



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: May 02, 2024 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Senior Tequila - 2919 N Reynolds - Site Plan Revision

Requesting Approval for adjusting location of retaining wall to create patio area.

- [0851-PLN-01.png](#)
- [0851-PLN-02.jpeg](#)

2. Meramec Specialties Co. - 6139 HWY 5 - Temporary Business

Kevin Bailey - Requesting Approval for Temporary Business for Fireworks Stand

- [0850-APP-02.pdf](#)
- [0850-PLN-01.pdf](#)
- [0850-APP-01.pdf](#)

3. TNT Fireworks - 400 Bryant Ave - Temporary Business

Heather Whaley - Requesting Approval for Temporary Business for Fireworks Stand

- [0852-PLN-01.pdf](#)
- [0852-APP-01.pdf](#)

4. Bryant Schools - High School Building Addition

Minton Engineering - Requesting Recommendation for Site Plan Approval

- [0848-RSP-01.pdf](#)
- [0848-PLN-02.pdf](#)

5. Marketplace II Subdivision Lot 16 and Lot 19 - Site Plan Approval

GarNat Engineering - Requesting Approvals for Site Plans for Lots 16 and 19

- [0853-ELV-01.pdf](#)
- [0854-LND-01.pdf](#)
- [0854-PLN-01.pdf](#)
- [0853-LND-01.pdf](#)
- [0853-PLN-01.pdf](#)

6. Roman Heights Subdivison - Multi-use Trail

Hope Consulting - Requesting Discussion on Trail

Staff Approved

7. The Breakroom - 1812 N Reynolds Road - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [92227-SGNAPP-01.pdf](#)

8. Magnolia Title - 3417 Market Place Ave - Sign Permit

Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED

- [92231-SGNAPP-01.pdf](#)

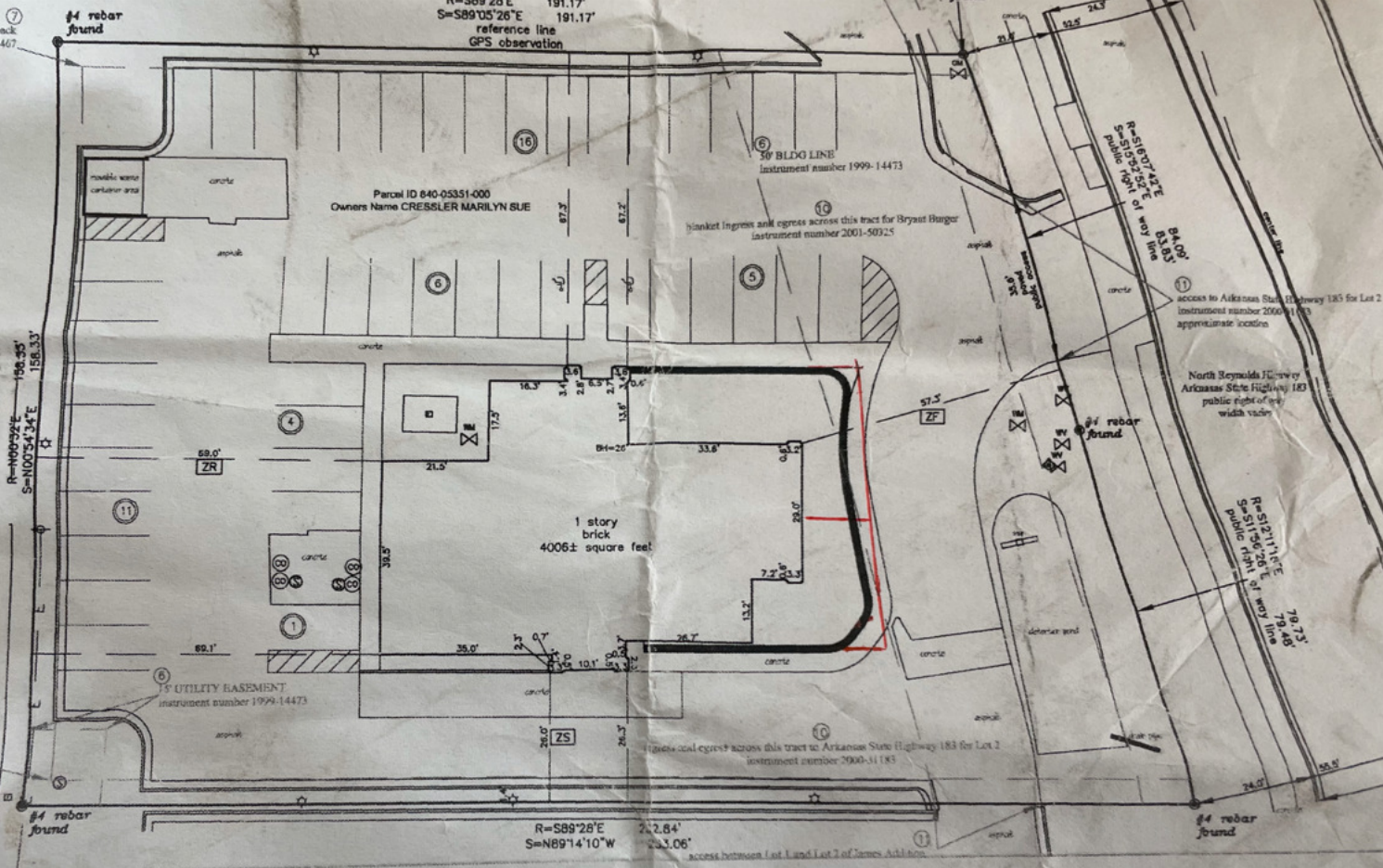
Permit Report

Adjournments

5' building setback
instrument number 1999-1447

191.17
S=S89°05'26"E
reference line
GPS observation

Parcel ID 840-05353-000
Owners Name DSK PROPERTIES LLC
Lot 3
James Addition
plat book 1999, page 14473



12'
From wall to

Owner Name FRP BRYANT LLC

R=S89'28"E 191.17'
S=S89'05'26"E 191.17'
reference line
GPS observation

10' building, parking lot or other structure setback
Instrument number 1999-14467

POINT OF BEGINNING
northeast corner of
James Addition
instrument number 1989-14473
rebar found

50' BLDG LINE
Instrument number 1999-14473
blanket ingress and egress across this tract for Bryant Burger
Instrument number 2001-50325

