



# **Bryant Development and Review Committee Meeting**

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** February 27, 2025 - **Time:** 9:00 AM

## **Call to Order**

## **Old Business**

## **New Business**

### **1. Dunlap Commercial Plaza - Dell Drive - Site Plan and Plat**

*Hope Consulting - Requesting Recommendation for Approval of Site Plan and Subdivision Plat*

- [0942-PLT-01.pdf](#)
- [0942-WVR-01.pdf](#)
- [0942-LTR-01.pdf](#)
- [0942-PLN-01.pdf](#)

## **Staff Approved**

### **2. Little Caesars - 1315 N Reynolds Road - Sign Permit**

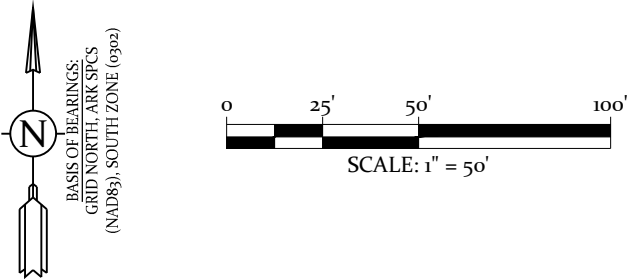
*Arkansas Sign and Neon - Requesting Sign Permit Approval - STAFF APPROVED*

- [93401-SGNAPP-01.pdf](#)

## **Permit Report**

## **Adjournments**





**CERTIFICATE OF OWNER:**

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution: \_\_\_\_\_ Name: \_\_\_\_\_

Source of Title: SALINE COUNTY DEED #2018-024633

**CERTIFICATE OF FINAL SURVEYING ACCURACY:**

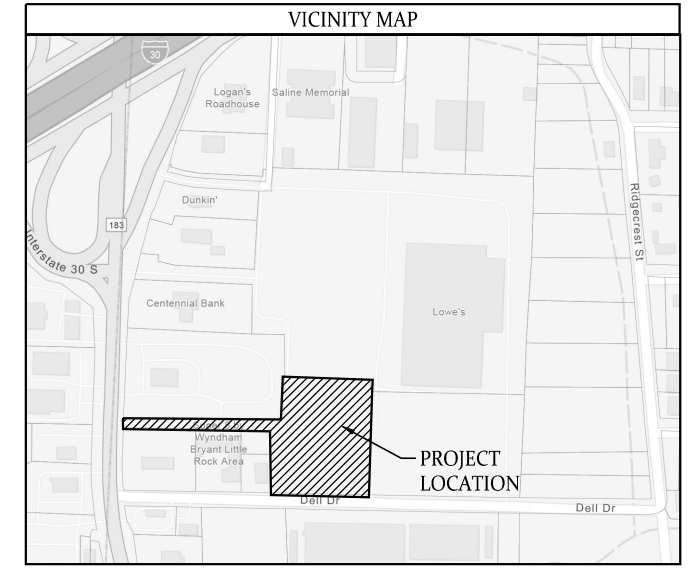
I, William Corbitt R. Shoffner, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides.

1/7/2025  
Date of Execution  
William Corbitt R. Shoffner  
Registered Professional  
Land Surveyor No. 1664 Arkansas

**CERTIFICATE OF FINAL PLAT APPROVAL:**

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held \_\_\_\_\_, 20\_\_\_\_. All Documents are hereby accepted, and this certificate is hereby executed under the authority of said rules and regulations.

Date of Execution  
Lance Penfield  
Bryant Planning Commission Chairperson



**PROPERTY DESCRIPTION OF RECORD**  
SALINE COUNTY DEED 2018-024633

ALL THAT PART OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT AN ARKANSAS GEOLOGICAL MONUMENT MARKING THE SOUTHWEST CORNER OF SAID SECTION 22; THENCE NORTH 02 DEGREES 32 MINUTES 00 SECONDS EAST, ALONG THE WEST LINE THEREOF, 501.52 FEET; TO A POINT; THENCE SOUTH 88 DEGREES 33 MINUTES 53 SECONDS EAST, CROSSING REYNOLDS ROAD (ALSO KNOWN AS ARKANSAS STATE HIGHWAY NUMBER 183) FOR 62.85 FEET TO THE EAST RIGHT OF WAY LINE OF REYNOLDS ROAD AND THE SOUTHWEST CORNER OF DELL DRIVE; THENCE NORTH 02 DEGREES 31 MINUTES 30 SECONDS EAST, ALONG SAID REYNOLDS ROAD R-O-W, 26.58 FEET TO THE NORTHWEST CORNER OF DELL DRIVE; THENCE SOUTH 88 DEGREES 32 MINUTES 07 SECONDS EAST, ALONG DELL DRIVE R-O-W, 460.41 FEET TO A TWO INCH PIPE; THENCE NORTH 00 DEGREES 46 MINUTES 50 SECONDS WEST, 4.42 FEET TO A 5/8 INCH REBAR AND THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 46 MINUTES 50 SECONDS WEST, 193.64 FEET TO A 5/8 INCH REBAR; THENCE NORTH 88 DEGREES 33 MINUTES 43 SECONDS WEST, 459.80 FEET TO A 5/8 INCH REBAR IN THE EAST RIGHT OF WAY LINE OF ARKANSAS STATE HIGHWAY NO. 183; THENCE NORTH 02 DEGREES 34 MINUTES 12 SECONDS EAST, ALONG SAID HIGHWAY R-O-W, 60.18 FEET TO A 5/8 INCH REBAR; THENCE SOUTH 88 DEGREES 34 MINUTES 10 SECONDS EAST, LEAVING SAID HIGHWAY, 502.98 FEET TO A 5/8 INCH REBAR; THENCE NORTH 01 DEGREES 38 MINUTES 53 SECONDS EAST, 118.02 FEET TO A 5/8 INCH REBAR AND THE SOUTHWEST CORNER OF LAND OF LOWES; THENCE SOUTH 87 DEGREES 05 MINUTES 10 SECONDS EAST, ALONG A LINE COMMON WITH THE LAND OF LOWES, 305.54 FEET TO A 5/8 INCH REBAR; THENCE SOUTH 02 DEGREES 54 MINUTES 50 SECONDS WEST, ALONG A LINE COMMON WITH THE LAND OF LOWES, 8.84 FEET TO A 5/8 INCH REBAR; THENCE SOUTH 87 DEGREES 05 MINUTES 10 SECONDS EAST, ALONG A LINE COMMON WITH THE LAND OF LOWES, 477.06 FEET TO A 5/8 INCH REBAR AND THE SOUTHEAST CORNER OF SAID LAND OF LOWES; THENCE SOUTH 02 DEGREES 34 MINUTES 53 SECONDS WEST, ALONG A LINE COMMON WITH THE WEST LINE OF PIKEWOOD SUBDIVISION NUMBER 2, AS FILED IN DEED BOOK 109 AT PAGE 314 FOR 342.19 FEET TO A 5/8 INCH REBAR, SAID REBAR IS LOCATED NORTH 02 DEGREES 34 MINUTES 48 SECONDS EAST, 4.12 FEET FROM A 1/2 INCH REBAR WITH A BEN KITTLER, JR. CAP, MARKING THE NORTHEAST CORNER OF RAYMOND EVANS LAND AS SHOWN IN DEED BOOK 189, PAGE 22; THENCE NORTH 88 DEGREES 36 MINUTES 25 SECONDS WEST, ALONG THE NORTH RIGHT OF WAY LINE OF DELL DRIVE, 812.58 FEET TO THE POINT OF BEGINNING.

**PROPERTY DESCRIPTIONS FROM SURVEY - LOT 1**

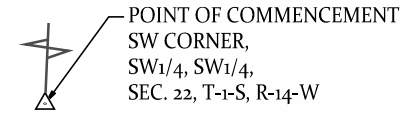
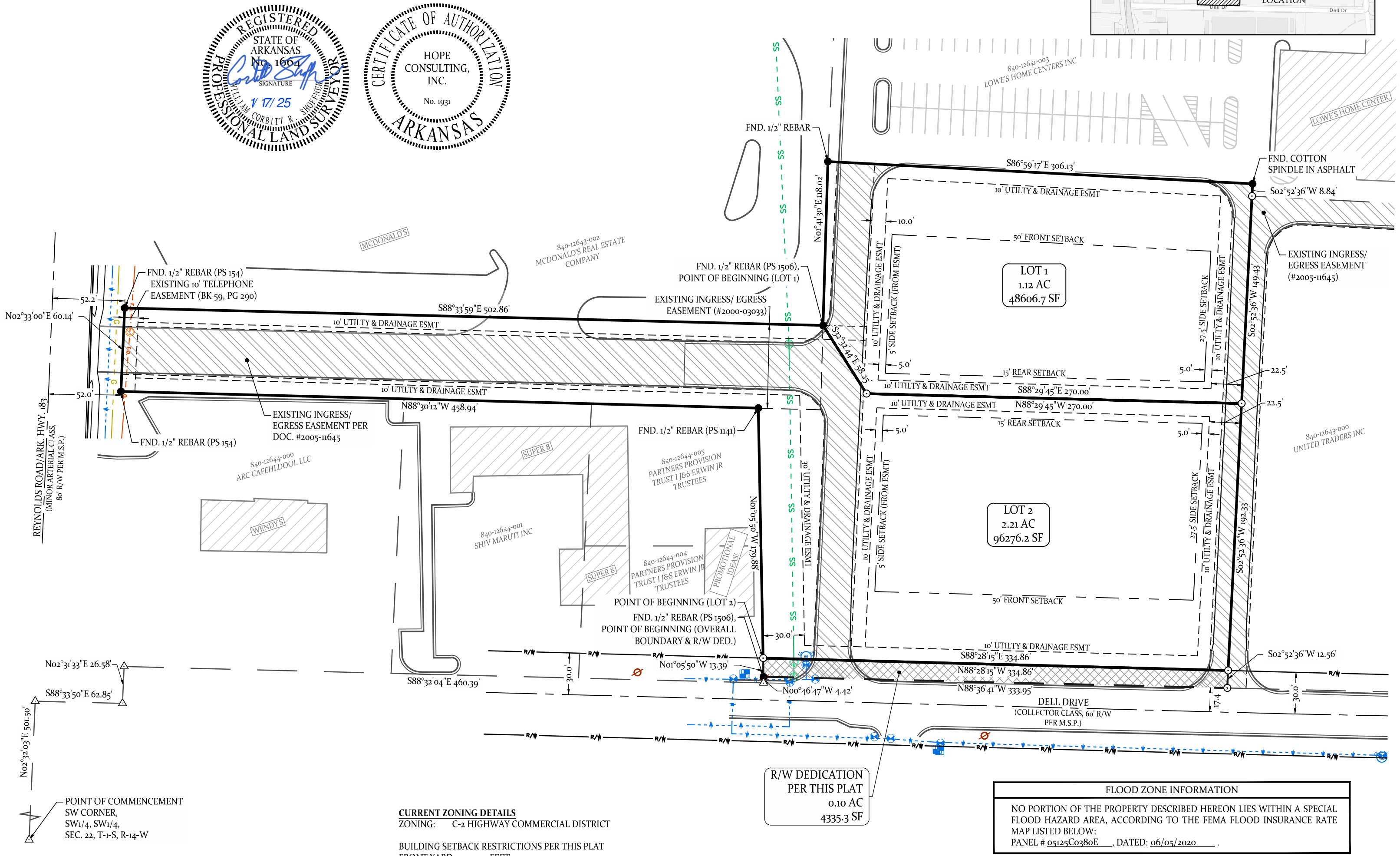
A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF SAID SW1/4, SW1/4 OF SECTION 22; THENCE NORTH 02°32'03" EAST A DISTANCE OF 501.50 FEET TO A POINT; THENCE SOUTH 88°33'50" EAST, CROSSING REYNOLDS ROAD (ALSO KNOWN AS ARKANSAS STATE HIGHWAY NUMBER 183) A DISTANCE OF 62.85 FEET TO A POINT ON THE FORMER EAST RIGHT-OF-WAY OF SAID REYNOLDS ROAD; THENCE NORTH 02°31'33" EAST A DISTANCE OF 26.58 FEET TO A POINT; THENCE SOUTH 88°32'04" EAST A DISTANCE OF 460.39 FEET TO A POINT; THENCE NORTH 00°46'47" WEST A DISTANCE OF 4.42 FEET TO A FND. 5/8" REBAR & CAP (PS 1506); THENCE NORTH 01°05'50" WEST A DISTANCE OF 13.39 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON THE CURRENT NORTHERLY RIGHT-OF-WAY OF DELL DRIVE (SAID R/W BEING 30 FEET, MORE OR LESS, TO THE CENTERLINE THEREOF); THENCE NORTH 01°05'50" WEST A DISTANCE OF 179.88 FEET TO A FND. 1/2" REBAR & CAP (PS 1141); THENCE NORTH 88°30'12" WEST A DISTANCE OF 458.94 FEET TO A FND. 1/2" REBAR & CAP (PS 164); THENCE NORTH 02°33'00" EAST A DISTANCE OF 60.14 FEET TO A FND. 1/2" REBAR & CAP (PS 164); THENCE SOUTH 88°33'59" EAST A DISTANCE OF 502.86 FEET TO A FND. 5/8" REBAR & CAP (PS 1506) AND THE POINT OF BEGINNING; THENCE NORTH 01°41'30" EAST A DISTANCE OF 118.02 FEET TO A 1/2" REBAR; THENCE SOUTH 86°59'17" EAST A DISTANCE OF 306.13 FEET TO A FND. COTTON SPINDLE IN ASPHALT; THENCE SOUTH 02°52'36" WEST A DISTANCE OF 8.84 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT; THENCE CONTINUE SOUTH 02°52'36" WEST A DISTANCE OF 149.43 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT; THENCE NORTH 88°29'45" WEST A DISTANCE OF 270.00 FEET TO A POINT; THENCE NORTH 32°32'44" WEST A DISTANCE OF 58.25 FEET TO THE POINT OF BEGINNING; CONTAINING 48,606.71 SQUARE FEET, OR 1.12 ACRES, MORE OR LESS.

**PROPERTY DESCRIPTION FROM SURVEY - LOT 2**

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF SAID SW1/4, SW1/4 OF SECTION 22; THENCE NORTH 02°32'03" EAST A DISTANCE OF 501.50 FEET TO A POINT; THENCE SOUTH 88°33'50" EAST, CROSSING REYNOLDS ROAD (ALSO KNOWN AS ARKANSAS STATE HIGHWAY NUMBER 183) A DISTANCE OF 62.85 FEET TO A POINT ON THE FORMER EAST RIGHT-OF-WAY OF SAID REYNOLDS ROAD; THENCE NORTH 02°31'33" EAST A DISTANCE OF 26.58 FEET TO A POINT; THENCE SOUTH 88°32'04" EAST A DISTANCE OF 460.39 FEET TO A POINT; THENCE NORTH 00°46'47" WEST A DISTANCE OF 4.42 FEET TO A FND. 5/8" REBAR & CAP (PS 1506); THENCE NORTH 01°05'50" WEST A DISTANCE OF 13.39 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON THE CURRENT NORTHERLY RIGHT-OF-WAY OF DELL DRIVE (SAID R/W BEING 30 FEET, MORE OR LESS, TO THE CENTERLINE THEREOF) AND THE POINT OF BEGINNING; THENCE NORTH 01°05'50" WEST A DISTANCE OF 179.88 FEET TO A FND. 1/2" REBAR & CAP (PS 1141); THENCE NORTH 88°30'12" WEST A DISTANCE OF 458.94 FEET TO A FND. 1/2" REBAR & CAP (PS 164); THENCE NORTH 02°33'00" EAST A DISTANCE OF 60.14 FEET TO A FND. 1/2" REBAR & CAP (PS 164); THENCE SOUTH 88°33'59" EAST A DISTANCE OF 502.86 FEET TO A FND. 5/8" REBAR & CAP (PS 1506); THENCE SOUTH 32°32'44" EAST A DISTANCE OF 58.25 FEET TO A 1/2" REBAR & CAP (PS 1664); THENCE SOUTH 88°29'45" EAST A DISTANCE OF 270.00 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT; THENCE SOUTH 02°52'36" WEST A DISTANCE OF 192.33 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT ON SAID NORTHERLY RIGHT-OF-WAY OF DELL DRIVE; THENCE NORTH 88°28'15" WEST A DISTANCE OF 334.86 FEET TO THE POINT OF BEGINNING; CONTAINING 96,276.22 SQUARE FEET, OR 2.21 ACRES, MORE OR LESS.

**PROPERTY DESCRIPTION FROM SURVEY - ROW DEDICATION**

A PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SW CORNER OF SAID SW1/4, SW1/4 OF SECTION 22; THENCE NORTH 02°32'03" EAST A DISTANCE OF 501.50 FEET TO A POINT; THENCE SOUTH 88°33'50" EAST, CROSSING REYNOLDS ROAD (ALSO KNOWN AS ARKANSAS STATE HIGHWAY NUMBER 183) A DISTANCE OF 62.85 FEET TO A POINT ON THE FORMER EAST RIGHT-OF-WAY OF SAID REYNOLDS ROAD; THENCE NORTH 02°31'33" EAST A DISTANCE OF 26.58 FEET TO A POINT; THENCE SOUTH 88°32'04" EAST A DISTANCE OF 460.39 FEET TO A POINT; THENCE NORTH 00°46'47" WEST A DISTANCE OF 4.42 FEET TO A FND. 5/8" REBAR & CAP (PS 1506) AND THE POINT OF BEGINNING; THENCE NORTH 01°05'50" WEST A DISTANCE OF 13.39 FEET TO A SET 1/2" REBAR & CAP (PS 1664); THENCE SOUTH 88°28'15" EAST A DISTANCE OF 334.86 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT; THENCE SOUTH 02°52'36" WEST A DISTANCE OF 12.56 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT; THENCE NORTH 88°26'41" WEST A DISTANCE OF 333.95 FEET TO THE POINT OF BEGINNING; CONTAINING 4,335.26 SQUARE FEET, OR 0.10 ACRES, MORE OR LESS.



