ LIGHT POLE	FIBER OPTIC
☒ POWER POLE	RIGHT OF WAY
☒ SANITARY MANHOLE	ROAD CENTERLINE
☒ SANITARY SEWER CLEANOUT	
☒ SPRINKLER HEAD	
☒ TELEPHONE PEDESTAL	
☒ TV PEDESTAL	
☒ WATER FAUCET	
☒ WATER METER	
☒ WATER VALVE	
☒ DOWN GUY	
☒ STORM SEWER MANHOLE	
☒ STORM SEWER PIPE	
☒ DROP/CURB INLET	
☒ GRATED INLET	
☒ TREE	
☒ TREE TO BE REMOVED	

LEGEND (CONSTRUCT)

SYMBOLS	LINEWORK
☀ LIGHT POLE	EASEMENT
☒ TELEPHONE PEDESTAL	CURB
☒ TV PEDESTAL	SANITARY SEWER LINE
○ MANHOLE	GAS LINE
○ SANITARY SEWER CLEANOUT	WATER LINE
○ GAS METER	UNDERGROUND TELEPHONE
○ GAS VALVE	UNDERGROUND ELECTRIC
☒ STORM SEWER PIPE	OVERHEAD ELECTRIC
☒ STRUCTURE NUMBER	FIBER OPTIC
☒ WATER VALVE	UNDERGROUND TELEVISION
☒ FIRE HYDRANT ASSEMBLY	RIGHT OF WAY
☒ AIR RELEASE VALVE	PROPERTY LINE
☒ FIRE DEPARTMENT CONNECTION	
☒ WATER METER	
☒ BACK FLOW PREVENTER	
☒ REDUCER	
☒ RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)	
☒ CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)	

UTILITY CONTACTS

- WATER/WASTEWATER**
BRYANT WATER DEPARTMENT
210 SW 3RD ST.
BRYANT, AR 72022
(501) 943-0441
- GAS**
SUMMIT UTILITIES
2205 EAST ROOSEVELT ROAD
LITTLE ROCK, AR 72201
PHONE: (800) 992-7552
- ELECTRIC**
ENERGY
425 W. CAPITAL AVE.
LITTLE ROCK, AR 72201
(877) 387-2499
- TELEPHONE**
AT&T
(800) 288-2020
- CABLE TELEVISION**
COMCAST CABLE
(800) 934-6489

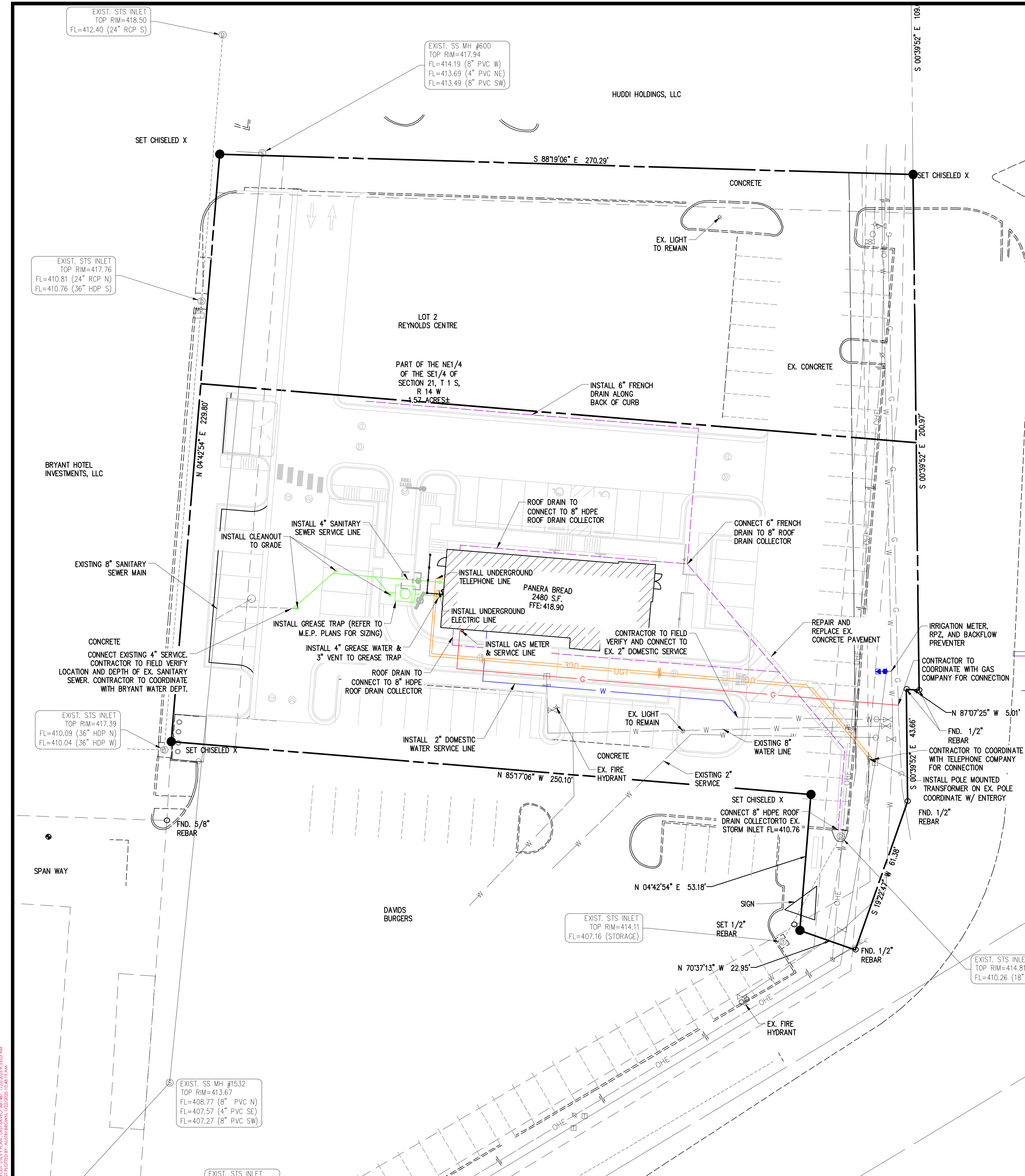
UTILITY NOTES

- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
- ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
- THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING. MINIMUM HORIZONTAL SEPARATION BETWEEN THE OUTSIDE WALL OF THE WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE, OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATER-TIGHT PIPE WITH SEALED WATER-TIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING.
- THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 1" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.
- REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE SPECIFICATIONS OF THE APPROPRIATE AGENCY. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT.
- THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED, AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES:** ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

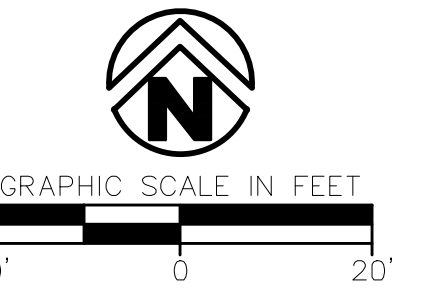
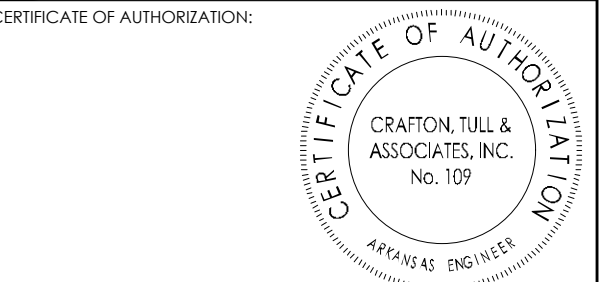
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UTILITY PLAN
C-102



DRAWING DEVELOPED BY: CRAFTON TULL & ASSOCIATES, INC. (2025) 01/22/25 10:48:17 AM



PANERA BREAD
BRYANT, AR

GRADING AND DRAINAGE NOTES

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
- THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
- ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUDED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
- SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND PLACEMENT OF A FRENCH DRAIN SYSTEM.

LEGEND (EXISTING SYMBOLS)

SYMBOLS	LINEWORK
BENCHMARK	EASEMENT
FOUND IRON PIPE/REAR	CURB
PRIMARY CONTROL/SET MONUMENT	INTERMEDIATE CONTOUR
FOUND MONUMENT/ROW	INDEX CONTOUR
AIR CONDITIONER	SANITARY SEWER LINE (SPECIFY SIZE & TYPE)
AIR RELEASE VALVE	GAS LINE
ELECTRIC BOX/PEDestal	WATER LINE (SPECIFY SIZE & TYPE)
ELECTRIC JUNCTION BOX	UGT
ELECTRIC METER	UNDERGROUND TELEPHONE
ELECTRIC TRANSFORMER	UNDERGROUND ELECTRIC
FIRE DEPARTMENT CONNECTION	OVERHEAD ELECTRIC
FIRE HYDRANT	UGTV
GAS METER	UNDERGROUND TELEVISION
GAS VALVE	OVERHEAD TELEVISION
GUARD POST	CHAIN LINK FENCE
LIGHT POLE	WOOD FENCE
POWER POLE	BARBED WIRE FENCE
SANITARY MANHOLE	FIBER OPTIC
SANITARY SEWER CLEANOUT	DOWN GUY
SON	STORM SEWER MANHOLE
SPRINKLER HEAD	STORM SEWER PIPE
TELEPHONE PEDestal	
TV PEDestal	
WATER METER	
WATER METER	
WATER VALVE	
DOWN GUY	
STORM SEWER MANHOLE	
STORM SEWER PIPE	

LEGEND (CONSTRUCT)

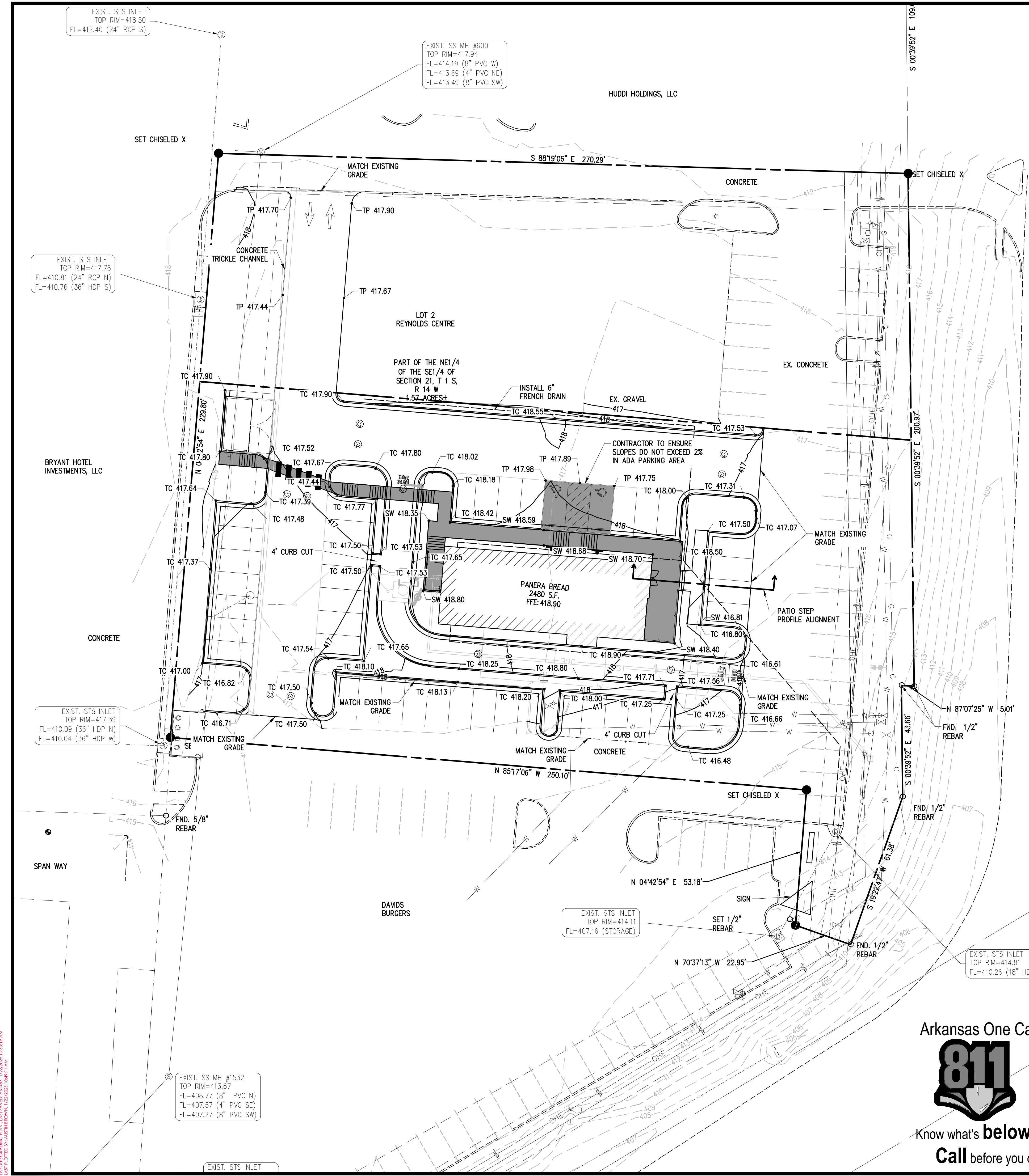
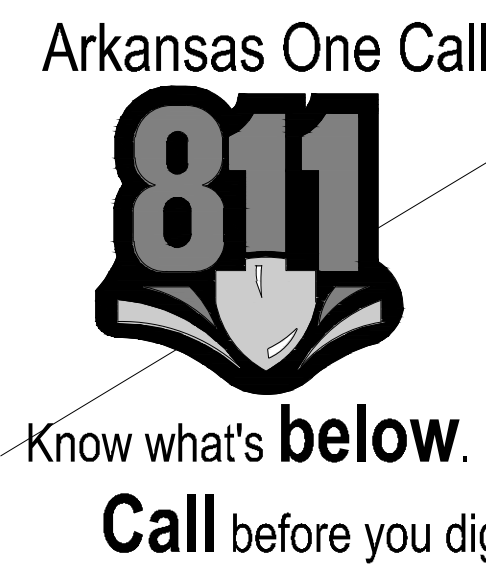
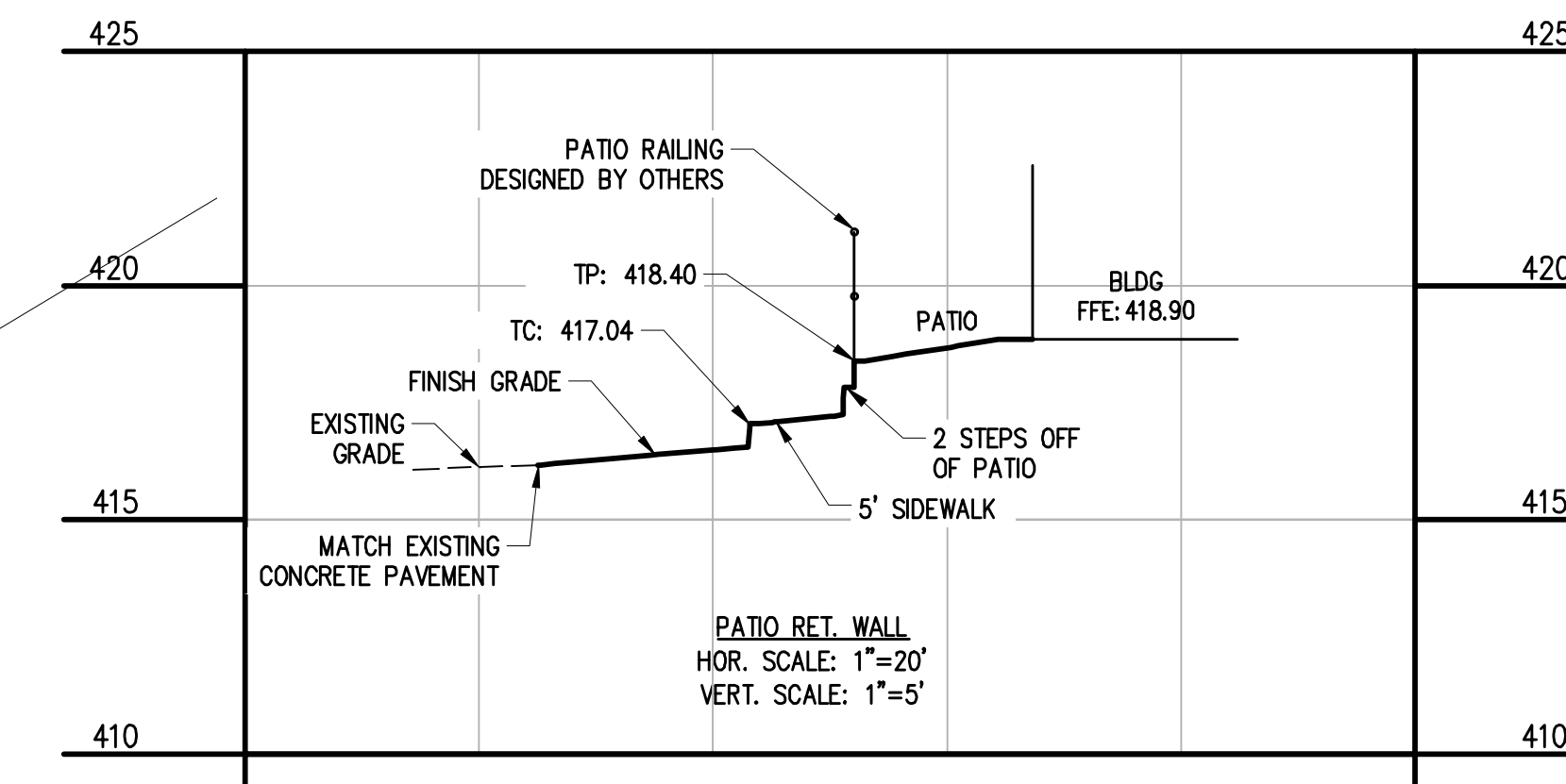
SYMBOLS	LINEWORK
SET IRON PIN	EASEMENT
LIGHT POLE	CURB
POWER POLE	INTERMEDIATE CONTOUR
TELEPHONE PEDestal	INDEX CONTOUR
TV PEDestal	SANITARY SEWER LINE
MANHOLE	GAS LINE
SANITARY SEWER CLEANOUT	WATER LINE
GAS VALVE	UGT
STORM SEWER PIPE	UNDERGROUND TELEPHONE
STRUCTURE NUMBER	UNDERGROUND ELECTRIC
WATER VALVE	OVERHEAD ELECTRIC
FIRE HYDRANT ASSEMBLY	FIBER OPTIC
AIR RELEASE VALVE	UNDERGROUND TELEVISION
FIRE DEPARTMENT CONNECTION	CHAIN LINK FENCE
WATER METER	WOOD FENCE
BACK FLOW PREVENTER	BARBED WIRE FENCE
REDUCER	BUILDING SET BACK
RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)	RIGHT OF WAY
CIRCULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)	PROPERTY LINE
	ROAD CENTERLINE

GRADING PLAN SPOT ELEVATIONS

FG	FINISHED GRADE
TW	TOP WALL
BW	BOTTOM WALL
FL	FLOW LINE
TC	TOP CURB
G	GUTTER
SW	SIDEWALK
TP	TOP PAVEMENT
X	EXISTING GRADE
LP	LOW POINT

ACCESSIBILITY NOTES

- INDICATES ACCESSIBLE ROUTE.
- THE AREAS ON THIS SHEET INDICATED BY THIS HATCH PATTERN ARE CONSIDERED AN ACCESSIBLE ROUTE AND SHALL MEET THE LATEST EDITIONS AND GUIDELINES PROVIDED BY THE FAIR HOUSING ACT (FHA) AND/OR THE AMERICANS WITH DISABILITIES ACT (ADA).
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THESE PLANS AND THE FHA/ADA GUIDELINES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY IN THE DETAILS AND GRADES PROVIDED ON THE GRADING PLAN PRIOR TO PLACING ANY CONCRETE.
- THE MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2% FOR ANY ACCESSIBLE ROUTE.
- THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% FOR AN ACCESSIBLE ROUTE UNLESS A RAMP IS PROVIDED THAT MEETS THE REQUIREMENTS OF AN ACCESSIBLE ROUTE (SEE DETAILS).
- THE MAXIMUM SLOPE OF AN ACCESSIBLE PARKING STALL NOT EXCEED 2% IN ANY DIRECTION.
- ACCESSIBLE ROUTE DETAILS FOR SIDEWALKS, CROSSWALKS, RAMPS, HANDRAILS, AND HANDICAP PARKING STALLS ARE PROVIDED ON SHEETS C-502.
- NEITHER THE OWNER NOR THE ENGINEER WILL MAKE EXHAUSTIVE CHECKS OF THE CONTRACTOR'S WORK ON THE ACCESSIBLE ROUTES. RATHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THE PLANS AND DETAILS TO ENSURE COMPLIANCE WITH THE FHA/ADA.
- AT HIS OWN EXPENSE, THE CONTRACTOR SHALL REMOVE AND REPLACE ANY SECTIONS OF AN ACCESSIBLE ROUTE THAT EXCEED THE MAXIMUM GRADES. THIS SHALL BE STRICTLY ENFORCED.



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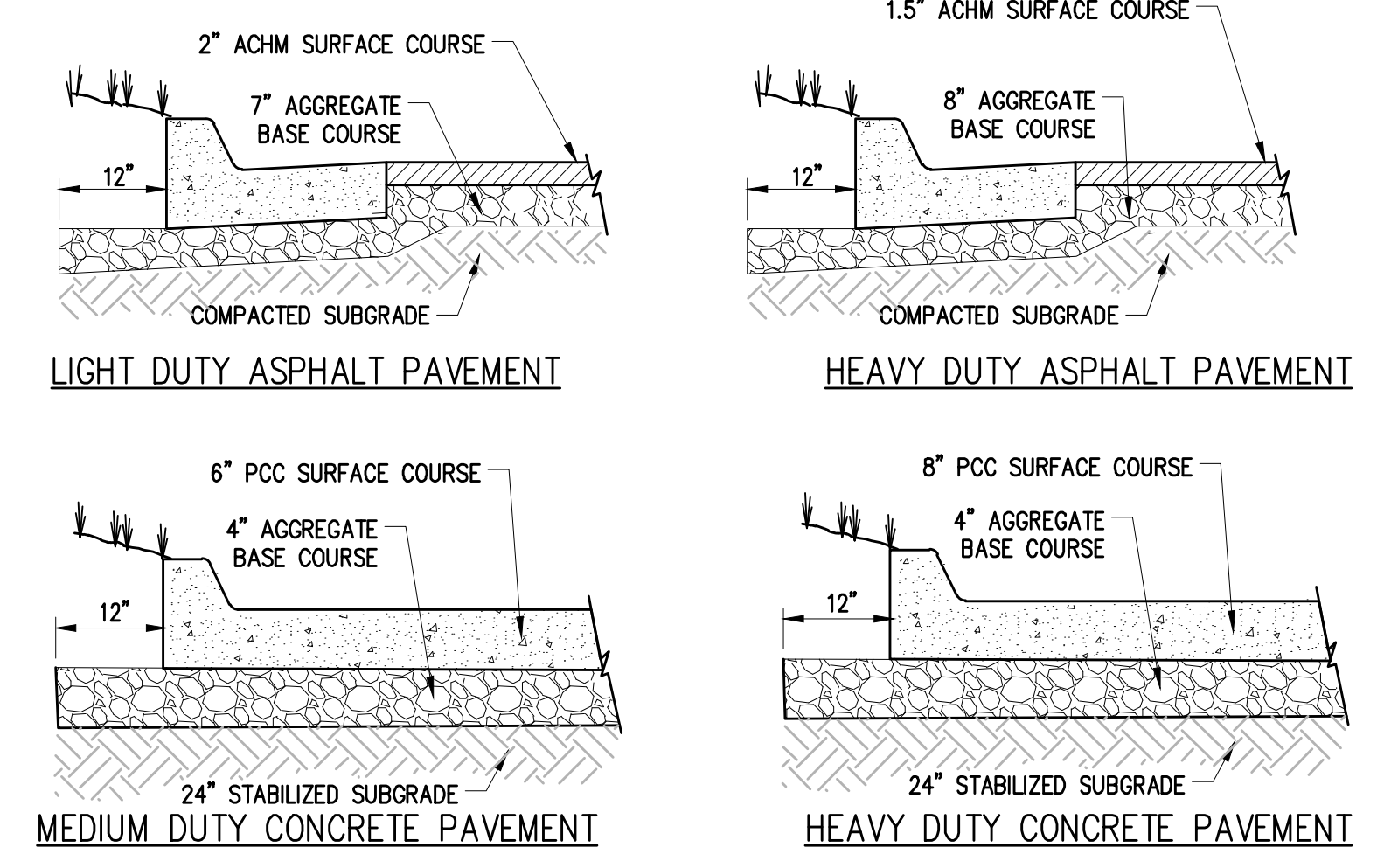
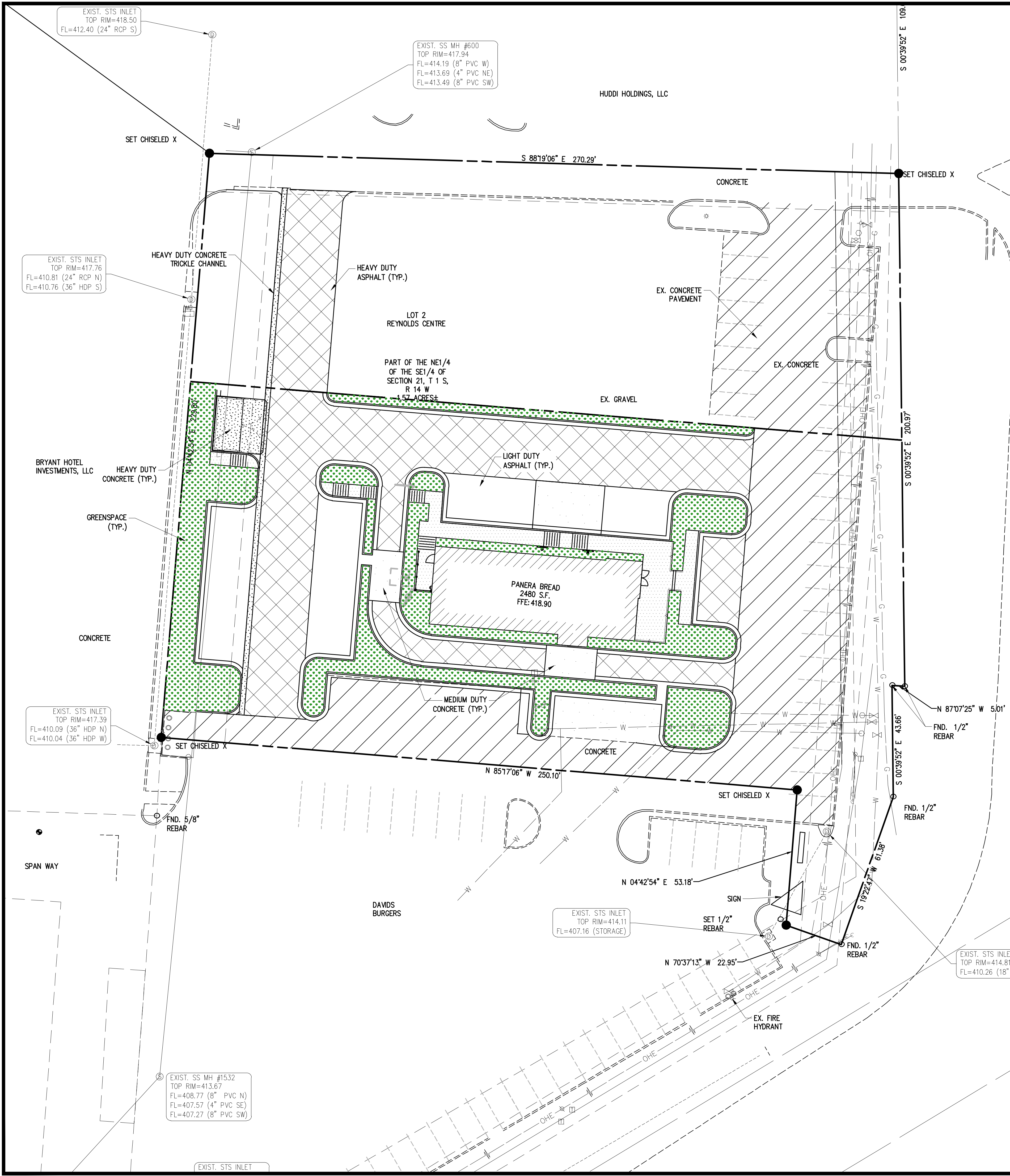
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PRELIMINARY PLANS

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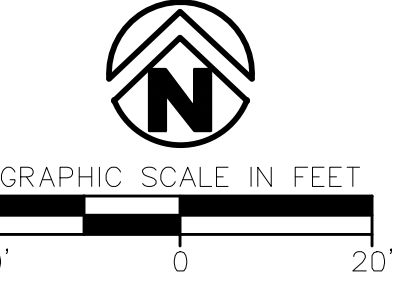
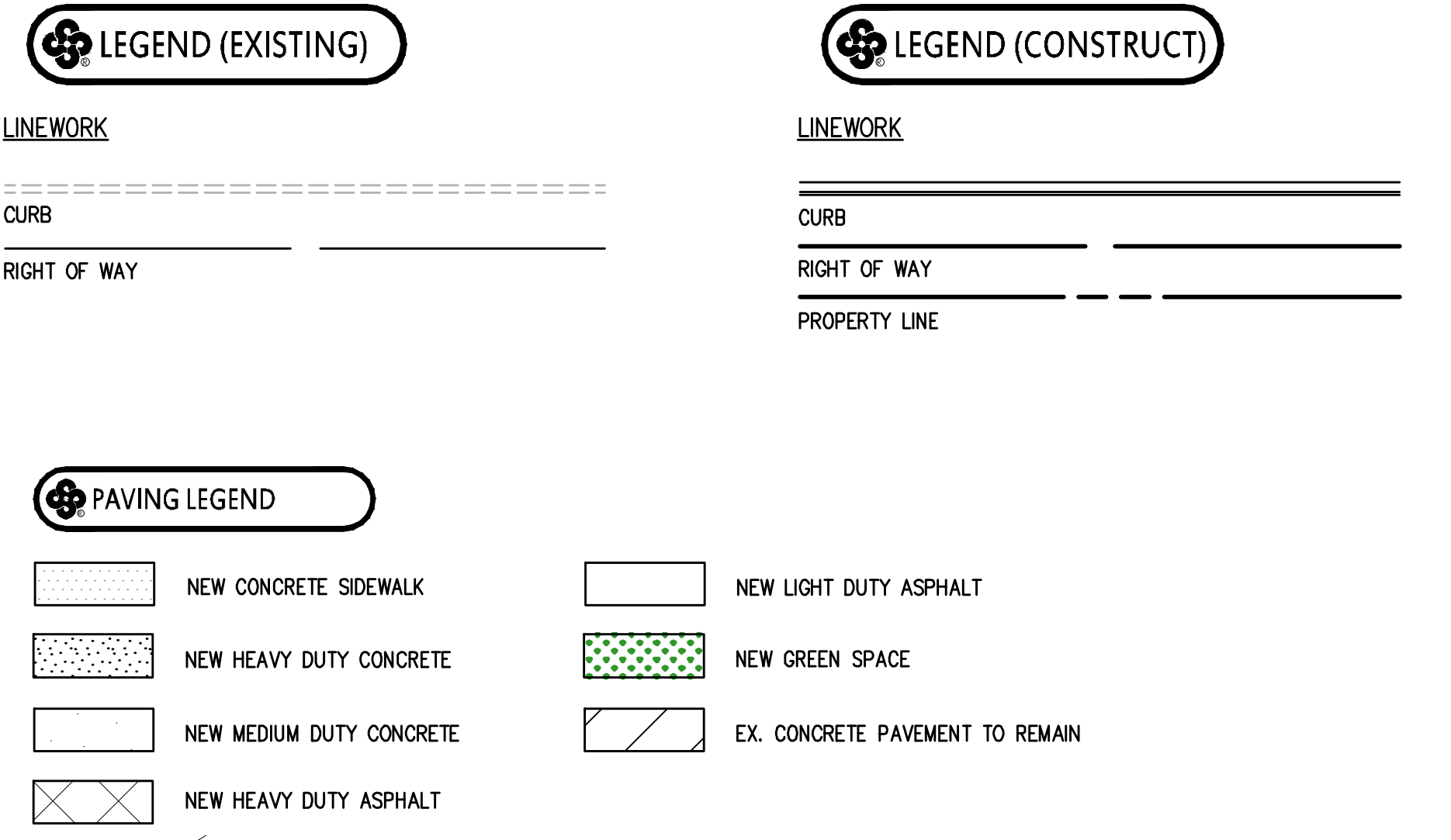
GRADING PLAN

C-103



- NOTES:
1. THE SUBGRADE UNDER PAVEMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
 2. AFTER PROOF ROLLING WITH A LOADED TANDEM AXLE DUMP TRUCK AND PREPARING DEEP SUBGRADE DEFICIENCIES, THE ENTIRE SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 8" AND UNIFORMLY COMPACTED TO AT LEAST 95% OF MODIFIED PROCTOR.
 3. AGGREGATE BASE COURSE MIXTURES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 4. ASPHALTIC SURFACE AND BINDER COURSES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 5. PORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM WITH THE REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 6. THE CONTRACTOR SHALL APPLY A TACK COAT TO THE FACE OF THE CONCRETE GUTTER WHERE THE GUTTER CONTACTS ASPHALT.