Parcel ID 640-05351-000
Owners Name CRESSLER MARILYN SUE

1 story brick square feet
4006± square feet

UTILITY EASEMENT
instrument number 1999-14473

R=S89'28"E
S=N89'14'10"W

Blanket ingress and egress across this tract to Arkansas State Highway 183 for Lot 2
Instrument number 2000-11183

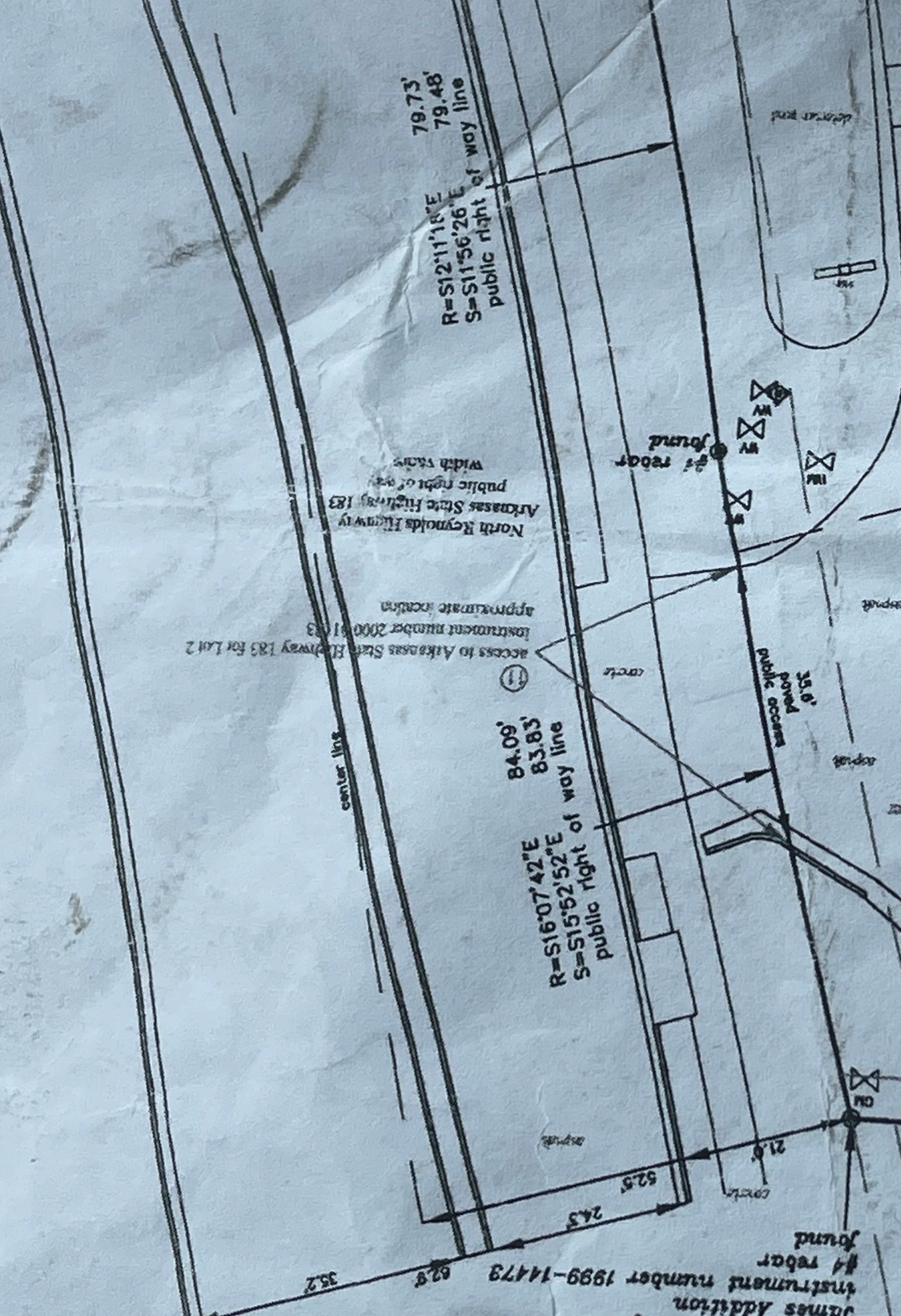
R=S121'18"E 79.73'
S=S11'56'26"E 79.48'
public right of way line

North Reynolds Highway
Arkansas State Highway 183
public right of way
width varies

R=S16'07'42"E 84.09'
S=S15'52'52"E 83.85'
public right of way line

access to Arkansas State Highway 183 for Lot 2
Instrument number 2000-11183
approximate location

35.2'
24.5'
24.0'
36.1'
33.5'



April , 2024

Bryant Planning Commission
Bryant City Hall
210 SW 3rd Street
Bryant, AR 72022

RE: Fireworks application for 6905 Highway 5 in Bryant, AR

Bryant Planning and Building Department:

The purpose of this letter is to notify the Bryant Planning Commission that Meramec Specialty Company has permission to sell fireworks at 6905 Highway 5 North in Bryant, AR during the period of June 10, 2024 through July 10, 2024. This is the same location that Meramec Specialty Company has operated at during previous years. I have attached the following items that are required in order to receive a fireworks permit in Bryant, AR.

1. A temporary business license application.
2. \$25.00 application fee.
3. A copy of our site plan.
4. A letter of permission from the property owner.
5. A copy of our Surety Bond
6. A copy of a State of Arkansas fireworks permit.

If you have any questions or comments, please email me at kbaileyar@aol.com or call me at 901.409.1884.

Best regards,

MERAMEC SPECIALTY COMPANY

Kevin A. Bailey

MR. RICK JONES
PINNACLE IMPROVEMENTS, LLC
10601 INTERSTATE 30
LITTLE ROCK, AR 72209

August 3, 2023

City of Bryant Planning Commission:

The purpose of this letter is to notify you that Meramec Specialty Company has permission to sell fireworks on my property during the period of June 15, 2024 through July 10, 2024. The physical address of the property is 6905 Highway 5 in Bryant, Arkansas.

Sincerely,

PINNACLE IMPROVEMENTS, LLC

A handwritten signature in black ink that reads "Rick Jones". The signature is written in a cursive style with a large, looped "R" and "J".