**EXISTING ENCUMBRANCES OF RECORD\*:**

- MISC. BOOK 59, PAGE 299, TELEPHONE UTILITY EASEMENT, DATED 7/24/1979 (SHOWN ON PLAT BY SHAMBARGER)
- DOC. #2000-03033, INGRESS AND EGRESS EASEMENT TO MCDONALD'S CORP. (SHOWN ON PLAT BY SHAMBARGER)
- DOC. #2005-11645, EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS
- DOC. #2007-01916, FIRST AMENDMENT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS
- DOC. #2008-019986, NOTICE OF DEED RESTRICTION (MITIGATION EASEMENT)

- \*THIS SURVEY IS BASED ON PUBLIC RECORDS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY; HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, RESTRICTIONS, OR OTHER ENCUMBRANCES OR INTERESTS ARE MADE BY THIS SURVEY PLAT.
- REFERENCE PLATS & MAPS**  
RECORDED SURVEY PLATS BY:
- NEAL WAGNER (PS 154), FOR PILOT CORPORATION, AND DATED 6/19/99
  - DOUG SHAMBARGER (PS 1388), FOR REYNOLDS ROAD DEVELOPMENT, AND DATED 1/14/2004
  - DOUG SHAMBARGER (PS 1388), FOR REYNOLDS ROAD DEVELOPMENT, AND DATED 11/26/2004
  - BEN KITTLER, JR (PS 568), FOR REYNOLDS ROAD DEVELOPMENT, AND DATED 3/29/2006

**CURRENT ZONING DETAILS**

ZONING: C-2 HIGHWAY COMMERCIAL DISTRICT

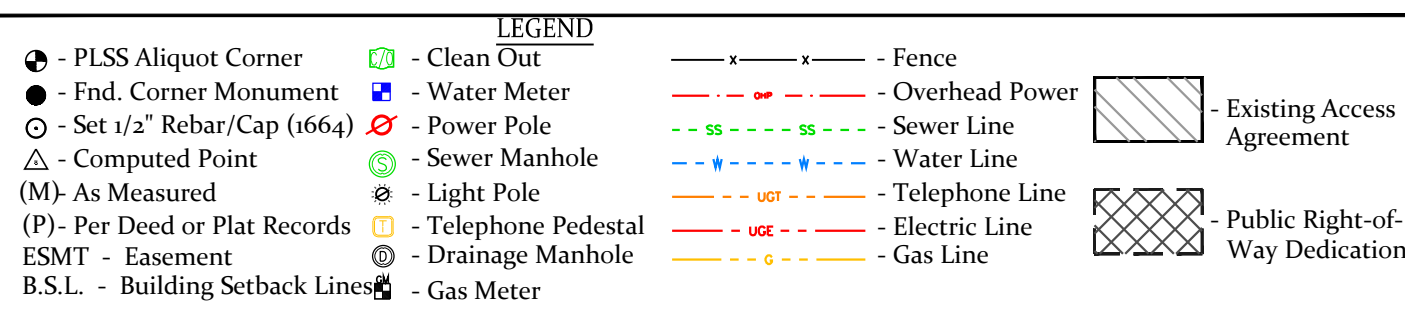
BUILDING SETBACK RESTRICTIONS PER THIS PLAT  
FRONT YARD: 50 FEET  
SIDE YARD: AS SHOWN  
REAR YARD: 15 FEET

**SURVEY DETAILS AND NOTES**

OWNER OF RECORD: UNITED TRADERS INC  
PHYSICAL ADDRESS: DELL DRIVE, BRYANT, ARKANSAS  
COUNTY PARCEL TAX ID: 840-12643-000

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.



**FLOOD ZONE INFORMATION**  
NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP LISTED BELOW:  
PANEL # 05125C0380E, DATED: 06/05/2020

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 North Main Street  
Benton, Arkansas 72015  
Office: (501) 315-2626 | Fax: (501) 315-0024  
www.HopeConsulting.com

**PLAT OF**  
LOTS 1 & 2 OF DUNLAP  
COMMERCIAL DEVELOPMENT,  
A COMMERCIAL SUBDIVISION  
IN THE CITY OF BRYANT,  
SALINE COUNTY, ARKANSAS

FOR USE AND BENEFIT OF:  
R & M DUNLAP PROPERTIES, LLC  
FIRST NATIONAL TITLE COMPANY  
FIRST AMERICAN TITLE INSURANCE COMPANY

DATE: 1/15/2025	CAD BY: OV	PROJECT NUMBER:
REVISED:	CHECKED BY: WCS	
SHEET: 1 OF 1	SCALE: 1" = 60'	<b>24-1351</b>
AR STATE LAND SURVEY FILING CODE: 500 - 01S - 14W - 0 - 22 - 330 - 62 - 1664		



January 2, 2025

Colton Leonard  
City of Bryant  
Planning Department  
210 SW 3<sup>rd</sup> St.  
Bryant, AR 72022

**RE: Waiver from Master Transportation Plan: Dell Drive Commercial (Hope Job #24-1351)**

Dear Colton,

Dell Drive is shown as a proposed Collector on Master Transportation Plan. The development to the south received a waiver for this construction recently. We are requesting this waiver as well.

We thank you for your review and look forward to addressing any comments.

Sincerely,

Jonathan Hope

January 2, 2025

Colton Leonard  
City of Bryant  
Planning Department  
210 SW 3<sup>rd</sup> St.  
Bryant, AR 72022

**RE: Site Plan Dell Drive, Bryant, AR (Hope Job #24-1351)**

Dear Colton,

I represent Rye General Contractors, in the above-captioned development. Phillip Rye is requesting the City of Bryant start the review process for the Site Plan and Civil Construction Drawing of this property on Dell Drive, Bryant.

We would like to be included on the March 10<sup>th</sup> Planning Commission Meeting. Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

We thank you for your review and look forward to addressing any comments.

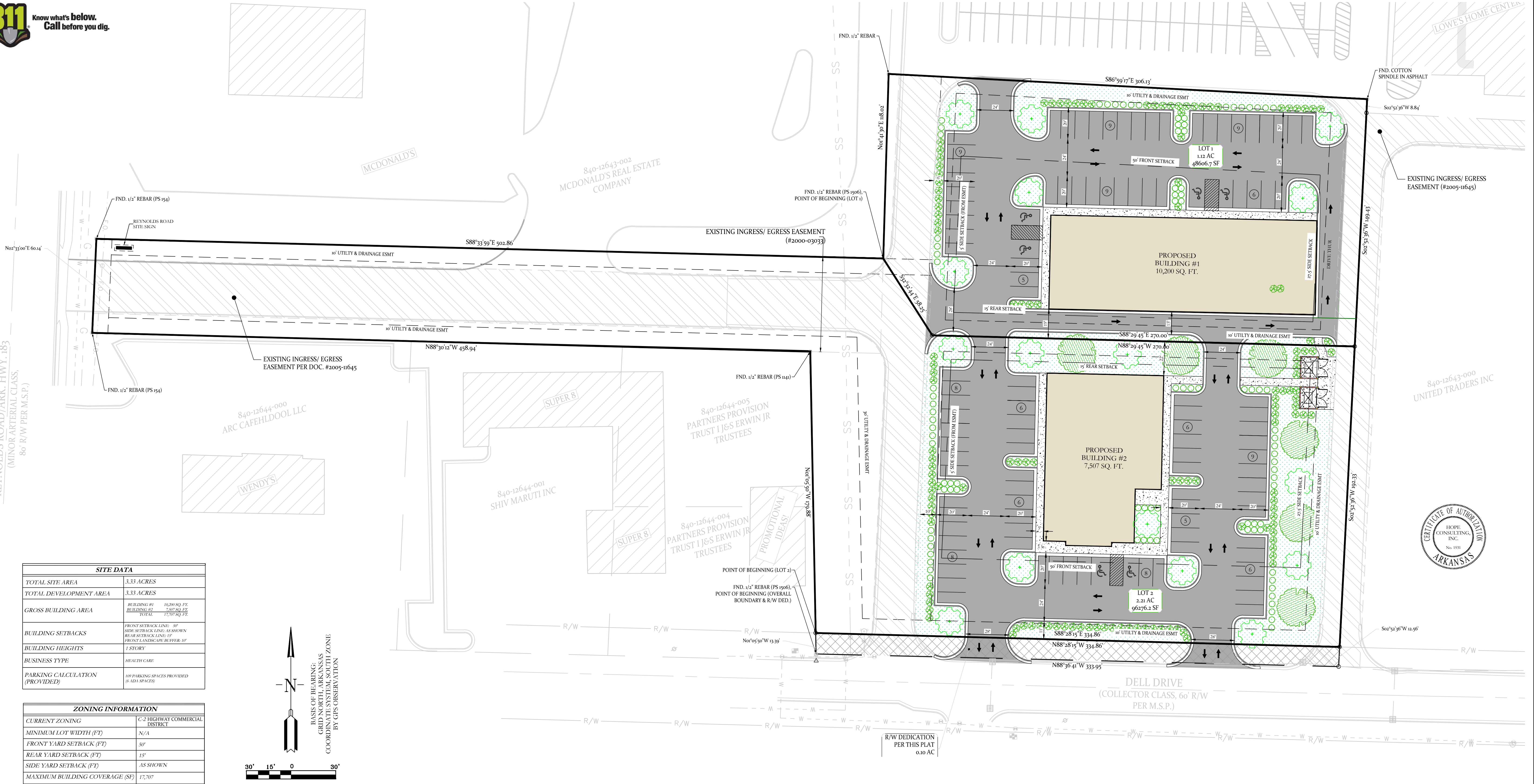
Sincerely,

Jonathan Hope



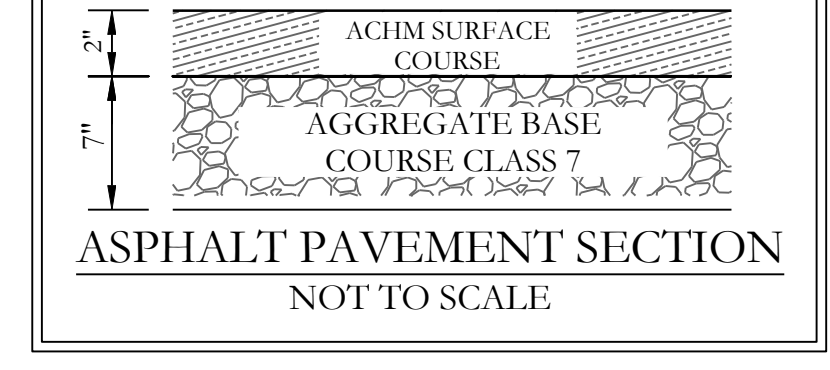
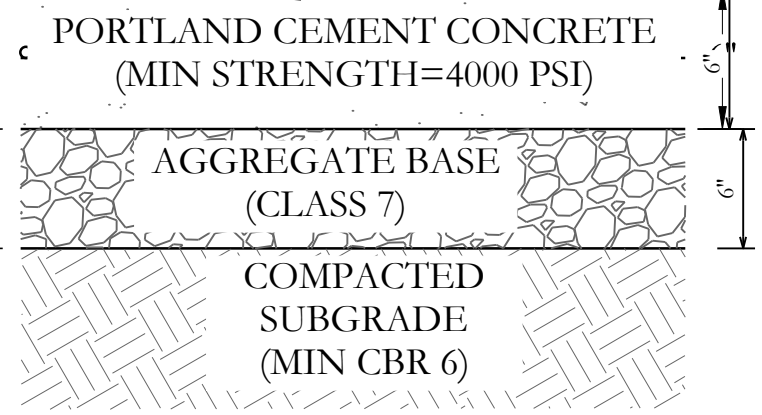
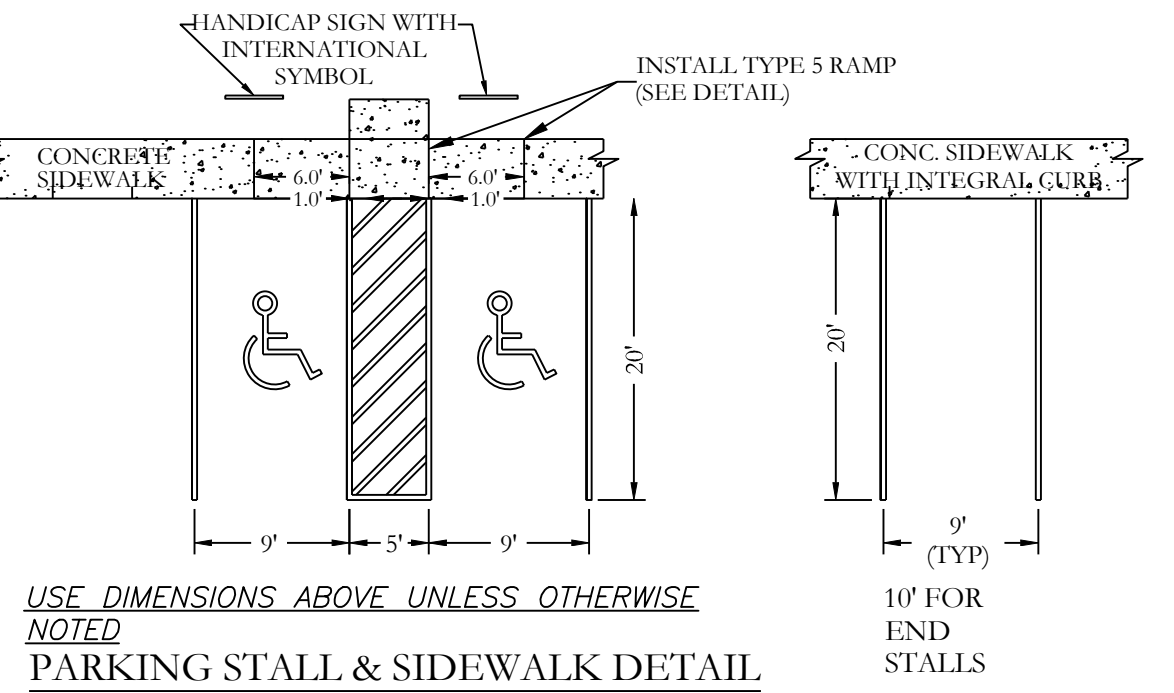
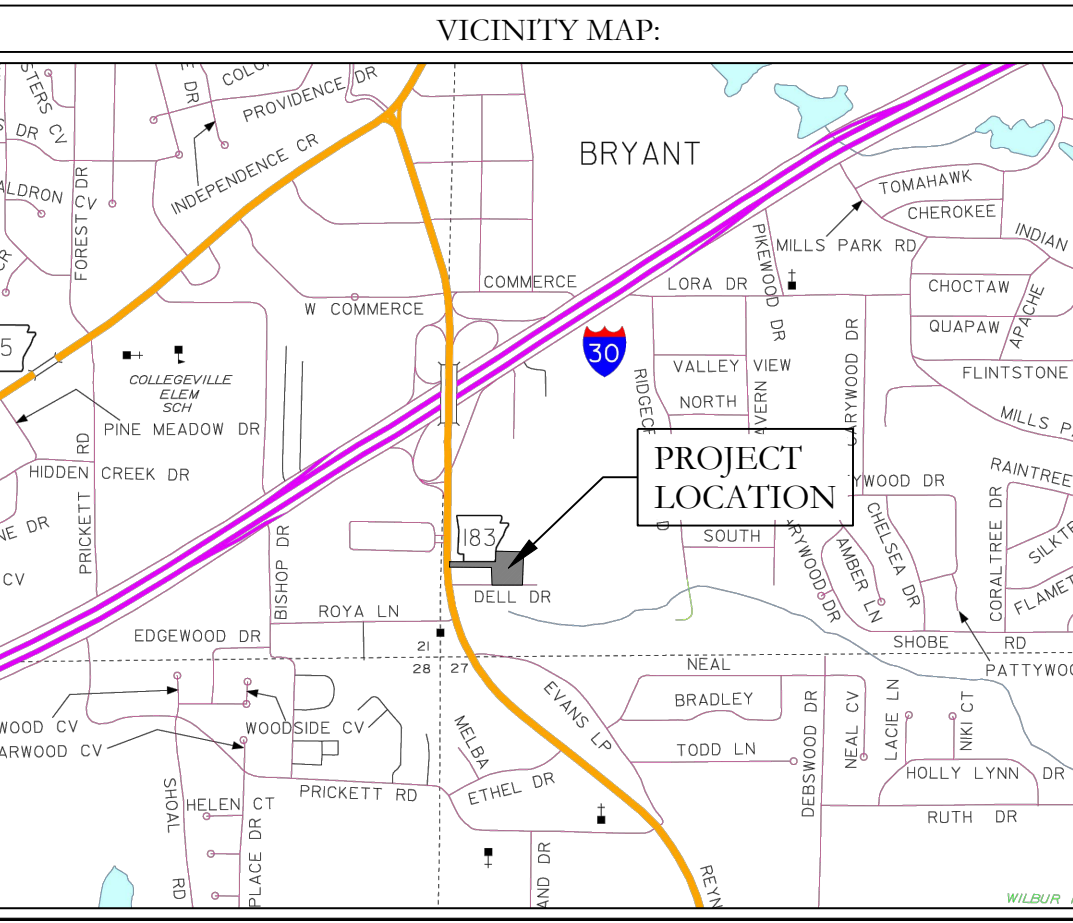
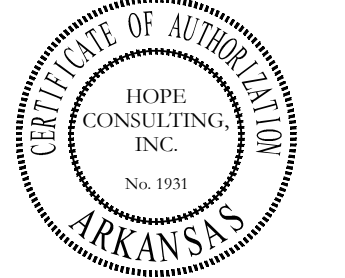
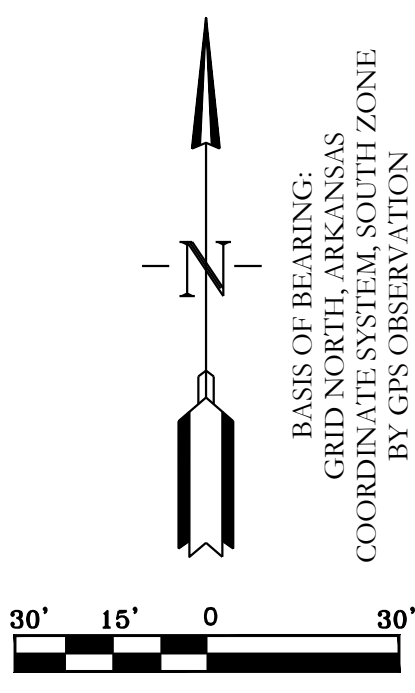


REYNOLDS ROAD/ARK. HWY. 183  
(MINOR ARTERIAL CLASS,  
80' R/W PER M.S.P.)