PAVEMENT SECTIONS
NTS
AUG. 25, 2020



PANERA BREAD
BRYANT, AR

Key Plan

No.	Description	Date

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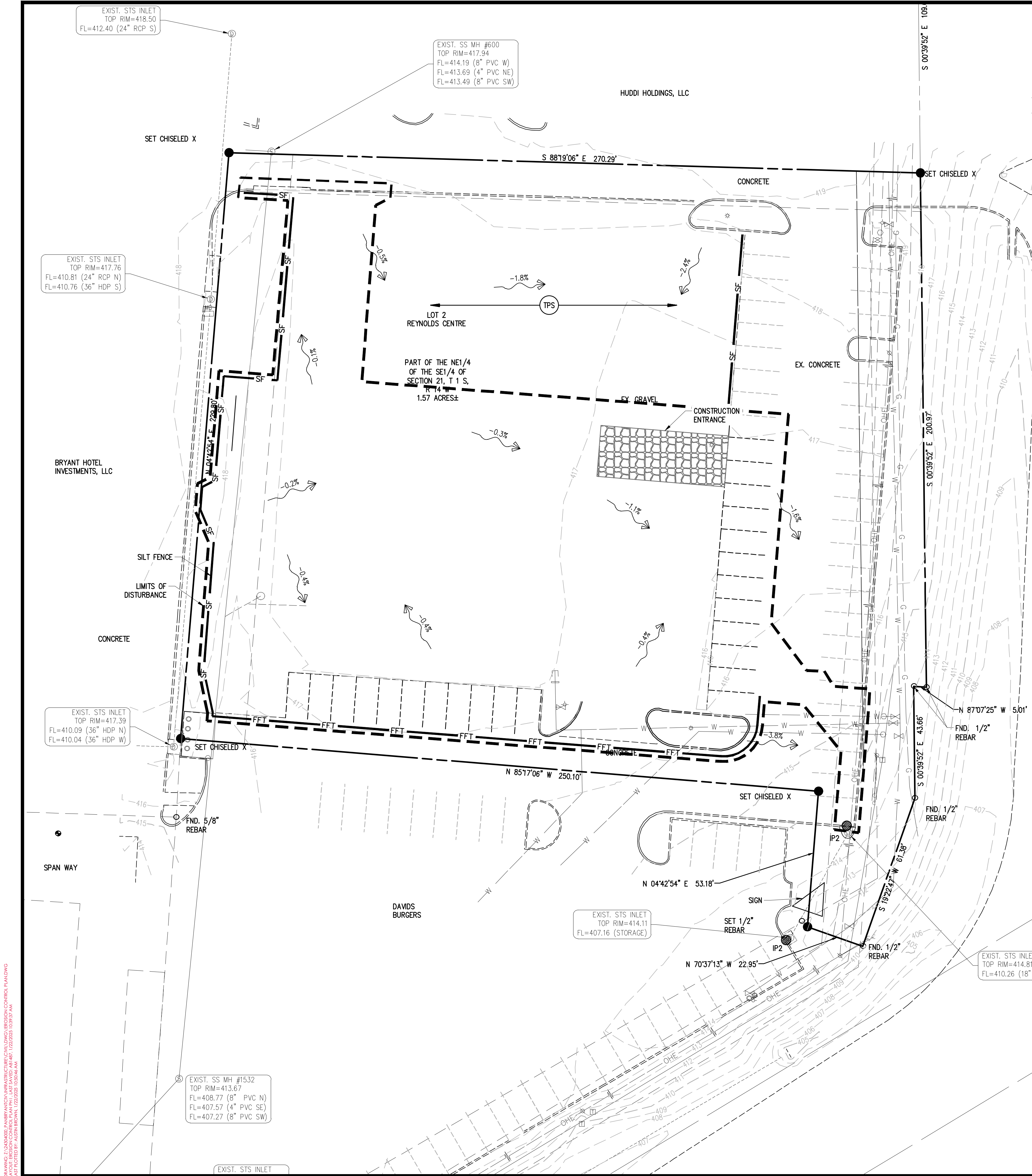
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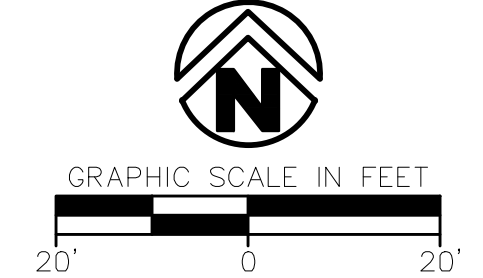


EROSION CONTROL LEGEND

- ⊙ PS PS PERMANENT SEEDING
- ⊙ TPS TPS TEMPORARY PARKING AND STORAGE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LIMITS OF DISTURBANCE
- GRADE BREAK
- CONTOUR ELEVATIONS
- STORM DRAIN
- XX.X% DIRECTION OF OVERLAND FLOW W/ GRADE
- LIMITS OF DRAINAGE SUB-BASIN
- ⊙ ROCK CHECK DAM
- CE STABILIZED CONSTRUCTION EXIT (ENTRANCE)
- DD CHANNELED DIVERSIONS
- DS DEWATERING SYSTEM / STRUCTURE

- SF SF SILT FENCE
- ⊙ ST ST SEDIMENT BASIN WITH STONE OUTLET
- ⊙ IP1 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE
- ⊙ IP2 CURB INLET FILTER SOCK
- ⊙ IP3 GRATED INLET GRAVEL SEDIMENT FILTER
- ⊙ IP4 SILT FENCE INLET PROTECTION
- ⊙ OP1 RIP RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)
- ECL PERMANENT EROSION CONTROL LINING
- ← SB → SB TEMPORARY SEDIMENT BASIN
- FFT --- FFT FIBER FLOCCULENT TUBE

NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS



PANERA BREAD
BRYANT, AR

Key Plan

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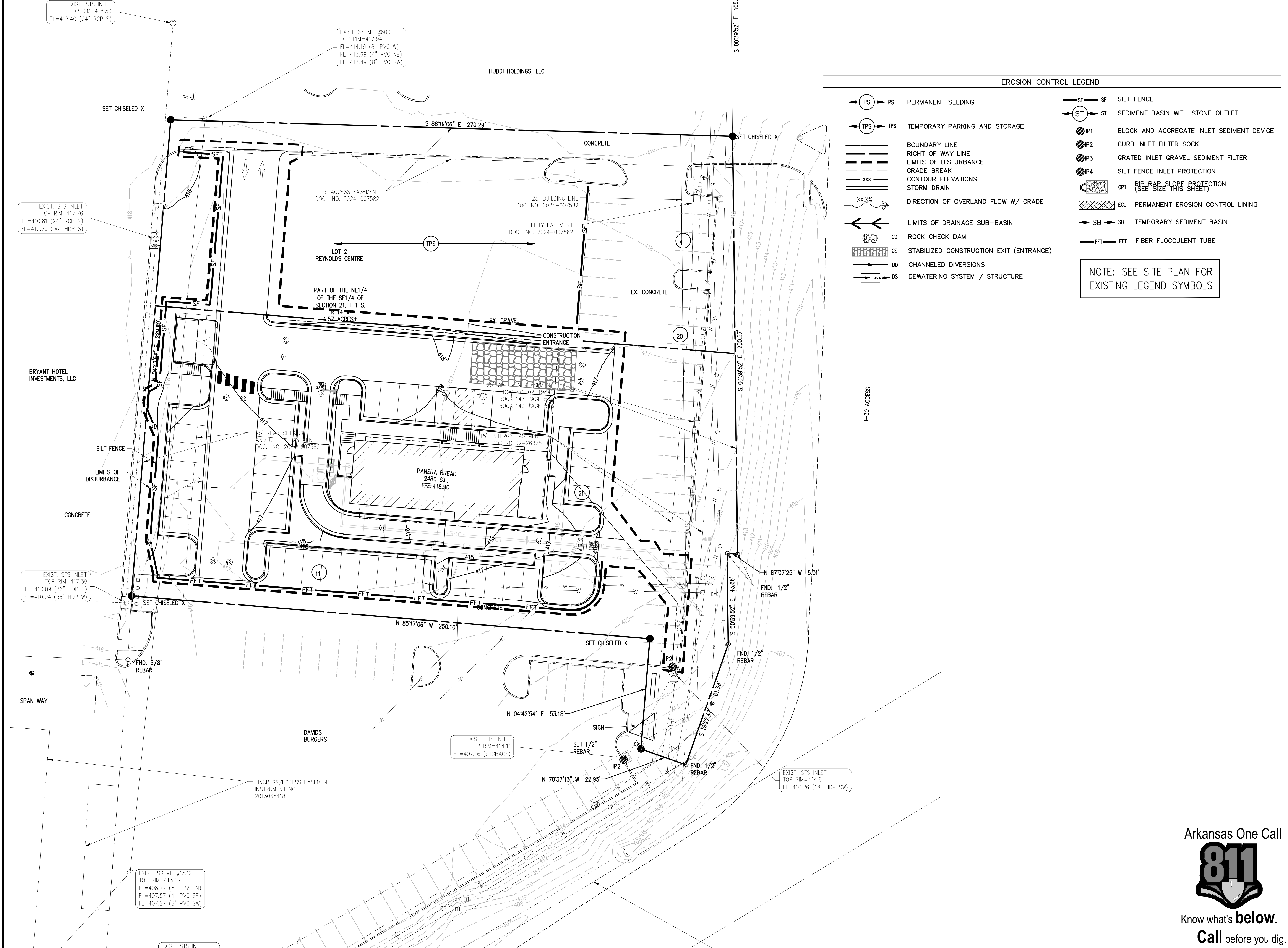
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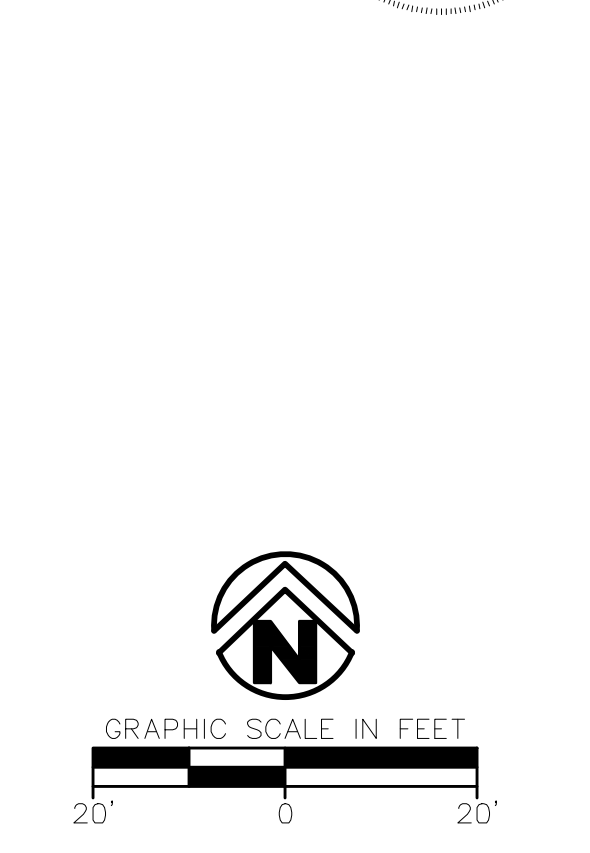
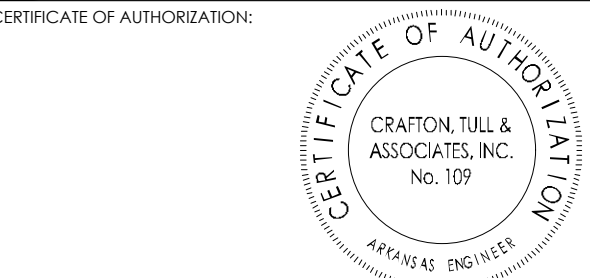
DRAWINGS FOR CONSTRUCTION OF PANERA BREAD BRYANT, ARKANSAS. THESE DRAWINGS WERE PREPARED BY CRAFTON, TULL & ASSOCIATES, INC. ON BEHALF OF THE CLIENT. ALL RIGHTS RESERVED. 1/22/2025 10:59:04 AM



EROSION CONTROL LEGEND

PS PERMANENT SEEDING	SF SILT FENCE
TPS TEMPORARY PARKING AND STORAGE	ST SEDIMENT BASIN WITH STONE OUTLET
BOUNDARY LINE	IP1 BLOCK AND AGGREGATE INLET SEDIMENT DEVICE
RIGHT OF WAY LINE	IP2 CURB INLET FILTER SOCK
LIMITS OF DISTURBANCE	IP3 GRATED INLET GRAVEL SEDIMENT FILTER
GRADE BREAK	IP4 SILT FENCE INLET PROTECTION
CONTOUR ELEVATIONS	OP1 RIP RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)
STORM DRAIN	ECL PERMANENT EROSION CONTROL LINING
DIRECTION OF OVERLAND FLOW W/ GRADE	SB TEMPORARY SEDIMENT BASIN
LIMITS OF DRAINAGE SUB-BASIN	FFT FIBER FLOCCULENT TUBE
ROCK CHECK DAM	
STABILIZED CONSTRUCTION EXIT (ENTRANCE)	
CHANNELLED DIVERSIONS	
DEWATERING SYSTEM / STRUCTURE	

NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS



PANERA BREAD
BRYANT, AR

Key Plan

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DRAWING: EROSION CONTROL PLAN FOR PANERA BREAD RESTAURANT, BRYANT, AR. PREPARED BY: C. GARDNER, P.E. DATE: 01/22/25. 1:25 (SCALE). 10:00 AM.

PHASE I

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.
2. PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. CLEAR AND GRUB THE SITE.
6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
7. BEGIN GRADING THE SITE.

PHASE II

1. TEMPORARILY SEED DENUDED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP-RAP AROUND OUT STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IF SITE IS STABILIZED.

GENERAL EROSION NOTES:

A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS SECTION 312800 (EROSION AND SEDIMENTATION CONTROL), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

D. BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AND APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.

E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON THE SITE AT ALL TIMES.

F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

G. GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.

H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

K. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.

L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND SWPPP SHALL BE INITIATED AS SOON AS POSSIBLE.

M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARILY SEEDED.

N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

P. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

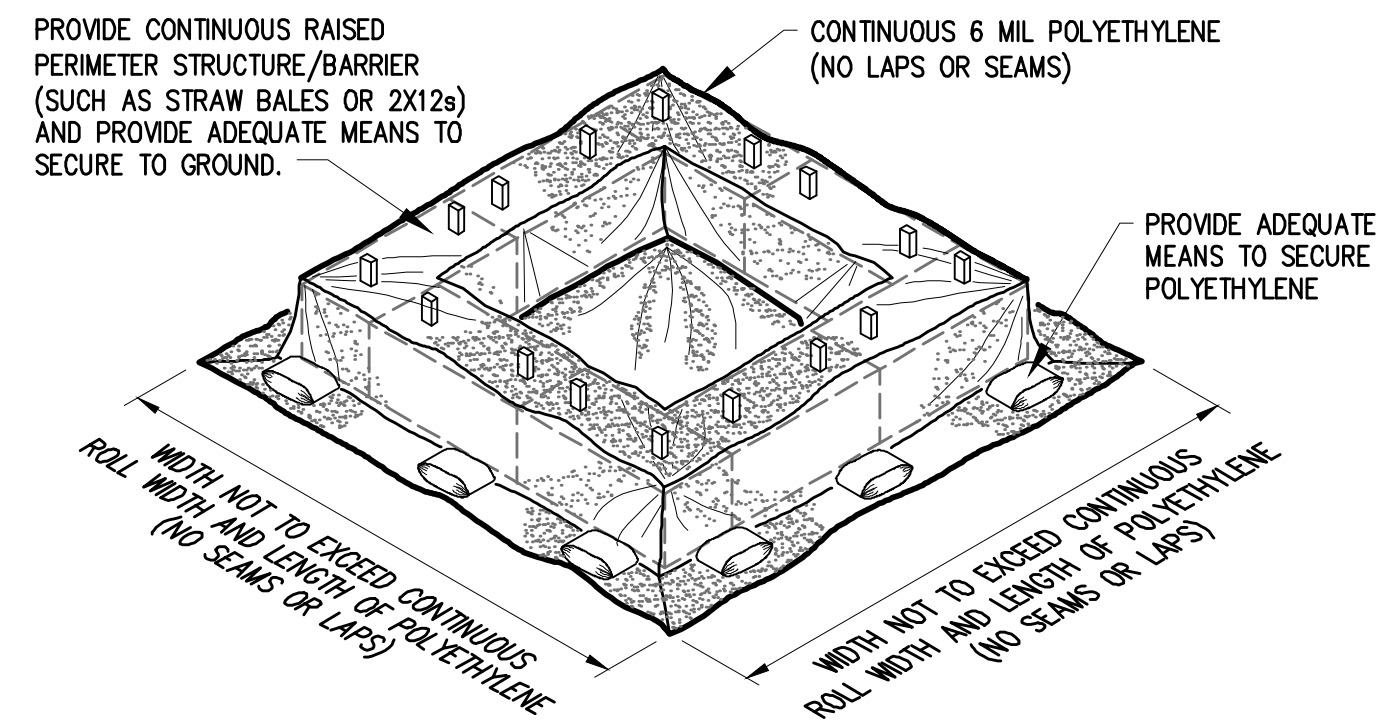
Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

R. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.

S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.

U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

**CONCRETE WASH-OUT BASIN**

NTS

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
ROUGH GRADE / SEDIMENT CONTROL																			
TEMPORARY CONTROL MEASURES																			
STRIP & STOCKPILE TOPSOIL																			
STORM FACILITIES																			
TEMPORARY CONSTRUCTION ROADS																			
FOUNDATION / BUILDING CONSTRUCTION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			
FINISH GRADING																			
LANDSCAPING/SEED/FINAL STABILIZATION																			

ACREAGE SUMMARY

IMPERVIOUS AREA	0.6
SEEDED AREA	0.2
TOTAL DISTURBED	0.8

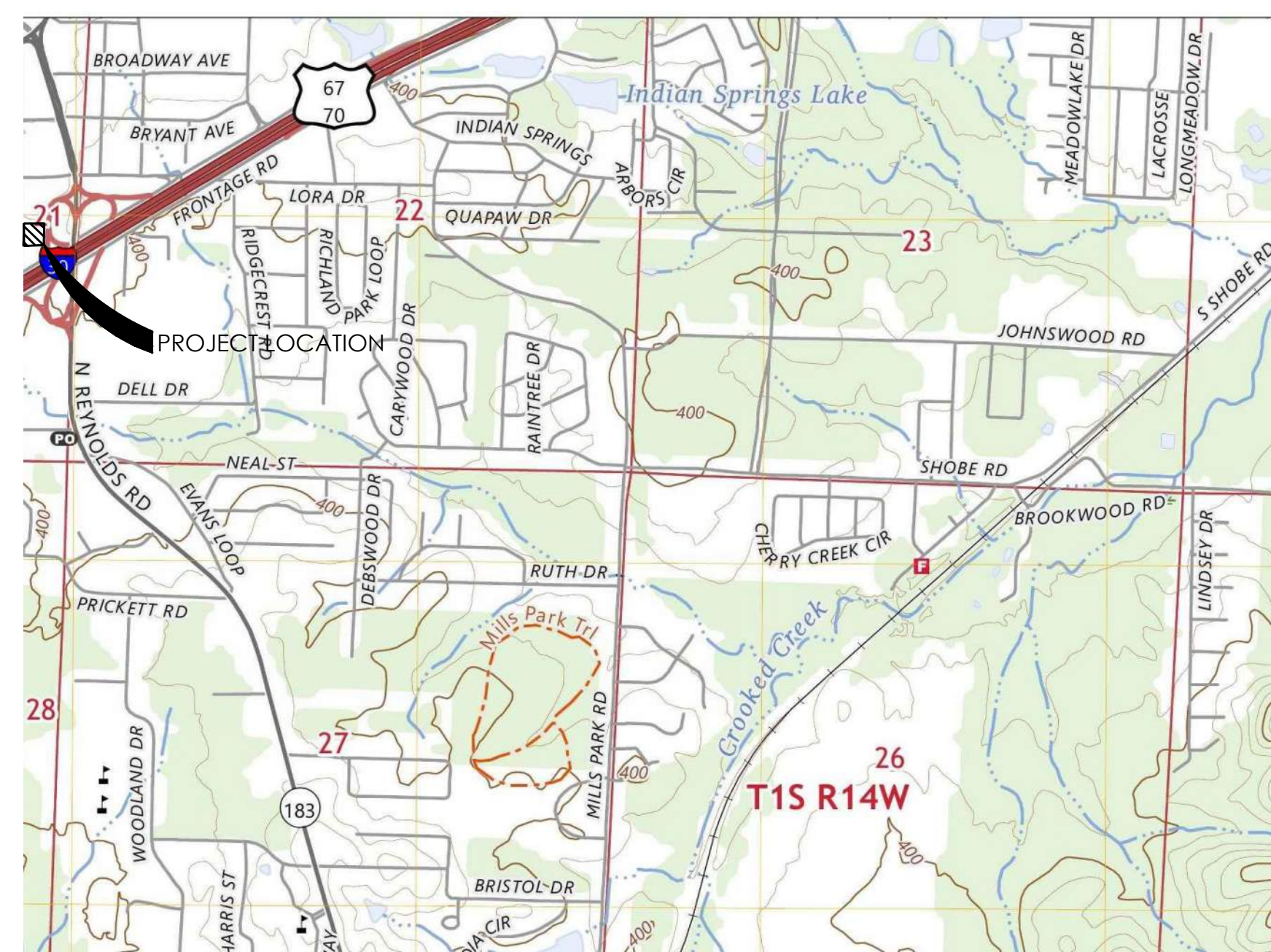
DEVELOPER/OWNER:
TERRA EQUITIES, LLC
2530 WATKINS RD.
BIRMINGHAM, AL 35223

SITE OPERATOR/GENERAL CONTRACTOR:
TBD

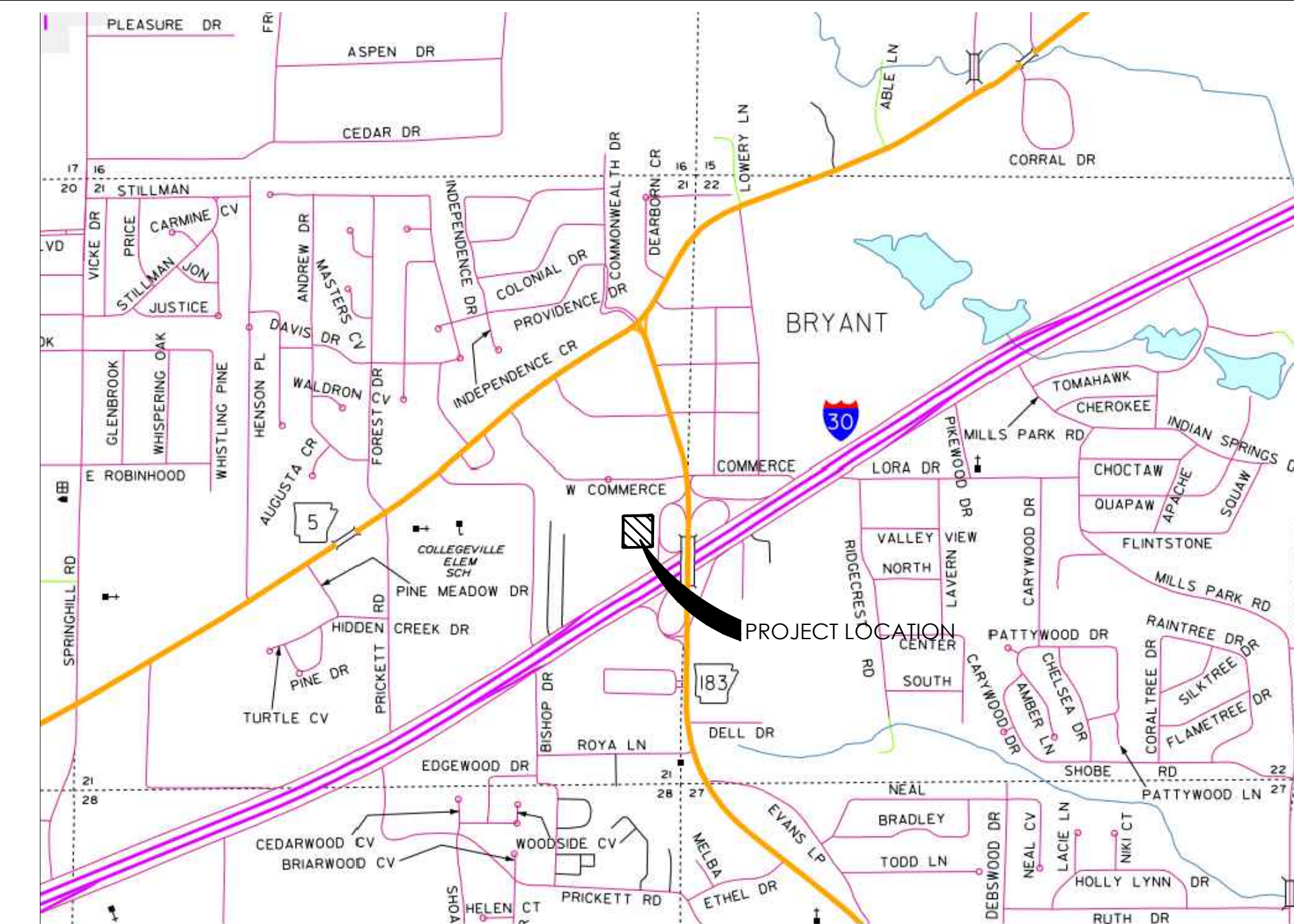
SUPERINTENDENT:

T.B.M.