Rick Jones



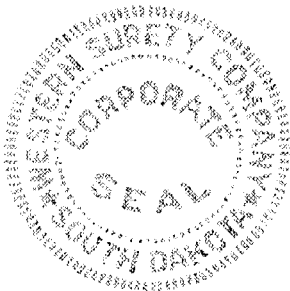
Western Surety Company

CONTINUATION CERTIFICATE

Western Surety Company hereby continues in force Bond No. 15146913 briefly described as TEMPORARY BUSINESS PERMIT CITY OF BRYANT, ARKANSAS,
 _____,
 for MERAMEC SPECIALTY COMPANY
 _____, as Principal,
 in the sum of \$ ONE THOUSAND AND NO/100 Dollars, for the term beginning May 20, 2024, and ending May 20, 2025, subject to all the covenants and conditions of the original bond referred to above.

This continuation is issued upon the express condition that the liability of Western Surety Company under said Bond and this and all continuations thereof shall not be cumulative and shall in no event exceed the total sum above written.

Dated this 29th day of March, 2024.



WESTERN SURETY COMPANY

By Larry Kasten
 Larry Kasten, Vice President

THIS "Continuation Certificate" MUST BE FILED WITH THE ABOVE BOND.

DRAYTON INSURANCE BROKERS, INC.

2500 CENTER POINT ROAD, SUITE 301
BIRMINGHAM, ALABAMA 35215
PHONE: (205) 854-5806
FAX: (205) 854-5899

POST OFFICE BOX 94067
BIRMINGHAM, ALABAMA 35220
EMAIL: dib@draytonins.com

CERTIFICATE OF INSURANCE

NO. 430303

We certify that insurance is afforded as stated below. This Certificate does not affirmatively or negatively amend, extend or alter the coverage afforded by the insurance policy and the insurance afforded is subject to all the terms, exclusions and conditions of the policy.

INSURER	Admiral Insurance Company	POLICY NO. CA000018967-11
NAMED INSURED	Atomic Fireworks Inc. of Arkansas Atomic Fireworks Inc. of Missouri Meramec Specialty Company P.O. Box 305 Arnold, Missouri 63010	T.E.A. Enterprises, Inc. Pacific Specialty Company West Alton Properties, Inc ATLG, LLC
POLICY TERM	March 1, 2024 to March 1, 2025; Both Days 12:01 A.M. Standard Time	
COVERAGE	Premises-Operations Liability:	<input checked="" type="checkbox"/> Occurrence Basis <input type="checkbox"/> Claims Made Basis
LIMIT OF LIABILITY	\$1,000,000 each occurrence, \$10,000,000 general aggregate The limit of liability shall not be increased by the inclusion of more than one insured or additional insured.	

INSURED OPERATIONS The sale of consumer fireworks (1.4G) and related products at the **Insured location**, during the **period of operation**.

It is certified that, for the period of operation stated below and when named below as such, this policy includes as **Additional Insureds** 1) the operator(s), sponsor(s), promoter(s), organizer(s), of the **Insured Premises** used principally for the retail sale of consumer fireworks supplied by the Named Insureds and/or 2) the owner(s), manager(s), tenant(s), mortgagee(s) (including other entities having similar interests), of the property on which the **Insured Premises** is located and/or 3) the licensing authority issuing a permit or license for the operation of the **Insured Premises** and/or 4) any entity for which the Named Insured is required, by written contract, to provide insurance such as is afforded by the terms of this policy.

**NAME(S) OF
ADDITIONAL INSURED(S)**

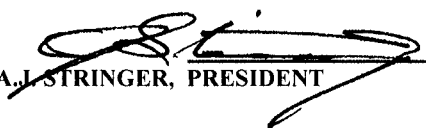
Pinnacle Improvements, LLC- Property Owner
Meramec Specialty Company-Stand Owner and Operator
Stand Manager and Sub-Operator
Licensing Authorities-State of Ar., City of Bryant

**ADDRESS OF
INSURED PREMISES** An area measuring approximately 150' x 150' whose physical address is 6139 Hwy 5 N. in
Bryant, Arkansas. #127

PERIOD OF OPERATION March 1, 2024 through February 28, 2025

It is certified that this policy requires a 30 day mutual notice of cancellation between the Insurer and the Named Insured. In the event of such cancellation we will endeavor to mail 10 days written notice to the Additional Insured(s), whose name and address is shown hereon, but failure to mail such notice shall impose no obligation or liability of any kind upon the insurer and/or the undersigned.

DRAYTON INSURANCE BROKERS, INC.


A.J. STRINGER, PRESIDENT

March 1, 2024
DATE OF ISSUE

State of Arkansas
ARKANSAS SALES AND USE TAX PERMIT

MERAHEC SPECIALITY CO

DATE ISSUED:

P.O. BOX 1150

PERMIT NUMBER: 035048-18-001

WEST MEMPHIS AR 72301

DLN:

DATE OPENED: 01/01/1965

SIC: 5042

TOYS AND HOBBY GOODS AND SUPPLIES

EXEMPTION: 81 THIS BUSINESS IS EXEMPT FROM SALES TAX ONLY FOR THE PURCHASES OF
GOODS TO BE RESOLD IN THE NORMAL COURSE OF BUSINESS.



THIS PERMIT IS VALID UNTIL IT IS CANCELED AND SURRENDERED BY THE PERMIT HOLDER OR REVOKED BY THE COMMISSIONER OF REVENUES.

THIS PERMIT MUST BE SURRENDERED IF BUSINESS IS SOLD, DISCONTINUED OR LOCATION CHANGED.

WHEN THIS PERMIT IS SURRENDERED FOR ANY OF THE ABOVE REASONS, YOU MUST REPORT AND PAY ANY SALES OR USE TAX PLUS ANY PENALTIES OR INTEREST THAT IS OWED BY THIS BUSINESS. FAILURE TO PAY THESE TAXES WILL RESULT IN A LIEN BEING PLACED AGAINST THE STOCK AND FIXTURES OF THIS BUSINESS AND THE SAME IS ENFORCEABLE AGAINST PURCHASERS AND THIRD PARTIES.