SITE DATA	
TOTAL SITE AREA	3.33 ACRES
TOTAL DEVELOPMENT AREA	3.33 ACRES
GROSS BUILDING AREA	BUILDING #1 10,200 SQ. FT. BUILDING #2 7,507 SQ. FT. TOTAL 17,707 SQ. FT.
BUILDING SETBACKS	FRONT SETBACK LINE: 50' SIDE SETBACK LINE: AS SHOWN REAR SETBACK LINE: 15' FRONT LANDSCAPE BUFFER: 10'
BUILDING HEIGHTS	1 STORY
BUSINESS TYPE	HEALTH CARE
PARKING CALCULATION (PROVIDED)	100% PARKING SPACES PROVIDED W/ ADA SPACES

ZONING INFORMATION	
CURRENT ZONING	C-2 HIGHWAY COMMERCIAL DISTRICT
MINIMUM LOT WIDTH (FT)	N/A
FRONT YARD SETBACK (FT)	50'
REAR YARD SETBACK (FT)	15'
SIDE YARD SETBACK (FT)	AS SHOWN
MAXIMUM BUILDING COVERAGE (SF)	17,707



**HEAVY DUTY CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

<b>OWNER:</b> Name: R & M DUNLAP PROPERTIES, LLC Address: _____ Phone: _____ Email: _____	<b>DEVELOPER:</b> Name: R & M DUNLAP PROPERTIES, LLC Address: _____ Phone: _____ Email: _____
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<ul style="list-style-type: none"> <li>PLSS Aliquot Corner</li> <li>Fnd. Corner Monument</li> <li>Set 1/2" Rebar/Cap (1664)</li> <li>Computed Point</li> <li>As Measured</li> <li>Per Deed or Plat Records</li> <li>Easement</li> <li>Building Setback Lines</li> </ul>	<ul style="list-style-type: none"> <li>Clean Out</li> <li>Water Meter</li> <li>Power Pole</li> <li>Sewer Manhole</li> <li>Light Pole</li> <li>Telephone Pedestal</li> <li>Drainage Manhole</li> <li>Gas Meter</li> </ul>	<ul style="list-style-type: none"> <li>Fence</li> <li>Overhead Power</li> <li>Sewer Line</li> <li>Water Line</li> <li>Telephone Line</li> <li>Electric Line</li> <li>Gas Line</li> </ul>	<ul style="list-style-type: none"> <li>Existing Access Agreement</li> <li>Public Right-of-Way Dedication</li> </ul>
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**HOPE CONSULTING** ENGINEERS - SURVEYORS

129 N. Main Street, Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**R & M DUNLAP PROPERTIES, LLC**

**MEDICAL PLAZA**  
SITE PLAN  
DELL STREET, BRYANT, SALINE COUNTY, ARKANSAS

DATE: 02-20-2025	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	24-1351
SHEET: C-1.0	SCALE:	

K:\LAND PROJECTS\2024\COMMERCIAL\2024\24-1351\PHILLIP RYAN\DELL STREET\BRYANT\24-1351-02-15-2025.DWG





**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 02/04/2025

**Sign Co. or Sign Owner**

Name ARKANSAS SIGN & NEON  
 Address 8525 DISTRIBUTION DR  
 City, State, Zip LITTLE ROCK AR 72209  
 Phone 501.562.3942  
 Email Address lora@arkansassign.com

**Property Owner**

Name LITTLE CAESARS  
 Address 1315 N REYNOLDS RD  
 City, State, Zip BRYANT AR 72022  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

**GENERAL INFORMATION**

Name of Business LITTLE CAESARS  
 Address/Location of sign 1315 N REYNOLDS RD  
BRYANT AR 72022  
 Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

**READ CAREFULLY BEFORE SIGNING**

I, Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

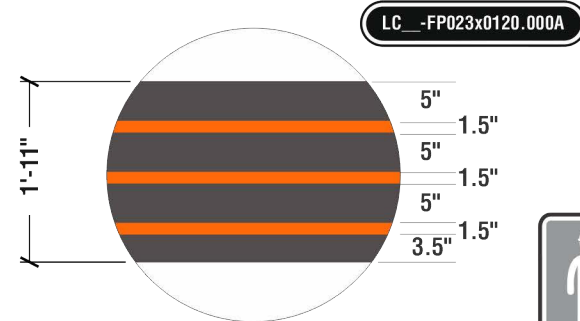
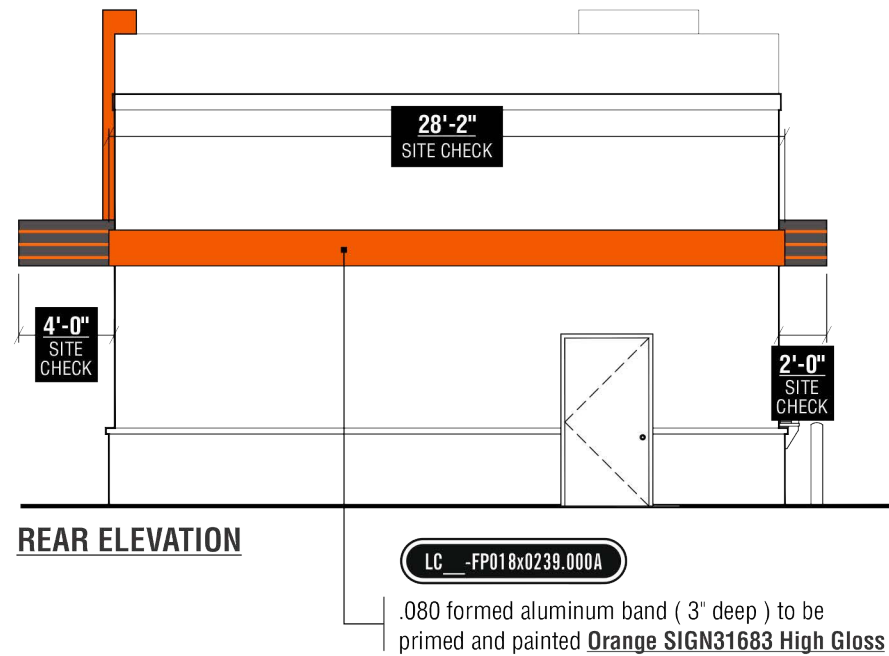
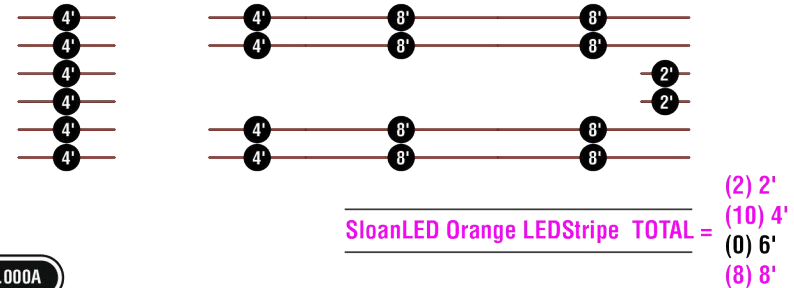
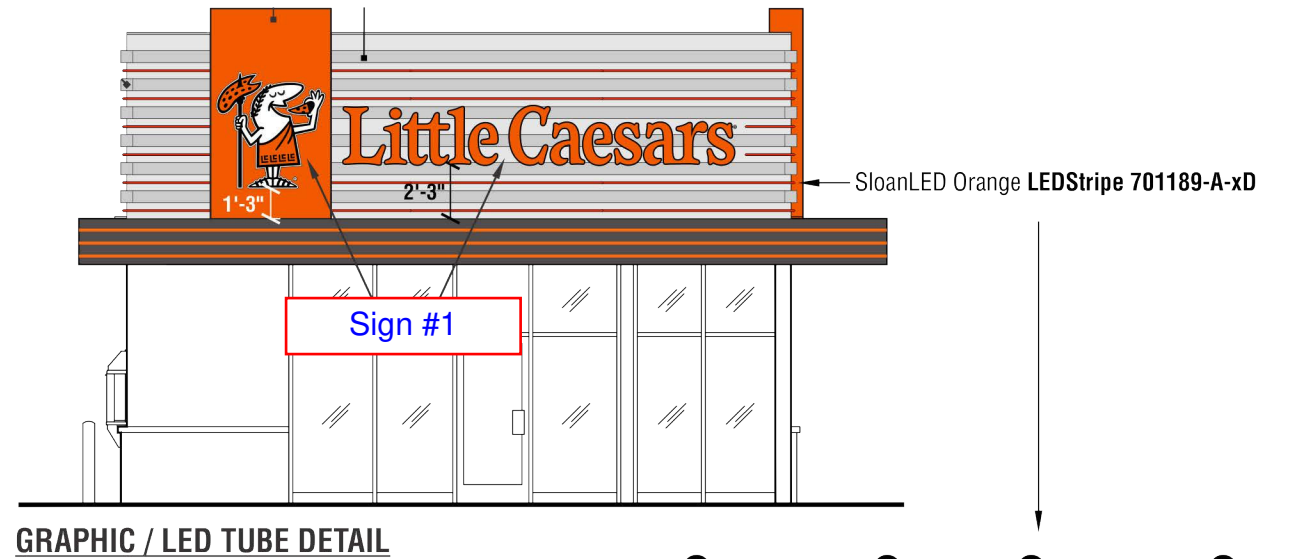
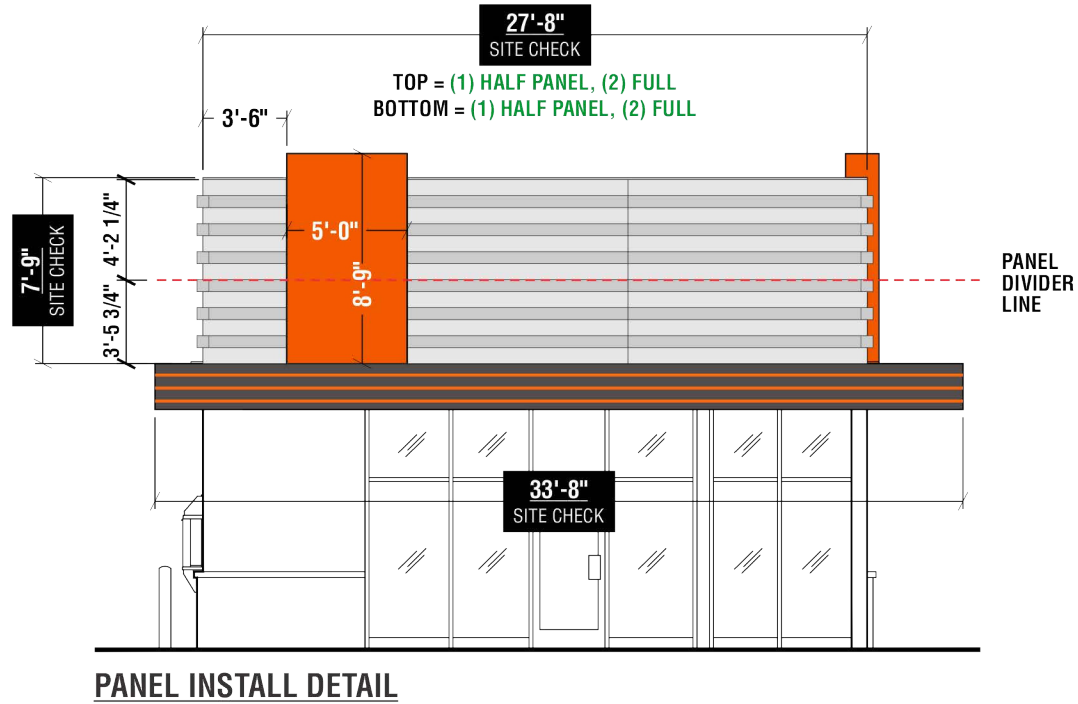
**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	FACADE-SOUTH ELEV	4'10 X 21'7	62.9	18'5	13'7	
B	FACADE-EAST ELEV	4'10 X 21'7	62.9	18'5"	13'7"	
C						
E						
F	<b>JOB COSTS - 20000.00</b>					
G						



# Sign Placement/ Installation Guide ( FRONT ELEVATION )

Scale: 1/8" = 1'-0"



.080 aluminum constructed clad to be primed and painted Pre-Mix "Little Caesars Bronze"  
Note  
Stripes to be Avery Bright Orange SC9180-0

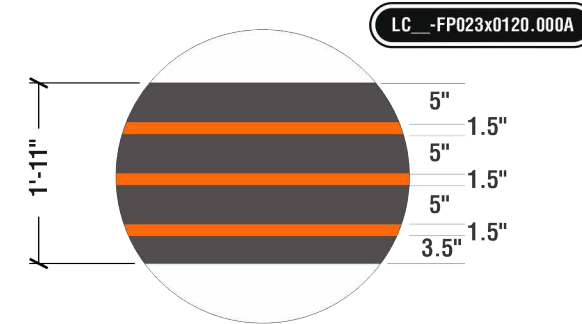
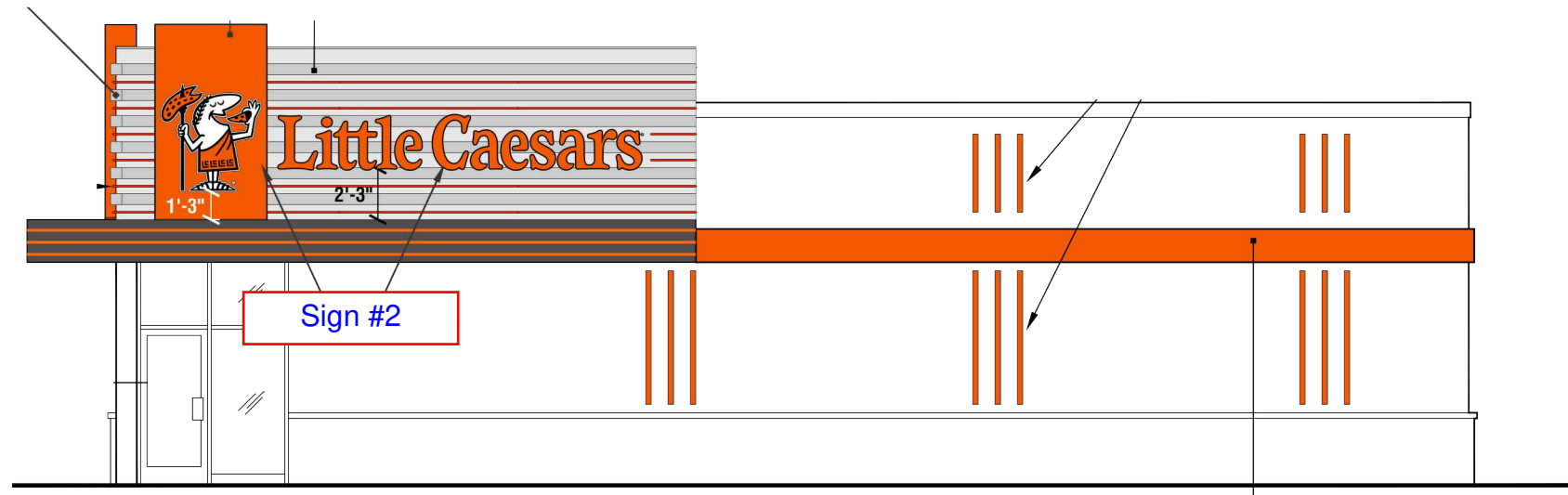
**FABRICATION NOTE:**  
INCLUDE 3 EXTRA VINYL STRIPES 5'-0" LONG  
HAVE 5" SPACING AS PER USUAL SET-UP

- SITE CHECK REQUIRED**
- VECTOR ART REQUIRED
- COLOUR REQUIRED

December 3, 2024 8:06 PM  
M.Auclair  
Removed DT Awning

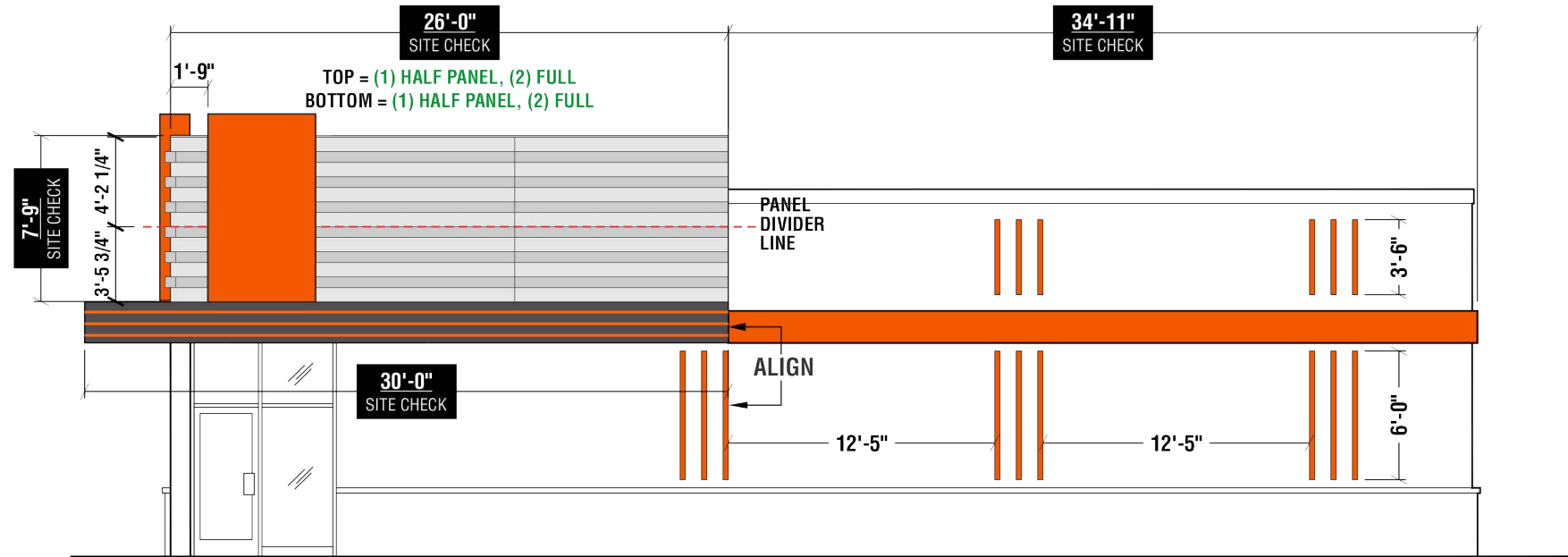
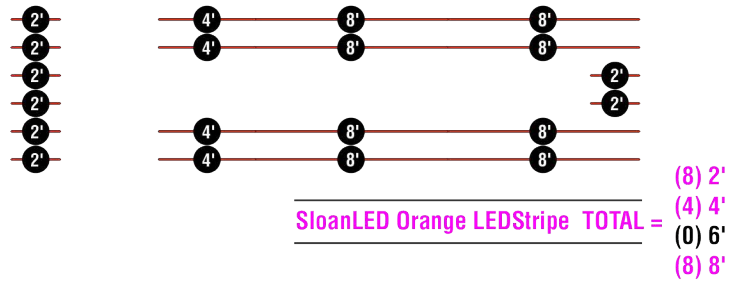
- Preliminary Artwork
- Approved for Production

**Project ID: 00000**



.080 aluminum constructed clad to be primed and painted Pre-Mix "Little Caesars Bronze"  
 Note  
 Stripes to be Avery Bright Orange SC9180-0

**FABRICATION NOTE:**  
 INCLUDE 3 EXTRA VINYL STRIPES 5'-0" LONG  
 HAVE 5" SPACING AS PER USUAL SET-UP



**SITE CHECK REQUIRED**

VECTOR ART REQUIRED

COLOUR REQUIRED

Preliminary Artwork

Approved for Production

Project ID: 00000



**Illuminated Channel Logo & Letters ( 2 Required )**

Scale: 1/4" = 1'-0"