ENTER BENCHMARK INFORMATION



USGS QUADRANGLE MAP
NTS



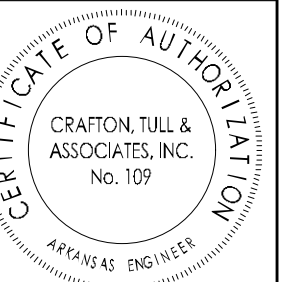
VICINITY MAP
NTS

10825 Financial Centre Parkway, Suite 300
Little Rock, Arkansas 72211

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CERTIFICATE OF AUTHORIZATION



PANERA BREAD
BRYANT, AR

Key Plan

No.	Description	Date

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PROJECT NO: 24304000

ISSUE DATE: 01/22/25

PREPARED BY: C. GARDNER

CHECKED BY:

DATE:

REVISIONS:

FOR CONSTRUCTION

FOR CONSTRUCTION

FOR CONSTRUCTION

FOR CONSTRUCTION

FOR CONSTRUCTION

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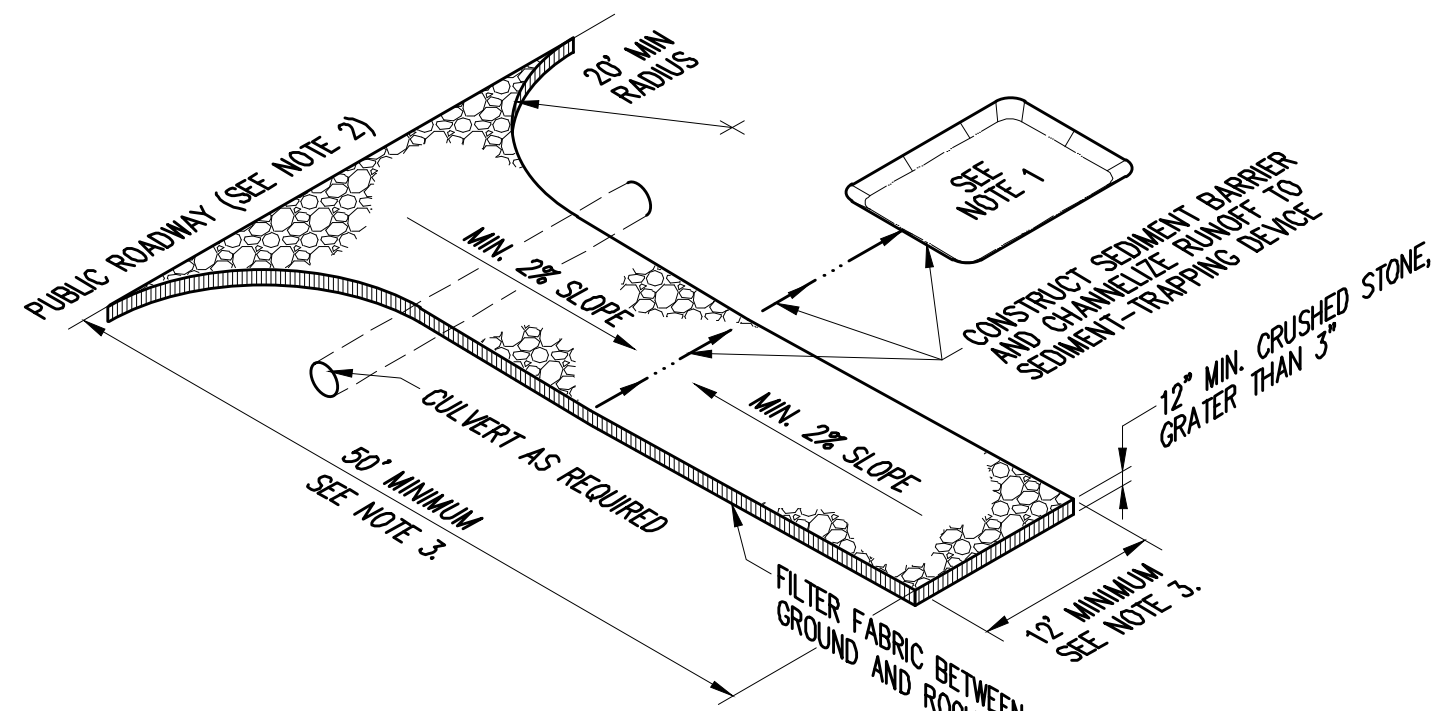
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PRELIMINARY PLANS

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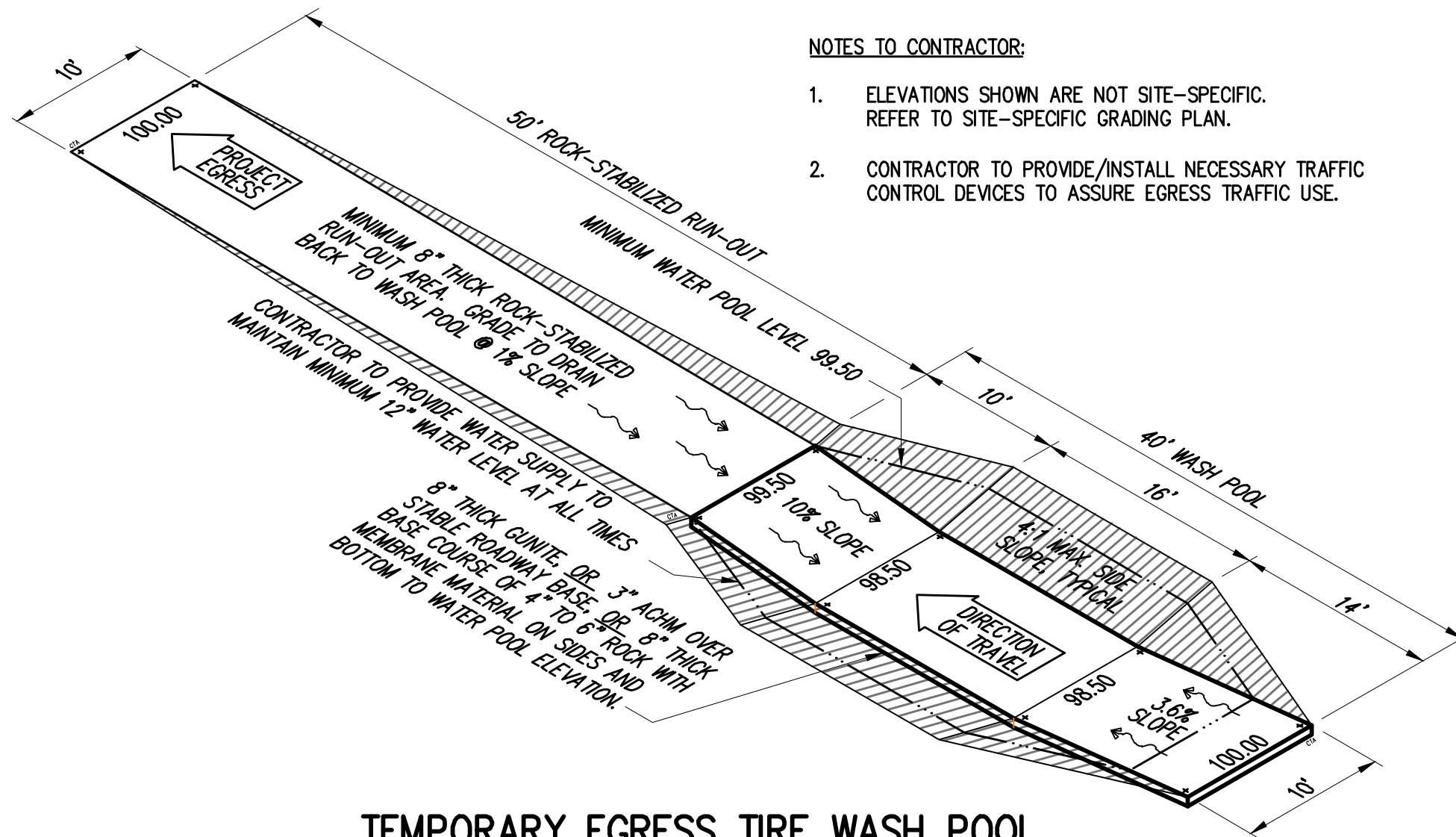
EROSION CONTROL NOTES

C-107



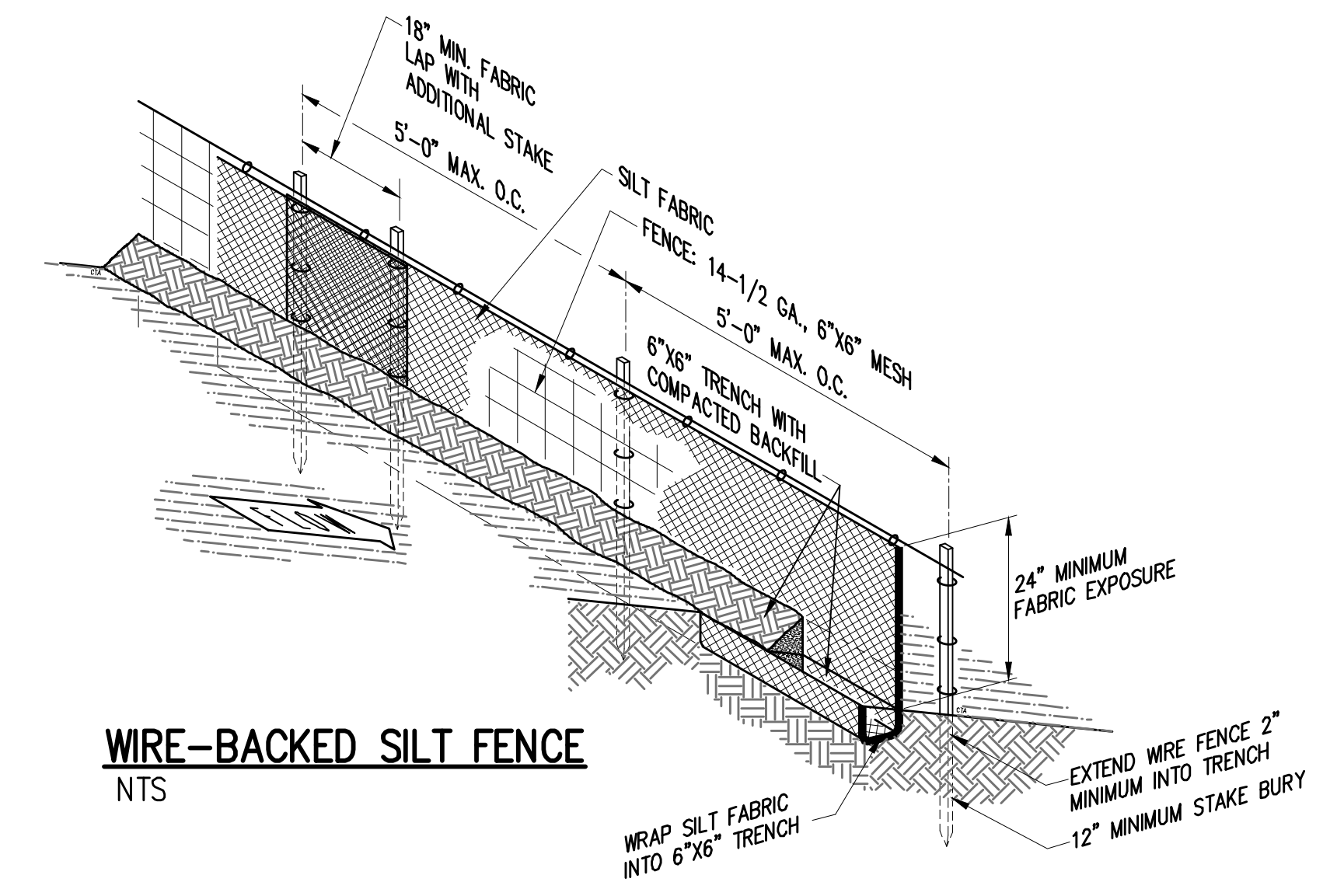
STABILIZED CONSTRUCTION EXIT (ENTRANCE)
NTS

1. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. LENGTH AND WIDTH TO SUIT SITE, CONSTRUCTION TRAFFIC AND EFFECTIVENESS.



TEMPORARY EGRESS TIRE WASH POOL
NTS

- NOTES TO CONTRACTOR:
1. ELEVATIONS SHOWN ARE NOT SITE-SPECIFIC. REFER TO SITE-SPECIFIC GRADING PLAN.
 2. CONTRACTOR TO PROVIDE/INSTALL NECESSARY TRAFFIC CONTROL DEVICES TO ASSURE EGRESS TRAFFIC USE.



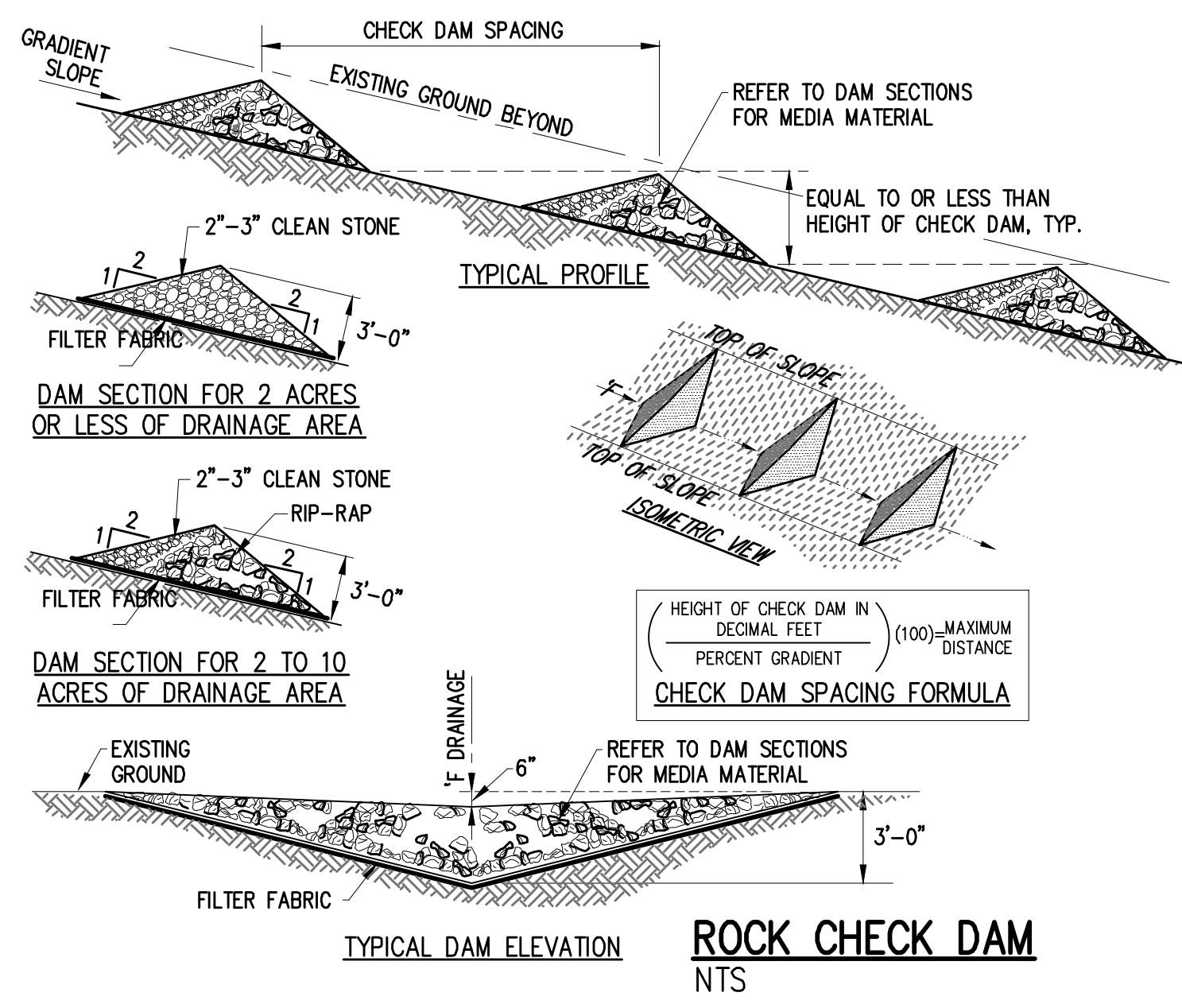
WIRE-BACKED SILT FENCE
NTS

GENERAL GUIDELINES FOR SPACING TUBE TRENCHES FOR CHANNEL INSTALLATIONS		GENERAL GUIDELINES FOR SPACING TUBE TRENCHES FOR SLOPE INSTALLATIONS	
SLOPE	TUBE INTERVAL	SLOPE GRADIENT	TUBE INTERVAL
2%	25 FEET	1:1	15 FEET
		2:1	25 FEET
		3:1	35 FEET
		4:1	50 FEET

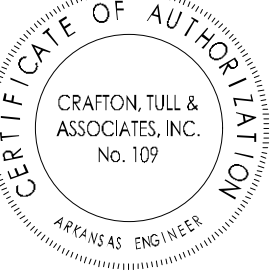
6"-8" DIA. FLOCCULENT TUBES
 MINIMUM 18-INCH STACKS @ 24" MAXIMUM SPACING.
 12" OVERLAP MINIMUM.
 2" TO 3" STACK REVEAL, TOP.
 2" TRENCH (5" MIN. AT DITCH CROSSINGS).
 1/2" DRAINAGE.
 COMPACTED BACKFILL ON UPSTREAM SIDE.
 1/2" TRENCH (5" MIN. AT DITCH CROSSINGS).
 1/2" DRAINAGE.
 12" MIN. CRUSHED STONE.
 12" MIN. CRUSHED STONE.
 12" MIN. CRUSHED STONE.
 12" MIN. CRUSHED STONE.

TUBES WITH FLOCCULENT MAY BE INSTALLED BEFORE OR AFTER THE INSTALLATION OF ROLLED EROSION CONTROL PRODUCTS.
 PRIOR TO TUBE INSTALLATION, REMOVE ALL DEBRIS 2" OR LARGER AND SMOOTH SURFACE.
 REPLACE TUBES WITH FLOCCULENT PER MANUFACTURER'S SPECIFICATIONS.

FIBER FLOCCULENT TUBES
NTS



ROCK CHECK DAM
NTS

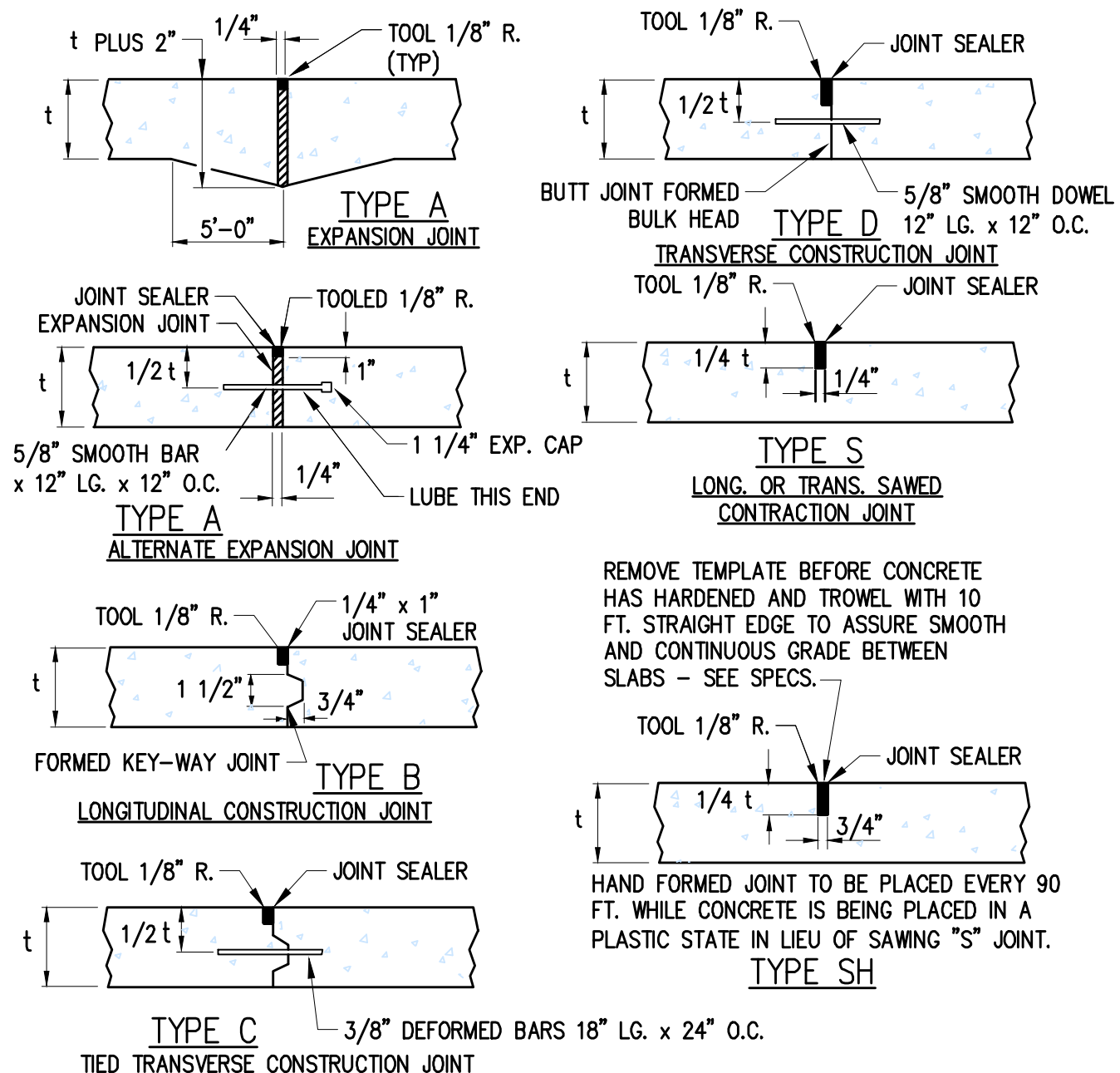


PANERA BREAD
BRYANT, AR

No.	Description	Date

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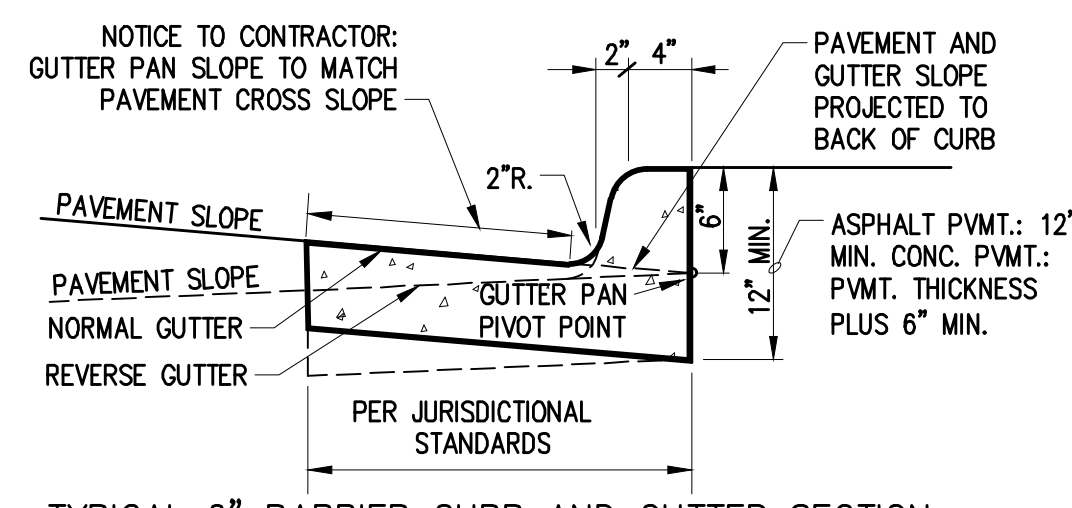
PROJECT NO: 24304000
 ISSUE DATE: 01/22/25
 CONTACT: C. GARDNER
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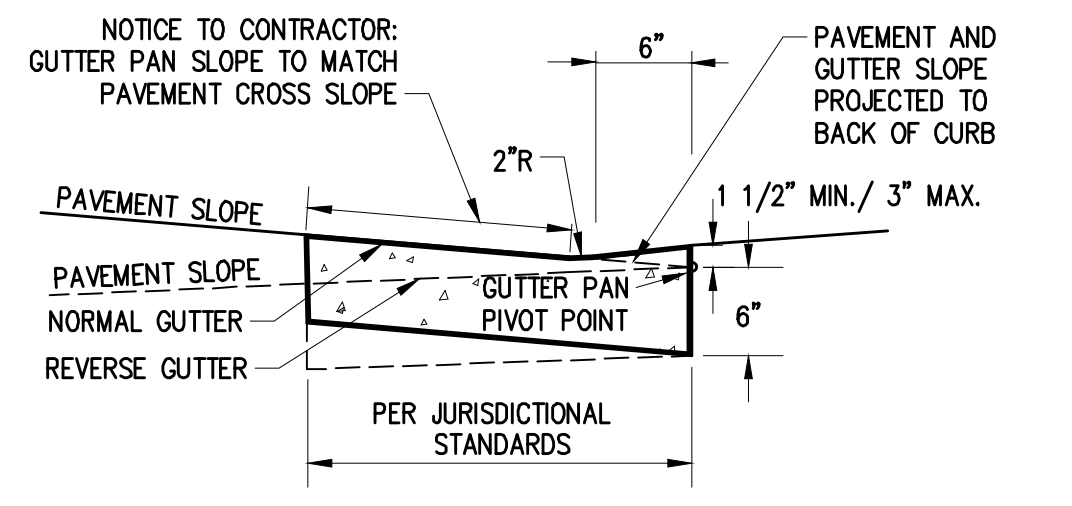
- NOTES:**
1. ALL JOINTS SPACING NOT TO EXCEED 15'-0" INTERVALS.
 2. SAWED JOINTS SHALL BE CUT AS SOON AS POSSIBLE AFTER FINISH WORK IS COMPLETE & CONCRETE HAS CURED TO ACCEPT TYPE OF SAW EQUIPMENT.
 3. ASSURE SAW JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.
 4. SPECIFIED JOINT SEALANT APPLIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS SEALANT TOOLED 1/8" BELOW PAVEMENT SURFACE.
 5. DRILLING BY HAND OR PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.
 6. COMPLETELY FILL HOLE WITH EPOXY GROUT AND INSERT DOWEL WITH EXPANSION CAPS.
 7. DOWELS SHALL BE ALIGNED PERPENDICULAR TO THE JOINT.

CONCRETE PAVEMENT JOINTING DETAIL

NTS



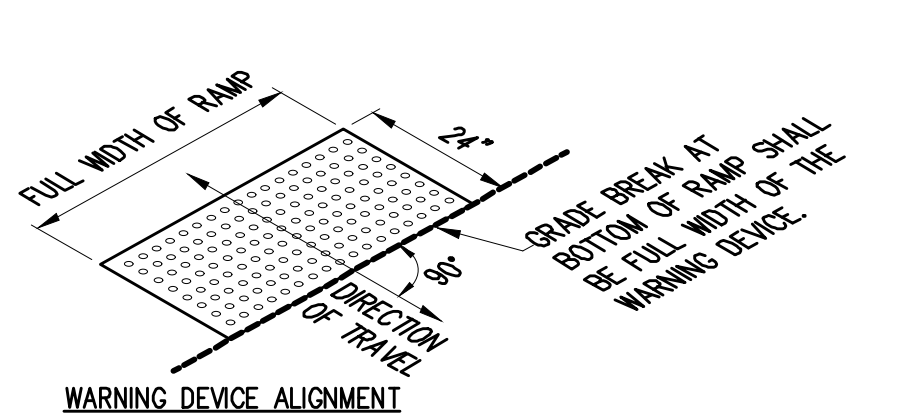
TYPICAL 6" BARRIER CURB AND GUTTER SECTION



TYPICAL MOUNTABLE CURB SECTION AT DRIVEWAYS

TYPICAL CURB AND GUTTER SECTIONS

NTS

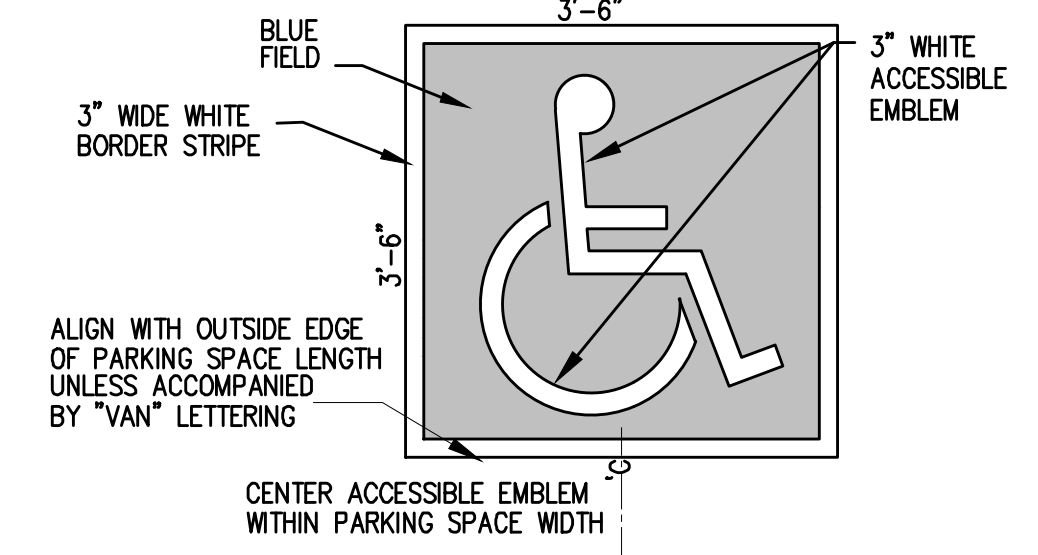


WARNING DEVICE ALIGNMENT

1. DETECTABLE WARNING SURFACES SHALL CONSIST OF TRUNCATED DOMES ALIGNED IN A SQUARE OR RADIAL GRID PATTERN AND SHALL COMPLY WITH ADA 705 GUIDELINES.
2. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

DETECTABLE WARNING DEVICE

NTS

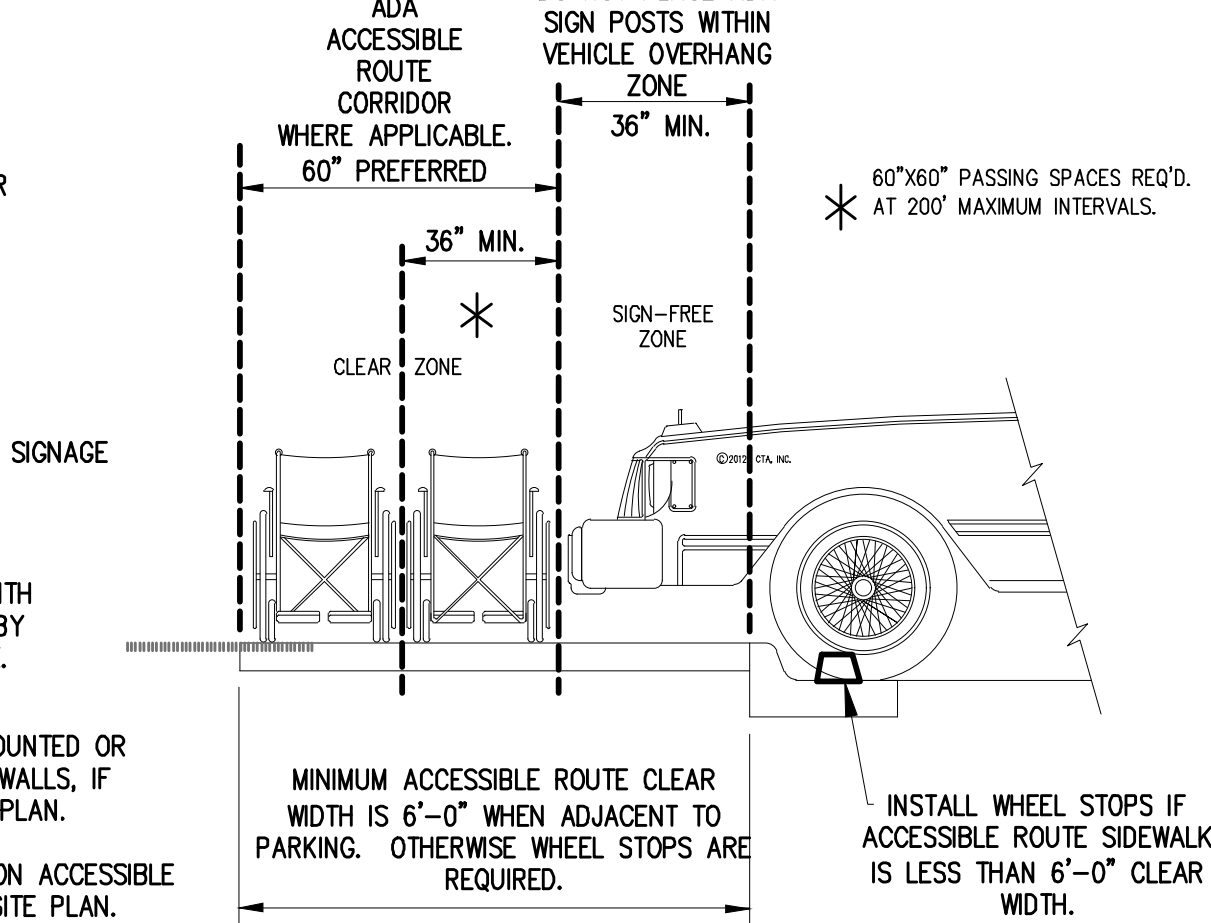
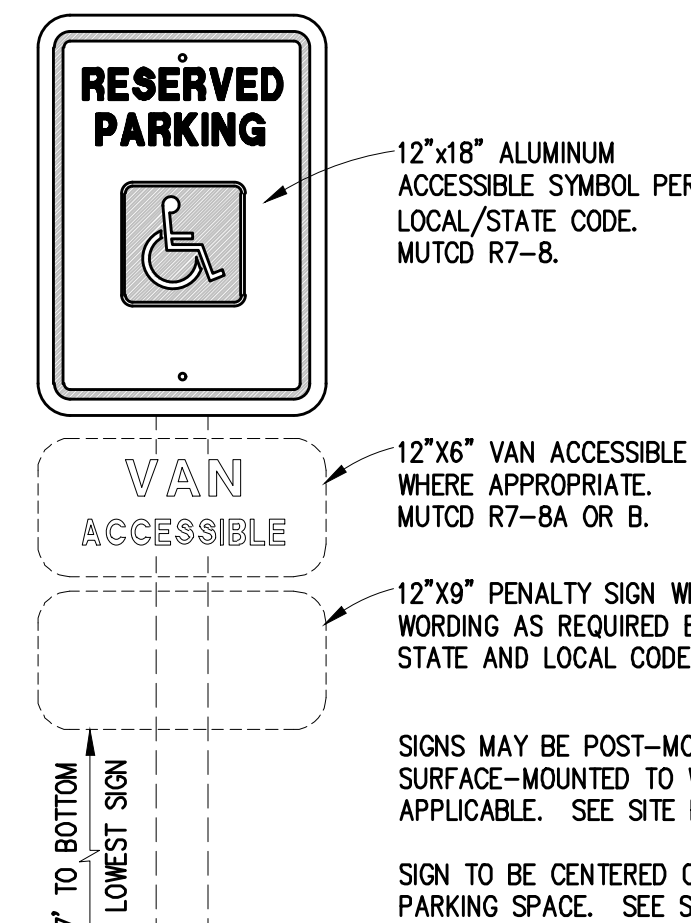


ACCESSIBLE PAVEMENT EMBLEM

NOTE: LOCAL CODE MAY REQUIRE A WHITE FIELD WITH BLUE EMBLEM OR ANOTHER COLOR ARRANGEMENT. THE CONTRACTOR SHALL VERIFY THE REQUIRED PAINT COLOR WITH LOCAL OFFICIAL PRIOR TO PAINTING PAVEMENT MARKINGS.