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

02/07/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

ADDRESS 3008 EVA DRIVE

CITY PINE BLUFF

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-430A5

FMVSS-302

CANULC-5100

EPA-147

A-A-5530C

SNYDER MANUFACTURING INC. BY Michael S. Snyder
PRV 13100 DARK BLUE 61" HI-GLOSS

T80 SUPERVISOR, Quality Control

STYLE _____
CONTROL NO. 18347

CUSTOMER ORDER NO. VET RAY

SNYDER S-ORDER NO. 215563

DATE PROCESSED 02/07/11

YARDS OR QUANTITY 75

DATE CERTIFIED 02/22/11

4.16-6-22-02



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

140.01

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date manufactured

01/05/11

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TENTS AND AWNINGS INC

ADDRESS 3008 EVA DRIVE

CITY PINE BLUFF

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-430A5

FMVSS-302

CANULC-5100

A-A-5530C

SNYDER MANUFACTURING INC. BY Michael S. Snyder
STYLE PRV 13100 WHITE 61" HI-GLOSS

T80 SUPERVISOR, Quality Control

CONTROL NO. 19254

CUSTOMER ORDER NO. RAY

SNYDER S-ORDER NO. 220003

DATE PROCESSED 01/03/11

YARDS OR QUANTITY 300

DATE CERTIFIED 01/21/11

4.16-6-22-02



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date Manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TEXTS AND AMKING INC

CITY PINE BLUFF

ADDRESS 3004 EVA DRIVE

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-45006

FMVSS-502

CANULC-5100

A-A-68300

SNYDER MANUFACTURING INC. BY

STYLE RIV 13100 WHITE 61" HI 61060

TRD Supervisor, Quality Control

CONTROL NO. 18429

SNYDER S-ORDER NO. 214670

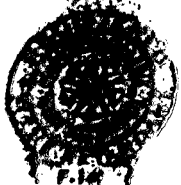
CUSTOMER ORDER NO. RAY

YARDS OR QUANTITY 375

DATE PROCESSED 06/02/10

DATE CERTIFIED 06/04/10

140-404-N



Certificate of Flame Resistance

REGISTERED FABRIC NUMBER

ISSUED BY

SNYDER MANUFACTURING, INC.
3001 PROGRESS STREET
DOVER, OHIO 44622

Date Manufactured

06/02/10

140.01

This is to certify that the materials described below are flame-retardant and inherently nonflammable.

FOR RIVER CITY TEXTS AND AMKING INC

CITY PINE BLUFF

ADDRESS 3008 EVA DRIVE

STATE AR 71602



The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

* FABRIC MEETS THE REQUIREMENTS OF THE SPECIFICATIONS LISTED BELOW INDICATED BY

NFPA-701 (Large Seals)

MIL-C-45006

FMVSS-502

CANULC-5100

A-A-68300

SNYDER MANUFACTURING INC. BY

STYLE RIV 13100 RED 61" HI 61060

TRD Supervisor, Quality Control

CONTROL NO. 19888

SNYDER S-ORDER NO. 218370

CUSTOMER ORDER NO. RAY

YARDS OR QUANTITY 375

DATE PROCESSED 06/02/10

DATE CERTIFIED 06/04/10



THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED IN THE PLACE OF BUSINESS

Office of Fire Services

Number

RPJ.0000005

State Fire Marshal

Date of Issue

03/25/2024

FIREWORKS RETAIL PERMIT

This is to certify that

Meramec Specialty Company

Is duly licensed to transact business in the State of Arkansas as a retailer

Address: 6139 Hwy 5 North Bryant, AR 72022

Issued By: Atomic of Arkansas

License Number: FWJ.0001201

LICENSE EXPIRES: 04/30/2025

AJ GARY

DIRECTOR and STATE
HOMELAND SECURITY ADVISOR



Jake Dennis Free

Jake Dennis Free
INTERIM STATE FIRE MARSHAL

NON TRANSFERABLE

6139 HWY 5 N. Bryant, AR 72022

Tent Location and Distances

Legend

 Hornet Ice

Dumpster

PortoPotty

Trailer

Tent

90'

30'

52'

Hornet Ice

5

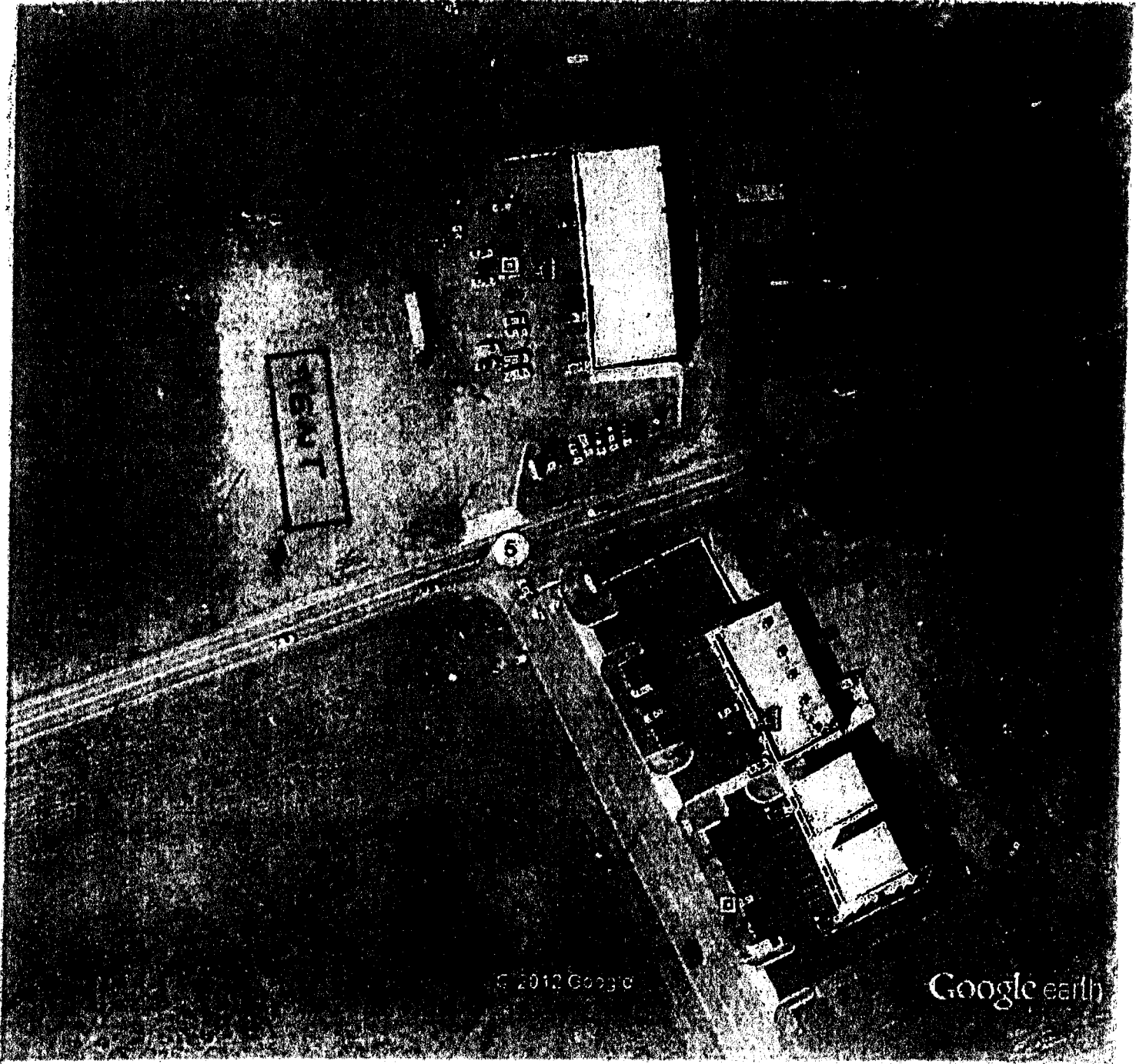
100 ft



Google Earth

Image Landsat / Copernicus

6905 HWY. 5 N



© 2012 Google

Google earth

Google earth

feet
meters

© 2012 Google

100

400





City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: 4-2024

Business Information:

Name Meramec Specialty Co. dba. Fireworks City
 Federal Tax Employer ID Number 43-0762804
 Arkansas State Sales Tax Number 035048-18-001
 Location of Proposed Temporary Business 6905 Hwy 5 N., Bryant AR, 72072
6139

Business Owner:

Name Mark Loyd
 Address P.O. Box 1150
West Memphis, AR 72303
 Phone (870) 735-1753
 Email Kristi.loyd@aol.com

Contact Person:

Name Kevin Bailey
 Address 5505 Chesterfield Cove
Bartlett, TN, 38134
 Phone (901) 409-1884
 Email Kbaileyar@aol.com

Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
 - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I KEVIN BAILEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree to and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature Kevin Bailey

Temporary Business Application

City of Bryant

Date: 4-2024

Name of Business: Melamec Specialty Co. dba "Fireworks City"

Federal Tax Employer Identification Number: 43-0762804

Arkansas State Sales Tax Number: 035048-18-001

Type of Business: Fireworks - Retail

Location of proposed Temporary Business: 605 Hwy 5 N., Bryant AR. 72072
6039

Parcel Number of Location of proposed Temporary Business: _____

Owner Mailing Address: P.O. Box 1150, West Memphis, AR. 72303

Contact Person: Kevin Bailey

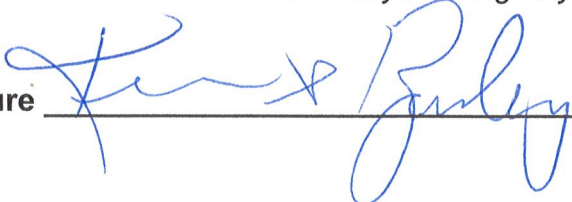
Daytime Phone Number: (870) 735-1753 Evening Phone Number: (901) 409-1884

Please check the category you are applying for. Permits cannot exceed the following time limits:

<input type="checkbox"/>	Carnivals	30 Days
<input checked="" type="checkbox"/>	Fireworks stands or tents	30 Days
<input type="checkbox"/>	Christmas tree stands, tents or lots	60 Days
<input type="checkbox"/>	General commercial sales stands, tents or lots	90 Days
<input type="checkbox"/>	Concession/Refreshment stands/Food Service	180 Days

Beginning Date Requested June 17, 2024 Ending Date Requested July 17, 2024

I hereby certify the above to be true and correct, and state that I am operating a business in accordance with the city's zoning regulations and/or any other city, state, or federal laws which may be applicable. I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation. No temporary business may operate for more than 180 days during any consecutive 12-month period.

Owners Signature 

FAR0153-BRYANT
WAL-MART #3230
400 BRYANT AVE.
BRYANT, AR 72022
SALINE COUNTY
TENT WILL BE PLACED IN ROW 12





City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943



Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at www.cityofbryant.com under the Community Development tab.

Date: 03.22.2024

Business Information:

Name TNT FIREWORKS

Federal Tax Employer ID Number 63-0813092

Arkansas State Sales Tax Number 00286128

Location of Proposed Temporary Business 400 BRYANT AVE, BRYANT, AR 72022

Business Owner:

Name TERRY ANDERSON

Address 4511 HELTON DRIVE
FLORENCE, AL 35630

Phone 256.764.6131

Email _____

Contact Person:

Name HEATHER WHALEY

Address 4003 HELTON DRIVE
FLORENCE, AL 35630

Phone 256.246.0121

Email WHALEYH@TNTFIREWORKS.COM

Checklist for Submission

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.
(Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

- Eight (8) copies of a **Site Plan**:
 - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
 - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
 - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

READ CAREFULLY BEFORE SIGNING

I HEATHER WHALEY, do hereby certify that all information contained within this application is true and correct. I further certify that I agree too and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

~~Owners~~ Signature _____

AGENT FOR TNT FIREWORKS

Heather M's Whaley



STATEMENT OF PURPOSE

American Promotional Events dba TNT Fireworks is submitting for approval for the attached application.

Location address: 400 Bryant Avenue, Bryant, AR 72022

The purpose is to sell Arkansas approved fireworks in a temporary tent from June 20th 2024 - July 5th 2024. The tent will be erected three days prior to the sale and removed within two days of completion of the sale. The hours of operation will be from 9am-10pm, as permitted by local location ordinances.

There will be two fire extinguishers readily accessible. "No Smoking" and age limit signs will be posted and enforced. Arkansas State Fireworks Sales Permits will be obtained prior to the sale date and will be posted on-site along with our insurance and Certificate of Authority. There will be a minimum of two people onsite at all times and the product will be secured 24/7 to ensure safety.

Please forward any processed permits to:

4003 Helton Dr.
Florence, AL 35630
Attn: Heather Whaley

whaleyh@tntfireworks.com
(for emailing permits)

If you have any questions, please do not hesitate to call me at 256.246.0121.

Sincerely,
Heather Whaley

A handwritten signature in cursive script that reads "Heather Whaley".

Stand & Tent East - Regional Administrative & Permitting Coordinator
whaleyh@tntfireworks.com

AMERICAN PROMOTIONAL EVENTS, INC.
P.O. BOX 1318 · 4511 HELTON DRIVE · FLORENCE, AL 35630
PHONE (256) 764-6131 · FAX (205) 533-6043
www.tntfireworks.com



702 SW 8th Street
Bentonville, AR 72716
Pete.Rosen@walmart.com

August 17, 2023

To Whom It May Concern,

American Promotional Events, Inc. dba TNT Fireworks is an approved National Supplier to conduct fireworks promotions on our Walmart parking lots where this type of promotion is legal. All stores have been researched and approved by the Walmart Realty Department. The approximate time frame for the promotions are:

- December 26th, 2023 through and including January 10th, 2024.
- June 12th, 2024 through and including July 12th, 2024 with the exception of Utah which has an additional selling period through the end of July for Pioneer Days.