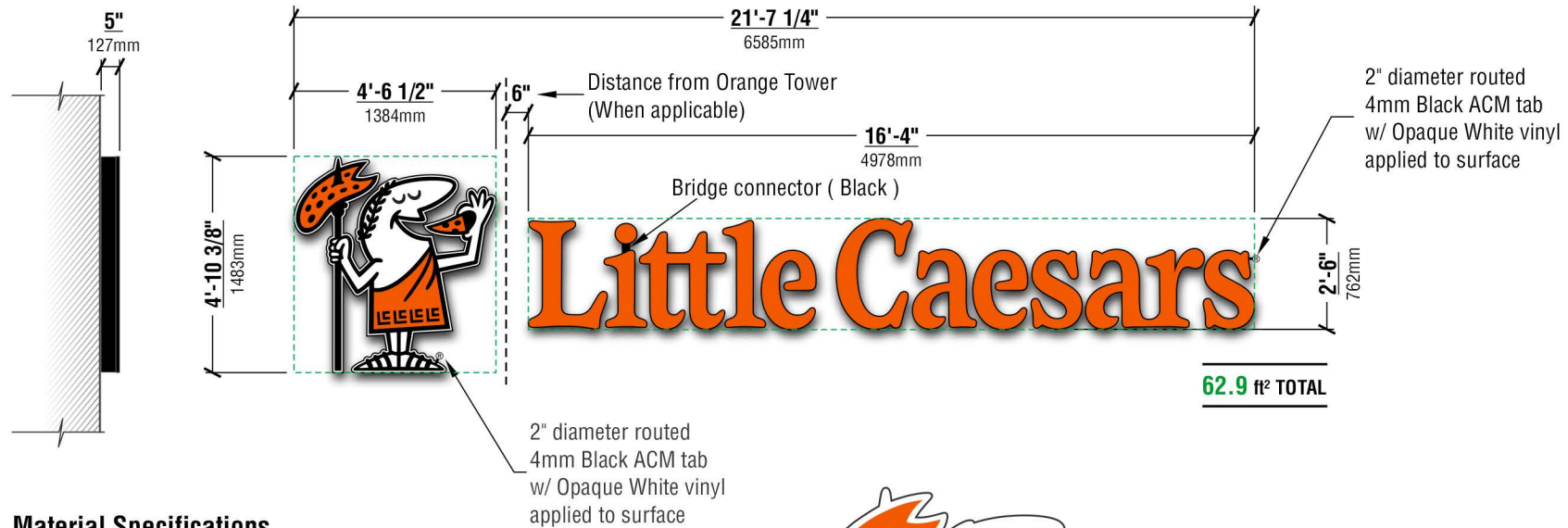
Drawing No.  
**LC\_\_-CL058x0259.120A**

**Electrical Requirements**

**120v** 277V 347V

CHANNEL LETTERS

**Sign #1 &  
Sign#2  
Sign Area  
62.9 sq ft  
Each**



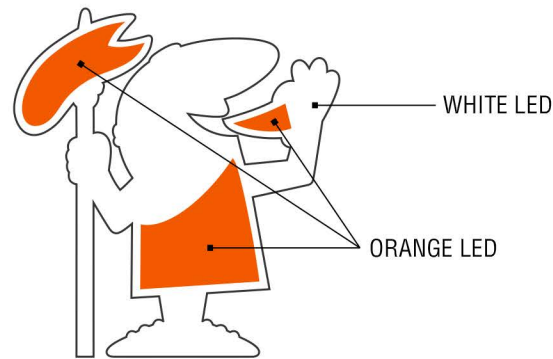
**Material Specifications**

**Logo**

- Pre finished Black aluminum letter coil returns
- 3/16" Orange 2119 and White 7328 acrylic face with 3/4" Black trim cap
- Orange and White LED illumination

**Little Caesars**

- Pre finished Black aluminum letter coil returns
- 3/16" Orange 2119 acrylic faces with 3/4" Black trim cap
- Orange LED illumination



**COLOR TRAP DETAIL**

**NOTE:**

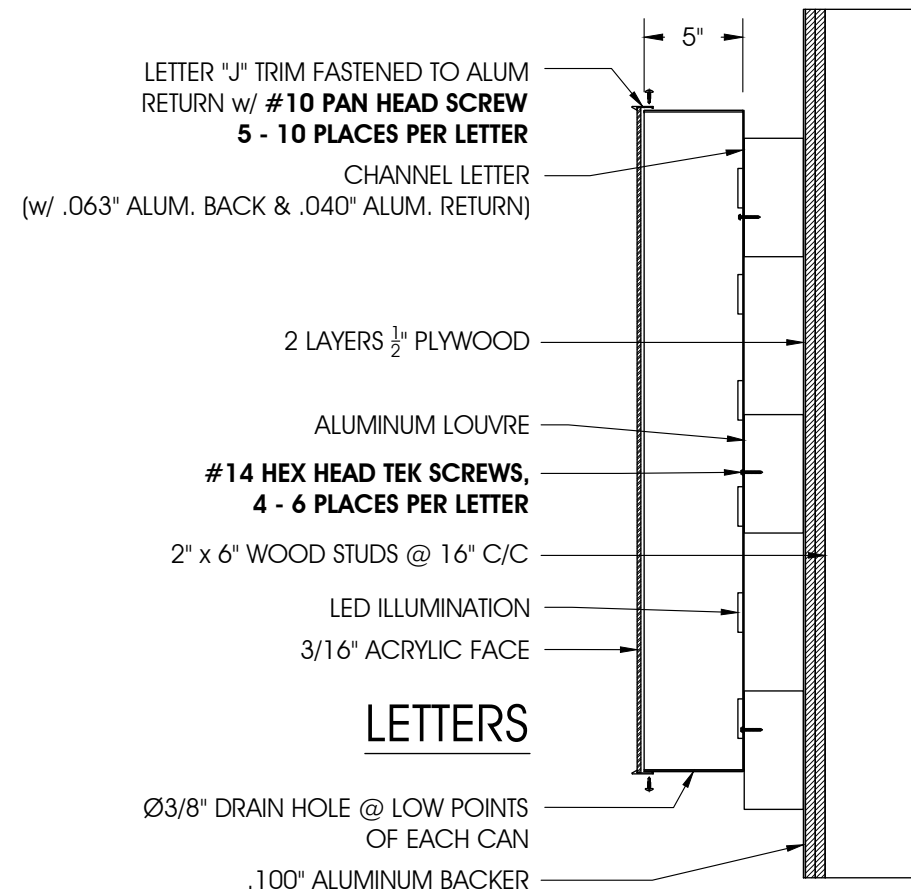
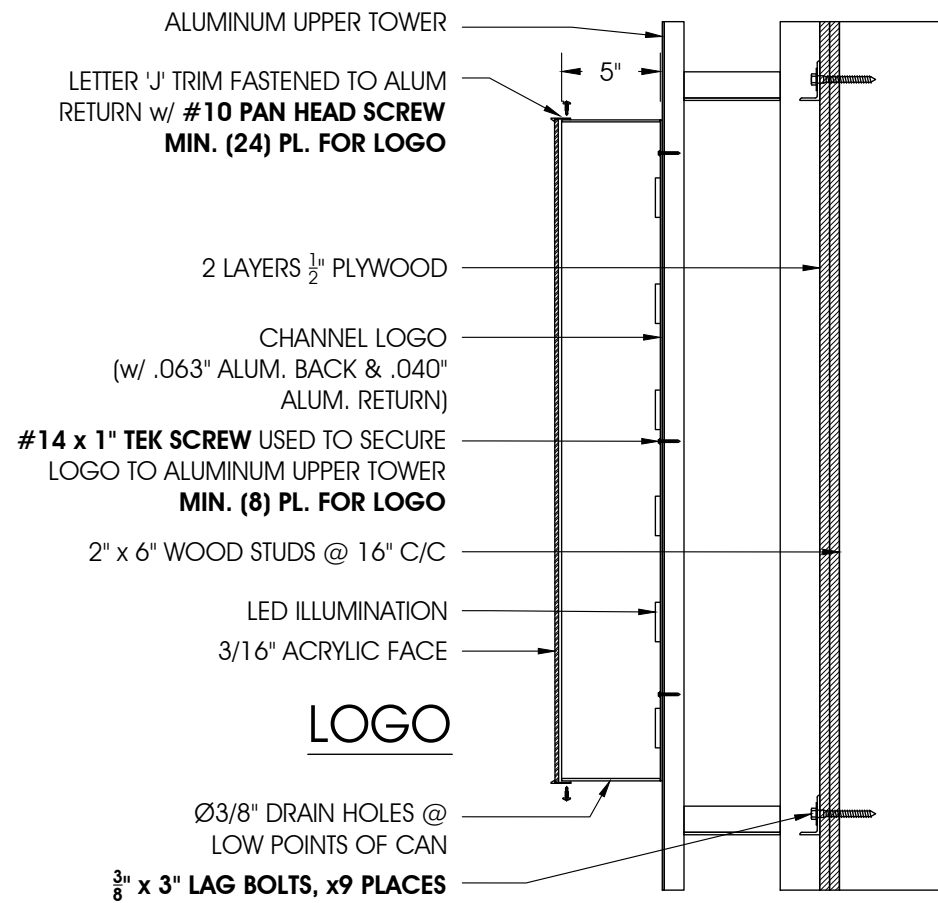
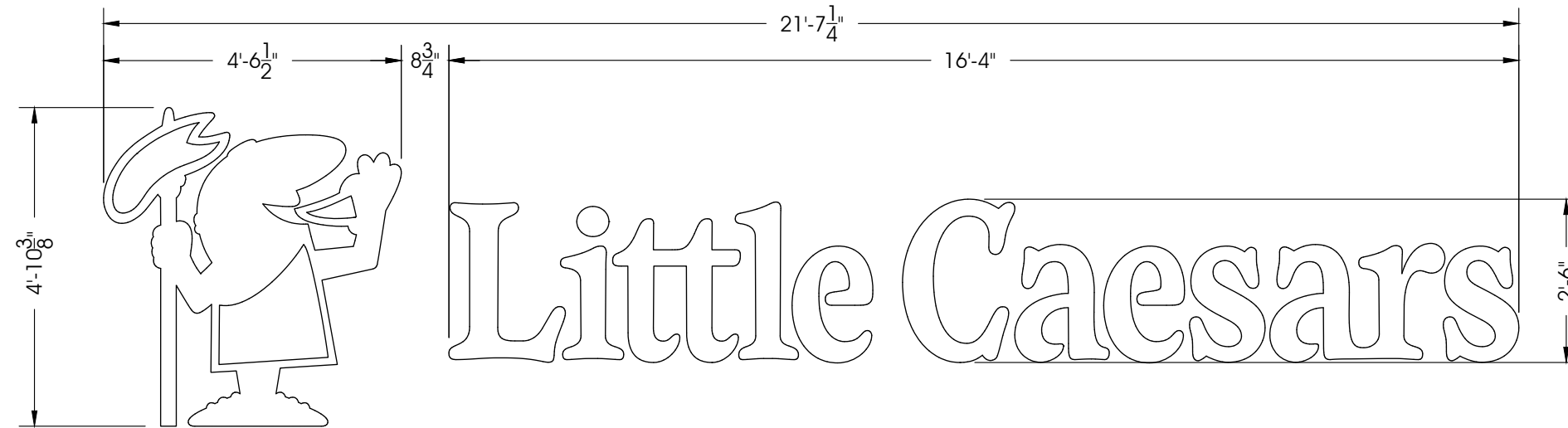
Orange Led Enclosed In A Separate 4" Channel ( White Coil )

Preliminary Artwork

Approved for Production

November 22, 2018 T. Dodge



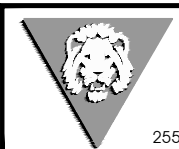


**DESIGN NOTES:**  
LOADS AS PER ASCE 7-10 FOR BRYANT, AR AREA:  
RISK CATEGORY II BUILDING AND STRUCTURES EXPOSURE: 115 MPH

GENERAL WELD NOTE:  
1/8" FILLET WELD REQUIRED UNLESS OTHERWISE STATED

ATTENTION:  
FIELD ASSEMBLY OF THIS SECTIONAL SIGN IS SUBJECT TO THE ACCEPTANCE OF THE LOCAL AUTHORITY

LES ENSEIGNES MODULAIRES MONTES SUR PLACE PEUVENT ETRE VERIFIEES EN TOUT TEMPS PAR LE SERVICE D'INSPECTION LOCAL



BILL OF MATERIALS

REF#	DESCRIPTION	QTY	LENGTH
1	WHITE GOQ-3 LED	81	
2	ORANGE SLOAN PRISM LED (LED645)	124	
3	18GA LOW VOLTAGE WIRE	1	20'
4	18GA LOW VOLTAGE WIRE	1	10'
5	18GA LOW VOLTAGE WIRE	1	6'
6	18GA LOW VOLTAGE WIRE	9	3'
7	.063" ROUTED ALUM BACK	15	
8	.040" x 5" ALUM RETURN	1	155'
9	.040" x 4" ALUM RETURN	1	14'
10	LPV-60 60W-12V POWER SUPPLY	3	
11	MEANWELL HLG-100W-24V P.S.	2	
12	120V UTILITY BOX	1	
13	BLANK COVER	1	
14	TOGGLE SWITCH w/ RUBBER BOOT	1	
15	3/8" HOLOFLEX CABLE	1	2'-0"
16	14/2 Bx CABLE	1	20'-0"

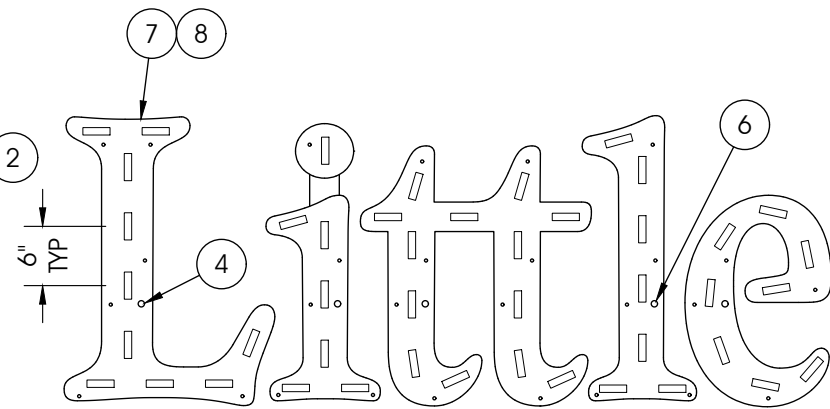
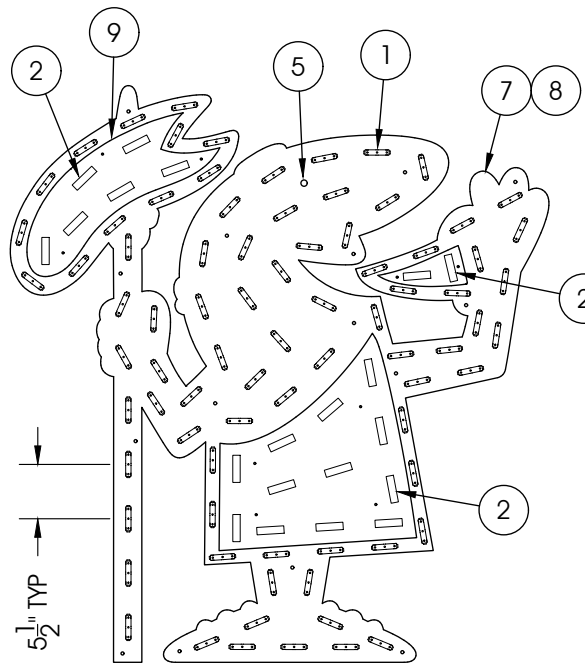
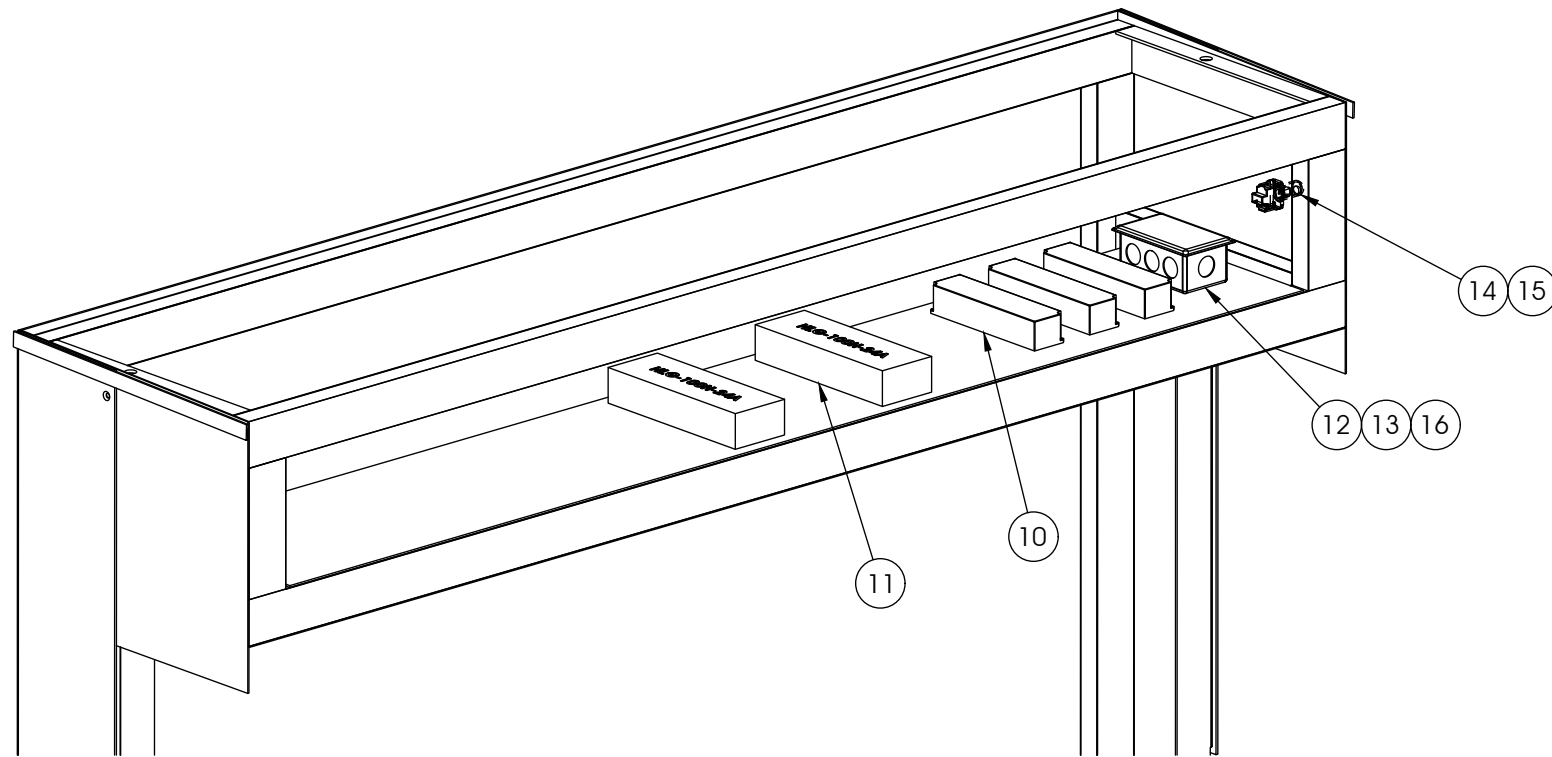
\*\* ITEM 9 TO BE SHEARED FROM 5.33" COIL