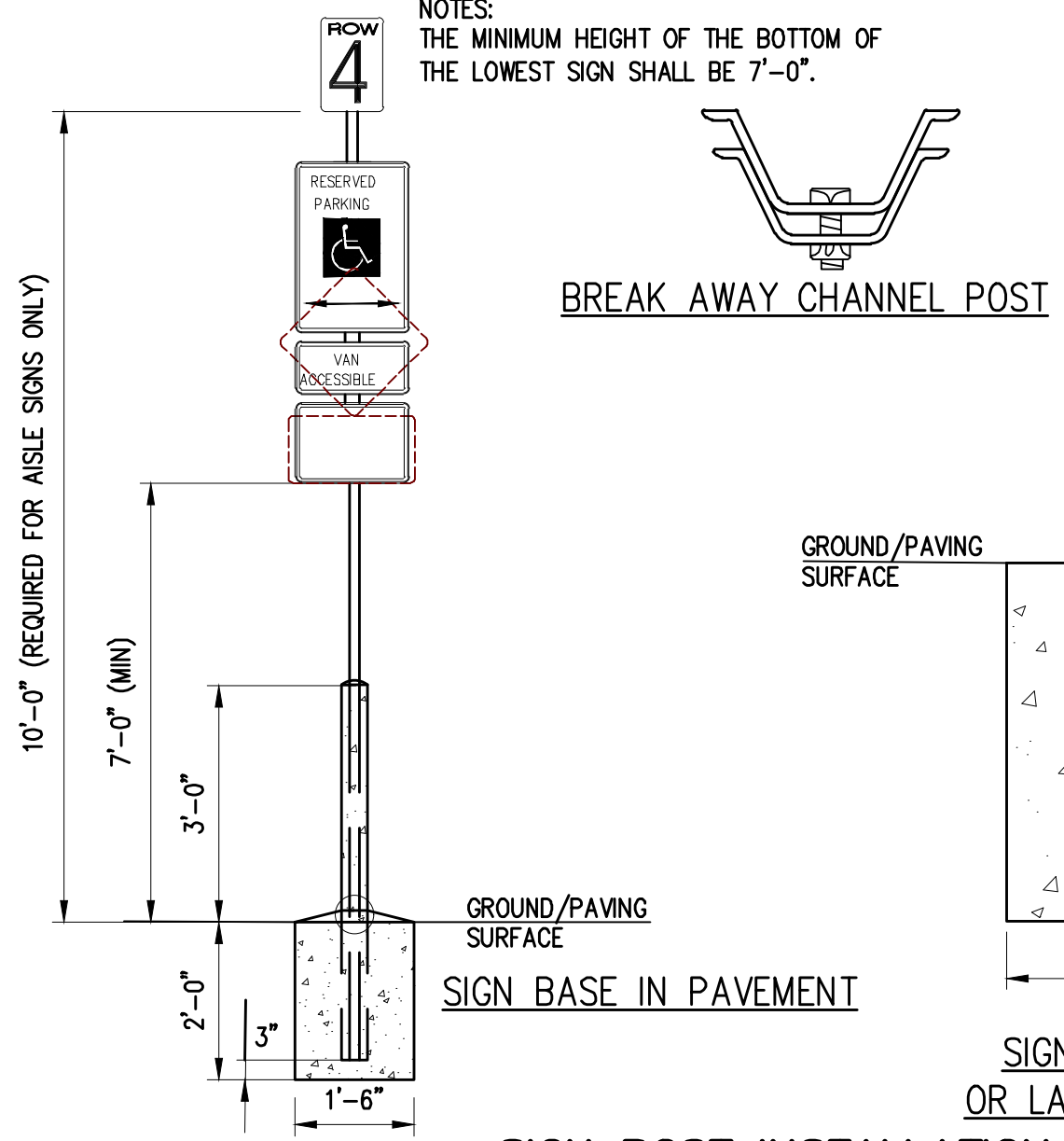
ACCESSIBLE PAVEMENT EMBLEM

NTS



ACCESSIBLE SIGN / PLACEMENT LIMITS

NTS



SIGN POST INSTALLATION

NTS

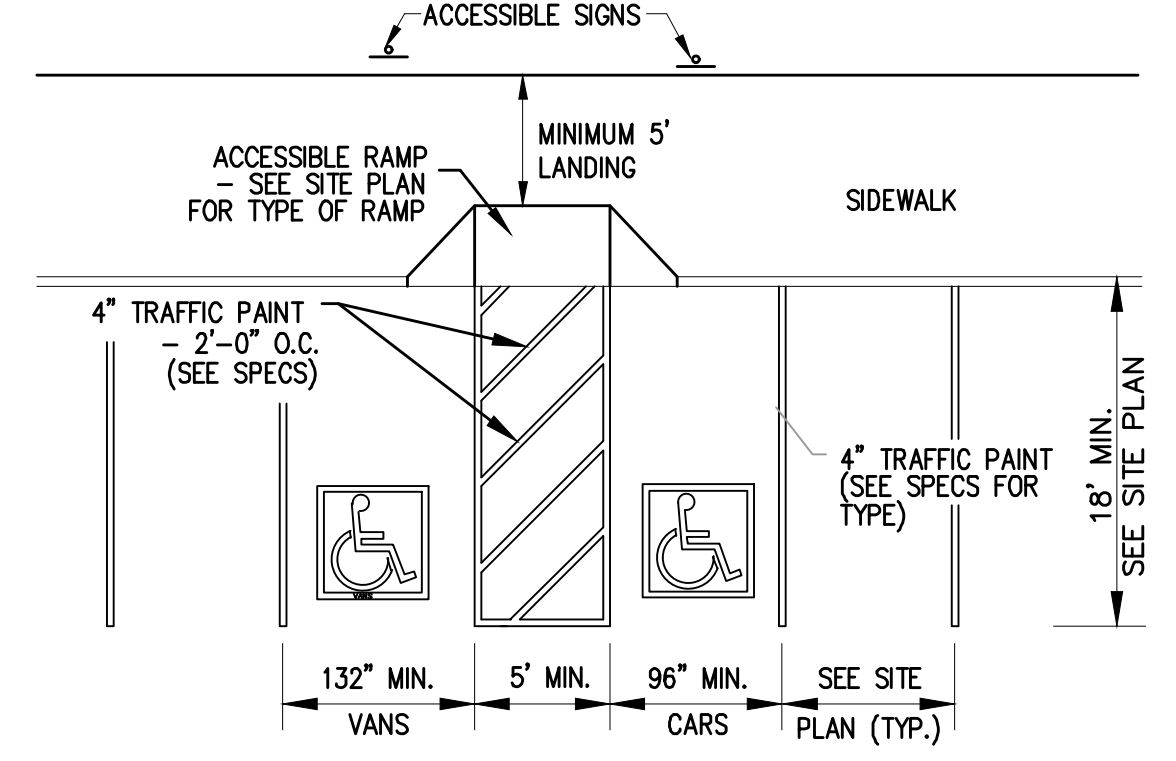
MINIMUM ACCESSIBLE PARKING SPACE REQUIREMENTS

ON-SITE (PRIVATE) ACCESSIBLE PARKING SCHEDULE			ON-STREET (PUBLIC) ACCESSIBLE PARKING SCHEDULE	
TOTAL NUMBER OF PARKING SPACES REQUIRED (PER LOT)	TOTAL MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES (60' & 96' AISLES) COLUMN "A"	VAN-ACCESSIBLE PARKING SPACES WITH MIN. 96" WIDE ACCESS AISLE	TOTAL NUMBER OF MARKED OR METERED PARKING SPACES ON THE BLOCK PERIMETER	TOTAL REQUIRED NUMBER OF ACCESSIBLE PARKING SPACES
1 TO 25	1	1	1 TO 25	1
26 TO 50	2	1	26 TO 50	2
51 TO 75	3	1	51 TO 75	3
76 TO 100	4	1	76 TO 100	4
101 TO 150	5	1	101 TO 150	5
151 TO 200	6	1	151 TO 200	6
201 TO 300	7	2	201 AND OVER	4 PERCENT OF TOTAL
301 TO 400	8	2		
401 TO 500	9	2		
501 TO 1000	2% OF TOTAL PARKING PROVIDED IN EACH LOT	1/6 OF COLUMN "A"		
1001 & OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1/6 OF COLUMN "A"		

ON-SITE (PRIVATE) ACCESSIBLE PARKING SCHEDULE			ON-STREET (PUBLIC) ACCESSIBLE PARKING SCHEDULE	
TOTAL NUMBER OF PARKING SPACES REQUIRED (PER LOT)	TOTAL MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES (60' & 96' AISLES) COLUMN "A"	VAN-ACCESSIBLE PARKING SPACES WITH MIN. 96" WIDE ACCESS AISLE	TOTAL NUMBER OF MARKED OR METERED PARKING SPACES ON THE BLOCK PERIMETER	TOTAL REQUIRED NUMBER OF ACCESSIBLE PARKING SPACES
1 TO 25	1	1	1 TO 25	1
26 TO 50	2	1	26 TO 50	2
51 TO 75	3	1	51 TO 75	3
76 TO 100	4	1	76 TO 100	4
101 TO 150	5	1	101 TO 150	5
151 TO 200	6	1	151 TO 200	6
201 TO 300	7	2	201 AND OVER	4 PERCENT OF TOTAL
301 TO 400	8	2		
401 TO 500	9	2		
501 TO 1000	2% OF TOTAL PARKING PROVIDED IN EACH LOT	1/6 OF COLUMN "A"		
1001 & OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1/6 OF COLUMN "A"		

CARPPOOL AND GARAGE PARKING SPACES: AT LEAST ONE CARPOOL OR GARAGE SPACE SHALL BE ADA ACCESSIBLE IF EITHER ARE FEATURED AS SITE AMENITIES.

208.2.4 VAN PARKING SPACES: FOR EVERY SIX OR FRACTIONAL OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.



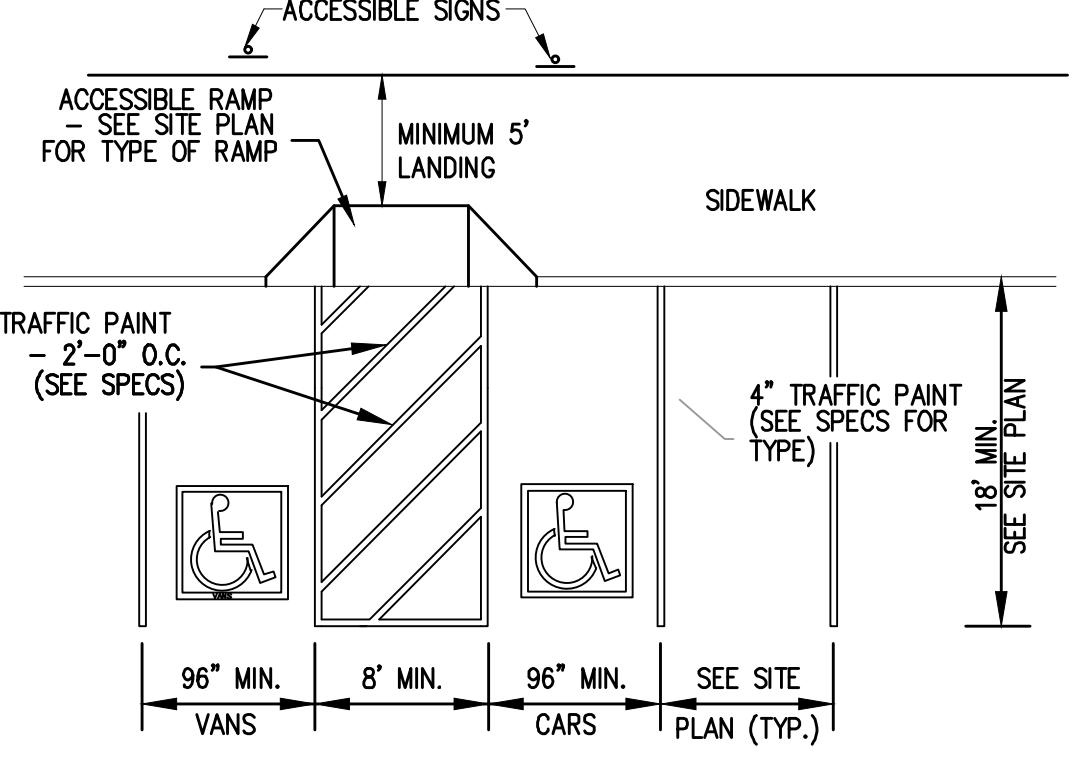
ALTERNATE "A"

VAN ACCESSIBLE PARKING STRIPING

NTS

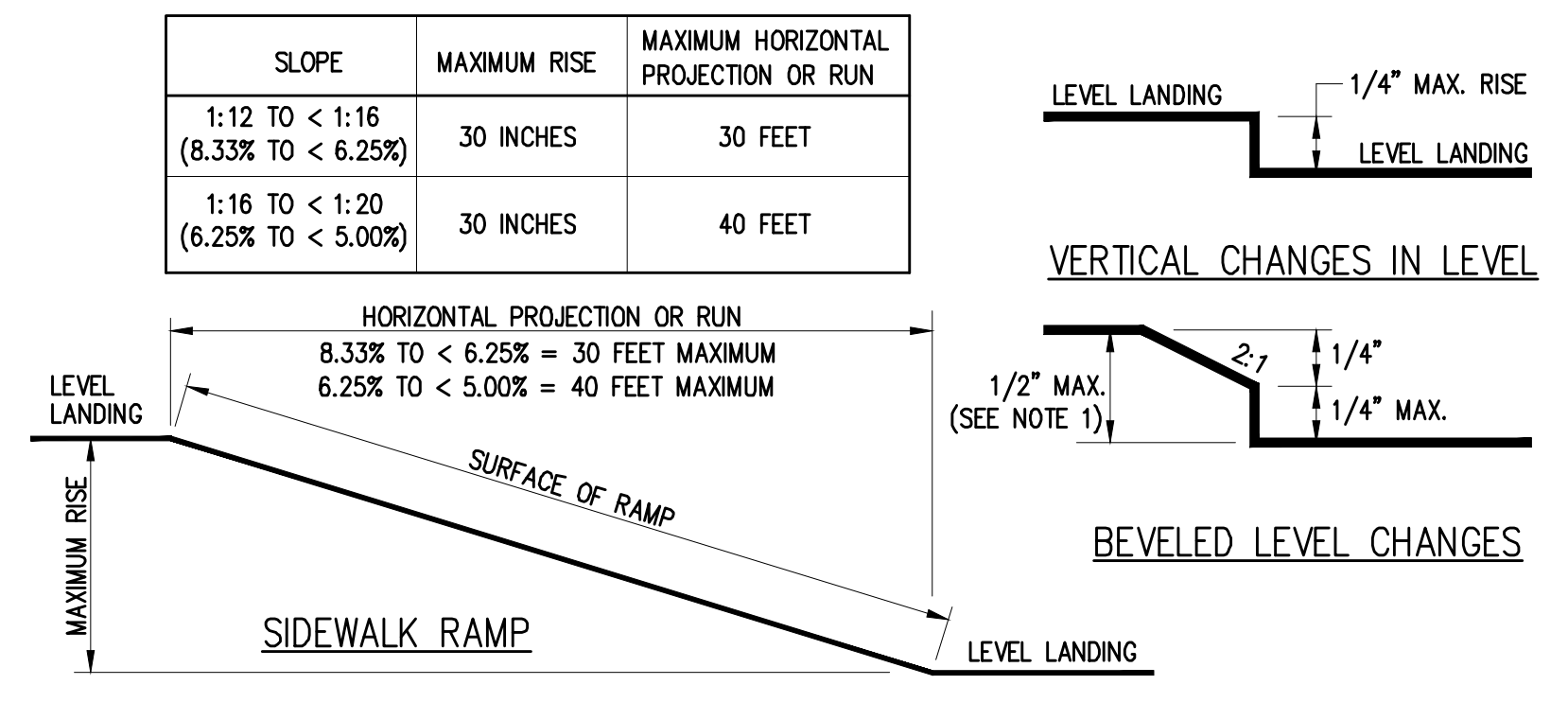
ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS OTHERWISE NOTED. COLOR OF ALL ACCESSIBLE TRAFFIC PAINT SHALL BE PER LOCAL CODE (WHITE, YELLOW, ETC.)

208.2.4 VAN PARKING SPACES: FOR EVERY SIX OR FRACTIONAL OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.



ALTERNATE "B"

SLOPE	MAXIMUM RISE	MAXIMUM HORIZONTAL PROJECTION OR RUN
1:12 TO < 1:16 (8.33% TO < 6.25%)	30 INCHES	30 FEET
1:16 TO < 1:20 (6.25% TO < 5.00%)	30 INCHES	40 FEET



- NOTES:**
1. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
 2. RAMP RUNS GREATER THAN SIX INCHES OF RISE OR GREATER SIX FEET IN HORIZONTAL PROJECTION SHALL HAVE HANDRAILS ON BOTH SIDES, EXCEPT CURB RAMPS.
 3. HANDRAILS SHALL BE 34" TO 38" HIGH AND A MINIMUM OR 36" APART AND MUST EXTEND 12" BEYOND TOP AND BOTTOM OF THE RAMP SEGMENT. SEE HANDRAIL DETAILS.

IN-LINE ACCESSIBLE ROUTE / SIDEWALK RAMP - CHANGES IN LEVEL

NTS

PANERA BREAD
BRYANT, AR

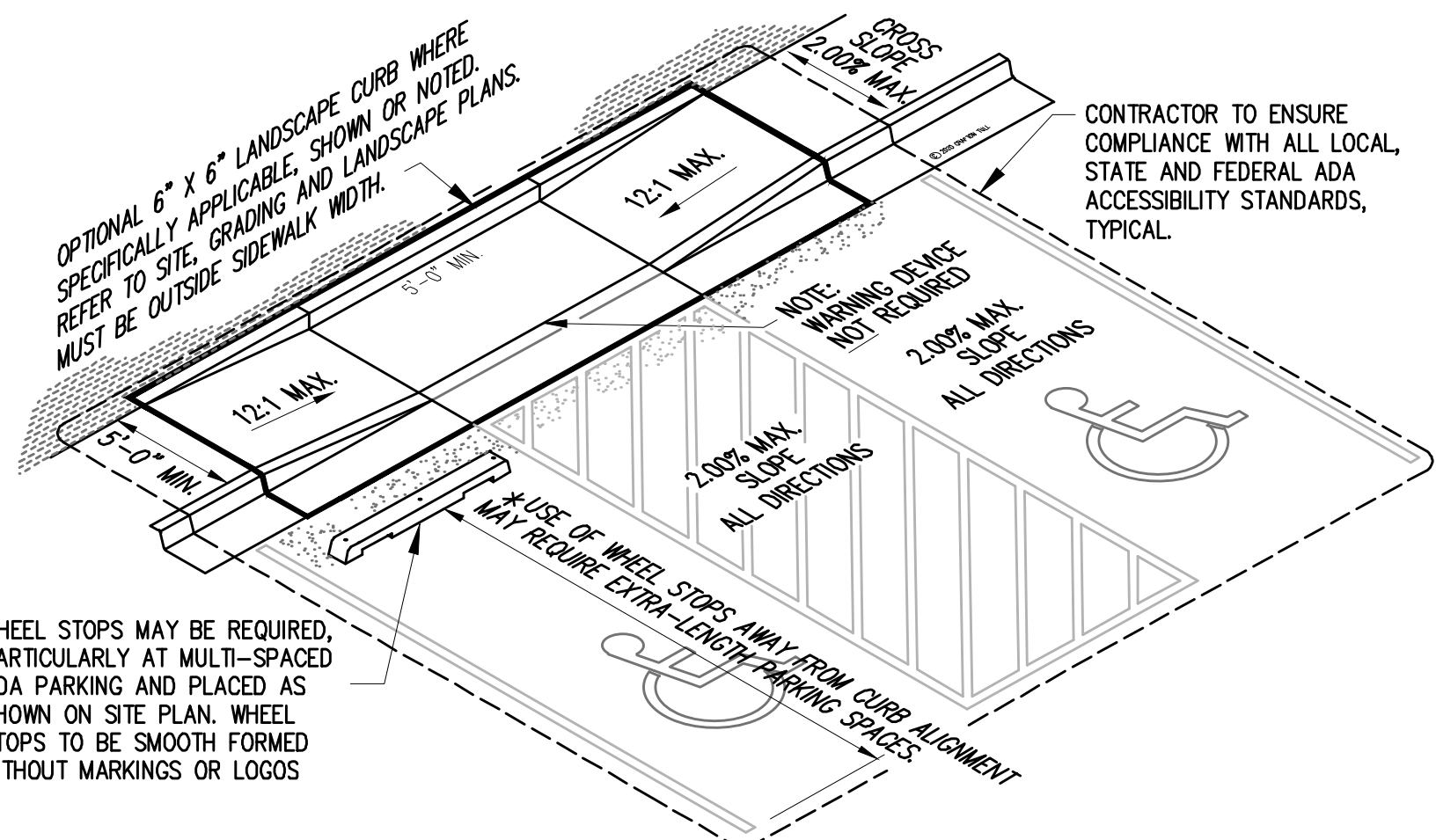
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PROJECT NO: 24304000
ISSUE DATE: 01/22/25
CONTACT: C. GARDNER
SCALE: AS SHOWN
DATE:

PRELIMINARY PLANS

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DEPRESSED SIDEWALK AND CURB ACCESSIBLE RAMP
NTS WITH ADA PARKING

WHEEL STOPS MAY BE REQUIRED, PARTICULARLY AT MULTI-SPACED ADA PARKING AND PLACED AS SHOWN ON SITE PLAN. WHEEL STOPS TO BE SMOOTH FORMED WITHOUT MARKINGS OR LOGOS

OPTIONAL 6" X 6" LANDSCAPE CURB WHERE SPECIFICALLY APPLICABLE, SHOWN OR NOTED, REFER TO SITE, GRADING AND LANDSCAPE PLANS, MUST BE OUTSIDE SIDEWALK WIDTH.

NOTE: WRIVING DRIVE NOT REQUIRED

2.00% MAX. SLOPE ALL DIRECTIONS

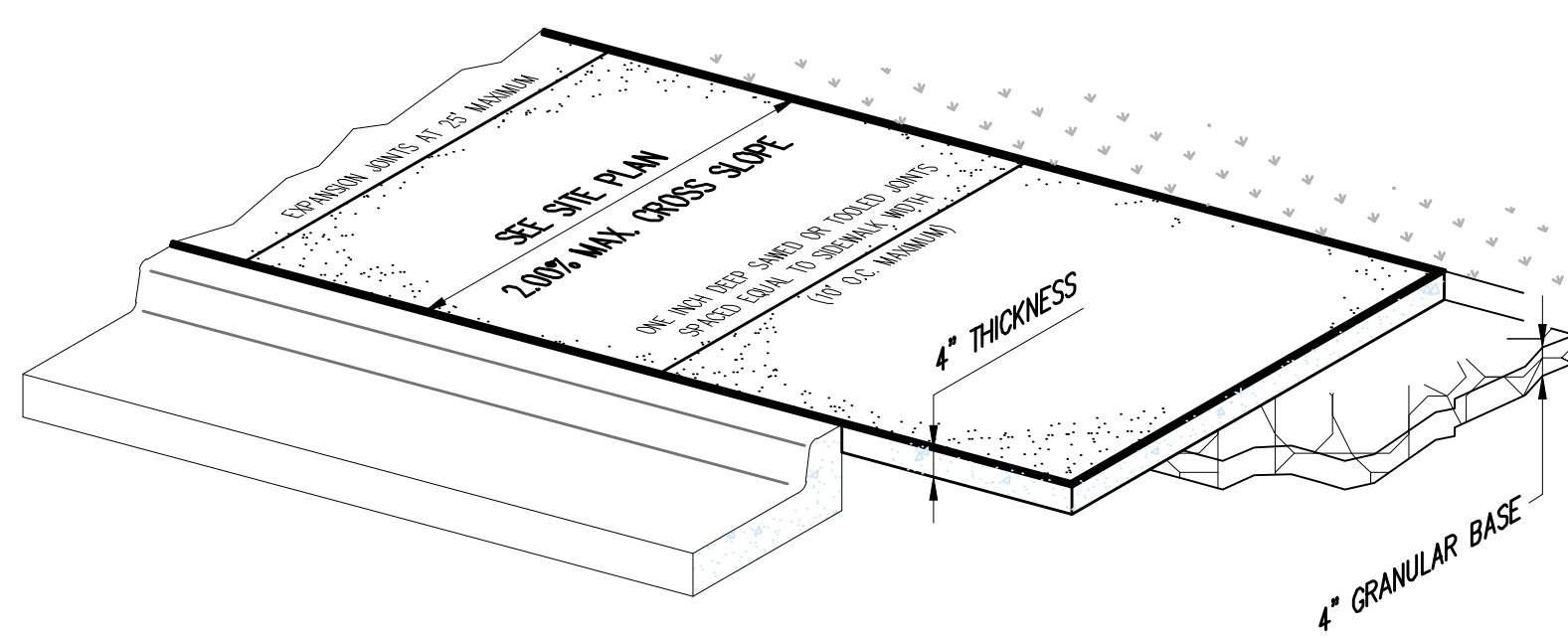
1/2" MAX. CROSS SLOPE

1/2" MAX.

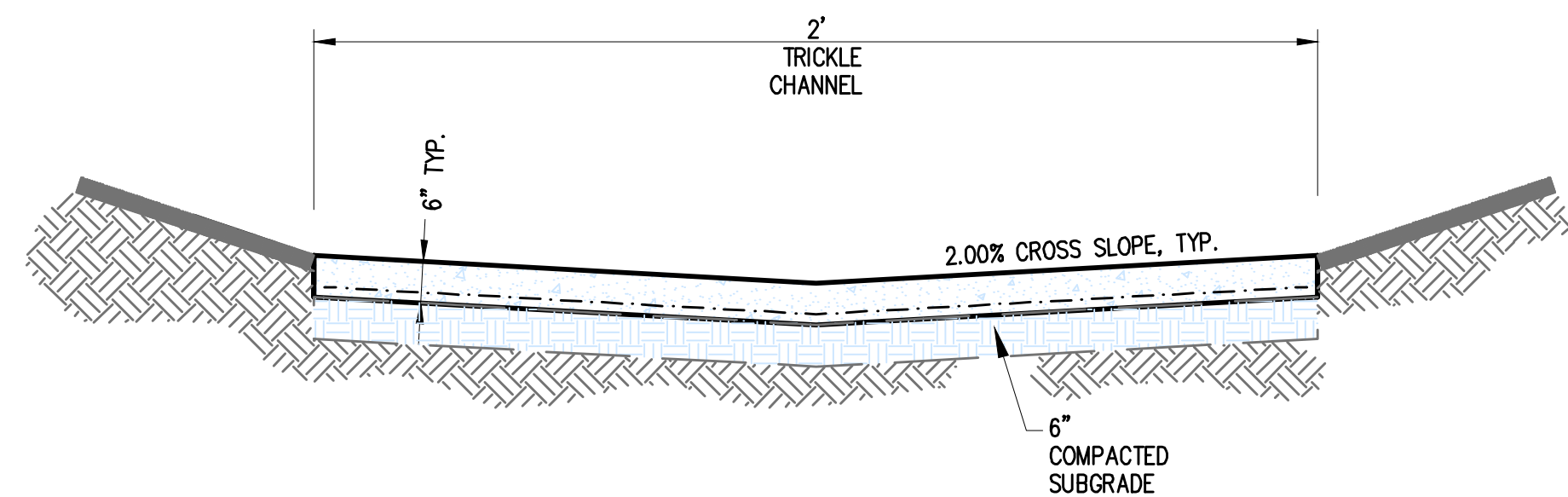
1/2" MAX.

CONTRACTOR TO ENSURE COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL ADA ACCESSIBILITY STANDARDS, TYPICAL.

- NOTES:
1. PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL FIXED OBJECTS.
 2. PROVIDE 1/2" TOOLED RADIUS ON ALL EDGES.
 3. CONCRETE TO BE MINIMUM 3500#, AE.



SIDEWALK WITH CURB
NTS



1. COMPACT SUBGRADE TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D-698 (STANDARD PROCTOR) AT ±2% OF PROCTOR OPTIMUM MOISTURE VALUE.
2. CONCRETE COMPRESSION STRENGTH: 3,500 P.S.I. AT 28 DAYS.
3. REINFORCEMENT: WELDED WIRE FABRIC - 6"x6" - W2.1XW2.1, PLACED 1-1/2" FROM BOTTOM.
4. JOINTS: SAWED LATERAL AT 12' MAXIMUM. LATERAL EXPANSION JOINTS AT 84' MAXIMUM.