American Promotional Events, Inc. dba TNT Fireworks is authorized to sign for and obtain all necessary permits and/or licenses for the promotion and must display such permits and/or licenses at each stand/tent. Walmart grants permission for all patrons of the sale to utilize the restroom facilities at each participating store.

An American Promotional Events, Inc. dba TNT Fireworks representative will call you to introduce the company and discuss your participation in the event. Participation is encouraged and does add additional income to your other income account. Store Management must approve the store's participation and placement on the parking lot.

Thank you in advance for your cooperation in this matter and if you have any questions, please contact TNT Fireworks at 256-767-7142.

Best Regards,

DocuSigned by:

3CEE3D9BFFA44F...
Pete Rosen
Manager II
Walmart Retail Services

VERIFICATION OF SURETY BOND RENEWAL

February 21, 2024

RE: BOND # 106725029
BOND AMOUNT: \$1,000.00
PRINCIPAL: American Promotional Events, Inc. dba TNT
Fireworks
OBLIGEE: City of Bryant, AR
DESCRIPTION: Fireworks Stand at 400 Bryant Avenue, Bryant, AR
72022 - FAR0153
EFFECTIVE DATE: April 24, 2017
PREMIUM TERM: 4/24/2024 – 4/24/2025

THE ABOVE REFERENCED BOND CONTINUES TO BE IN FULL FORCE AND EFFECT. THE BOND IS CONTINUOUS IN NATURE AND WILL REMAIN IN FORCE UNTIL CANCELED BY THE SURETY ACCORDING TO THE TERMS AND CONDITIONS OF THE BOND.

Travelers Casualty and Surety Company of America



Stephen A. Vann
Attorney-in-Fact





**Travelers Casualty and Surety Company of America
Travelers Casualty and Surety Company
St. Paul Fire and Marine Insurance Company**

POWER OF ATTORNEY

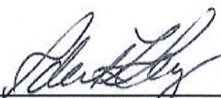
KNOW ALL MEN BY THESE PRESENTS: That Travelers Casualty and Surety Company of America, Travelers Casualty and Surety Company, and St. Paul Fire and Marine Insurance Company are corporations duly organized under the laws of the State of Connecticut (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint **STEPHEN A VANN** of **ATLANTA, Georgia**, their true and lawful Attorney(s)-in-Fact to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed, and their corporate seals to be hereto affixed, this **21st** day of **April, 2021**.



State of Connecticut

City of Hartford ss.

By: 
Robert L. Raney, Senior Vice President

On this the **21st** day of **April, 2021**, before me personally appeared **Robert L. Raney**, who acknowledged himself to be the Senior Vice President of each of the Companies, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of said Companies by himself as a duly authorized officer.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission expires the **30th** day of **June, 2026**




Anna P. Nowik, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of each of the Companies, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary, and it is

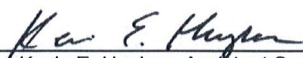
FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any Power of Attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such Power of Attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, **Kevin E. Hughes**, the undersigned, Assistant Secretary of each of the Companies, do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which remains in full force and effect.

Dated this **27th** day of **February**, **2024**.




Kevin E. Hughes, Assistant Secretary

**To verify the authenticity of this Power of Attorney, please call us at 1-800-421-3880.
Please refer to the above-named Attorney(s)-in-Fact and the details of the bond to which this Power of Attorney is attached.**



300 North Port Drive
Cabot, AR 72023
(501) 941-5559

April 23, 2024

Mr. Colton Leonard
City of Bryant - Planning
210 S.W. 3rd St.
Bryant, AR 72022

Re: Large Scale Development, Bryant High School Addition, Bryant, AR

Mr. Leonard:

Below is our response to the comments from the April 18th DRC meeting.

Planning:

- All rooftop mechanical equipment is screened. The architect is going to call about the mechanical equipment on the east side of the building. This side of the building is lower than the parking and drives, screening will not hide the units.
- Terry Harper with Bryant Schools will call you concerning the landscaping for this project. He has been working with the city on fixing some of the landscape issues they are having on the campus and wants this to match.
- The School District will provide an asbestos clearance letter for each building prior to demolition.

Water:

- The tap has been moved to come off the existing 8" water on the west side of the bus drive.
- We are now capping the existing 8" line at the southwest corner of this project.

Fire:

- This building will have its own fire protection riser, this will allow for an additional 52,000 SF of floor area. It will connect to the fire suppression system on the existing building and will utilize the same FDC.

Storm:

- Trickel channel has been revised.
- Spot elevations added around pond.
- Water surface elevation added to detention pond note.
- All stormwater calculations will be submitted next week.

Sincerely,



Josh Minton, PE
Project Engineer

Cc: Randy Wolf, AIA – Lewis Architects

HIGH SCHOOL ADDITION

BRYANT SCHOOL DISTRICT
BRYANT, AR



PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED AS PARTS OF THE OFFICIAL CONTRACT DOCUMENT

OWNER: BRYANT SCHOOL DISTRICT
FACILITY: HIGH SCHOOL ADDITION
LOCATION: BRYANT, AR
BY:
DATE:

CONSTRUCTION MANAGER: BALDWIN & SHELL CONSTRUCTION
ADDRESS:
BY:
DATE:

ARCHITECT: LEWIS, ELLIOTT, MCMORRAN, VADEN,
RAGSDALE, & WOODWARD INCORPORATED
ADDRESS: 11225 HURON LANE, SUITE 104
LITTLE ROCK, ARKANSAS 72211
BY:
DATE:

PROJECT NUMBER: 23060
DRAWINGS AND PROJECT MANUAL DATED: 09 APRIL 2024

CERTIFICATION STATEMENT:

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

R/V 04-09-24
LEWIS, ELLIOTT, MCMORRAN, VADEN, RAGSDALE, & WOODWARD, INCORPORATED

MATERIAL LEGEND

	MASONRY (PLAN)
	METAL STUD FRAMING (PLAN)
	GYPSUM PANELS
	WOOD BLOCKING CONTINUOUS (SECTION)
	WOOD BLOCKING AS NEEDED (SECTION)
	WOOD FINISHED FACE OR SOLID WOOD
	WOOD PLYWOOD (SECTION)
	CONCRETE (SECTION)
	RIGID INSULATION (SECTION)
	BATT INSULATION (SECTION)
	FILL MATERIAL (SECTION)
	REPLACED SOIL (SECTION)