NOTES:

- 1) SILICONE LED'S TO BACK
- 2) LPV-60-12V POWER SUPPLIES TO BE PLACED IN UPPER TOWER
- 3) LOGO INSTALLED ON TOWER LC\_\_-FP105x0060.000A
- 4) TOGGLE SWITCH w/ BOOT IS SECURED TO UPPER TOWER ASSEMBLY
- 5) SECTIONAL STICKER TO BE PLACED ON CAESAR LOGO

ELECTRICAL NOTE:

75 MOD / POWER SUPPLY FOR SLOAN PRISM LED'S 1.2A / POWER SUPPLY



\*\*\* PIZZA MAN + TOWER ASSY USES (1) SECTIONAL STICKER

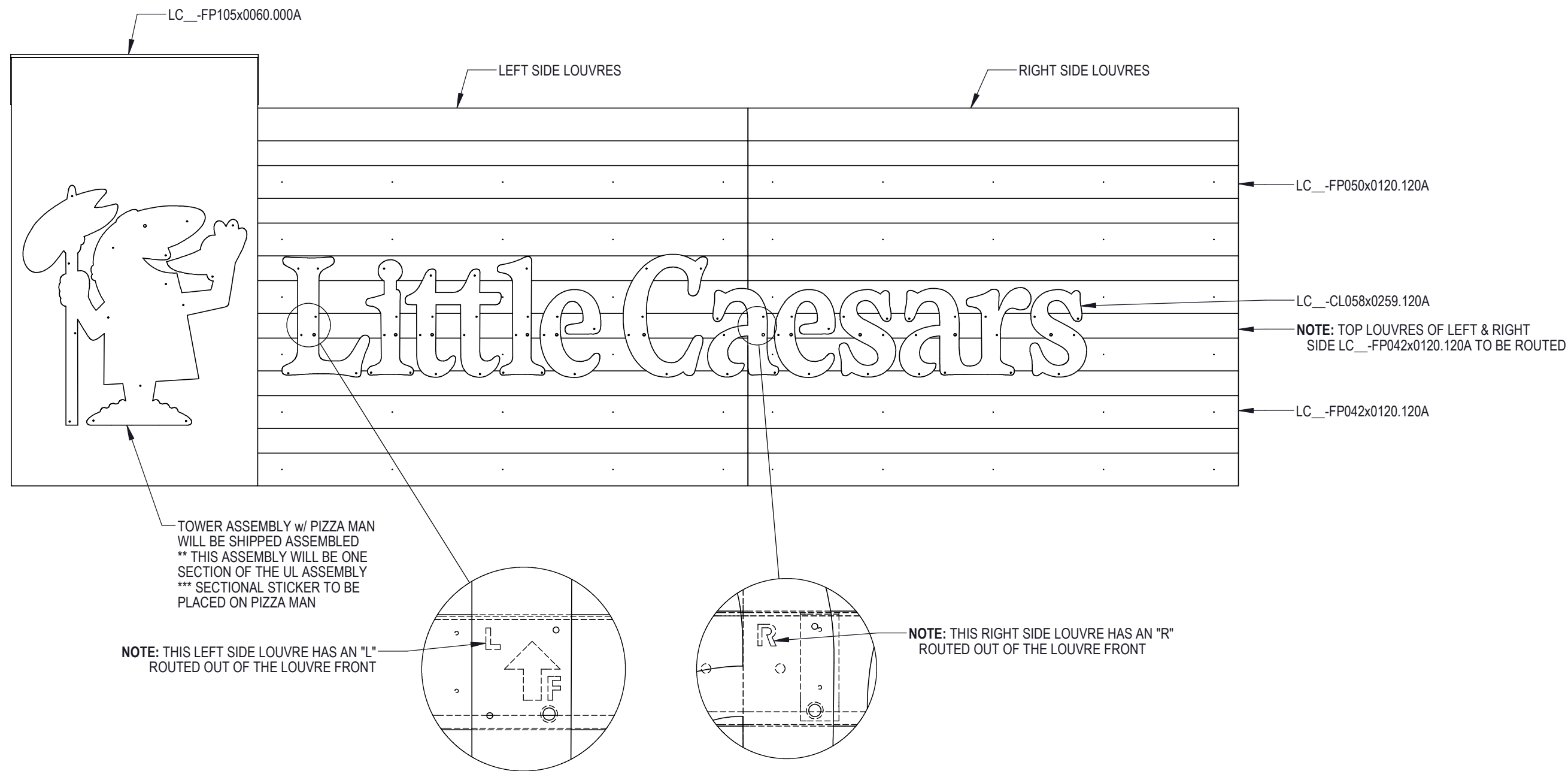
10 ORANGE LED's (PS2) 7 ORANGE LED's (PS2) 13 ORANGE LED's (PS2) 7 ORANGE LED's (PS2) 8 ORANGE LED's (PS2)

10 ORANGE LED's (PS3) 9 ORANGE LED's (PS3) 8 ORANGE LED's (PS3) 8 ORANGE LED's (PS3) 16 ORANGE LED's (PS3) 8 ORANGE LED's (PS3)

81 WHITE LED's (PS1)  
20 ORANGE LED's (PS2)

ATTENTION:  
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LES ENSEIGNES MODULAIRES MONTES SUR PLACE PEUVENT ETRE VERIFIEES EN TOUT TEMPS PAR LE SERVICE D'INSPECTION LOCAL



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SIGN ASSOCIATION

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UL FILE # E500193

DRAWN BY: F. BERGER 26-Sep-18

CHECKED BY: S. POWER 03-Oct-18

CUT FILE: 24-Sep-18 WEIGHT: 95 LBS

Little Caesars

VARIOUS

**ILLUMINATED CHANNEL LETTERS**

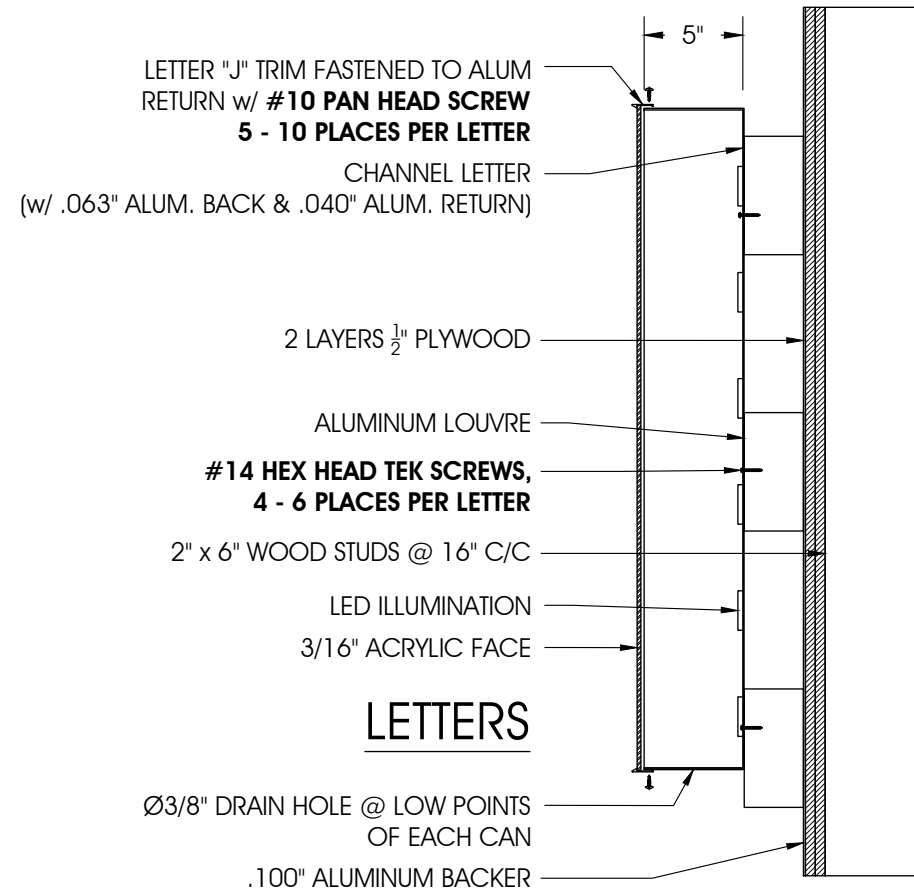
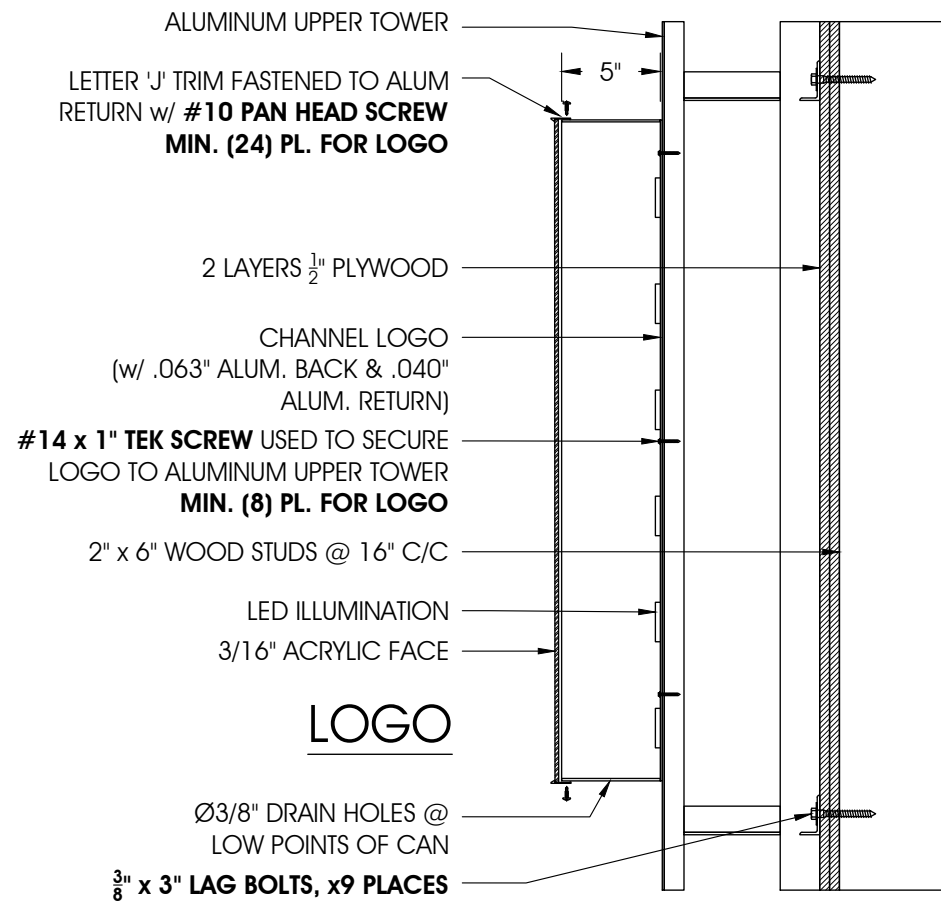
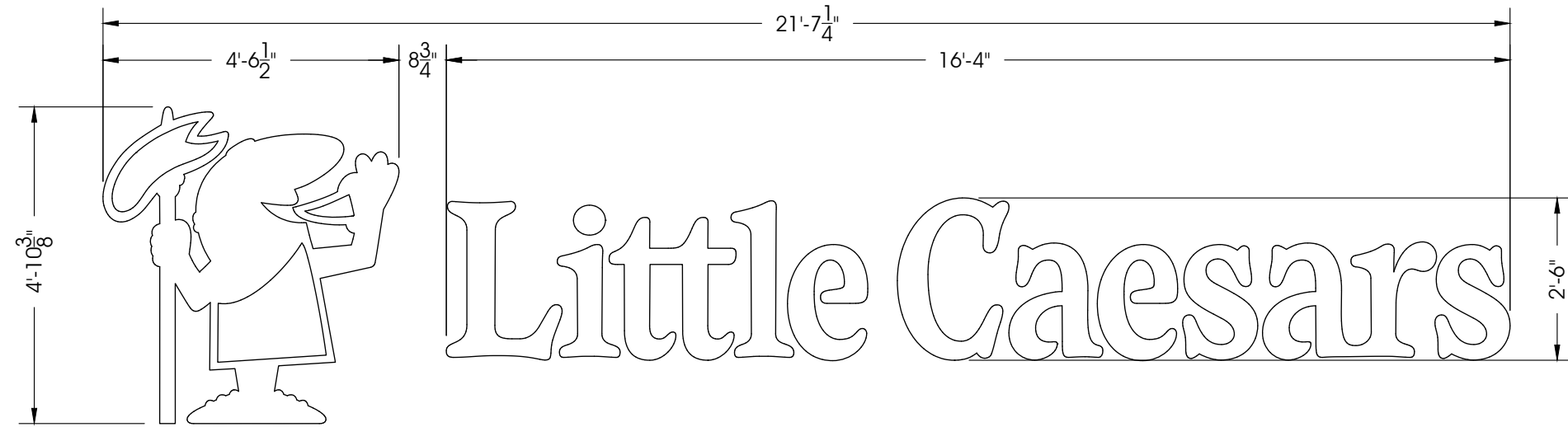
03 ADDED POWER SUPPLY DETAILS S. POWER 08-May-24

UL REQUIREMENT: TOTAL AMP DRAW: 6.0 A @ 120 V

SIGN PROGRAM: SECTION LABEL - 12 ENVIRONMENTAL LOCATION: DAMP - 01

DISCONNECT SWITCH: YES - 01





**ATTENTION:**  
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-----  
LES ENSEIGNES MODULAIRES MONTES SUR PLACE PEUVENT ETRE VERIFIEES EN TOUT TEMPS PAR LE SERVICE D'INSPECTION LOCAL

BILL OF MATERIALS

REF#	DESCRIPTION	QTY	LENGTH
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14	TOGGLE SWITCH w/ RUBBER BOOT	1	
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16	14/2 Bx CABLE	1	20'-0"

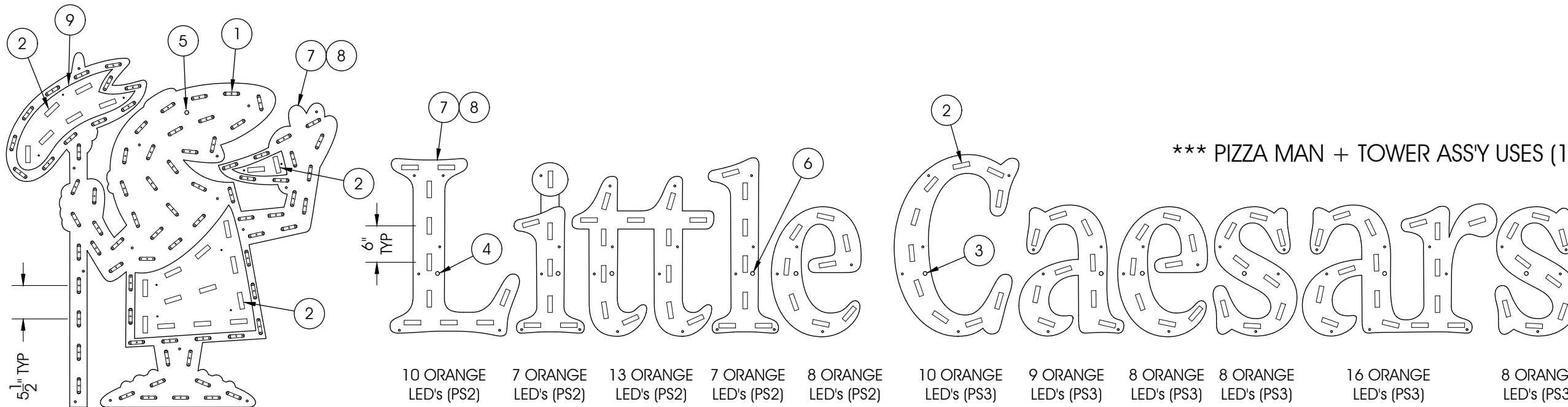
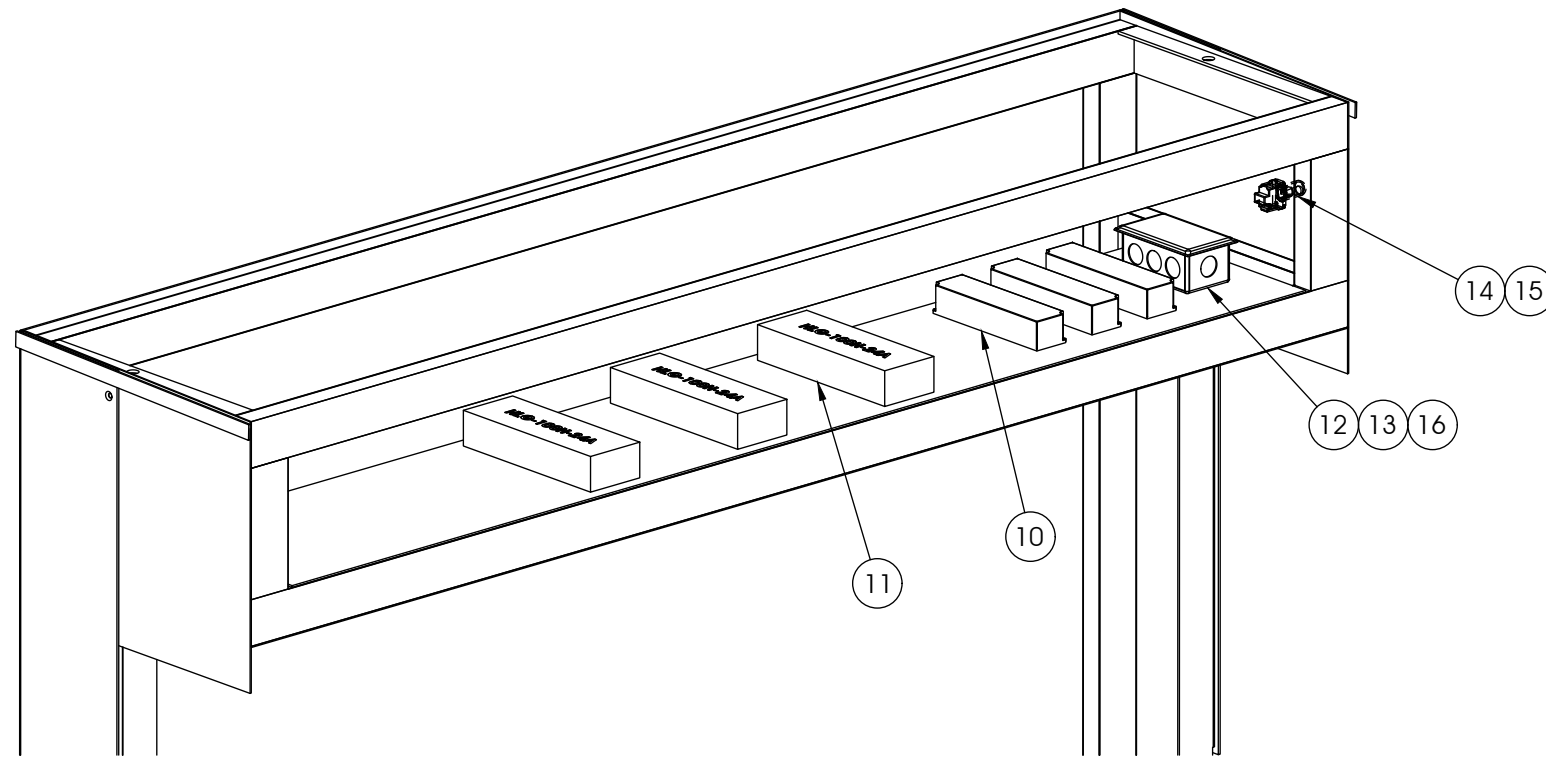
\*\* ITEM 9 TO BE SHEARED FROM 5.33" COIL