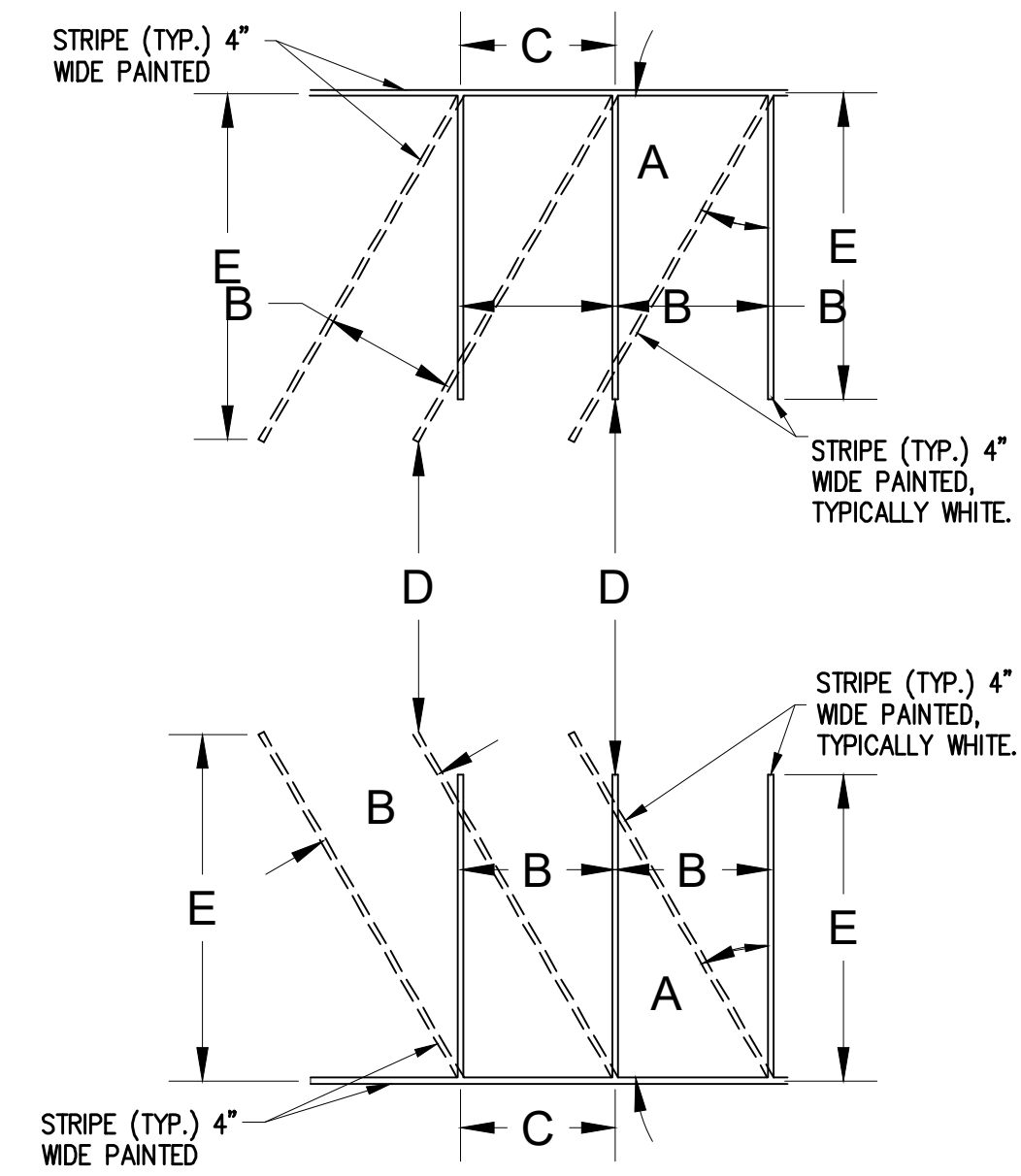
TYPICAL CONCRETE CHANNEL SECTION
NTS

STRIPING DIMENSIONS						
ANGLE (A)	TYPE	WIDTH (IN FT.) (B)	CURB LENGTH (IN FT.) (C)	ONE-WAY AISLE WIDTH (IN FT.) (D)	TWO-WAY AISLE WIDTH (IN FT.) (D)	STALL DEPTH (IN FT.) (E)
0°	STANDARD	8	22.5	12	24	8
PARALLEL	COMPACT	7.5	19.5	12	24	7.5
30°	STANDARD	9	18	12	24	17
	COMPACT	7.5	15	12	24	14
45°	STANDARD	9	12.5	12	24	19
	COMPACT	7.5	10.5	12	24	16
60°	STANDARD	9	10.5	18	24	20
	COMPACT	7.5	8.5	15	24	16.5
90°	STANDARD	9	9	24	24	19
	COMPACT	7.5	7.5	22	24	15

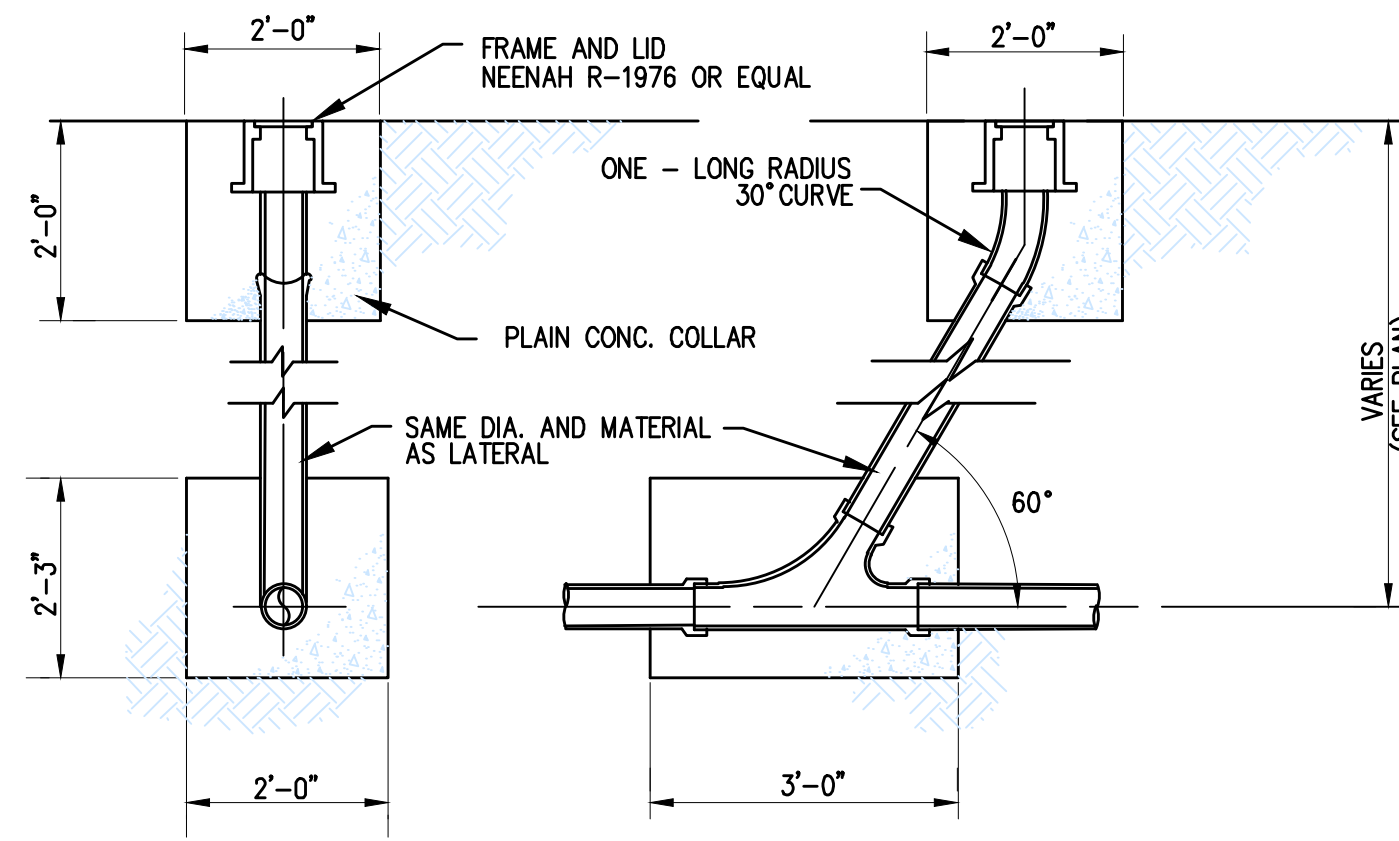
NOTES:

1. LETTERS, NUMBERS AND ARROWS FOR DRIVEWAYS, PARKING LOTS AND STREETS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. PAVEMENT MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE. MARKINGS SHALL BE THERMOPLASTIC IF CALLED FOR IN THE PLANS OR SPECIFICATIONS.

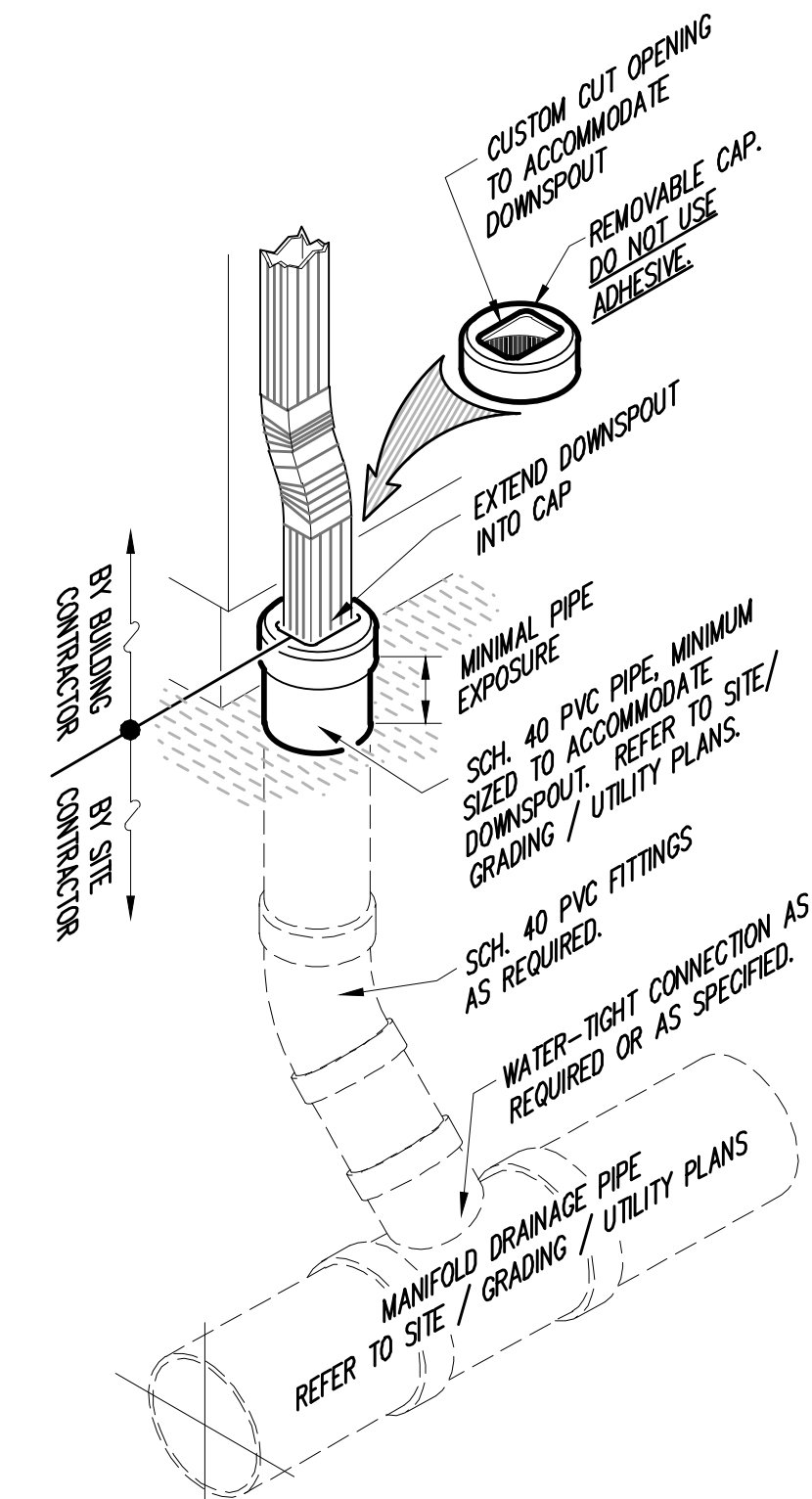
PARKING STRIPES
NTS



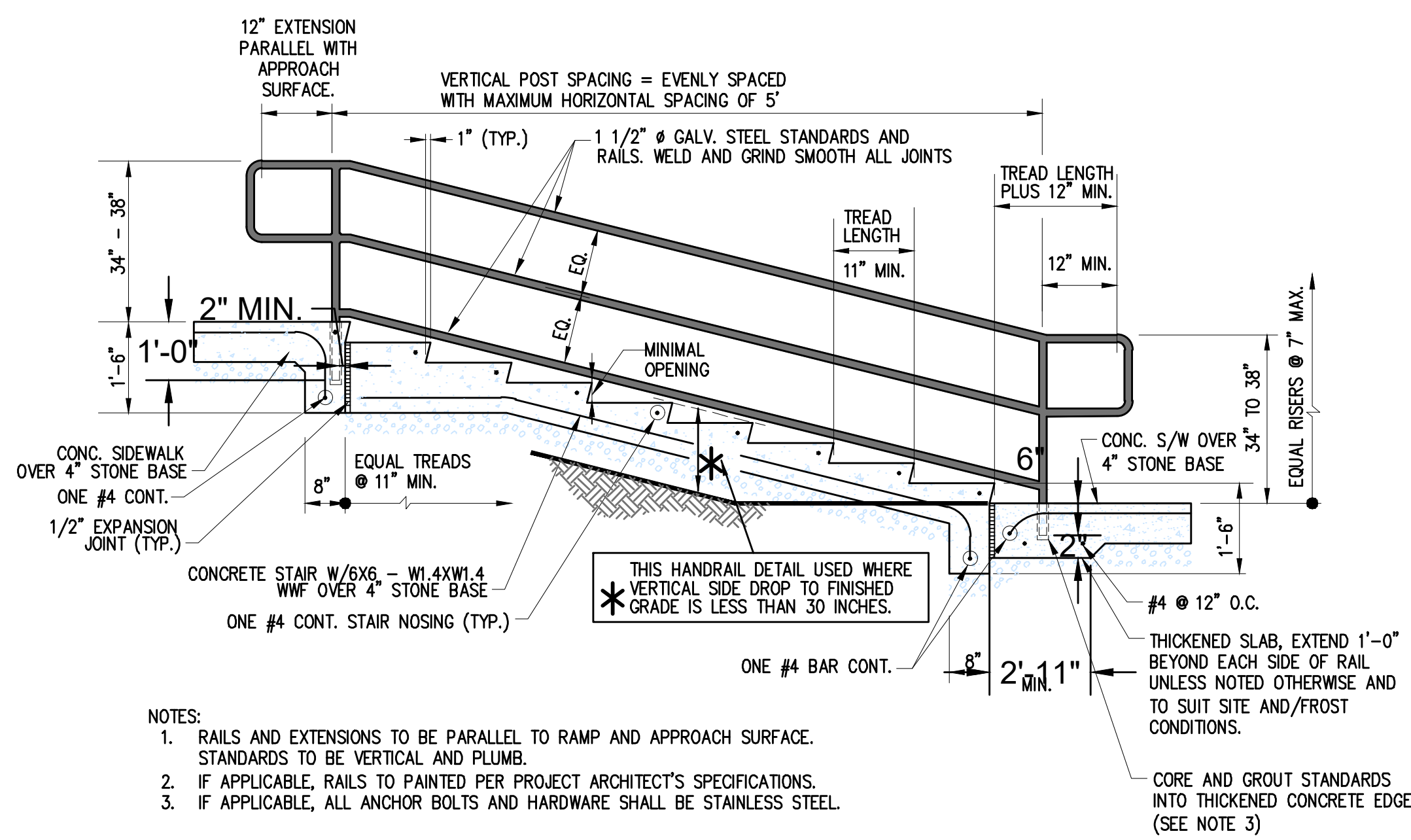
* NOTE: DIMENSIONS SHOWN ON PLAN SHALL GOVERN.



TYPICAL CLEANOUT
NTS

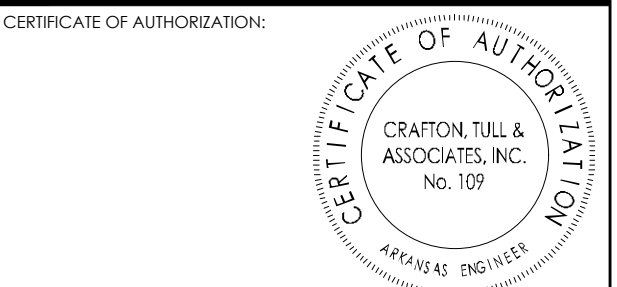


EXTERIOR DOWNSPOUT COLLECTOR
NTS



- NOTES:
1. RAILS AND EXTENSIONS TO BE PARALLEL TO RAMP AND APPROACH SURFACE. STANDARDS TO BE VERTICAL AND PLUMB.
 2. IF APPLICABLE, RAILS TO BE PAINTED PER PROJECT ARCHITECT'S SPECIFICATIONS.
 3. IF APPLICABLE, ALL ANCHOR BOLTS AND HARDWARE SHALL BE STAINLESS STEEL.

CONCRETE STAIR AND RAIL WITH NO GRADE DROP AT EITHER SIDE OF STAIR *
NTS NOTE: REFER TO SITE AND GRADING PLANS FOR STAIR LENGTH, RISE AND LOCATION. REVISED 08/25/14



PANERA BREAD
BRYANT, AR

No.	Description	Date

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PROJECT NO: 24304000
ISSUE DATE: 01/22/25
CONTACT: C. GARDNER
DATE:
BY:
CHECKED:
DATE:
REVISIONS:
DATE:

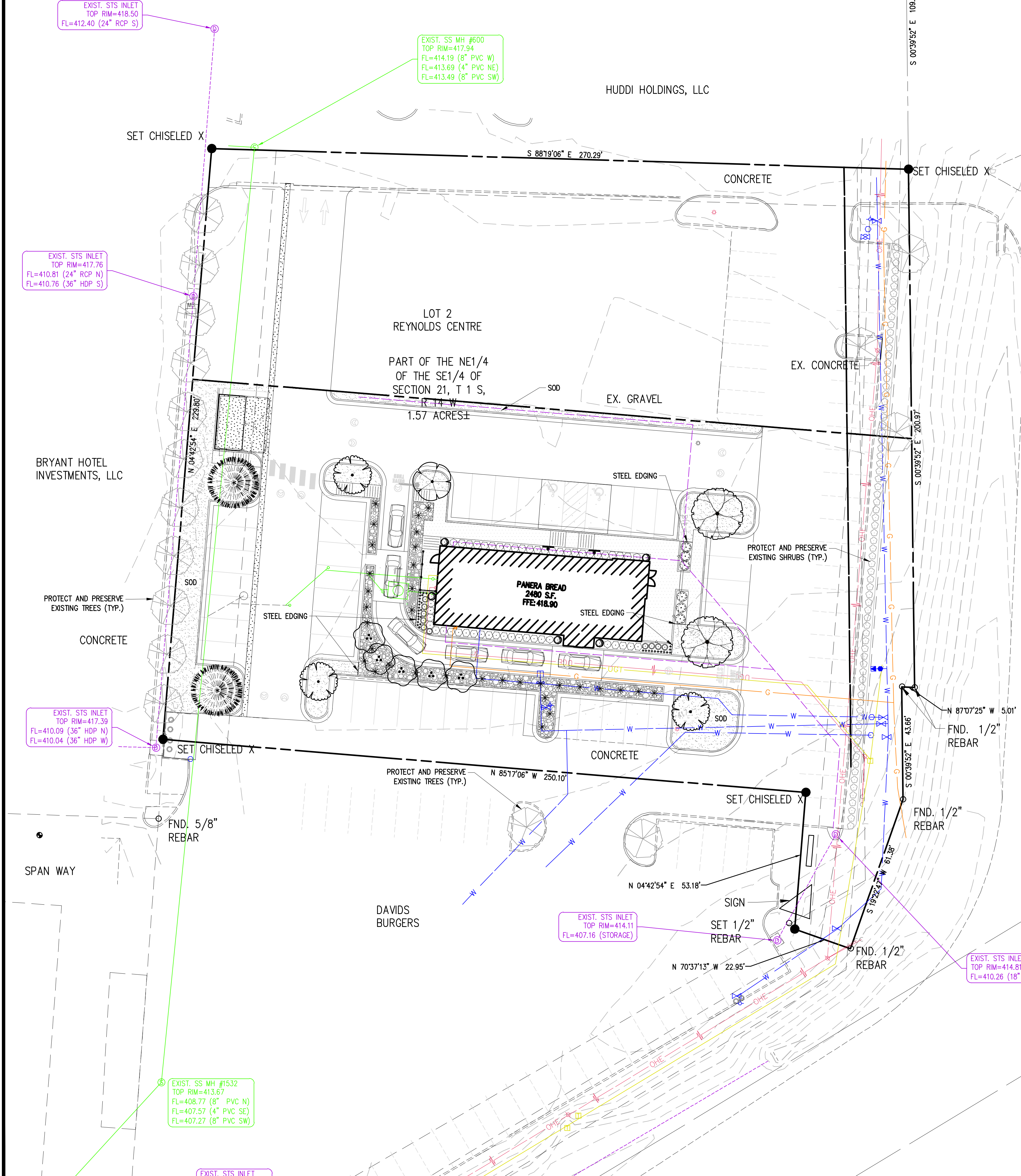
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PRELIMINARY PLANS

SITE DETAILS

C-503

DRAWINGS FOR PANERA BREAD, 10825 FINANCIAL CENTER PARKWAY, SUITE 300, LITTLE ROCK, AR 72211. DATE PLOTTED: 02/26/25 10:12:28 AM



Arkansas One Call



Know what's below.
Call before you dig.

LANDSCAPE NOTES

1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK BY CONTACTING THE ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC.
2. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. ANY DAMAGES TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO COST TO OWNER.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN (CONTAINER OR BALLED & BURLAPPED) AND SHALL MEET OR EXCEED THE SIZE AND GRADING REQUIREMENTS ESTABLISHED BY THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
4. ALL PLANT MATERIALS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND/OR DISEASE.
5. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT OR QUANTITY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
7. NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY. APPROVED ALTERNATE MATERIALS SHALL MEET THE SAME CRITERIA FOR TYPE, SIZE, AND FUNCTION AS THOSE SHOWN ON LANDSCAPE PLAN.
8. PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY THE PLANNING COMMISSION.
9. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
10. ALL LAWN AREAS SHALL RECEIVE 4" OF TOPSOIL TO MEET FINAL GRADE IN ACCORDANCE WITH GRADING PLAN.
11. ALL PLANTING BED AREAS SHALL BE PREPARED BY REMOVING EXISTING SOD AND WEEDS. PLANTING BED AREAS SHALL RECEIVE 6" OF TOPSOIL AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. SOIL MIX SHALL BE TILLED INTO BED AREA TO A MINIMUM DEPTH OF 12".
12. PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD MULCH. ALL TREES NOT LOCATED IN PLANTING BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL.
13. CONTRACTOR TO FIELD VERIFY THE LIMITS OF DISTURBANCE. ALL DISTURBED AREAS MUST BE STABILIZED PER CITY CODE PRIOR TO PROJECT CLOSE-OUT.
14. TURF AREAS SHALL BE SODDED PER PLANTING PLAN. REFER TO PLANT SCHEDULE AND LANDSCAPE NOTES FOR SPECIES AND INSTALLATION REQUIREMENTS.
15. ALL SLOPES 3:1 AND GREATER SHALL RECEIVE SOD. ON SLOPES OF 4:1 OR GREATER, SOD SHALL BE STAPLED IN PLACE.
16. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND ALL SITE ENTRANCES/EXITS PER CITY CODE.
17. IF A LANDSCAPE IRRIGATION SYSTEM IS TO BE CONSTRUCTED, LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF PLANNED IRRIGATION LINE WITH THE IRRIGATION CONTRACTOR PRIOR TO PLANTING BED CONSTRUCTION AND PLANT INSTALLATION.
18. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS APPROVED AND ACCEPTED IN TOTAL BY OWNER.

UTILITIES AND PLANT MATERIALS

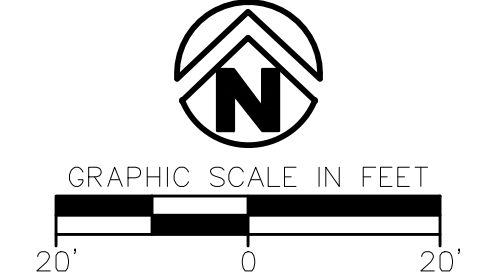
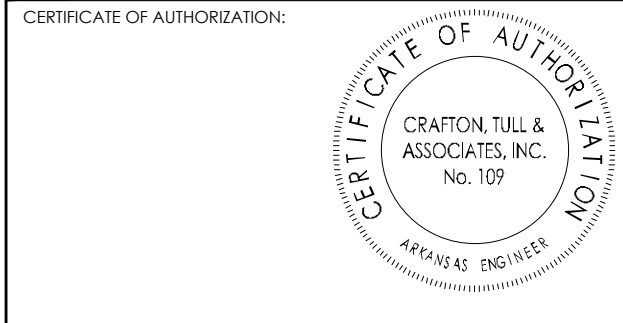
1. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF UTILITIES PRIOR TO LANDSCAPE INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS.
2. TREES AND LANDSCAPING SHALL NOT BE PLACED WHERE THEY INTERFERE WITH SITE DRAINAGE CHANNELS, LINES, OR STRUCTURES, NOR WHERE THEY IMPEDE DETENTION/RETENTION FUNCTIONS.
3. TREES WITH A MATURE HEIGHT GREATER THAN 20' SHALL NOT BE PLANTED WITHIN 20' OF OVERHEAD UTILITIES.
4. TREES SHALL NOT BE PLACED WITHIN 5' OF UNDERGROUND UTILITIES.
5. TREES SHALL NOT BE PLACED WITHIN 3' OF ANY ABOVEGROUND ELECTRICAL EQUIPMENT, NOR WITHIN 5' FROM DOORS OF ABOVEGROUND ELECTRICAL EQUIPMENT.
6. TREES AND LANDSCAPING THAT OBSCURE VISIBILITY SHALL NOT BE PLACED WITHIN 3' OF A FIRE HYDRANT. ALL OTHER LANDSCAPING MUST BE MAINTAINED TO ENSURE VISIBILITY OF FIRE HYDRANT.
7. CITY RESERVES THE RIGHT TO REMOVE LANDSCAPING THAT BLOCKS ACCESS TO UTILITIES OR FAILS TO MEET THE REQUIREMENTS SET FORTH HEREIN.

MAINTENANCE NOTES

1. CONTRACTOR SHALL PROVIDE A WARRANTY ON ALL PLANT MATERIALS FOR A MINIMUM OF ONE YEAR FROM PROJECT COMPLETION AND ACCEPTANCE BY OWNER. ANY PLANT MATERIAL THAT DIES, TURNS BROWN, OR DEFLORIATES PRIOR TO WARRANTY EXPIRATION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
2. AFTER THE REQUIRED WARRANTY PERIOD, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION BY THE OWNER OF THE PROPERTY. ALL PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER OF THE PROPERTY.
3. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME.
4. TREES SHALL NOT BE TOPPED AT ANY TIME.
5. WHEN PRUNING IS NECESSARY TO MAINTAIN THE HEALTH OF THE TREE OR FOR PUBLIC SAFETY, PROPER PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE OPERATIONS" SHALL BE UTILIZED.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
TREES					
(Symbol)	1	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	B & B	2" CAL	6'-10' HT.
(Symbol)	5	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	MULTI-TRUNK	6'-8' HT.
(Symbol)	3	PRUNUS X YEDDENIS / YOSHINO CHERRY	B & B	2" CAL	6'-10' HT.
(Symbol)	2	QUERCUS SHUMARDII / SHUMARD OAK	B & B	2.5" CAL	10'-12' HT.
(Symbol)	2	TAXODIUM DISTICHUM / BALD CYPRESS	B & B	2.5" CAL	10'-12' HT.
(Symbol)	5	THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE	15 GAL	2" CAL	6'-8' HT.
SHRUBS					
(Symbol)	45	BUXUS MICROPHYLLA 'WINTERGREEN' / BOXWOOD	5 GAL	18" HT. MIN.	
(Symbol)	33	JUNIPERUS HORIZONTALIS 'COMPACTA' / ANDORRA COMPACT JUNPER	3 GAL		
(Symbol)	32	LIROPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL	6" HT. MIN.	
(Symbol)	6	LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER	5 GAL	18" HT. MIN.	
(Symbol)	10	MUHLENBERGIA CAPILLARIS / PINK MUHLY	3 GAL	18" MIN. HT.	
(Symbol)	5	ROSA X 'DOUBLE KNOCKOUT' / KNOCKOUT ROSE	5 GAL	18" HT. MIN.	
GROUND COVERS					
(Symbol)	4,162 SF	CYNODON DACTYLON / BERMDA GRASS	SOLID SOD		
(Symbol)	1,227 SF	WASHED RIVER ROCK			



PANERA BREAD
BRYANT, AR

No.	Description	Date

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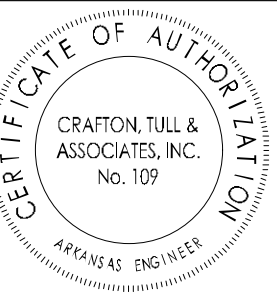
PROJECT NO: 24304000
ISSUE DATE: 01/22/25
CONTACT: C. GARDNER

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT.