DESIGN DATA

GENERAL CODES:

INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION
ARKANSAS FIRE PREVENTION CODE (AFPC) 2021 EDITION

SEISMIC:

SEISMIC RISK CATEGORY 2021 IBC
SEISMIC DESIGN CATEGORY _
SALINE COUNTY AFPC REVISIONS

ACCESSIBILITY STANDARDS

ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

OCCUPANCY CLASSIFICATION:

EDUCATION IBC 305

BUILDING CONSTRUCTION TYPE:

II-A-SPRINKLED IBC TABLE 601

ALLOWABLE BUILDING HEIGHT AND AREA:

4 STORY / 85 FT TALL / 79,500 SQ. FT. PER FLOOR IBC 503

OCCUPANT LOAD AND REQUIRED EGRESS:

LEVEL	OCCUPANTS	EXITS (REQ. / ACT)	EGRESS WIDTH (REQ. / ACT)
1ST FLOOR	734	3 / 4	110' / 236'
2ND FLOOR	241	2 / 2	60' / 124"
3RD FLOOR	235	2 / 2	60' / 124"
4TH FLOOR	235	2 / 2	60' / 124"

TOTAL BUILDING SQUARE FOOTAGE:

1ST FLOOR	24,002 SQFT
2ND FLOOR	13,852 SQFT
3RD FLOOR	13,852 SQFT
4TH FLOOR	13,852 SQFT
TOTAL	65,558 SQFT

FIRE PROTECTION

PORTABLE FIRE EXTINGUISHERS	NFPA 10
AUTOMATIC SPRINKLER SYSTEM	IBC 903
2-HR RATED EXIT STAIR (FIRE BARRIER)	IBC 1023
2-HR RATED BUILDING SEPARATION (FIRE WALL) AT EXISTING	IBC 706
FIRE RESISTANCE RATED BUILDING ELEMENTS	IBC TABLE 601
PRIMARY STRUCTURAL FRAME	1-HR
BEARING WALLS	1-HR
FLOOR CONSTRUCTION	1-HR
ROOF CONSTRUCTION	1-HR

STORM SHELTER

NET OCCUPANT LOAD REQUIRED (75% CLASSROOMS, 70% LAB SPACES)	1061 OCC
REQUIRED AREA (OCCUPANT LOAD AT 5 SQFT/PERSON)	5305 SQFT
PROVIDED AREA	5562 SQFT

SYMBOL LEGEND

	DOOR MARK, SEE DOOR SCHEDULE
	CASEWORK ELEVATION MARK
	WINDOW / STOREFRONT FRAME MARK
	CLASSROOM - ROOM NAME
	ROOM NUMBER
	ROOM CEILING HEIGHT
	CEILING FINISH
	DETAIL / SECTION NUMBER
	SHEET NUMBER

VICINITY MAP



ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
AT	ALUMINUM THRESHOLD
CEJC	CEILING EXPANSION JOINT COVER
CJ	CONTROL JOINT
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DTL	DETAIL
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FEJ	FLOOR EXPANSION JOINT
FLR	FLOOR
GB	GRAB BAR
MECH	MECHANICAL
NHO	NORMALLY HELD OPEN
NTS	NOT TO SCALE
OPG	OPENING
REQ	REQUIRED
SHT	SHEET
SIM	SIMILAR
STO	STORAGE
TYP	TYPICAL
WEJC	WALL EXPANSION JOINT COVER

INDEX OF DRAWINGS

T1.1 TITLE SHEET

CIVIL

C0.1	EXISTING CONDITIONS SURVEY
C0.2	EXISTING CONDITIONS SURVEY
C1.0	SITE DEMOLITION PLAN
C1.1	SITE EROSION CONTROL PLAN
C1.2	SITE GRADING & STORM DRAINAGE PLAN
C1.3	SITE UTILITY PLAN

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A2.5	FOURTH FLOOR PLAN
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A3.3	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
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A4.3	BUILDING SECTIONS
A4.4	STAIR DETAILS
A5.1	WALL SECTIONS
A5.2	WALL SECTION
A5.3	WALL SECTIONS
A5.4	WALL SECTIONS
A5.5	WALL SECTIONS
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A5.8	WALL SECTIONS
A5.9	WALL SECTIONS
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S3.1	FOUNDATION DETAILS
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S4.4	FOURTH FLOOR FRAMING PLAN
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S6.2	ROOF FRAMING DETAILS
S6.3	ROOF FRAMING DETAILS
S7.1	BRACE ELEVATIONS
S7.2	ELEVATION DETAILS