NOTES:

- 1) SILICONE LED'S TO BACK
- 2) LPV-60-12V POWER SUPPLIES TO BE PLACED IN UPPER TOWER
- 3) LOGO INSTALLED ON TOWER LC\_\_-FP105x0060.000A
- 4) TOGGLE SWITCH w/ BOOT IS SECURED TO UPPER TOWER ASSEMBLY
- 5) SECTIONAL STICKER TO BE PLACED ON CAESAR LOGO

ELECTRICAL NOTE:

75 MOD / POWER SUPPLY FOR SLOAN PRISM LED'S 1.2A / POWER SUPPLY



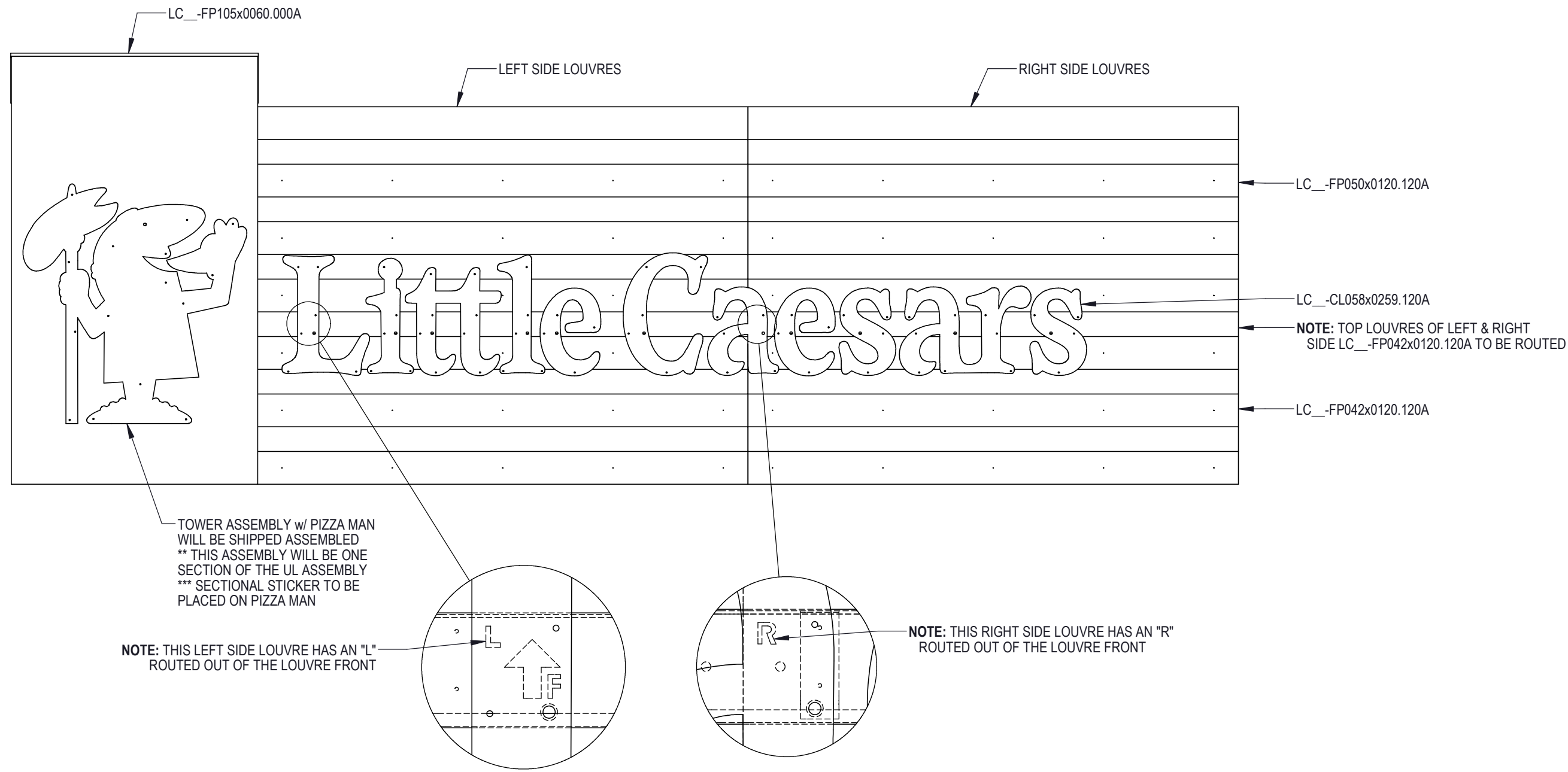
\*\*\* PIZZA MAN + TOWER ASSY USES (1) SECTIONAL STICKER

81 WHITE LED's (PS1)  
20 ORANGE LED's (PS2)

10 ORANGE LED's (PS2)   7 ORANGE LED's (PS2)   13 ORANGE LED's (PS2)   7 ORANGE LED's (PS2)   8 ORANGE LED's (PS2)   10 ORANGE LED's (PS3)   9 ORANGE LED's (PS3)   8 ORANGE LED's (PS3)   8 ORANGE LED's (PS3)   16 ORANGE LED's (PS3)   8 ORANGE LED's (PS3)

**ATTENTION:**  
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UL FILE # E500193

DRAWN BY: F. BERGER 26-Sep-18  
CHECKED BY: S. POWER 03-Oct-18  
CUT FILE: 24-Sep-18 WEIGHT: 95 LBS

Little Caesars

VARIOUS

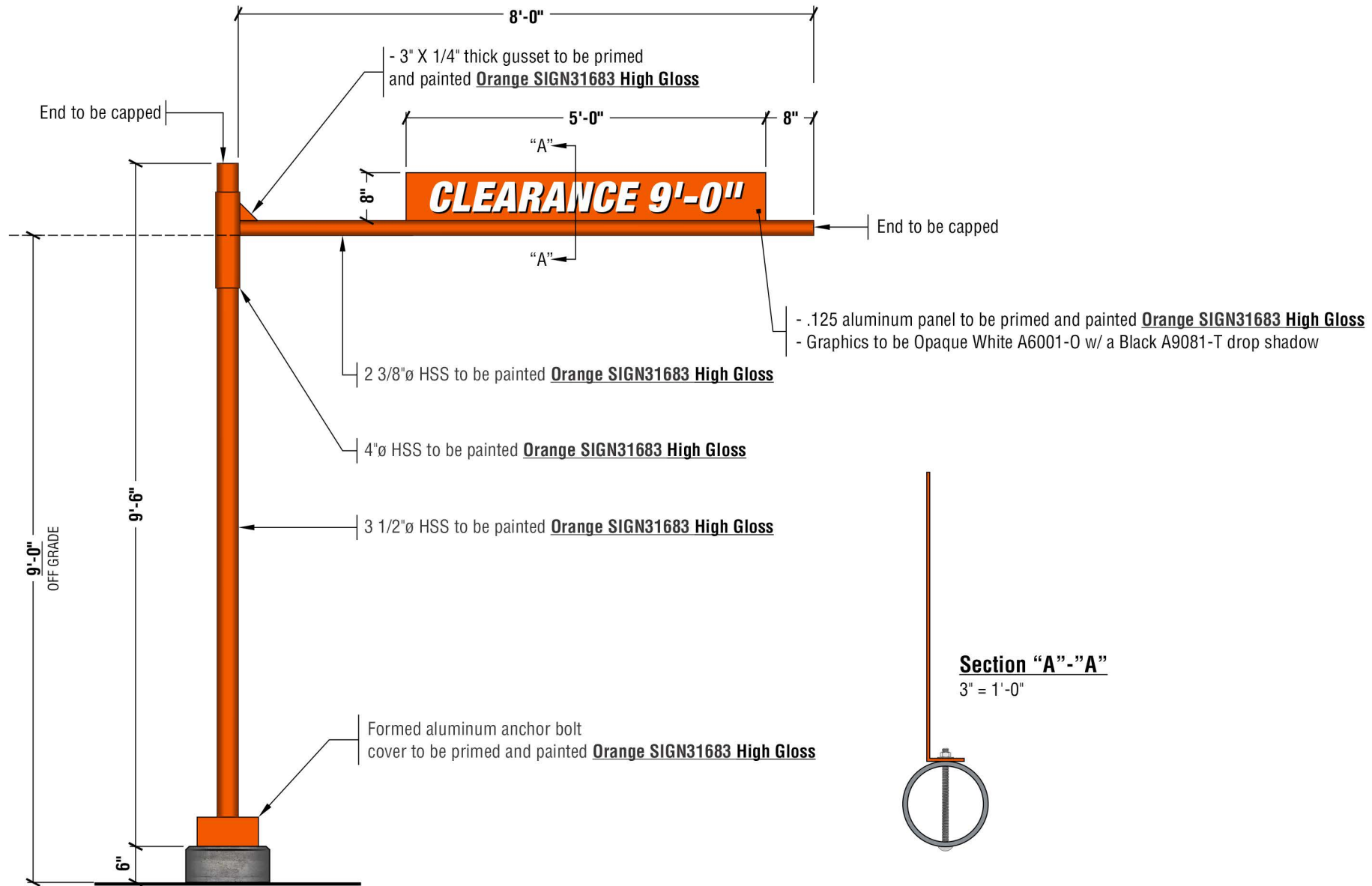
**ILLUMINATED CHANNEL LETTERS**

03 ADDED POWER SUPPLY DETAILS	S. POWER	08-May-24
UL REQUIREMENT:	TOTAL AMP DRAW:	7.2 A @ 120 V
SIGN PROGRAM: SECTION LABEL - 12	ENVIRONMENTAL LOCATION:	DAMP - 01
	DISCONNECT SWITCH:	YES - 01



**Non Illuminated Height Restriction Bar ( 1 Required )**

Scale: 1/2" = 1'-2"



Height  
Restriction  
Bar

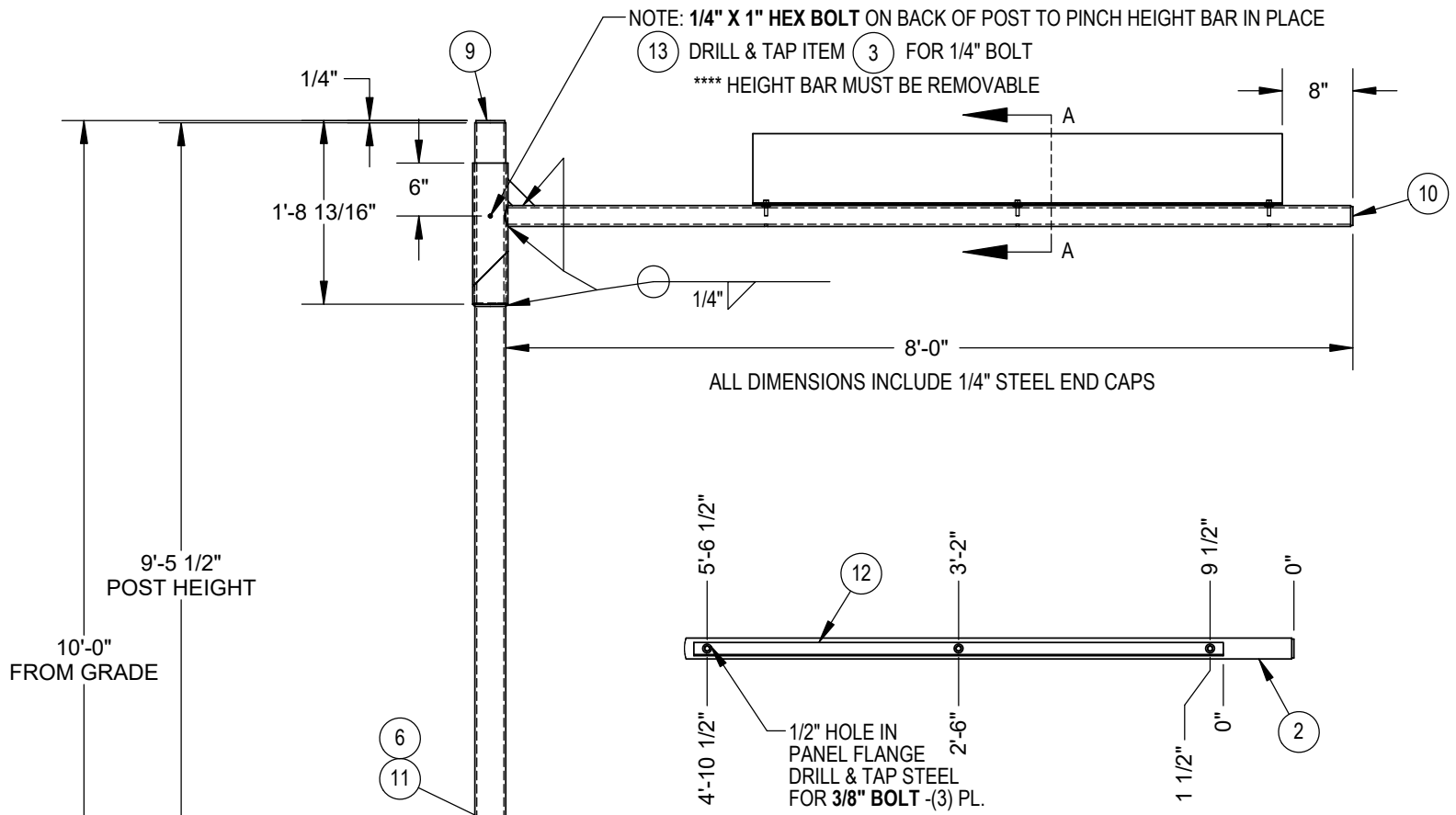
Preliminary Artwork  
 Approved for Production  
November 25, 2018 T. Dodge



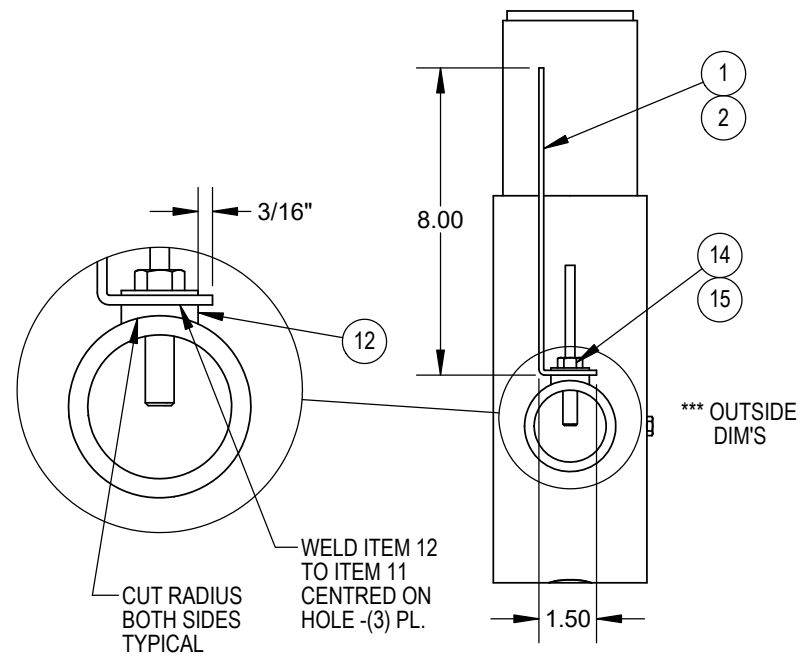
ITEM NO.	PartNo	QTY.	DESCRIPTION	WIDTH	LENGTH
1	AS051	1	.125" ALUM. FORMED PANEL	5'-0"	9 5/16"
2	AT015	3	1" X 1" X .095" ALUM. TUBE SPACER (TTS)		1/4"
3	HSS212	1	4" OD x .1875" HSS (MOE)		1'-2"
4	HSS212	1	4" OD x .1875" HSS (MOE)		6"
5	HSS212	6	4" OD x .1875" HSS (SEE PG2)		
6	BP366	1	3/4" TH. X 10" DIA. STEEL BASE PLATE		
7	SA005	2	1 1/4"x1 1/4"x1/8" STEEL ANGLE		2"
8	SF015	1	1/4" TH. X 3" STEEL GUSSET		3"
9	BP383	1	1/4" TH. X 3 5/16" DIA. STEEL END CAP		EA
10	BP382	1	1/4" TH. X 2 1/8" DIA. STEEL END CAP		EA
11	ST064	1	3 1/2" OD X .216" STEEL TUBE		9'-5 1/2"
12	ST067	1	2 3/8" OD x.25" STEEL TUBE		7'-11 7/8"
13	BOLT002	1	1/4" X 1" HEX BOLT -STEEL		
14	BOLT120	3	Ø3/8" x 1-1/2" STEEL HEX BOLT		
15	WASH005	3	3/8" STEEL WASHER		
16	AB005	4	Ø3/4" x 36" STEEL ANCHOR BOLT		
17	PAT305	1	PLYWOOD ANCHOR BOLT PATTERN		

NOTE: ITEM #17 IS NOT SHOWN

\*\*\* ADDITIONAL DETAILS ON NEXT SHEETS



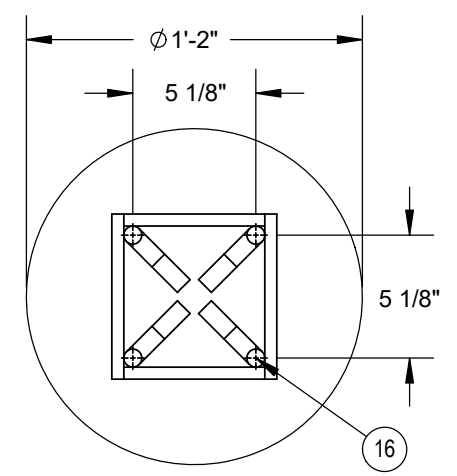
TOP VIEW OF PANEL MTG. HOLES



SECTION A-A  
SCALE 1:5

**DESIGN NOTES:**  
 LOADS AS PER ASCE 7-10 FOR BRYANT, AR AREA:  
 RISK CATEGORY II BUILDING AND STRUCTURES EXPOSURE: 115 MPH

**GENERAL WELD NOTE:**  
 1/8" FILLET WELD REQUIRED UNLESS OTHERWISE STATED



**CONCRETE CAISSON FOUNDATION**

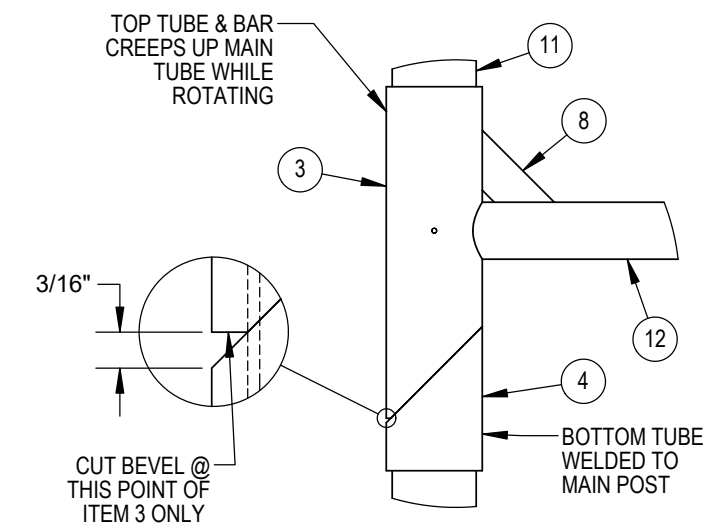
□ - Ø3/4" ANCHOR BOLTS (ASTM A307)

**DESIGN NOTES:**

1. PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY: 2000 psf.
2. PRESUMPTIVE ALLOWABLE PASSIVE LATERAL SOIL RESISTANCE: 150 psf/ft.