PRELIMINARY PLANS

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DRAWING: D:\DRAWING\24304000\24304000-PLANTING-PLANS\24304000-PLANTING-PLANS.DWG DATE PLOTTED: 01/22/25 10:52:29 AM



CERTIFICATE OF AUTHORIZATION:

PANERA BREAD
BRYANT, AR

Key Plan

No.	Description	Date

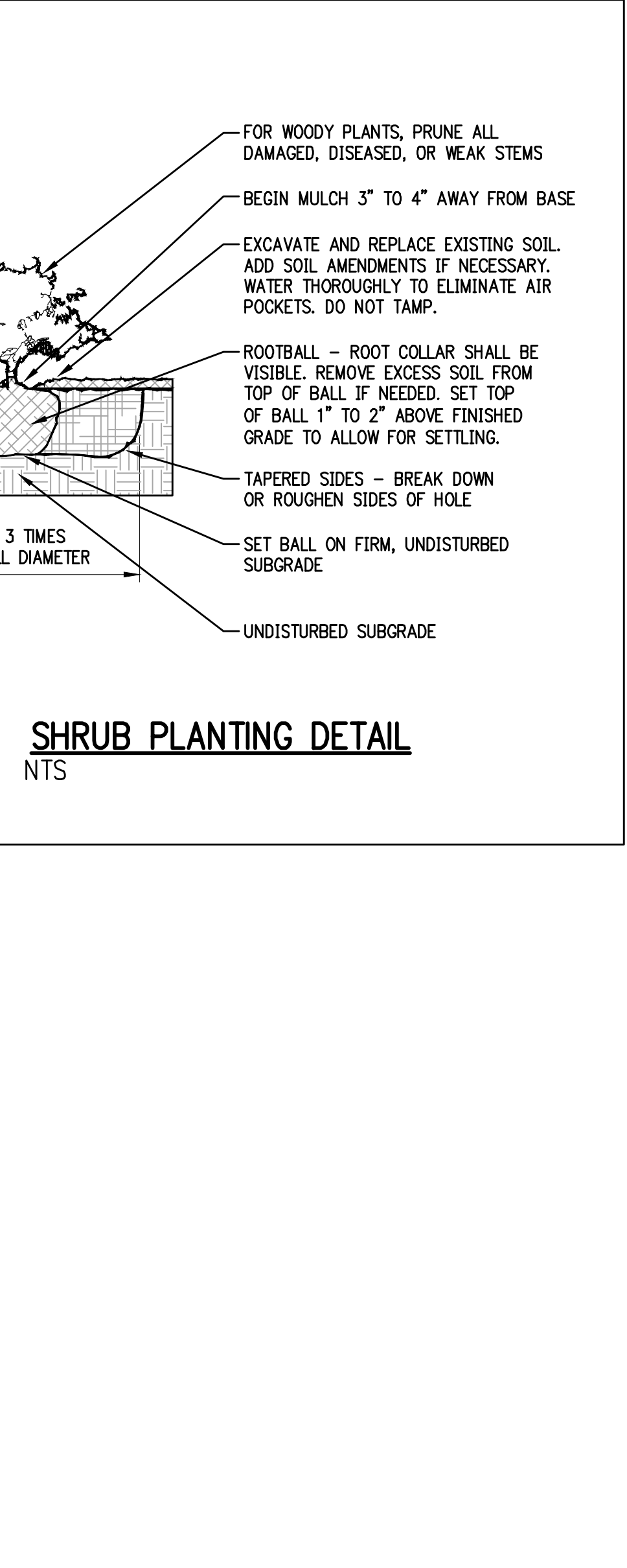
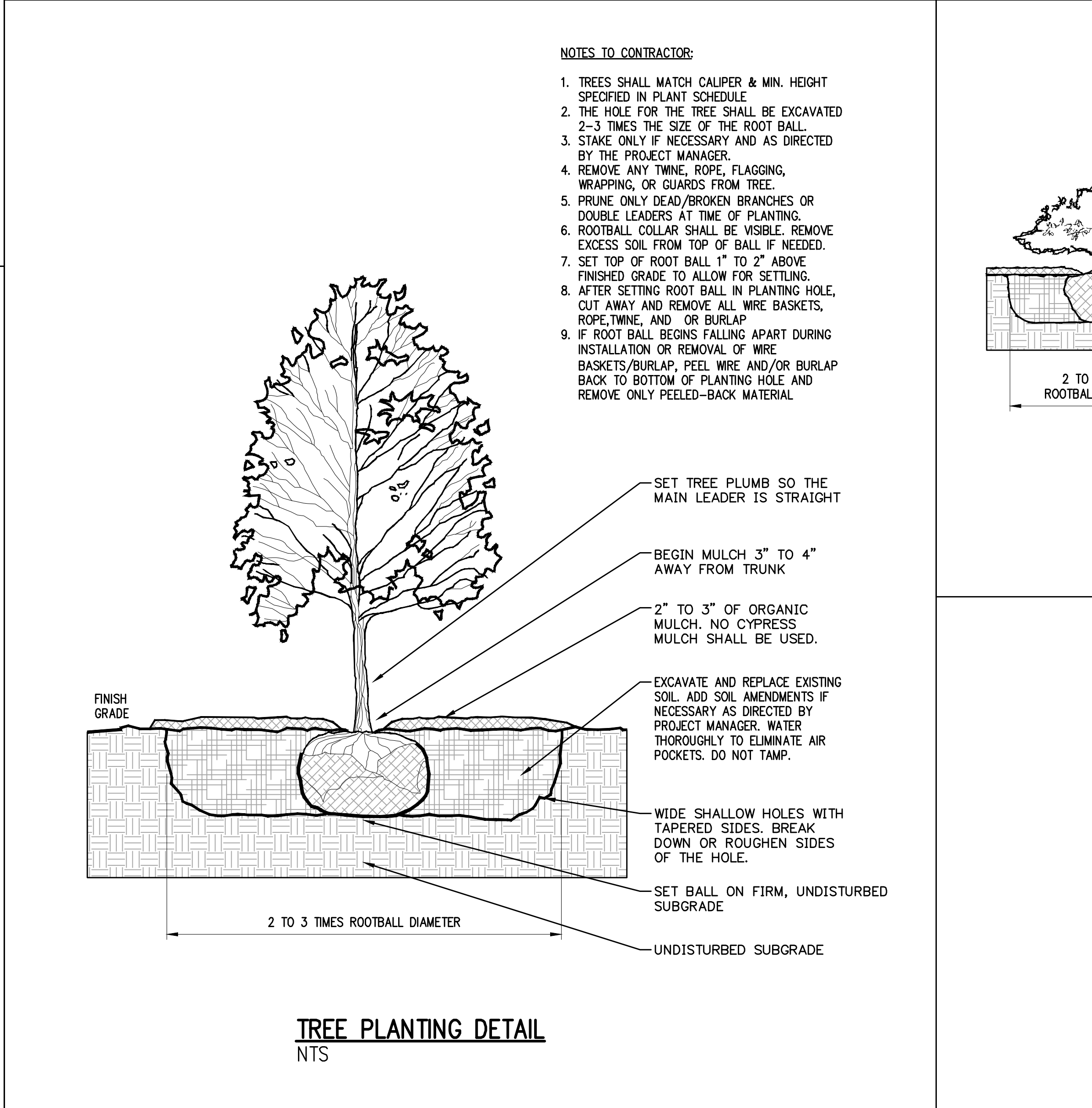
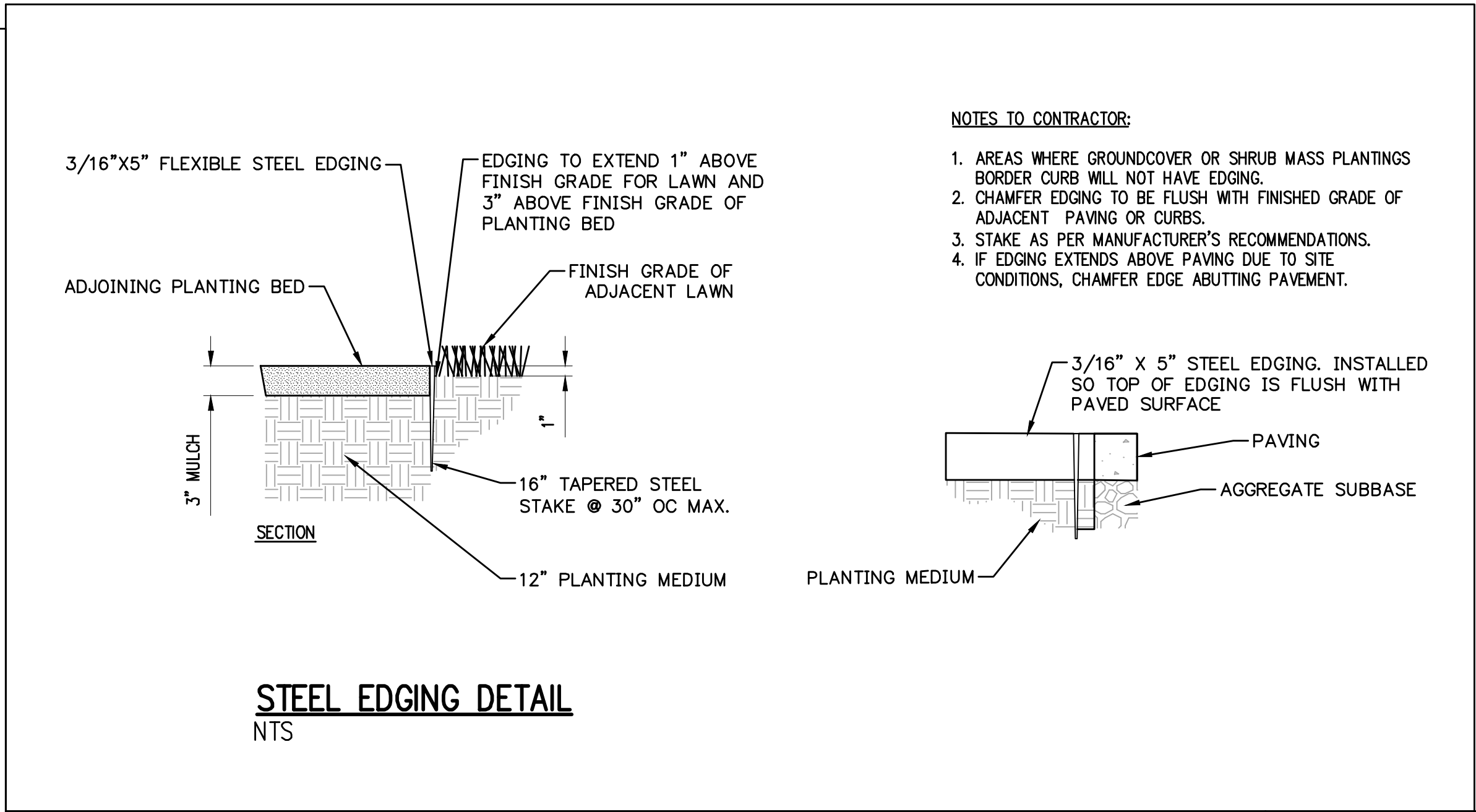
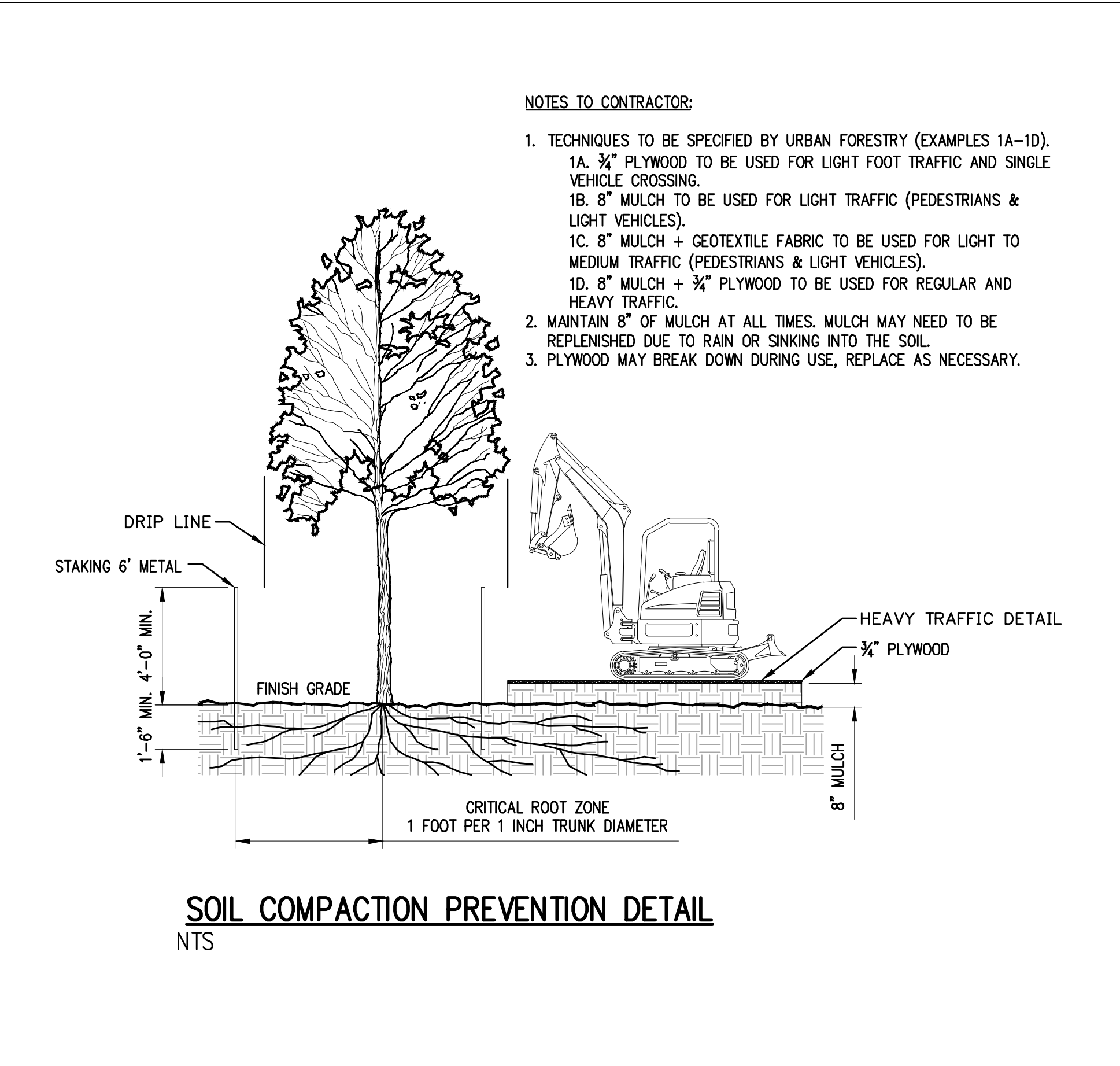
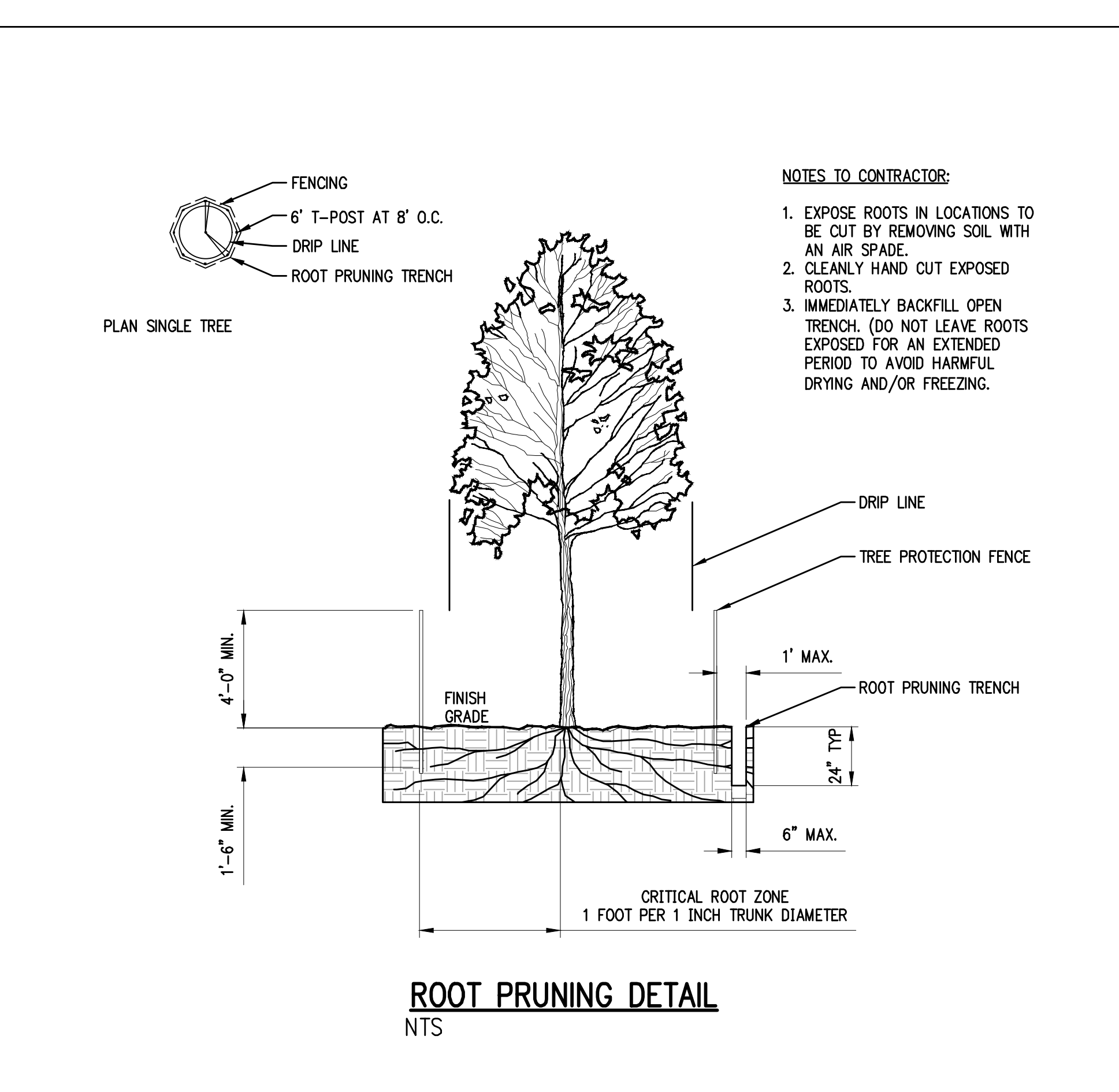
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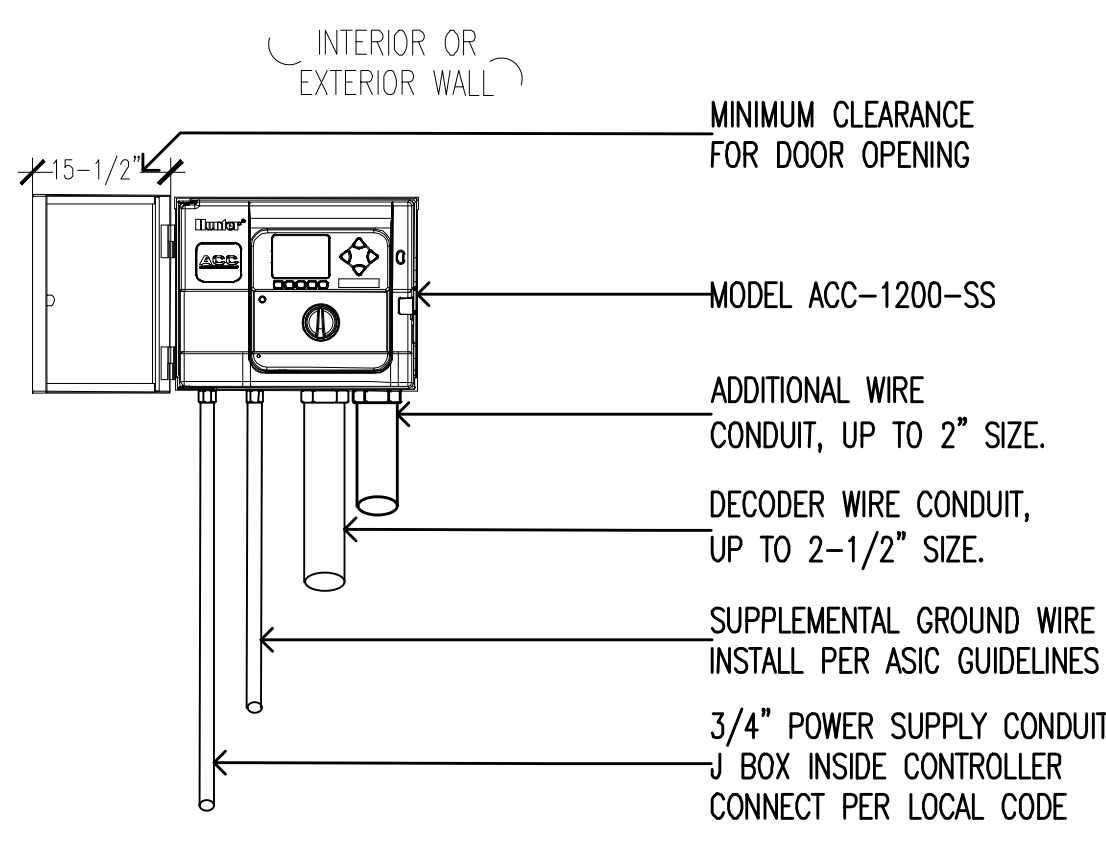
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REVISED BY: C. GARDNER
DATE: 01/22/25
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PLANTING DETAILS

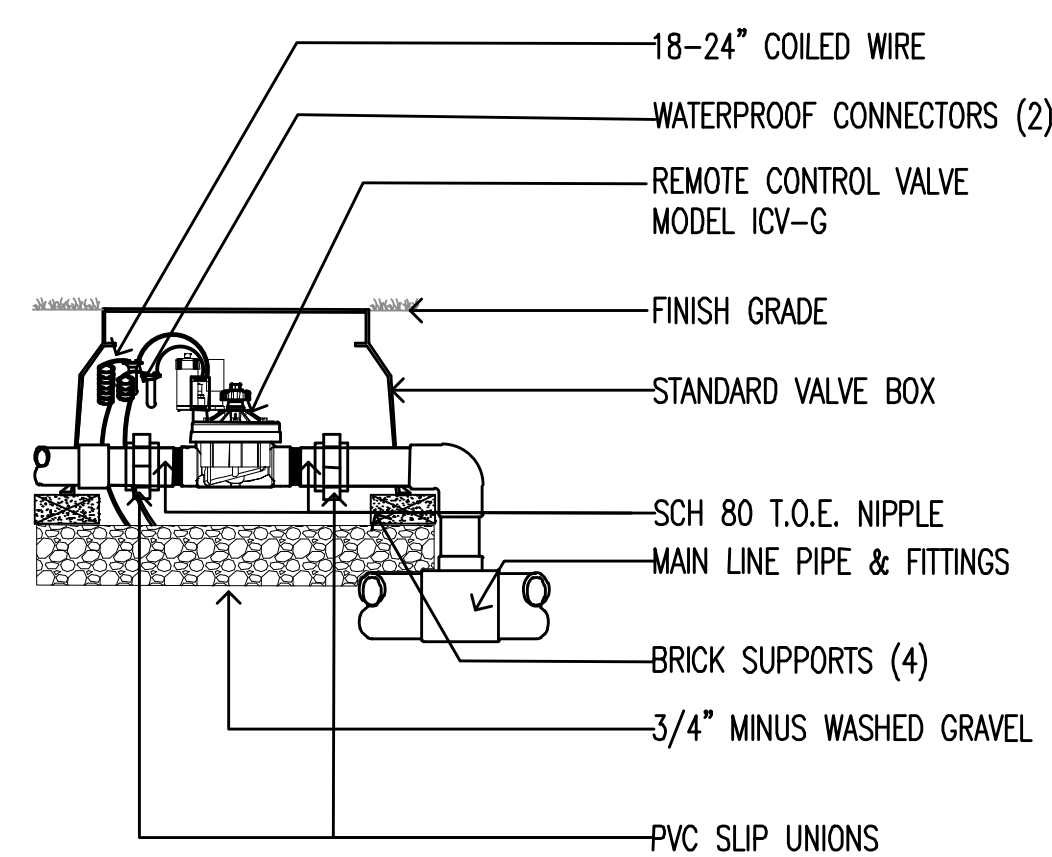
L-501

Arkansas One Call
811
Know what's below.
Call before you dig.



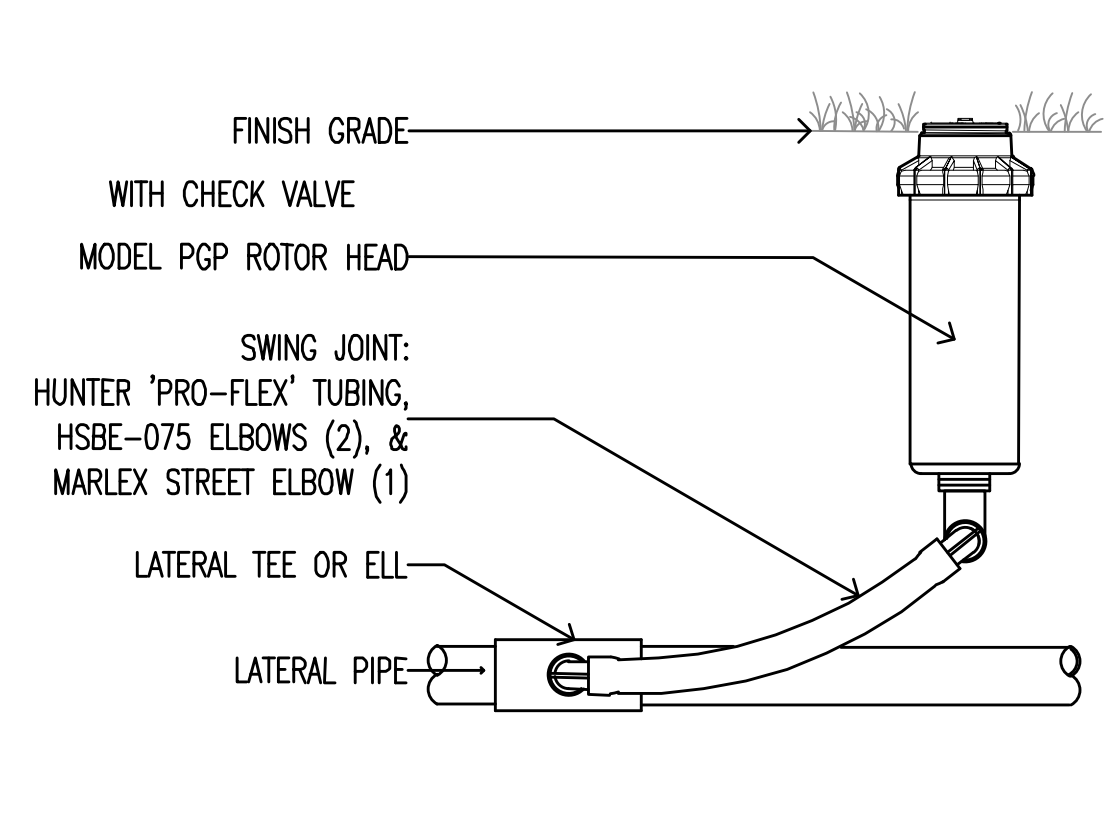


01 ACC-1200 CONTROLLER WALL MOUNT
SCALE: 1" = 1'-0" **Hunter** IRRIGATION DETAIL

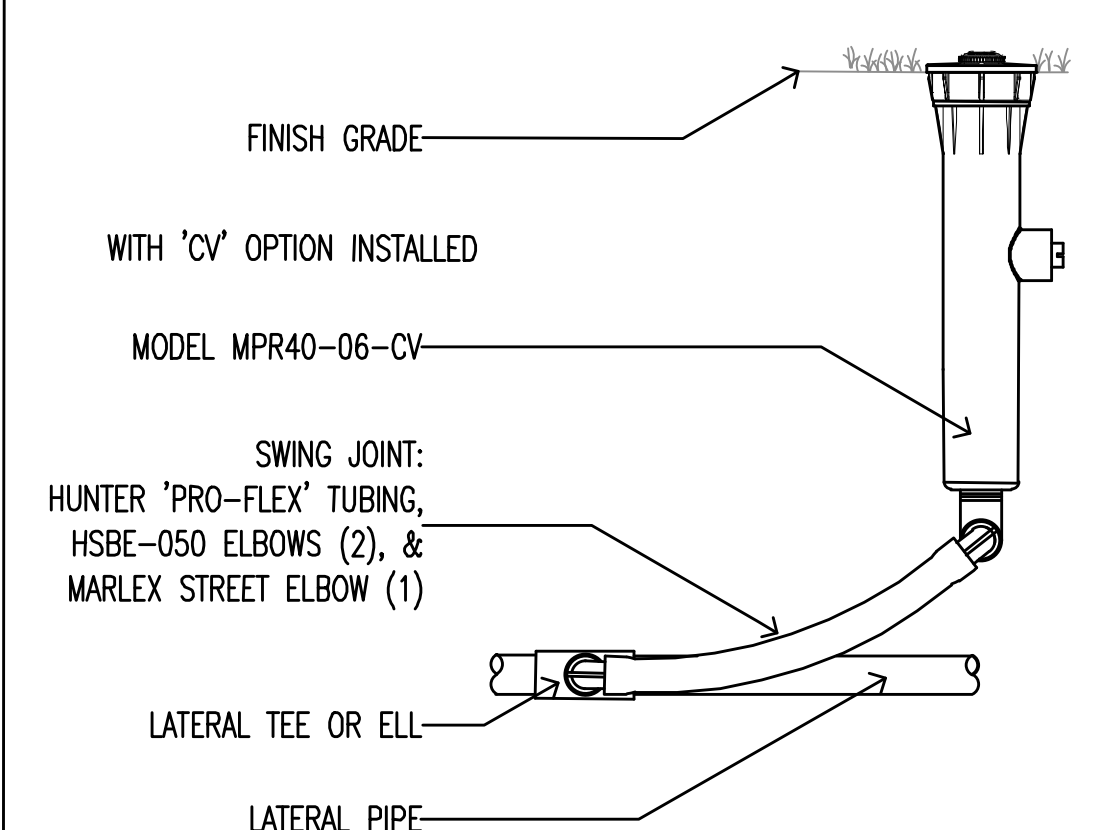


02 ICV GLOBE VALVE
SCALE: 1" = 1'-0" **Hunter** IRRIGATION DETAIL

*When using larger GPM nozzles, beware of high friction loss in swing joints.



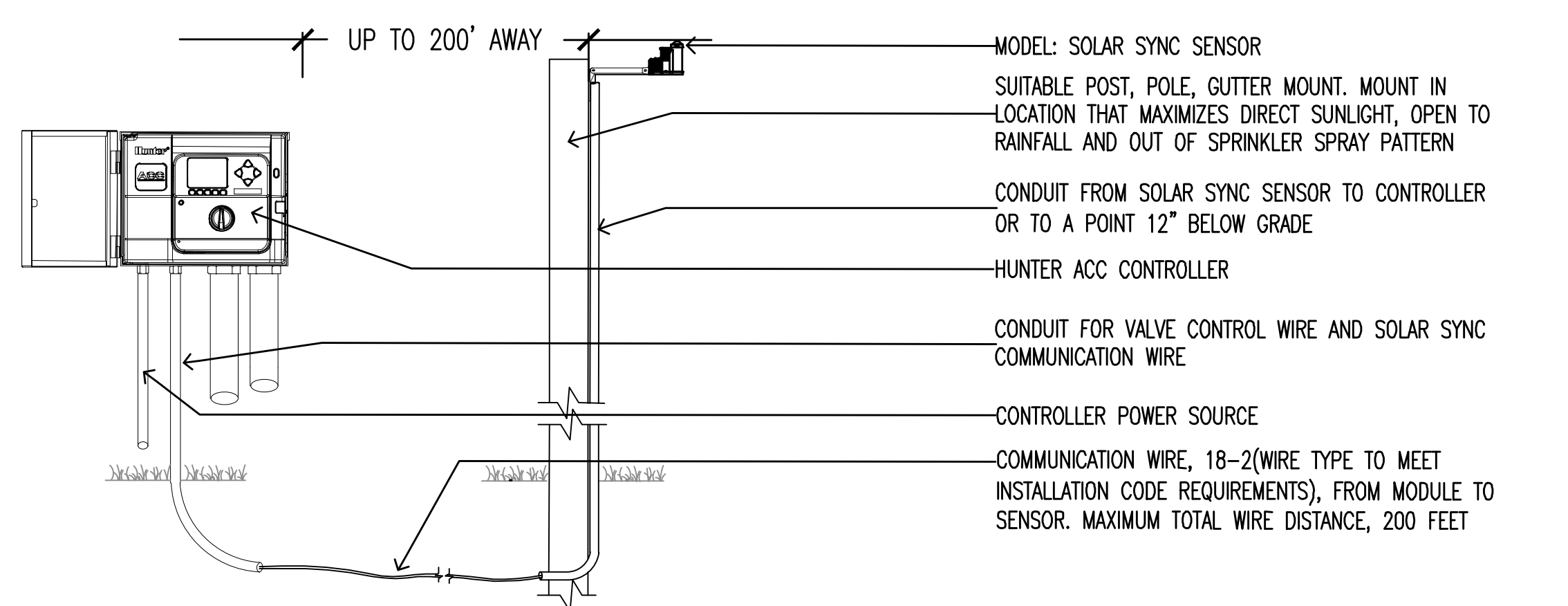
03 PGP ROTOR HEAD
SCALE: 3" = 1'-0" **Hunter** IRRIGATION DETAIL



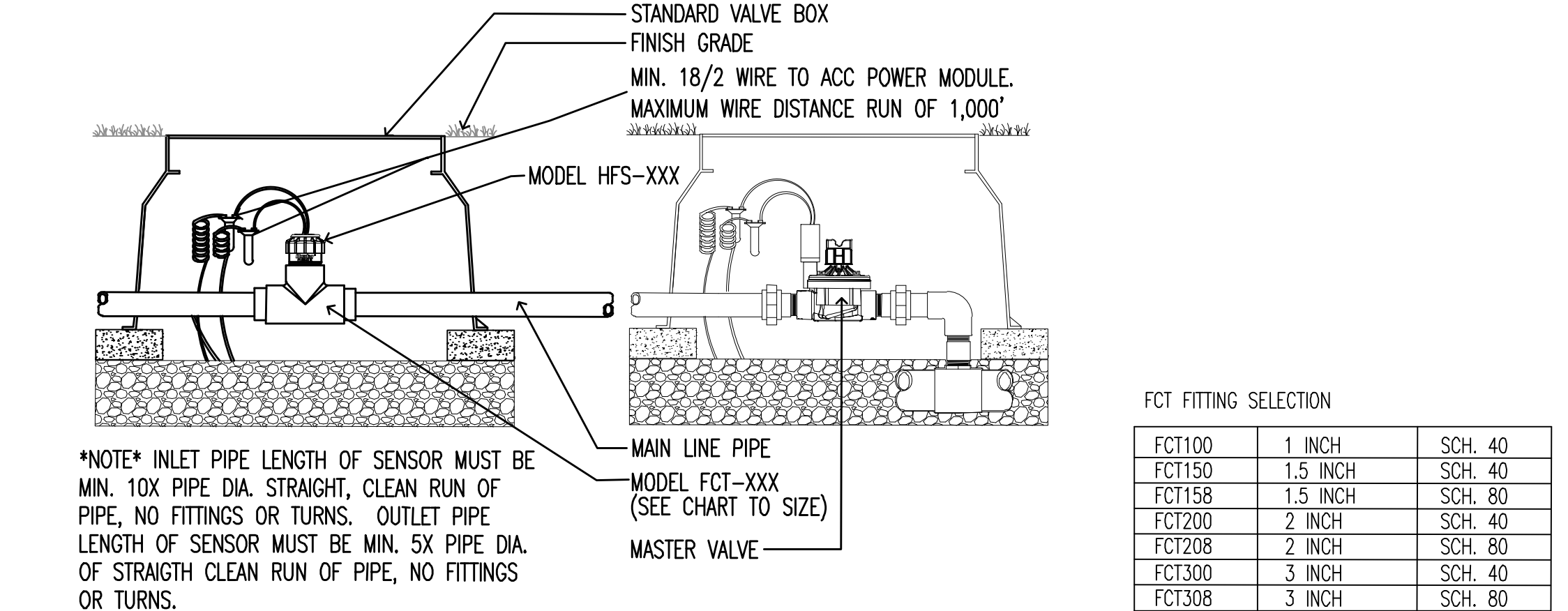
04 MPR40-06-CV MP ROTATOR SPRINKLER
SCALE: 3" = 1'-0" **Hunter** IRRIGATION DETAIL

IRRIGATION NOTES

- CONTRACTOR SHALL CAREFULLY VERIFY A MINIMUM DYNAMIC WATER PRESSURE OF 85psi WITH A FLOW RATE OF 75gpm AT THE WATER METER LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF WATER PRESSURE IS LESS THAN OR SIGNIFICANTLY HIGHER THAN NOTED.
- PLEASE NOTE: IF PRESSURE IS NOT SATISFACTORY THERE MAY BE A NEED FOR A BOOSTER PUMP TO ENHANCE PERFORMANCE OF THE SYSTEM. THE LANDSCAPE CONTRACTOR SHALL REPORT PRESSURE FINDINGS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE SYSTEM FOR DETERMINATION OF ANY BOOSTER NEEDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL UTILITIES DURING THE INSTALLATION. CONTRACTOR SHALL SEEK ASSISTANCE FROM THE LOCAL UTILITIES IN THE LOCATION OF THE UTILITIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS, ADHERE TO ALL MUNICIPAL CODES AND FOLLOW STANDARD AND ACCEPTED LOCAL PRACTICES.
- A DRAIN VALVE SHALL BE INSTALLED AT THE LOWEST PORTION OF EACH ZONE AND AT 100' INTERVALS ON THE MAINLINE FOR WINTERIZATION.
- VALVE WIRING SHALL BE 12 GAUGE SINGLE STRAND COPPER DIRECT BURIAL DECODER SYSTEM IRRIGATION WIRE. PROVIDE ALL SPICES SHALL BE WATERPROOF AND PLACED AT VALVE LOCATIONS ONLY.
- ALL LATERAL LINE PIPING SHALL BE CLASS 200 SDR 21 PVC. ALL MAINLINE PIPING SHALL BE SCHEDULE 40 PVC. ALL FITTINGS SHALL BE SCH. 40 TYPE 1. USE A PVC SOLVENT AND PRIMER AS RECOMMENDED/APPROVED BY THE PIPE MANUFACTURER. ALL MATERIAL AND EQUIPMENT SHALL BE OF DOMESTIC MANUFACTURE PROCEEDING WITH RELATED WORK.
- PLACE ALL PIPING ON THE PERIMETER OF LANDSCAPE AREAS WHERE POSSIBLE. PLACE VALVES IN PLANTING AREAS WHERE POSSIBLE. LIMIT TRENCHING AROUND EXISTING TREES AS MUCH AS POSSIBLE. BE AWARE OF THE LOCATION OF NEW TREES AND SHRUBS AND PLACE PIPING AWAY FROM THE ROOT BALLS.
- THERE SHALL BE A CLOSED LOOP MAINLINE AROUND THE PERIMETER OF THE PROPERTY TO AID IN BALANCE OF FLOWS AND PRESSURE, AND ALLOW FOR FUTURE EXPANSION OF THE SYSTEM.
- PROVIDE FOR WINTERIZATION BY THE BLOW OUT METHOD.
- COORDINATE LOCATION OF THE CONTROL BOX AND RAIN SENSOR WITH THE OWNER.
- PROVIDE 100% COVERAGE FOR ALL LANDSCAPE AREAS AND MAKE FINAL ADJUSTMENTS TO OBTAIN OPTIMAL PERFORMANCE. ALL PLANT BEDS SHALL BE DRIP IRRIGATION PLACED ON SEPARATE ZONES FROM THE TURF AREAS.
- CONTRACTOR TO PROVIDE SERVICE TAPS, LINES AND METER FOR IRRIGATION SYSTEM SERVICE.
- COMPACT BACK FILL IN ALL TRENCHES TO STANDARD SUB GRADE COMPACTION REQUIREMENTS GIVEN IN SITE GRADING SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR SIZING ALL WIRING TO CONTROL VALVES. DIRECT BURIAL QUALITY WIRE WITH SEALED WATERPROOF CONNECTORS REQUIRED.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS.
- WHEN TRENCHING UNDER THE DRIPLINE OF EXISTING TREES EXTREME CARE MUST BE GIVEN TO AVOID ROOT DAMAGE. IF AT ALL POSSIBLE AVOID TRENCHING INSIDE THE DRIPLINE BY GOING AROUND THE TREE RATHER THAN UNDER IT. IF TRENCHING MUST OCCUR UNDER THE DRIPLINE, USE EITHER TUNNELING OR HAND-DIGGING METHODS RATHER THAN A MECHANICAL TRENCHER. MINIMIZE THE IMPACTS OF ROOT SEVERING BY AVOIDING CONSTRUCTION DURING HOT, DRY WEATHER, KEEPING TREES WELL WATERED BEFORE AND AFTER DIGGING AND COVERING ROOTS WITH SOIL OR MULCH AS SOON AS POSSIBLE.



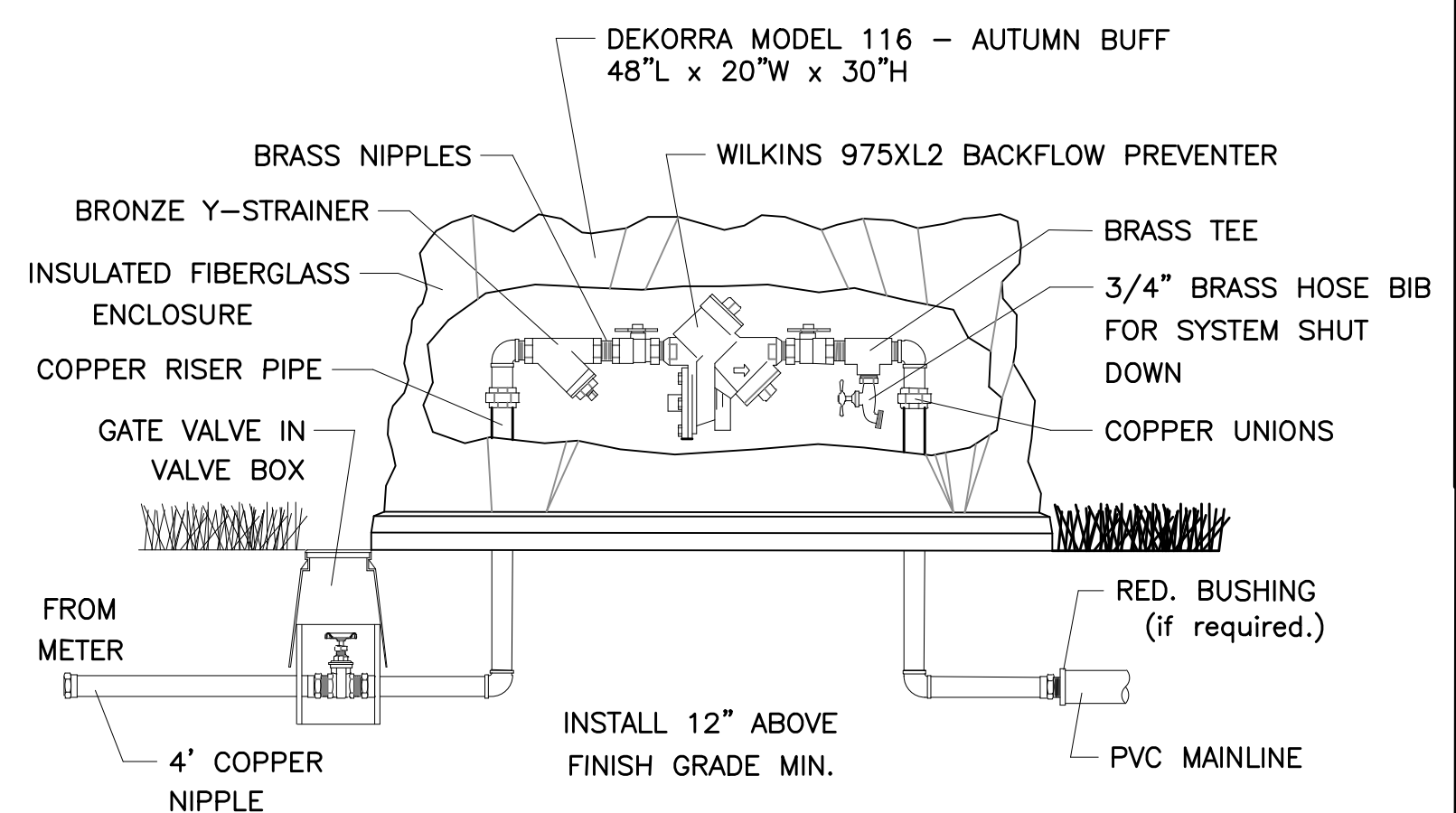
07 SOLAR SYNC SYSTEM
SCALE: 1" = 1'-0" **Hunter** IRRIGATION DETAIL



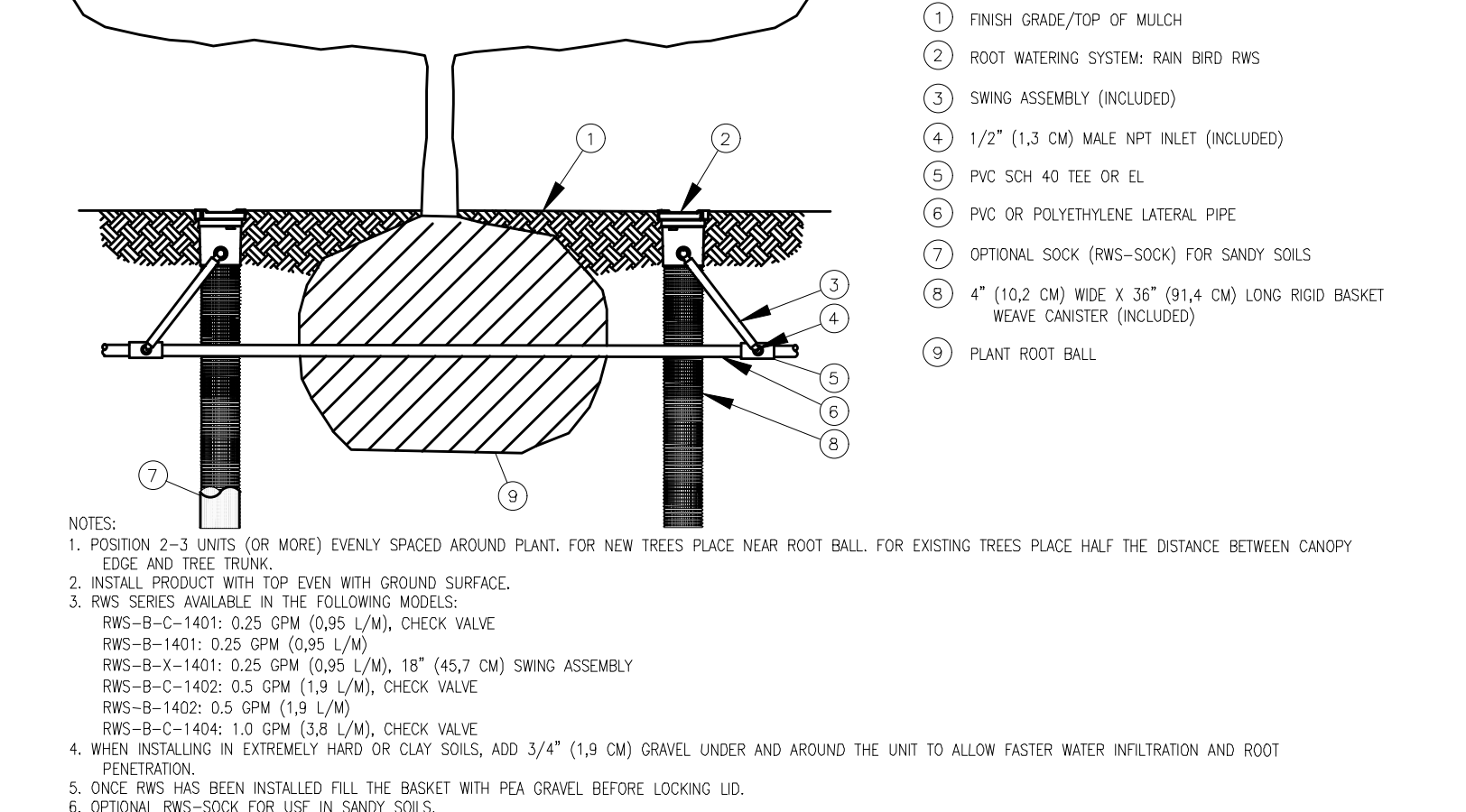
08 HFS FLOW SENSOR
SCALE: 1.5" = 1'-0" **Hunter** IRRIGATION DETAIL

FCT FITTING SELECTION

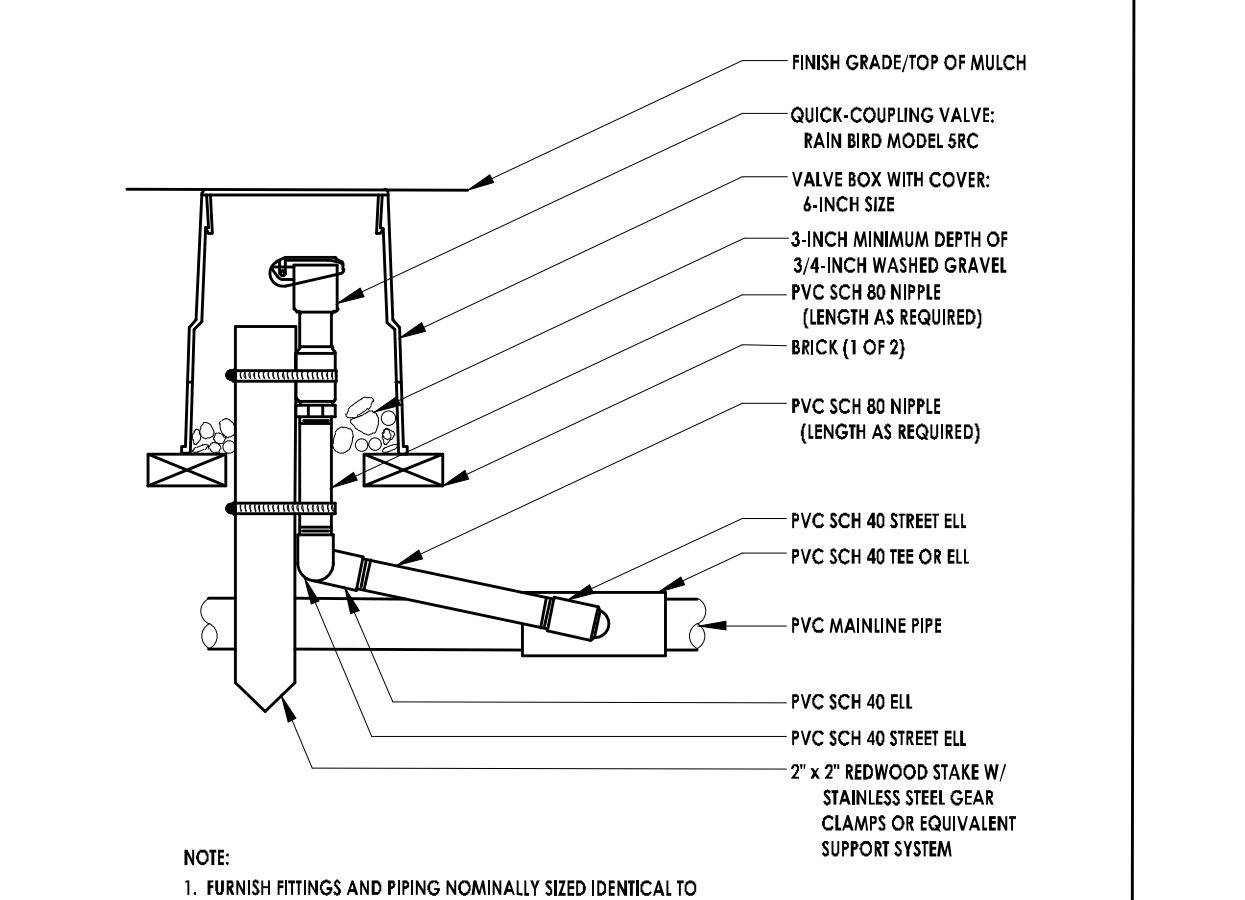
FCT100	1 INCH	SCH. 40
FCT150	1.5 INCH	SCH. 40
FCT158	1.5 INCH	SCH. 80
FCT200	2 INCH	SCH. 40
FCT208	2 INCH	SCH. 80
FCT300	3 INCH	SCH. 40
FCT308	3 INCH	SCH. 80
FCT400	4 INCH	SCH. 40



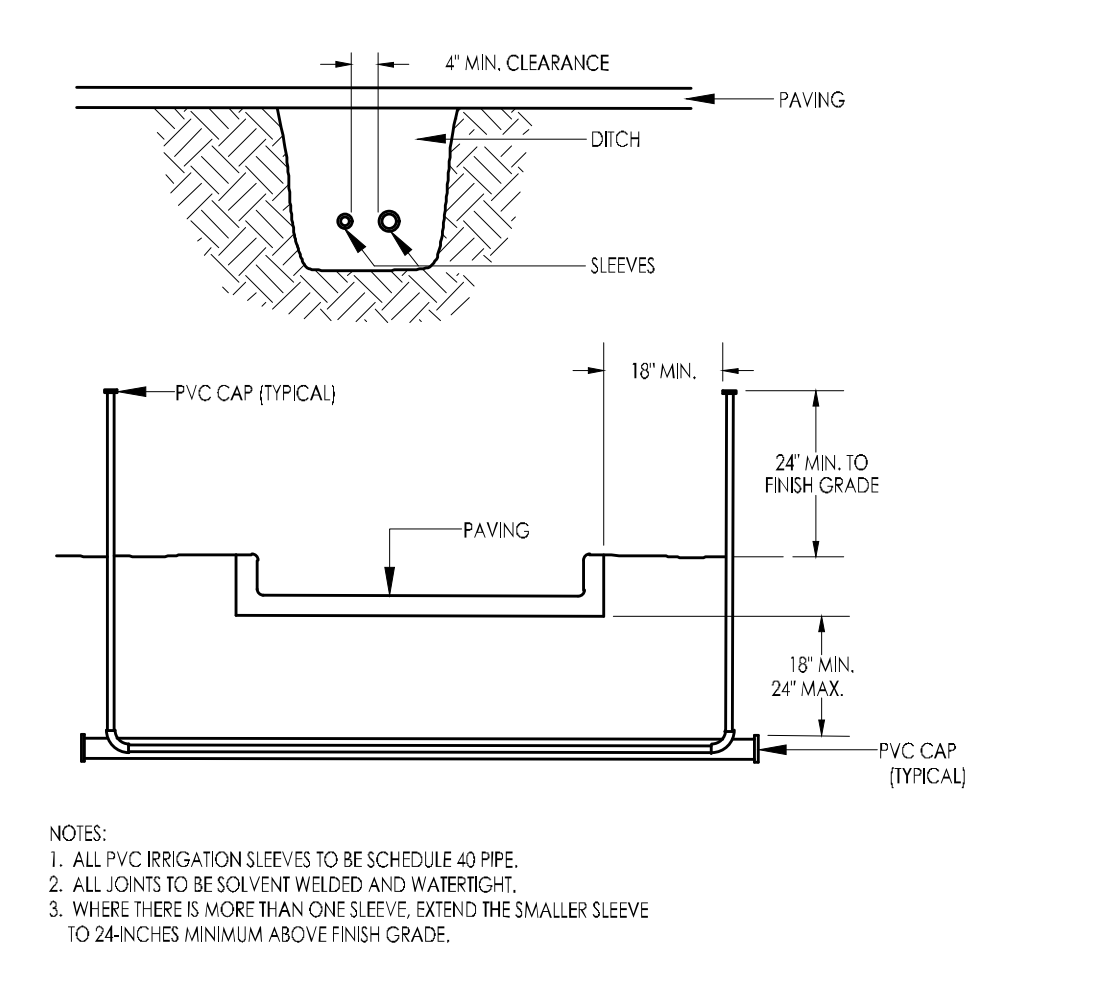
09 WILKINS 975XL2 BACKFLOW PREVENTER
NOT TO SCALE. REDUCED PRESSURE PRINCIPLE ASSEMBLY WITH DEKORRA COVER



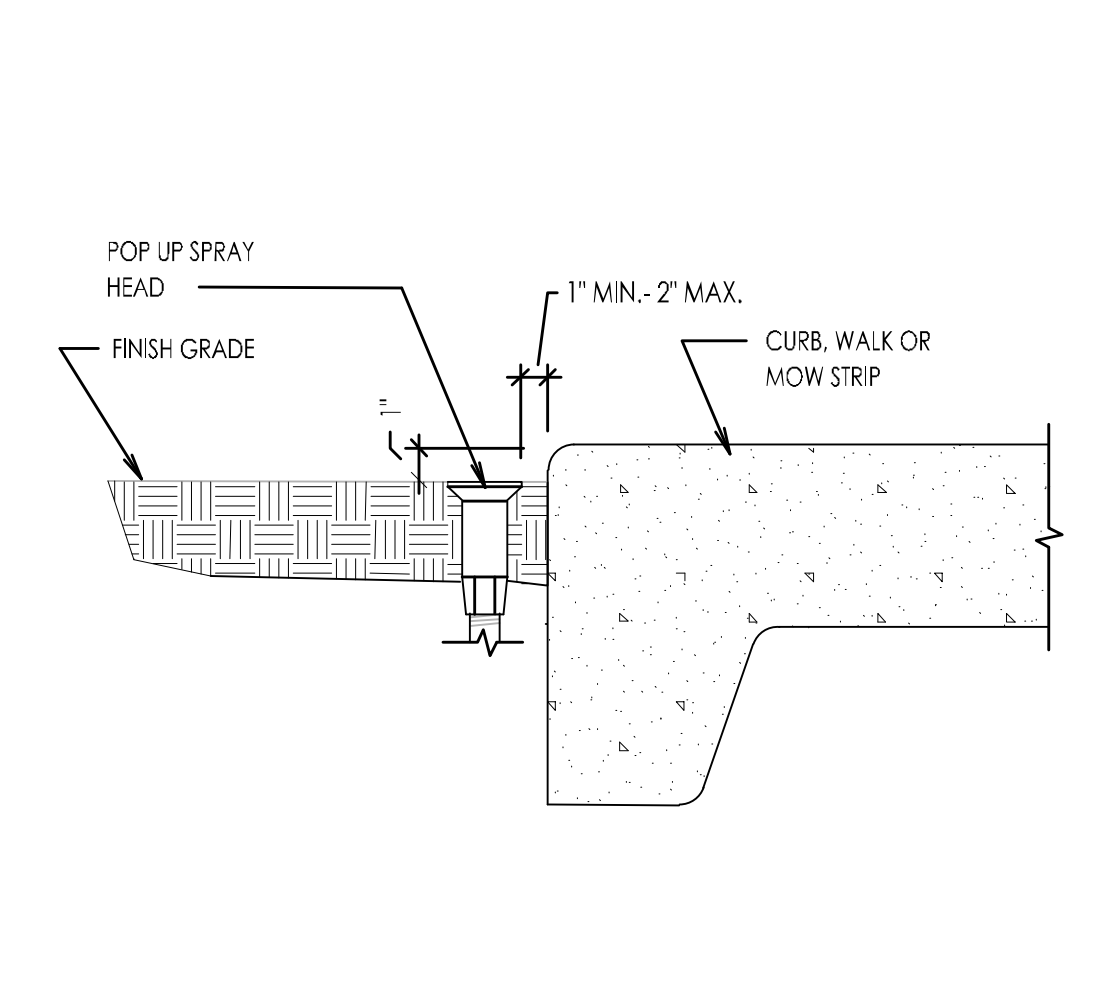
10 ROOT WATERING SYSTEM RWS
INSTALLATION FOR TREES



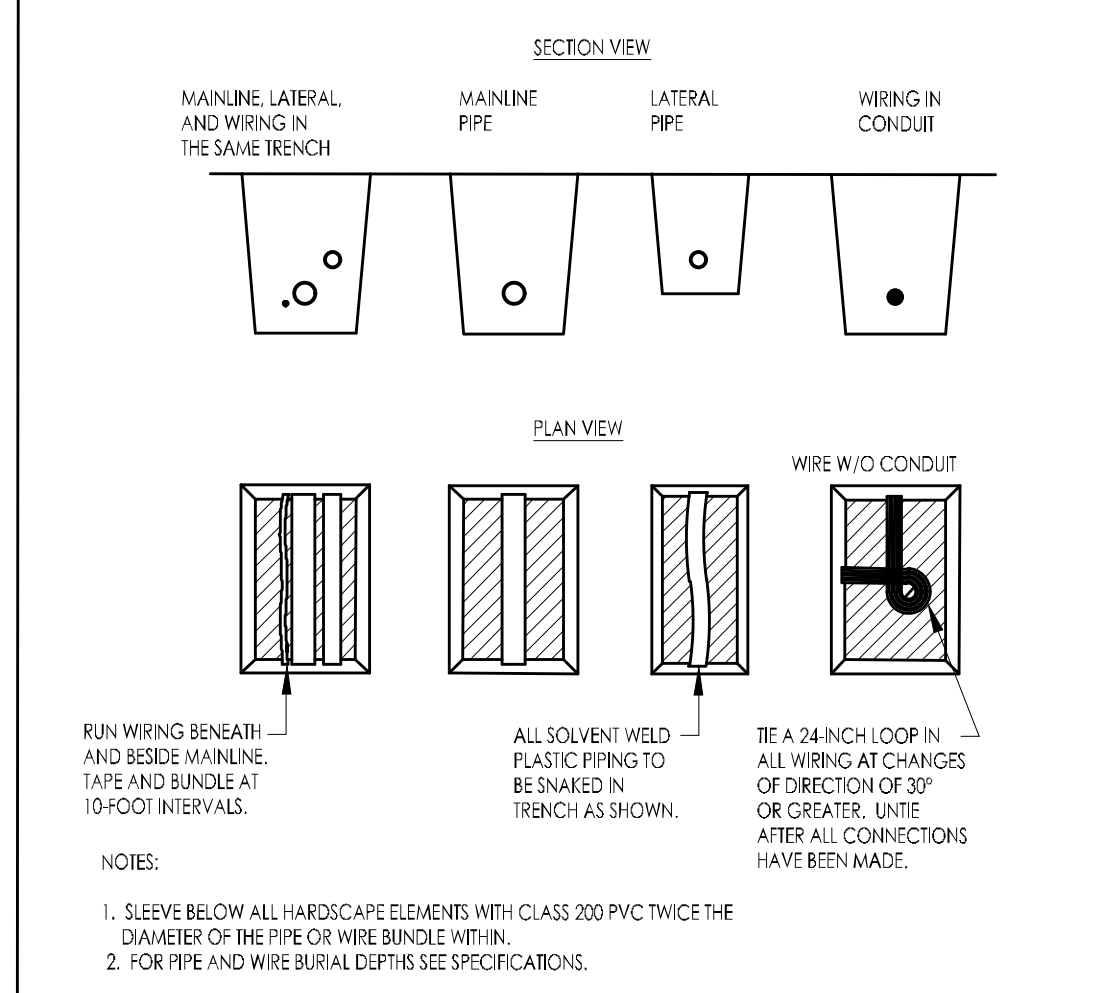
11 QUICK-COUPLING VALVE



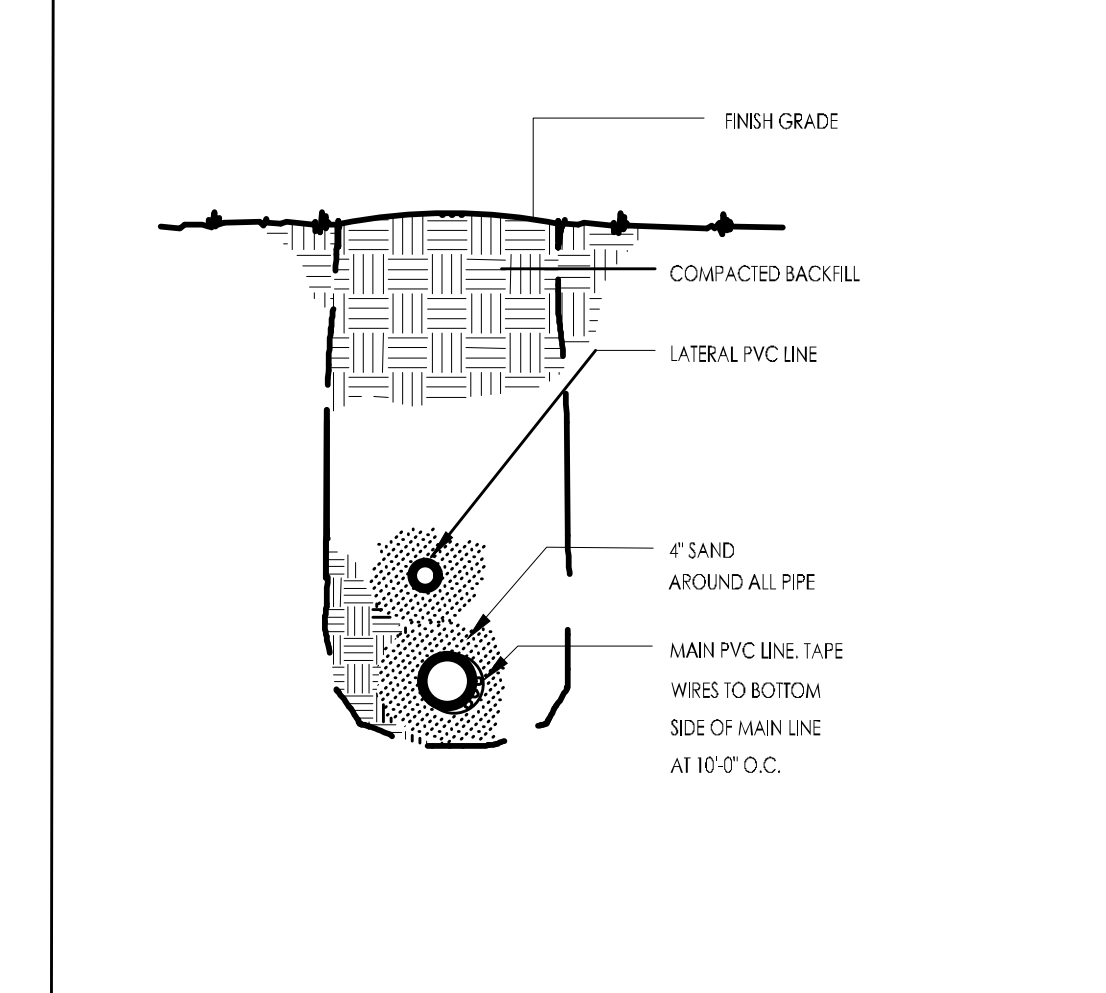
12 SLEEVING



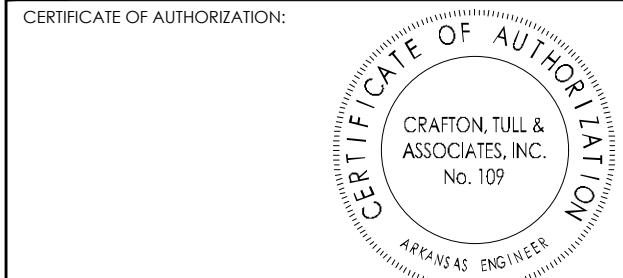
13 SPRAY HEAD NEXT TO CURB OR WALL



14 PIPE & WIRE TRENCHING



15 TRENCH SECTION



CERTIFICATE OF AUTHORIZATION

PANERA BREAD
BRYANT, AR

No. Description Date

Key Plan

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PROJECT NO: 24304000
ISSUE DATE: 01/22/25
CONTACT: C. GARDNER
DATE: 01/22/25

FOR CONSTRUCTION... REVIEW SET...
THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

PRELIMINARY PLANS

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City of Bryant Subdivision Replat Checklist

Subdivision Name Big Oak Addition
Contact Person Aaron Rasburry Phone (501) 860-6893
Mailing Address 308 W. South St, Benton, AR 72015

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision
- ▲ 2. Name and Address of owner of Record
- ▲ 3. Date of Survey
- ▲ 4. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 5. New lot and block numbers
- ▲ 6. Lot area in square feet
- ▲ 7. Lot lines with appropriate dimensions
- ▲ 8. Building setback lines
- ▲ 9. Certificate of Surveying Accuracy
- ▲ 10. Certificate of Owner
- ▲ 11. Certificate of Final Plat Approval
- ▲ 12. Certificate of Recording
- ▲ 13. Show scale (not less than 1" = 100')
- ▲ 14. North Arrow
- ▲ 15. Show Title block
- ▲ 16. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 17. Layout of all proposed sidewalk systems
- ▲ 18. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 19. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 20. Any proposed open space must be shown
- ▲ 21. Show the direction and flow of all water courses entering the tract
- ▲ 22. Show the direction and flow of all water courses leaving the tract

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 23. Letter to Planning Commission stating your request
- ▲ 24. Completed Checklist
- ▲ 25. 20 copies of current lot Plan (folded)
- ▲ 26. 20 copies of Final replat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 27. Check for \$25.00 + \$1.00 per lot for final Subdivision Replat fee

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

Owner Signature

Engineer Signature

Professional Surveyor



VICINITY MAP
(NTS)

Certificate of Surveying Accuracy

I, James Aaron Rasburry, hereby certify that this plat correctly represents a survey and a plan made by me, or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution: _____
 Registered Land Surveyor
 No. 1506, Arkansas

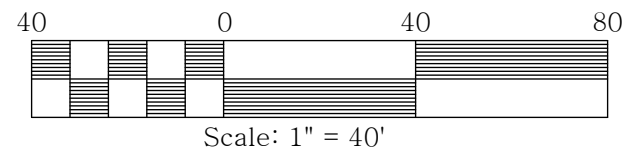
Certificate of Recording

This document, number _____ filed for record
 _____, 20____
 in Plat Book _____, page _____.
 Circuit Clerk _____

For Bill of Assurance see:
 Deed Record Book _____, Page _____.