**SPECIFICATIONS:**

1. HSS SECTIONS SHALL CONFORM TO CSA G40.21M-350W.
2. STEEL PLATES SHALL CONFORM TO CSA G40.21M-300W
3. REINFORCING STEEL SHALL CONFORM TO CSA G30.18-09 GRADE 400.
4. ANCHOR BOLTS TO BE MANUFACTURED FROM ASTM A-36 (A307) BAR OR GREATER.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 25 MPa.
6. CONCRETE SHALL HAVE 4" - 5" SLUMP WITH 4% - 7% AIR ENTRAINMENT, VIBRATE DURING PLACEMENT.
7. ALL CONCRETE WORK TO BE IN CONFORMANCE WITH CSA-A23.1.
8. CONCRETE MUST BE POURED AGAINST UNDISTURBED SOIL, NO BACKFILL AROUND FOUNDATION.
9. IF BACKFILL IS REQUIRED, IT IS TO BE PLACED IN SUITABLY COMPACTED LAYERS (DEPTHS SELECTED IN ACCORDANCE WITH THE EQUIPMENT USED), WITH EACH LAYER COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
10. CONCRETE REQUIRES A MIN. OF 7 DAYS OF CURE TIME PRIOR TO INSTALLATION OF SIGN.
11. CONNECTION BOLTS FOR SIGN BOXES SHALL CONFORM TO SAE J429 GRADE 5 OR GREATER.



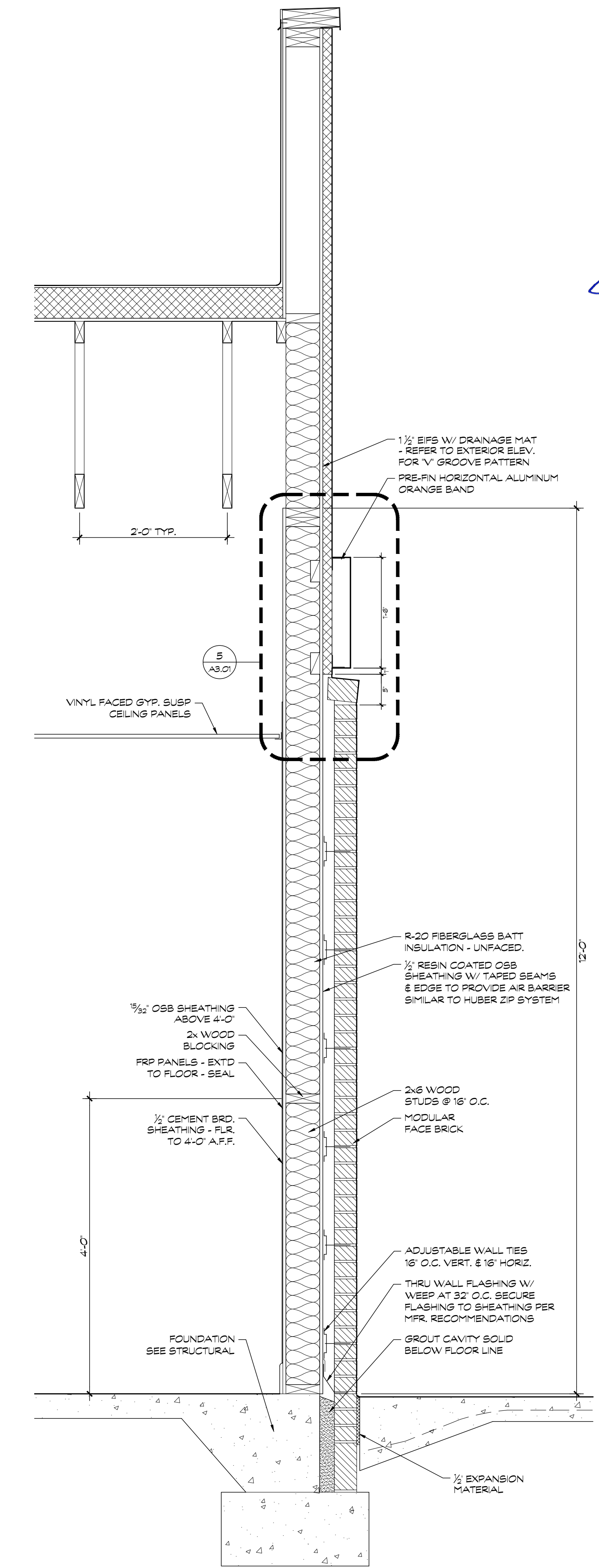
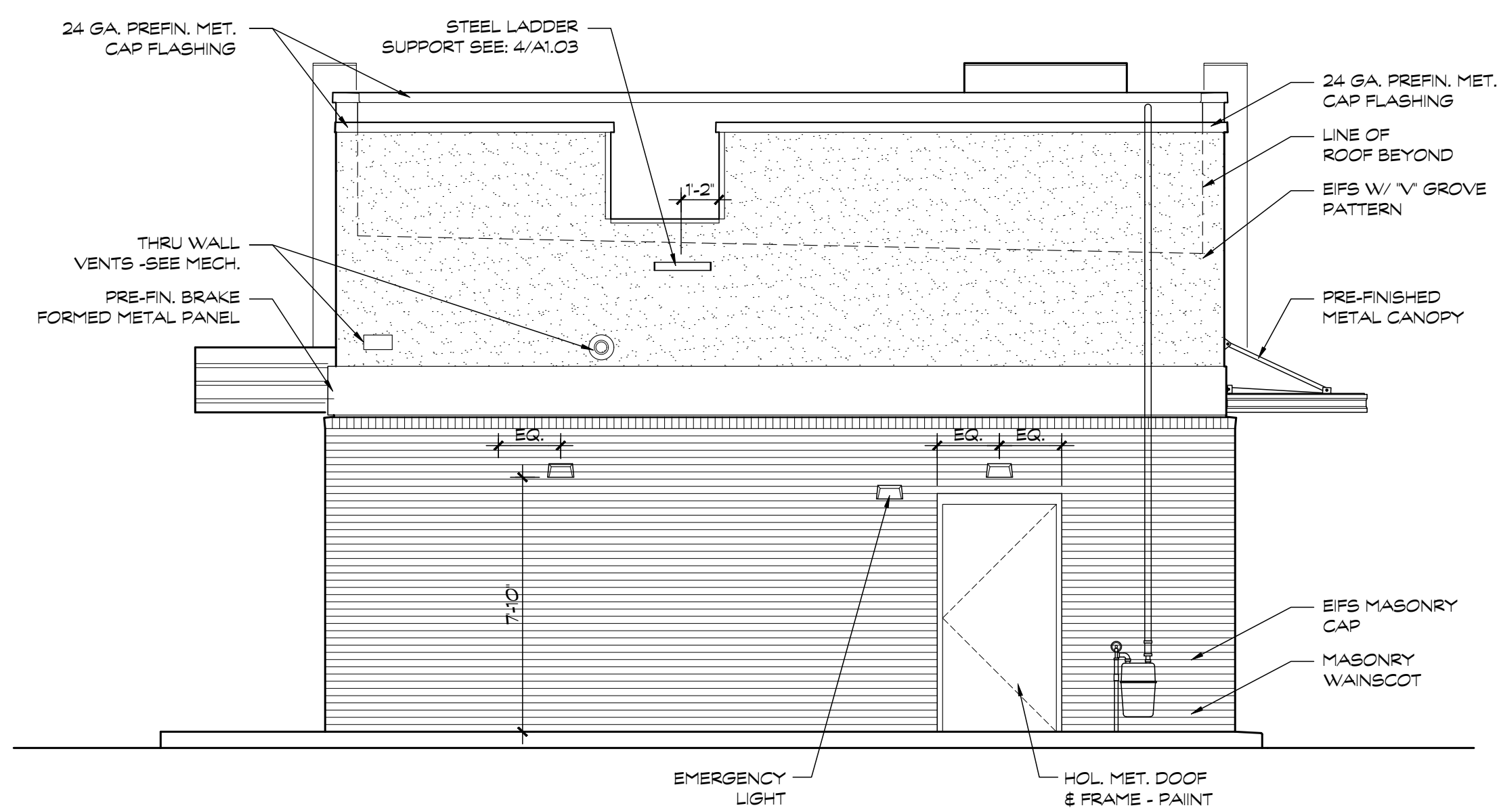
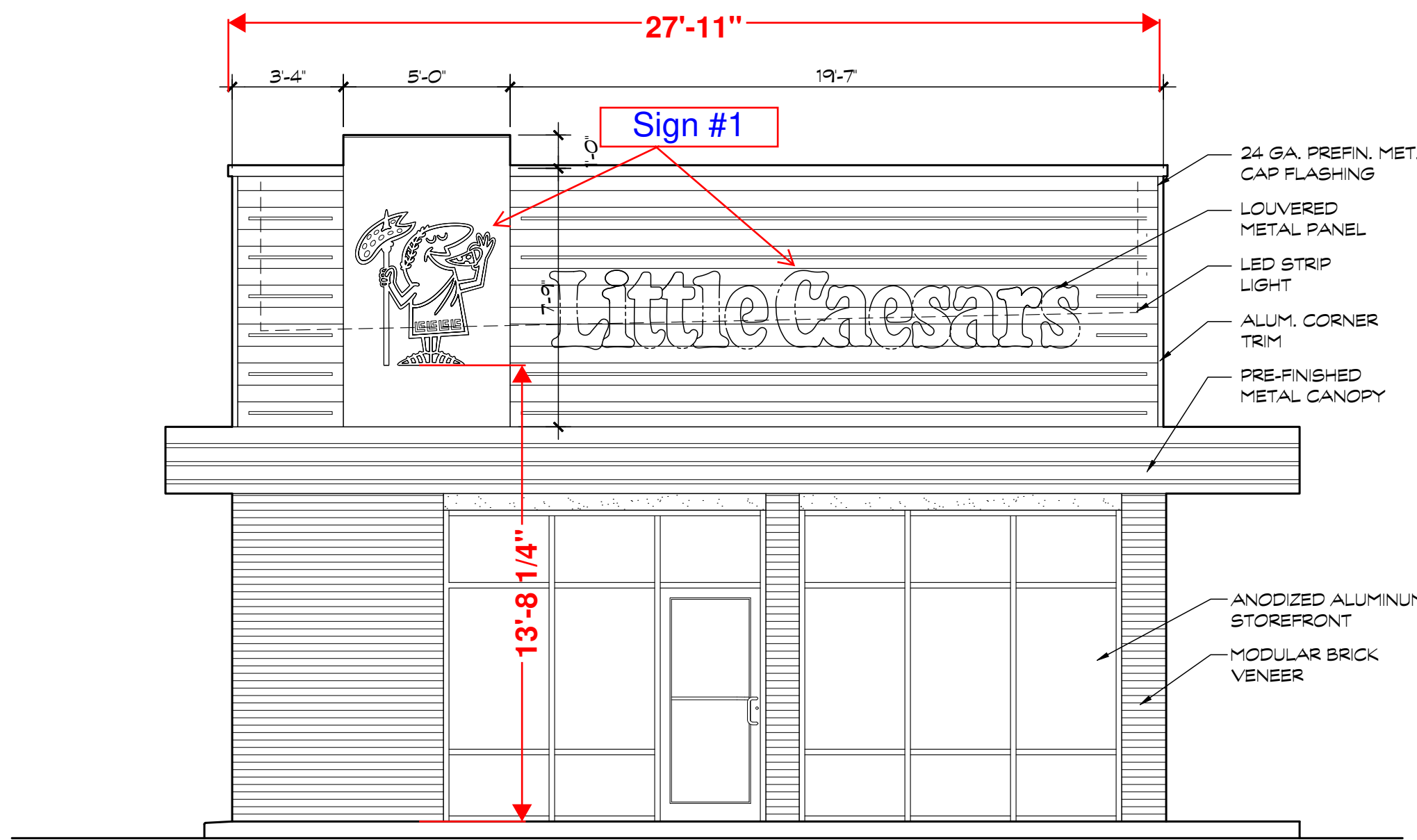
PIVOT DETAIL

ITEM NO.	PartNo	QTY.	DESCRIPTION	WIDTH	LENGTH
18	AS062	1	.125" ROUTED ALUM TOP PLATE		
19	AS021	1	.080" ALUMINUM RETURN	4 7/8"	1'-4 3/16"
20	AS006	2	.063" FORMED ALUM JOINER BAR	1 1/2"	8 1/16"

NOTE: ITEM #18, 19 & 20 ARE ON SHEET 2

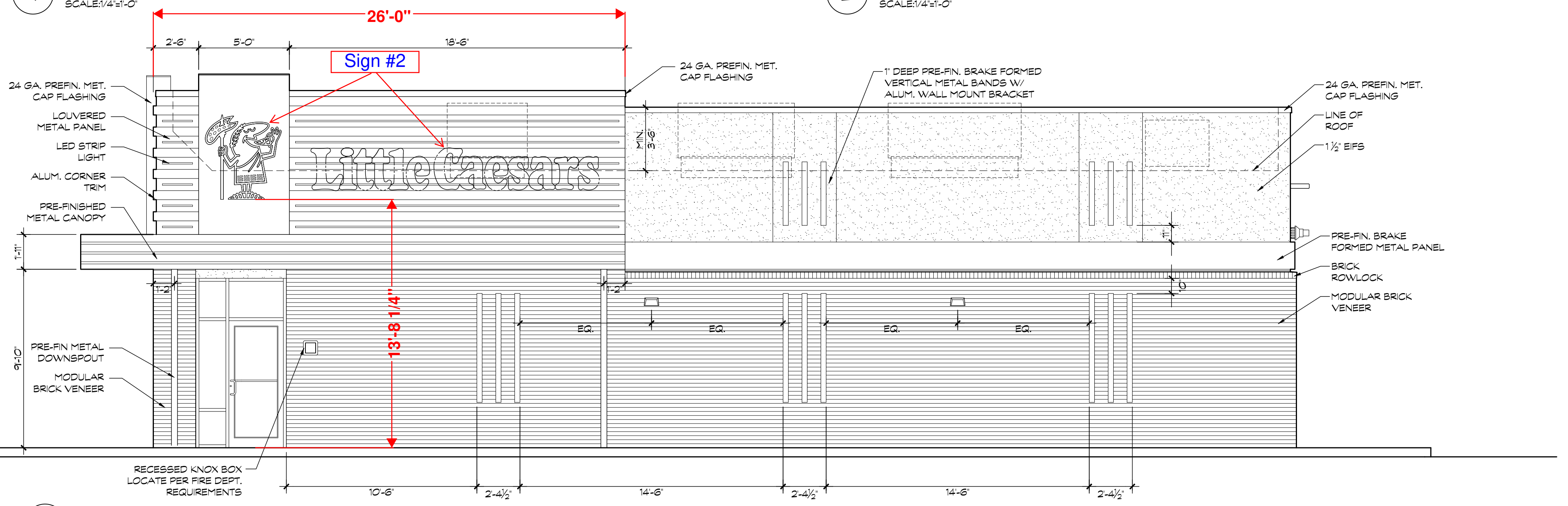
**HEIGHT RESTRICTION STRUCTURE**



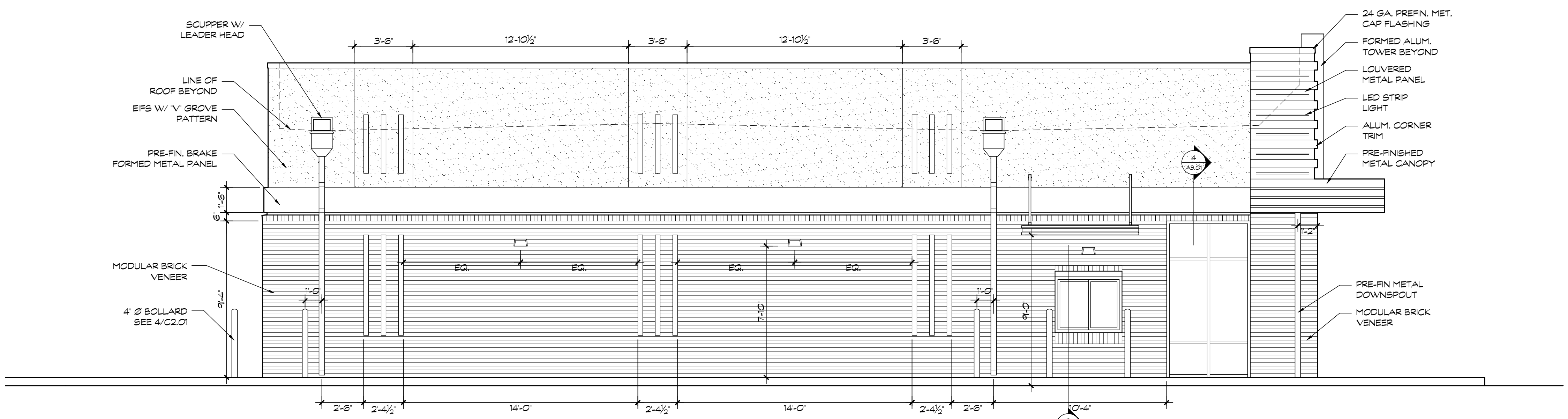


**1 SOUTH ELEVATION** SOUTH ELEVATION = 630.0SF  
 SCALE: 1/4"=1'-0"

**2 NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**3 EAST ELEVATION** EAST ELEVATION SF = 1203.75  
 SCALE: 1/4"=1'-0"