LEGEND

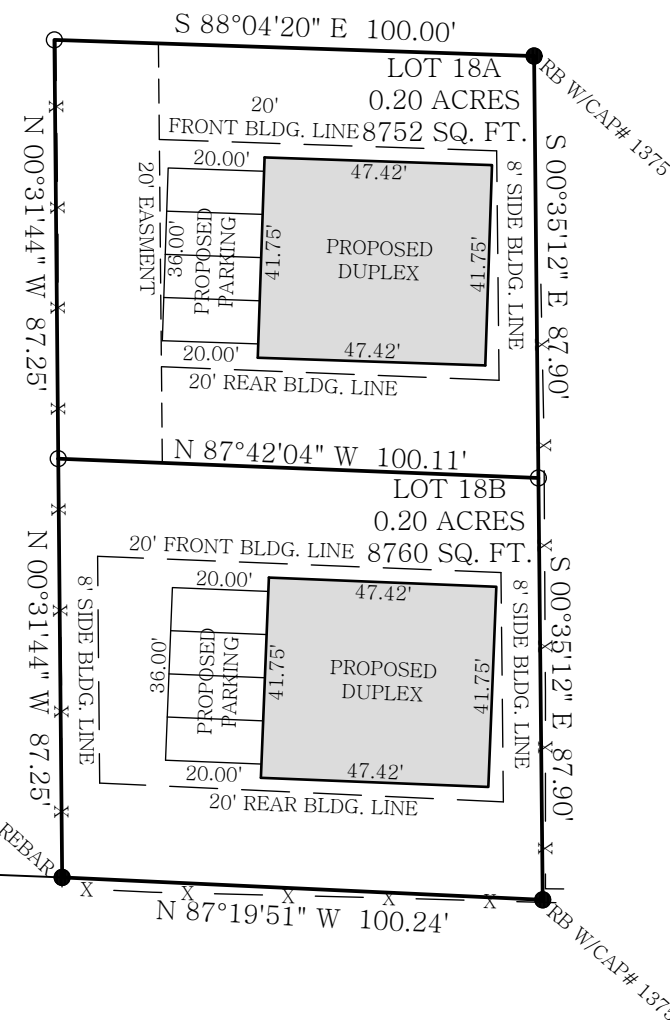
- - FOUND MONUMENT
- - SET #5 REBAR/CAP #1506
- ▲ - COMPUTED POINT
- ⊙ - CONTROLLING CORNER
- × - FENCE



I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for easements, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

LOT 18A, AND LOT 18B,
 BIG OAK ADDITION,
 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS
 BEING A REPLAT OF
 LOT 18,
 BIG OAK ADDITION,
 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

ETHEL DRIVE
 (60' R/W)



Certificate of Final Plat Approval

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 2025. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution Bryant Planning Commission

Certificate of Owner

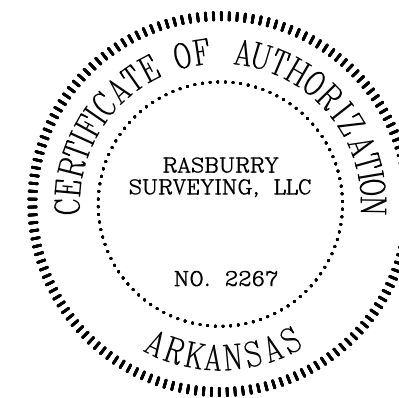
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Name SCE ENTERPRISES, LLC
 Date of Execution Address: 1721 THORNTON FERRY ROAD
 HOT SPRINGS NATIONAL PARK, AR. 71913

Signed _____
 Source of Title DOCUMENT NUMBER 2022-020231

BY GRAPHIC PLOTTING ONLY
 THE DESCRIBED PROPERTY
 DOES NOT LIE WITHIN A FLOOD
 PRONE AREA.

SOURCE:FIRM
 PANEL NO.:05125C0380E
 DATE:JUNE 05, 2020



308 W. South Street
 Benton, AR 72015
 Office/Fax: (501) 860-6893
 E-Mail: aaron@razsurvey.com

LOT 18A, AND LOT 18B,
 BIG OAK ADDITION,
 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS
 BEING A REPLAT OF
 LOT 18,
 BIG OAK ADDITION,
 TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

FILE: C:\DRAWINGS\BIG OAK\LOT 18	FIELDWORK DATE:12-9-24	DRAWN BY: DCR
	PLATE: 1-08-25	CHECKED BY: JAR
	JOB#: 24-375	



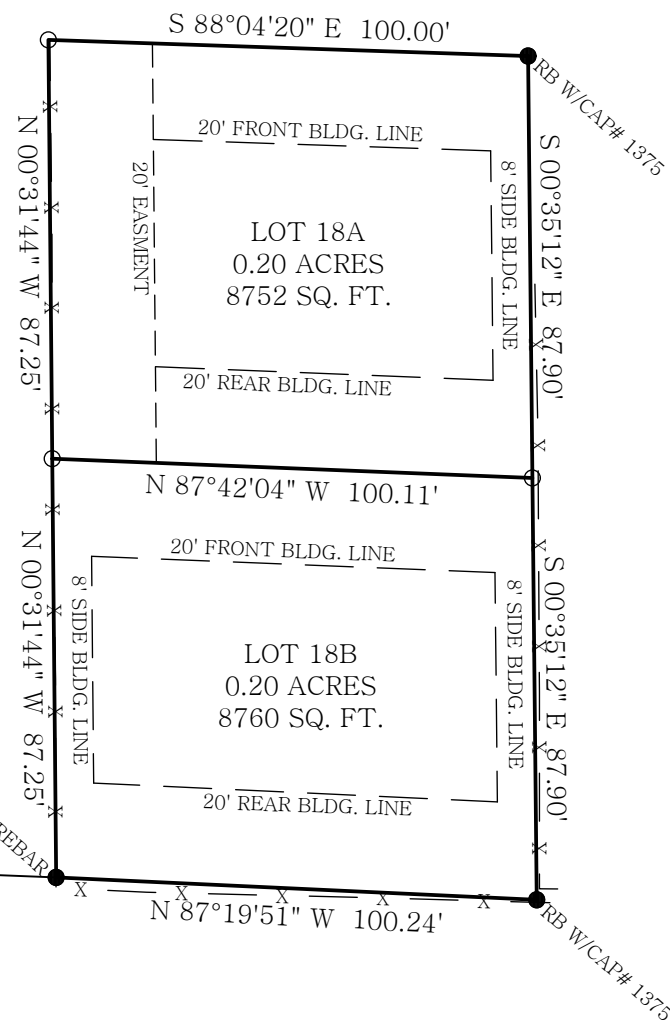
THE BEARING SYSTEM IS BASED ON
 GRID NORTH PER GPS OBSERVATION



VICINITY MAP
(NTS)

LOT 18A, AND LOT 18B,
BIG OAK ADDITION,
TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS
BEING A REPLAT OF
LOT 18,
BIG OAK ADDITION,
TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

ETHEL DRIVE
(60' R/W)



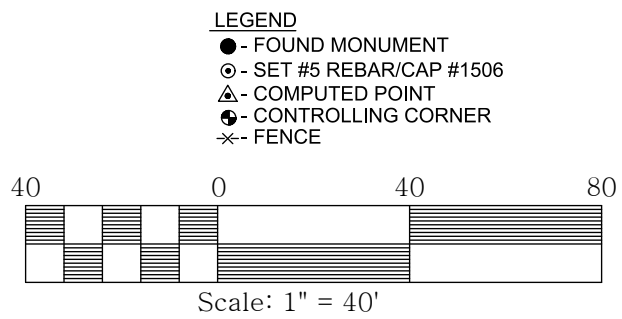
Certificate of Surveying Accuracy

I, James Aaron Rasburry, hereby certify that this plat correctly represents a survey and a plan made by me, or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution: _____
Registered Land Surveyor
No. 1506, Arkansas

Certificate of Recording

This document, number _____ filed for record
_____, 20_____
in Plat Book _____, page _____.
Circuit Clerk _____
For Bill of Assurance see:
Deed Record Book _____, Page _____.



I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for easements, covenants, encumbrances, or any other facts which an accurate title search may disclose was performed.

RASBURRY SURVEYING
308 W. South Street
Benton, AR 72015
Office/Fax: (501) 860-6893
E-Mail: aaron@razsurvey.com

LOT 18A, AND LOT 18B,
BIG OAK ADDITION,
TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS
BEING A REPLAT OF
LOT 18,
BIG OAK ADDITION,
TO THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

FILE: C:\DRAWINGS\BIG OAK\LOT 18	FIELDWORK DATE: 12-9-24	DRAWN BY: DCR
	PLATE: 1-08-25	CHECKED BY: JAR
	JOB#: 24-375	

Certificate of Final Plat Approval
Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 2025. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution Bryant Planning Commission

Certificate of Owner

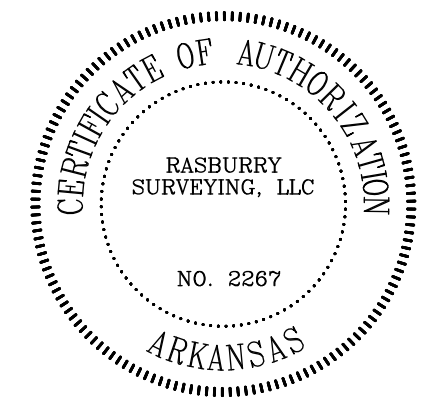
We, the undersigned, owners of the real estate shown and described herein do hereby certify that we laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Name SCE ENTERPRISES, LLC
Date of Execution Address: 1721 THORNTON FERRY ROAD
HOT SPRINGS NATIONAL PARK, AR. 71913

Signed _____
Source of Title DOCUMENT NUMBER 2022-020231

BY GRAPHIC PLOTTING ONLY
THE DESCRIBED PROPERTY
DOES NOT LIE WITHIN A FLOOD
PRONE AREA.

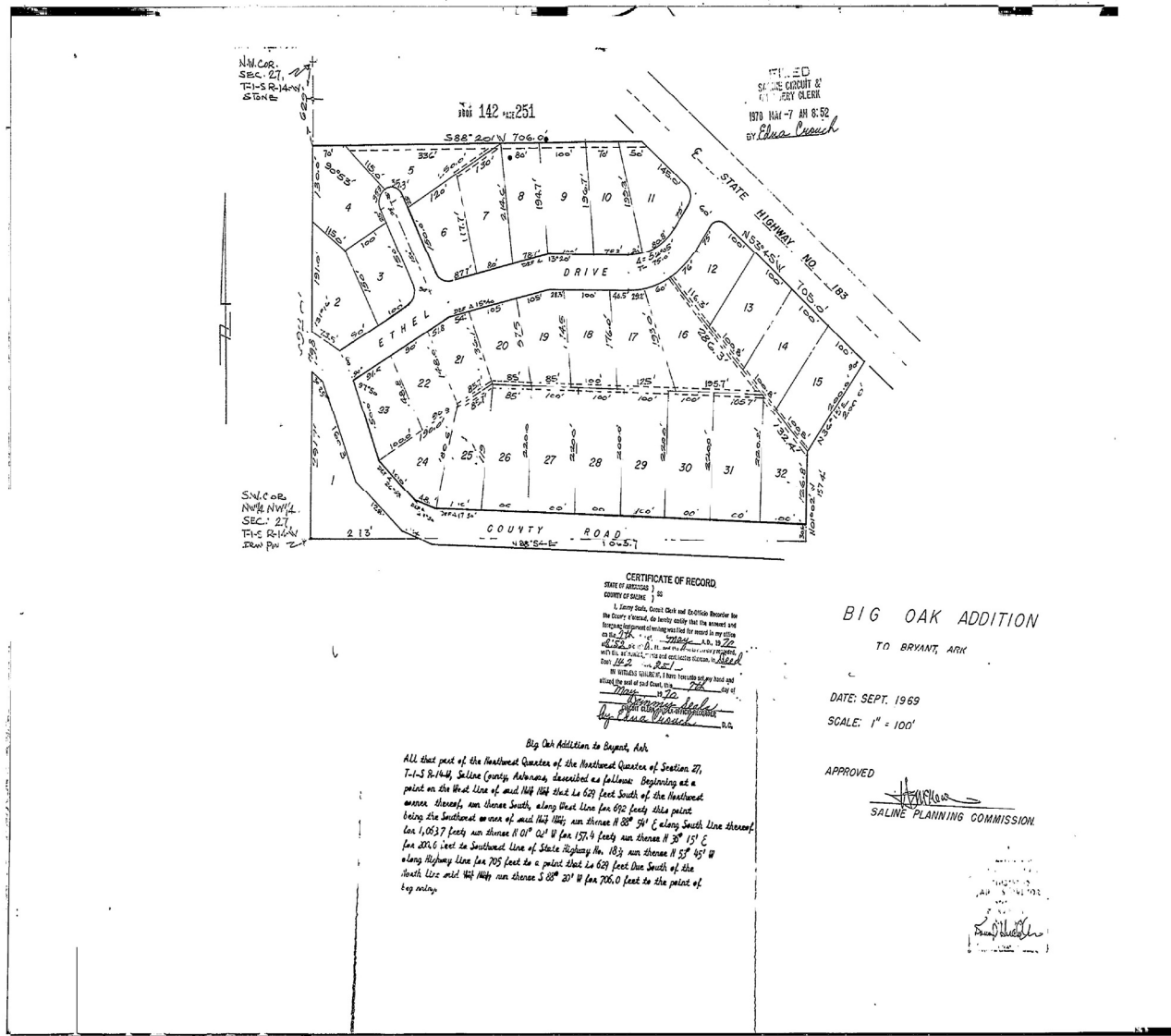
SOURCE:FIRM
PANEL NO.:05125C0380E
DATE:JUNE 05, 2020



THE BEARING SYSTEM IS BASED ON
GRID NORTH PER GPS OBSERVATION

251

See "Plat Index" for Original Plat



CERTIFICATE OF RECORD
 STATE OF ARKANSAS)
 COUNTY OF SALINE)
 I, County Clerk, do hereby certify that the within and foregoing plat of survey was filed for record in my office on the 27th day of September, 1969, at 10:20 A.M. and is a true and correct copy of the original as filed.
 Date: 9-27-69
 My Witness: I have subscribed my hand and affixed the seal of said Court this 27th day of September, 1969.
 My Commission Expires: 12-31-72
 J. P. Vassell, C.L.

BIG OAK ADDITION
 TO BRYANT, ARK

DATE: SEPT. 1969
 SCALE: 1" = 100'

APPROVED
 SALINE PLANNING COMMISSION

Big Oak Addition to Bryant, Ark
 All that part of the Northeast Quarter of the Northeast Quarter of Section 27, T-1-S-R-144, Saline County, Arkansas, described as follows: Beginning at a point on the West Line of said 144 1/4 that is 629 feet South of the Northeast corner thereof, run thence South, along West Line for 692 feet; thence East, being the Southeast corner of said 144 1/4; run thence N 88° 54' E along South Line thereof for 1,053.7 feet; run thence N 01° 02' W for 157.4 feet; run thence N 30° 15' E for 207.6 feet to Southwest Line of State Highway No. 183; run thence N 58° 45' W along Highway Line for 705 feet to a point that is 629 feet Due South of the North Line of said 144 1/4; run thence S 88° 20' W for 706.0 feet to the point of beginning.

51127003

Deed Record
 Volume # 142
 Page 251



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 01/14/25

Sign Co. or Sign Owner

Name ARKANSAS SIGN & NEON
 Address 8525 DISTRIBUTION DR
 City, State, Zip LITTLE ROCK AR 72209
 Phone 501.562.3942
 Email Address lora@arkansassign.com

Property Owner

Name SHERWIN WILLIAMS
 Address 4000 HWY 5 N. STE 1
 City, State, Zip BRYANT AR
 Phone _____
 Email Address _____

GENERAL INFORMATION

Name of Business SHERWIN WILLIAMS
 Address/Location of sign 4000 HWY 5N STE 1
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

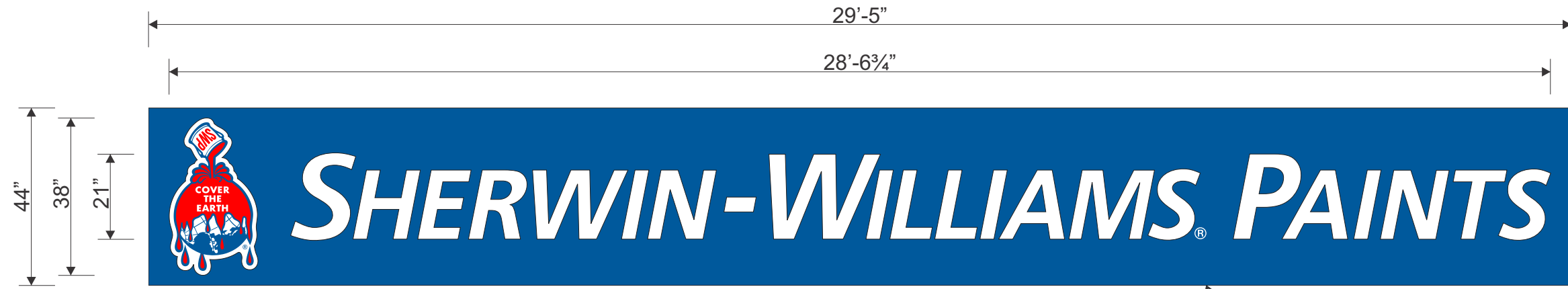
READ CAREFULLY BEFORE SIGNING

I, Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL	38" X 28'6"	107.9	17'6"	13'2"	
B	NOTES - WILL BE REMOVING EXISTING LETTERS AND REPLACING WITH NEW					
C						
E						
F	\$9000.00 COSTS					
G						



HP WHITE VINYL "®" APPLIED TO BACKGROUND PANEL

A PLEX FACE CHANNEL LETTERS ON BACKGROUND WIREWAY
(1) SET REQUIRED

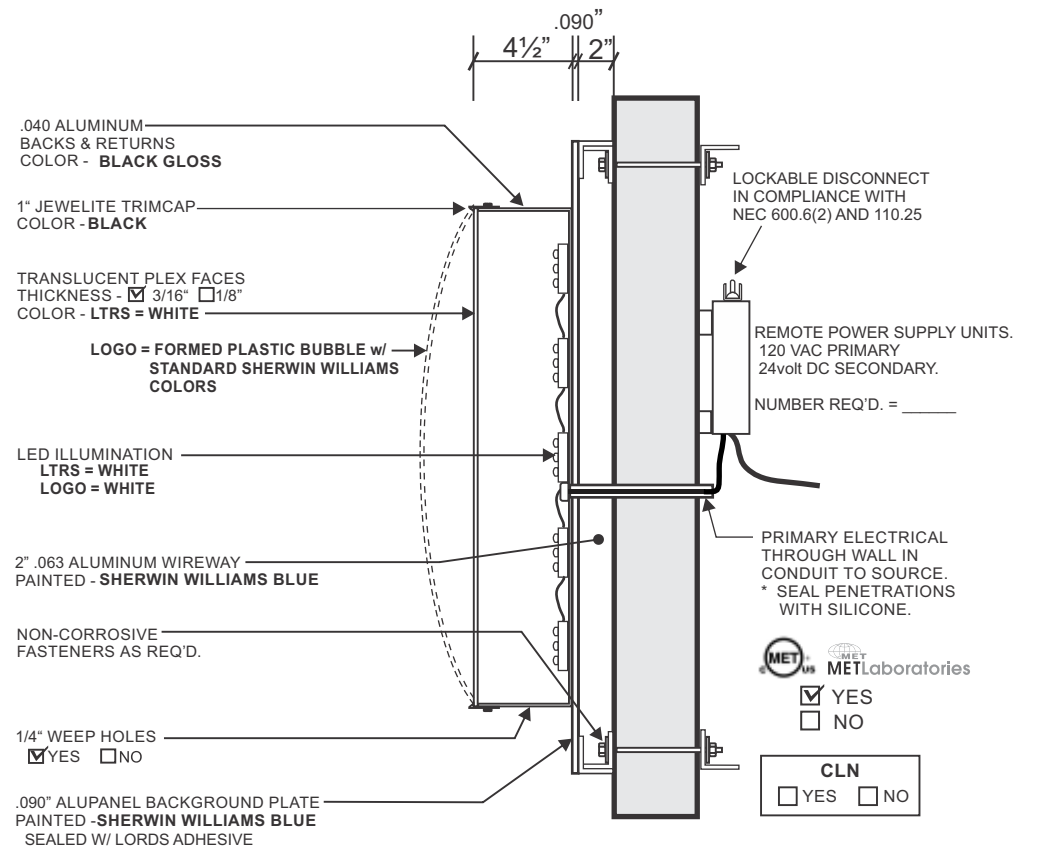
107.9 Sq Ft
Scale: 3/8" = 1'-0"

INSTALLATION REQUIREMENTS for all signs unless specified otherwise on individual sign specifications. Variation from this criteria without written approval from Accent Graphics is strictly forbidden.
* All freestanding signs are to be engineered for local conditions by a licensed and registered engineer.

SIGN SIZE	MOUNTING SURFACE							
	SQUARE FOOTAGE	WOOD	SHEET METAL	BRICK	CONCRETE	CONCRETE BLOCK	DRYVIT / EIFIS	STUCCO over wire mesh
UNDER 10 SQ. FT.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of (4) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of (4) 3/8" bolts are required.	3/8" TOGGLE A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.
10 SQ. FT. TO 50 SQ. FT.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of (4) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of (4) 3/8" bolts are required.	3/8" TOGGLE A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2' angle iron backer A minimum of (4) 3/8" bolts are required.
50 SQ. FT. TO 100 SQ. FT.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.	1/2" LEAD ANCHORS A minimum of (10) 1/2" bolts are required.	1/2" LEAD ANCHORS A minimum of (10) 1/2" bolts are required.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3' angle iron backer A minimum of (10) 3/8" bolts are required.
100 SQ. FT. TO 200 SQ. FT.	1/2" THRU BOLTS w/ 3' angle iron backer A minimum of (1) 1/2" bolt per each 15 sq ft is required.	1/2" THRU BOLTS w/ 3' angle iron backer A minimum of (1) 1/2" bolt per each 15 sq ft is required.	1/2" WEDGE ANCHOR A minimum of (1) 1/2" bolt per each 15 sq ft is required.	1/2" WEDGE ANCHOR A minimum of (1) 1/2" bolt per each 15 sq ft is required.	1/2" THRU BOLTS w/ 3' angle iron backer A minimum of (1) 1/2" bolt per each 15 sq ft is required.	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING
OVER 200 SQ. FT.	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	1/2" THRU BOLTS w/ at least 3' angle iron backer A minimum of (1) 1/2" bolt per each 15 sq ft is required.	1/2" THRU BOLTS w/ at least 3' angle iron backer A minimum of (1) 1/2" bolt per each 15 sq ft is required.	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING

Backers = 24" or 36" long steel angle iron (1/2" x 1 1/2" min.)

NOTE:
ACCESS REQUIRED FOR ELECTRICAL & INSTALLATION



SECTION DETAIL - PLEX FACE CHAN LTRS on BACKGROUND WIREWAY

Scale: NTS

DATE	REVISIONS	NAME	AUTHORIZATION
-2022	X	X	KD

CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE

ALL CHANGES MUST BE INITIALED BY CLIENT AND ACCOUNT EXECUTIVE ON FINAL APPROVED PRINT.

This drawing is the exclusive property of Accent Graphics, Inc. and is the result of the original work of its employees. The plans are provided to your company for the sole purpose of considering the purchase of a sign manufactured by Accent Graphics, Inc. based on these plans OR the purchase of the plans and design concepts contained therein for manufacture elsewhere. Distribution or exhibition of the plans to anyone outside of your company or the use of the plans by others to manufacture or design a similar sign as displayed in the plans is expressly forbidden. In the event that such exhibition occurs, Accent Graphics will expect payment of a minimum \$2000 design fee in recompense for the time and effort entailed to produce the plans.

CLIENT SHERWIN WILLIAMS STORE # _____
 INSTALLATION ADDRESS 4000 Hwy 5 N #1, Bryant, AR 72022
 DESIGNER KD ACCOUNT EXECUTIVE DM
 DATE 12-16-2024 SHEET 1 OF 3 DESIGN # 241366-01
 Gerber FILE = _____
 Corel FILE = _____

accent signs graphics
 COMPLETE SIGN SERVICE & FABRICATION
 523 E. ROCK ISLAND TOLL FREE (800) 810-3044
 GRAND PRAIRIE, TX 75050 METRO (972) 399-0333
 EMAIL METRO (972) 986-4456
 WEBSITE www.accentgraphicsinc.com FAX (800) 810-3045



NORTH ELEVATION - STOREFRONT

Scale: 1/8" = 1'-0"

EXISTING CONDITIONS



2 Sq. ft. per linear ft. of storefront width

DATE	REVISIONS	NAME
-2022	X	X KD

AUTHORIZATION	
CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE
ALL CHANGES MUST BE INITIALED BY CLIENT AND ACCOUNT EXECUTIVE ON FINAL APPROVED PRINT.	

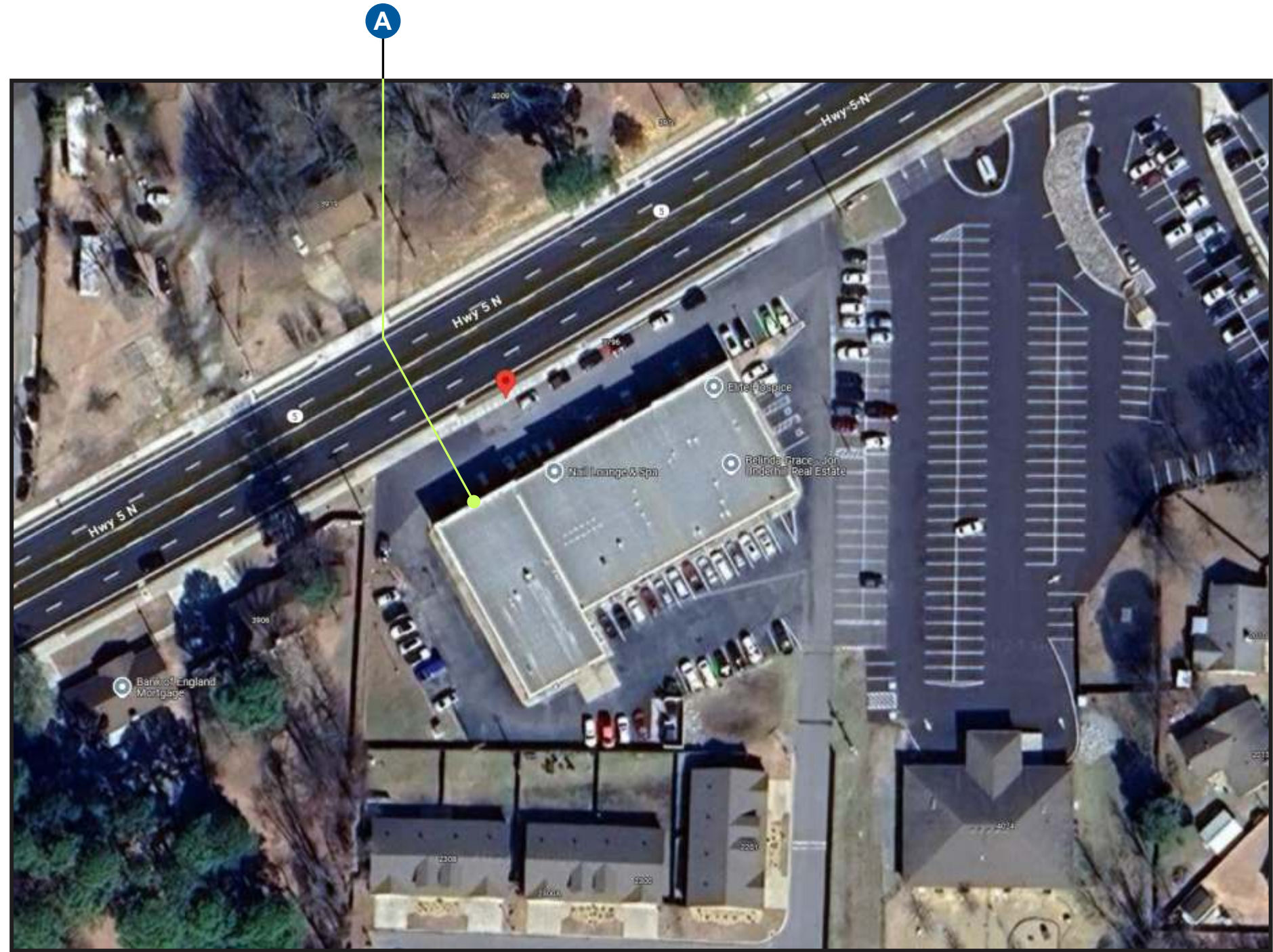
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WALL & GROUND SIGN SCHEDULE

ID	DESCRIPTION	QTY	SQ FT
A	CH. LTRS. ON BACKER	1	107.9




DATE	REVISIONS	NAME
-2022	X	X KD

AUTHORIZATION	
CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE
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 INSTALLATION ADDRESS _____
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 DESIGNER KD ACCOUNT EXECUTIVE DM
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