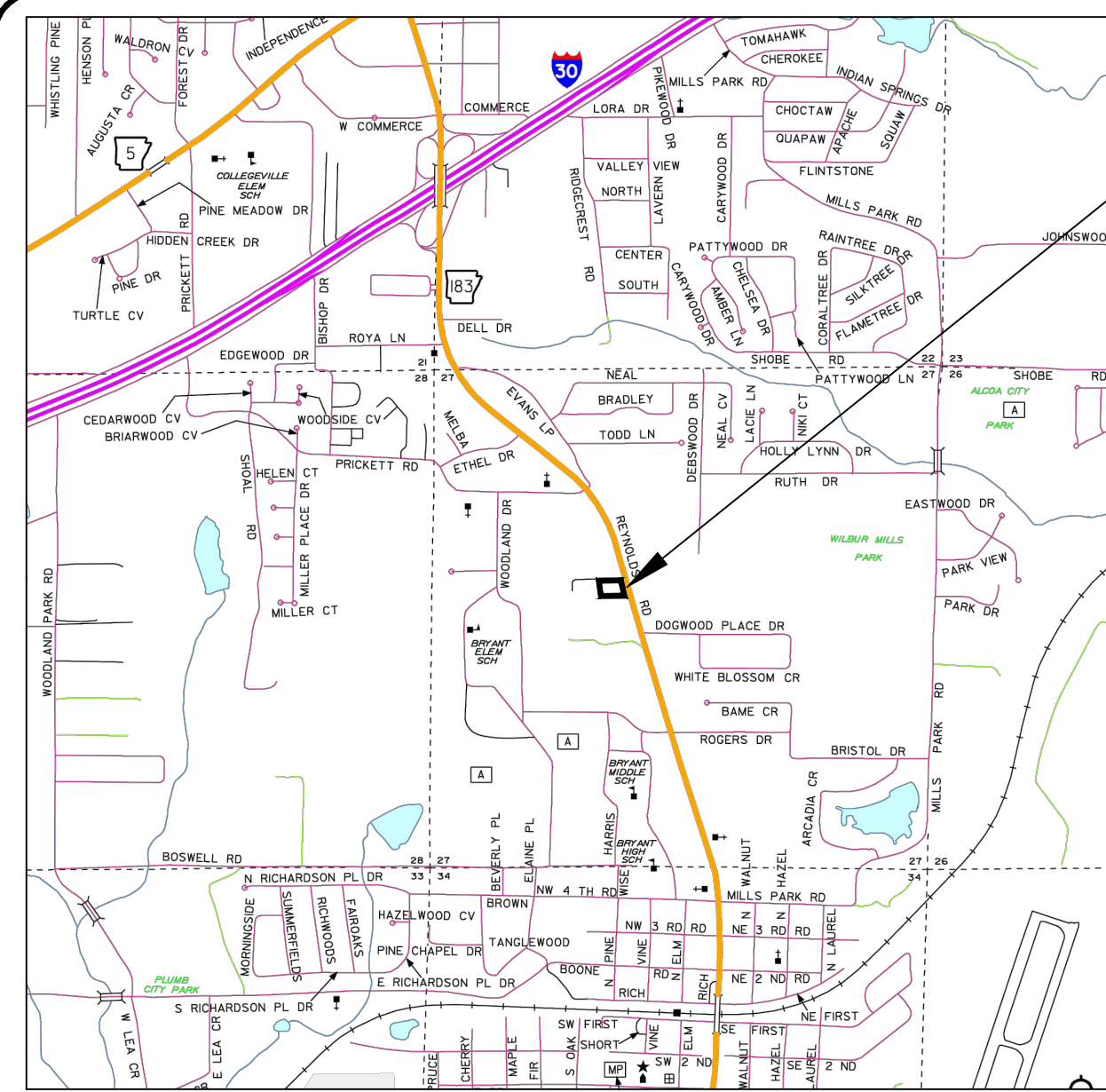
**4 WEST ELEVATION**  
 SCALE: 1/4"=1'-0"

**5 WALL SECTION**  
 SCALE: 1/4"=1'-0"

**LITTLE CAESARS RESTAURANT**  
**1315 N. REYNOLDS ROAD**  
**BRYANT, ARKANSAS**

DATE: AUGUST 8, 2024  
 PROJECT NUMBER: 23017  
 REVISION DATE:  
 SHEET TITLE: EXTERIOR ELEV.





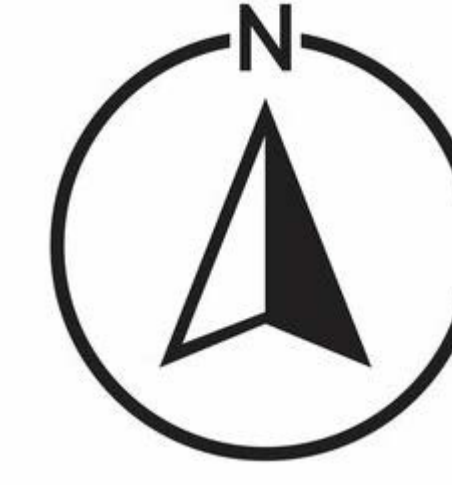
VICINITY MAP

THIS SITE



**SURVEY LEGAL DESCRIPTION:**

PART OF THE SE1/4 NW1/4 OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHWEST CORNER OF SAID SE1/4 NW1/4;  
 THENCE ALONG THE WEST LINE OF THE SAID SE1/4 NW1/4 S 00° 00' 00" E FOR 1143.40 FEET;  
 THENCE N 87° 59' 54" E FOR 530.36 FEET LEAVING THE WEST LINE OF SAID SE1/4 NW1/4 TO A 5/8" REBAR AND THE POINT OF BEGINNING;  
 THENCE N 13° 04' 16" W FOR 193.28 FEET TO A 5/8" REBAR AND THE SOUTHERLY RIGHT OF WAY LINE OF BROWN LANE;  
 THENCE ALONG SAID RIGHT OF WAY LINE S 89° 20' 38" E FOR 195.38 FEET TO A 1/2" REBAR AND THE WESTERLY RIGHT OF WAY LINE OF NORTH REYNOLDS ROAD;  
 THENCE ALONG SAID RIGHT OF WAY LINE S 14° 49' 14" E FOR 194.54 FEET TO A 1/2" REBAR;  
 THENCE N 89° 25' 16" W FOR 201.43 FEET TO THE POINT OF BEGINNING;

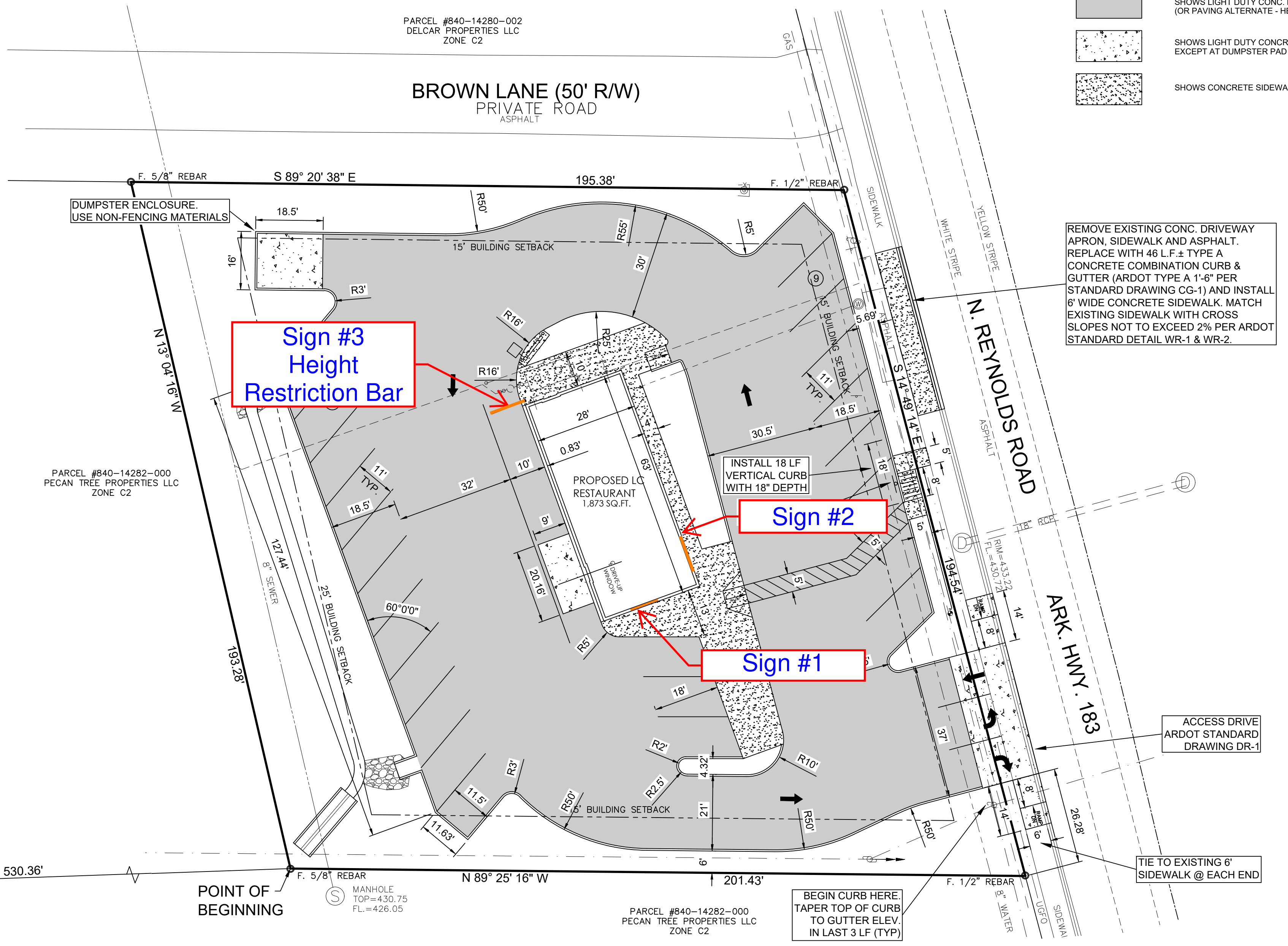


**LEGEND**

- PROPERTY LINE
- EASEMENT
- SANITARY SEWER LINE
- OVERHEAD ELECTRIC LINE
- STORM DRAIN LINE
- EDGE OF ASPHALT
- CURB & GUTTER
- UTILITY POLE & GUY
- GAS METER
- TELEPHONE PEDESTAL
- SIGN
- CALCULATED POINT
- SHOWS FOUND SURVEY MARKER AS DESCRIBED

PARCEL #840-14280-002  
 DELCAR PROPERTIES LLC  
 ZONE C2

BROWN LANE (50' R/W)  
 PRIVATE ROAD  
 ASPHALT



REMOVE EXISTING CONC. DRIVEWAY APRON, SIDEWALK AND ASPHALT. REPLACE WITH 46 L.F. ± TYPE A CONCRETE COMBINATION CURB & GUTTER (ARDOT TYPE A 1'-6" PER STANDARD DRAWING CG-1) AND INSTALL 6" WIDE CONCRETE SIDEWALK. MATCH EXISTING SIDEWALK WITH CROSS SLOPES NOT TO EXCEED 2% PER ARDOT STANDARD DETAIL WR-1 & WR-2.

ACCESS DRIVE ARDOT STANDARD DRAWING DR-1

TIE TO EXISTING 6" SIDEWALK @ EACH END

BEGIN CURB HERE. TAPER TOP OF CURB TO GUTTER ELEV. IN LAST 3 LF (TYP)

GENERAL NOTES:  
 1. ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED. RADII ARE 5 FEET UNLESS OTHERWISE INDICATED.

2. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

4. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH O.S.H.A. AND ANY OTHER APPLICABLE LOCAL, STATE OR FEDERAL SAFETY REGULATIONS, INCLUDING THE USE OF TRENCH SHORING, ETC.

5. REPAIR, REPLACE OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK, RAMPS OR CONCRETE APRONS ON SITE & WITHIN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE. REMOVE ABANDONED DRIVEWAYS. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND ADA GUIDELINES.

6. CONTACT BRYANT STREET DEPARTMENT FOR INSPECTIONS OF ANY WORK IN PUBLIC RIGHT-OF-WAY PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT OR FOR CLARIFICATION OF REQUIREMENTS PRIOR TO COMMENCING WORK. FAILURE TO DO SO CAN RESULT IN REMOVAL OF ANY IMPROPERLY PLACED CONCRETE OR ASPHALT AT THE EXPENSE OF THE CONTRACTOR.

7. CONTACT BRYANT FIRE DEPARTMENT FOR LOCATION AND REQUIREMENTS FOR FIRE LANE STRIPING ON SITE BEFORE APPLICATION. FIRE LANES WILL BE 4" WHITE LETTERS ON 6" RED TRAFFIC PAINT AT 15' INTERVALS.

**SITE PLAN NOTES**

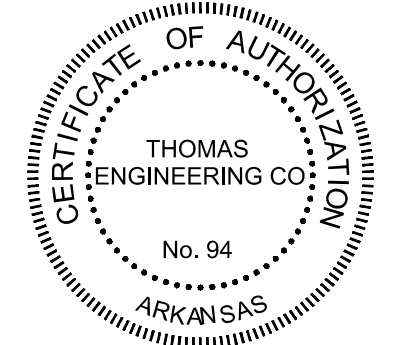
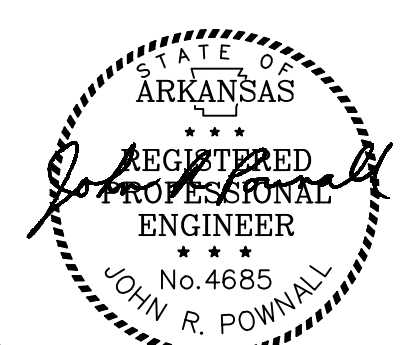
1. SITE CONTAINS A PROPOSED DRIVE THRU RESTAURANT.
2. BASIS OF BEARINGS: GPS GRID NORTH.
3. THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 050308 0380E, DATED 6/05/20.
4. THIS PROPERTY IS ZONED C-2.
5. ALL ABUTTING PROPERTIES ARE ZONED C-2.
6. THIS TRACT CONTAINS 37,231 S.F. OR 0.855 ACRES, MORE OR LESS.
7. SETBACKS FOR C-2 ZONING ON HWY 183 ARE:  
 50' FRONT  
 0' SIDE OR 25' ALONG STREET OR RESIDENTIAL  
 15' REAR OR 55' ABUTTING RESIDENTIAL
8. BUILDING TO LOT COVERAGE 5.0% (35% MAX.).  
 IMPERVIOUS SURFACE AREA TO LOT COVERAGE 65%.

PARCEL #840-14282-000  
 PECAN TREE PROPERTIES LLC  
 ZONE C2

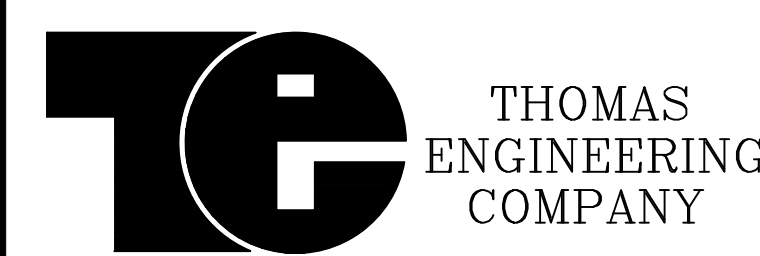
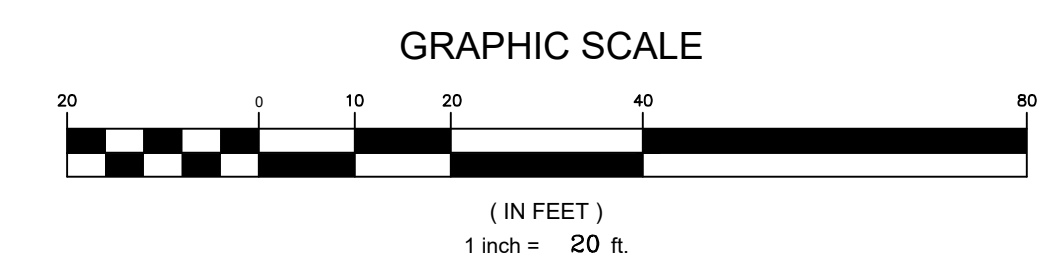
POINT OF COMMENCEMENT  
 NORTHWEST CORNER  
 SE1/4 NW1/4

POINT OF BEGINNING

**PARKING**  
 REGULAR 19 SPACES  
 ACCESSIBLE 1 SPACES  
 TOTAL 20 SPACES  
 REQUIRED 7 SPACES (1 SPACE/300 SF OCCUPIED SPACE)



REVISED: 8-8-24 ARDOT COMMENTS



SITE PLAN  
 LITTLE CAESARS  
 BRYANT, ARKANSAS

APPROVED	DRAWN BY	DATE	SHEET NO.
	JRP	8/26/24	C2
SCALE			
1" = 20'			

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116  
 TEL: 501-753-4463 FAX: 501-753-6814

LITTLE CAESARS-BRYANT-23-0165.dwg

PLOTTED: 8/26/2024



**LANDLORD AUTHORIZATION FORM**

I, Michael Fritz, AS THE

D OWNER OF THE PROPERTY; OR

D OWNER'S AUTHORIZED SIGNING OFFICER (AUTHORIZED TO BIND THE COMPANY)

COMPANY: OBWAT Holdings, LLC

ADDRESS: 7500 Landers Road

CITY/PROVINCE: North Little Rock AR POSTAL CODE: 72117

FOR THE TENANT Little Caesar's Pizza of Arkansas, Inc.

AT THE PROPERTY LOCATED AT 1315 N. Reynolds Rod, Bryant AR 72022 HEREBY:

- (i) GRANT PRIDE SIGNS LIMITED PERMISSION TO APPLY FOR AND OBTAIN NECESSARY SIGN PERMITS AND VARIANCES AND OBTAIN SITE PLANS AND/OR ELEVATION DRAWINGS FROM THE ARCHIVES IF REQUIRED.
- (ii) AUTHORIZE PRIDE SIGNS LIMITED TO ERECT SIGN(S) AT THE AFOREMENTIONED LOCATION AND MAY, AT THEIR OPTION, ELECT TO SUB-CONTRACT THE INSTALLATION.

SINCERELY,

Michael R. Fritz Digitally signed by Michael R. Fritz  
Date: 2024.11.26 10:35:24 -06'00'

SIGNATURE

PRINT NAME

Michael Fritz

TITLE

Manager

mfritz@littlecaesarssofar.com

PHONE NUMBER

FAX NUMBER

EMAIL

November 26, 2024

DATE