PLUMBING

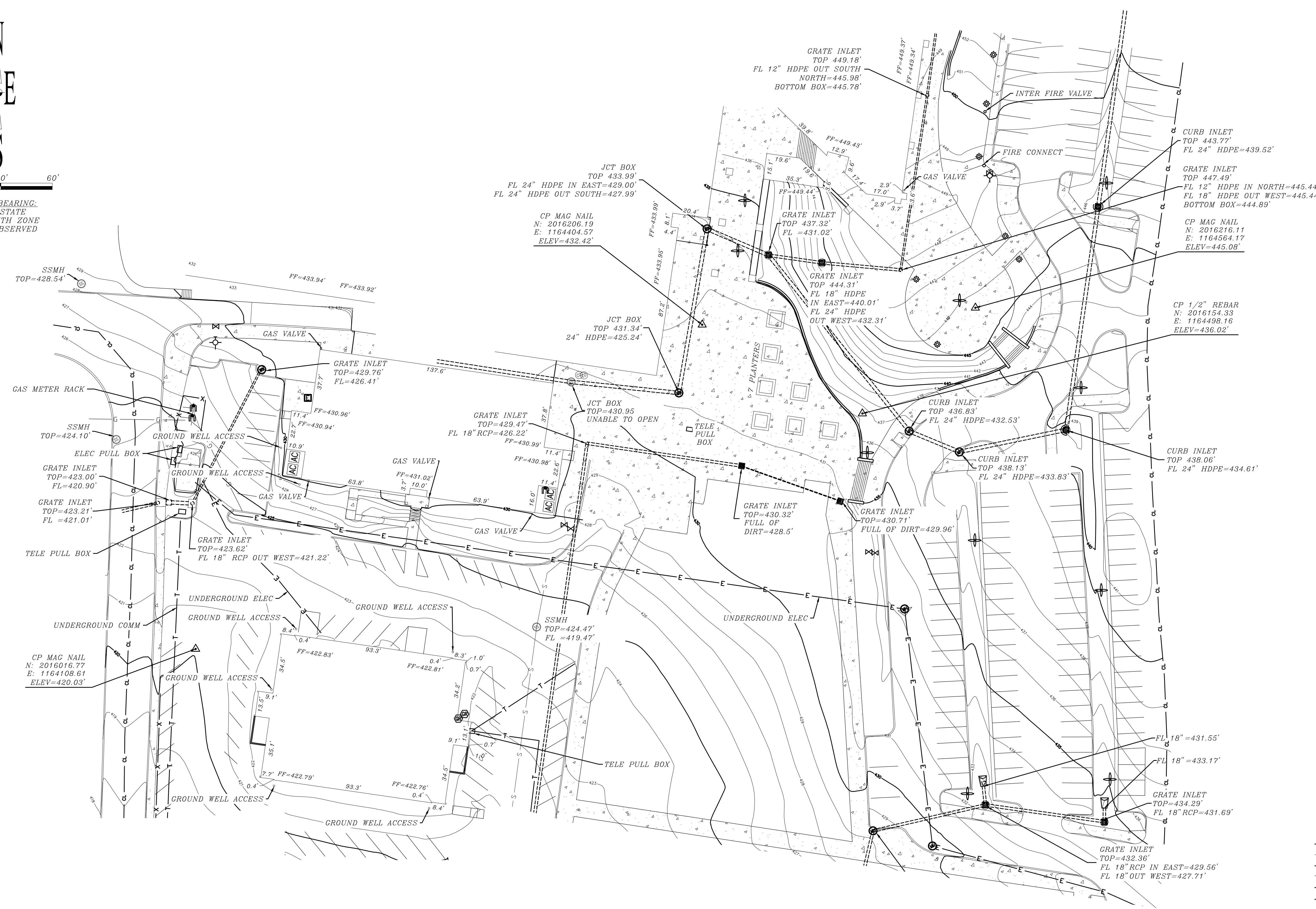
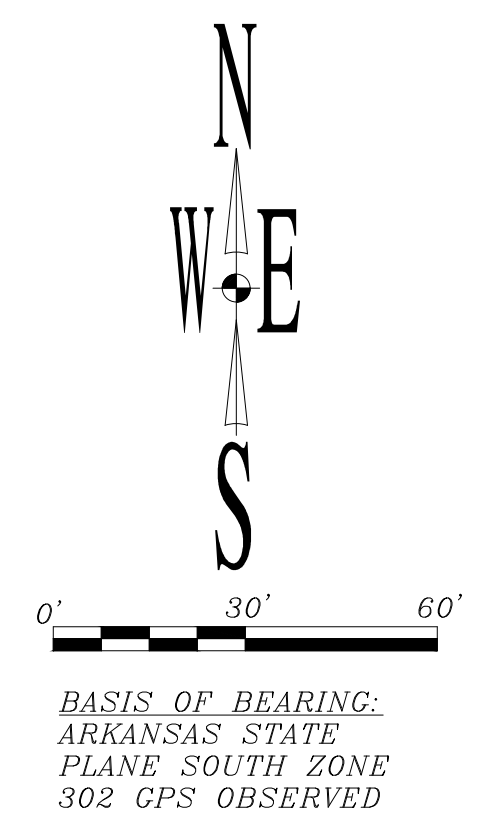
P1.1	FLOOR PLAN - FIRST FLOOR - AREA A - PLUMBING
P1.2	FLOOR PLAN - FIRST FLOOR - AREA B - PLUMBING
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E1.2	FLOOR PLAN - FIRST FLOOR - AREA B - LIGHTING
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E2.2	FLOOR PLAN - FIRST FLOOR - AREA B - POWER
E2.3	FLOOR PLAN - SECOND FLOOR - POWER
E2.4	FLOOR PLAN - THIRD FLOOR - POWER
E2.5	FLOOR PLAN - FOURTH FLOOR - POWER
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E3.2	FLOOR PLAN - FIRST FLOOR - AREA B - SYSTEMS
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E3.4	FLOOR PLAN - THIRD FLOOR - SYSTEMS
E3.5	FLOOR PLAN - FOURTH FLOOR - SYSTEMS
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E6.2	ELECTRICAL PANEL SCHEDULES
E6.3	ELECTRICAL PANEL SCHEDULES
E6.4	ELECTRICAL PANEL SCHEDULES
E7.1	ELECTRICAL LEGENDS, DETAILS, & NOTES



VICINITY MAP

- LEGEND**
- ▲ Right of Way Monument
 - △ Control Points
 - Set Iron Pin
 - Found Monument
 - ⊕ Gas Regulator
 - ⊕ Gas Riser
 - ⊕ Gas Meter
 - ⊕ Clean Out
 - ⊕ Sanitary Sewer Manhole
 - ⊕ Telephone Pedestal
 - ⊕ Electric Meter
 - ⊕ Electric Box
 - ⊕ Power Pole
 - ⊕ Guy Wire Anchor
 - ⊕ Light Pole
 - ⊕ Center Line
 - ⊕ Flag Pole
 - ⊕ Fire Hydrant
 - ⊕ Water Hydrant
 - ⊕ Down Spout
 - ⊕ Water Meter
 - ⊕ Water Valve
 - ⊕ Metal Drainage Grate
 - ⊕ Gate Post
 - ⊕ Ground Light
 - ⊕ Sign
 - ⊕ Junction Box
 - ⊕ Handicap Parking
 - ⊕ Manhole
 - ⊕ Bollard
 - ⊕ Mailbox
 - ⊕ RPZ Valve
 - ⊕ Tree
 - ⊕ Vault
 - ⊕ Air Conditioner
 - ⊕ Flow Direction
 - ⊕ Flared End Section
 - Telephone Line
 - Sanitary Sewer Main
 - Electric Line
 - Underground Gas
 - Watertline
 - Fence
 - Fiber Optic
 - ○ ○ ○ ○ Tree Line
 - Concrete

JOHNSTON SURVEYING, INC.
 37027 HWY 300
 ROLAND, AR 72135
 501-837-5643
 MJohnstonsurveying@gmail.com

BRYANT SD3 HS
 200 NE 4TH STREET
 BRYANT, AR 72022

DATE: 1/9/2024
 SCALE: 1"=30'
 DRAWN BY: H. GRAFTENREED
 CHECKED BY: M. JOHNSTON
 FILE NAME: CO.1_Survey

CERTIFICATE

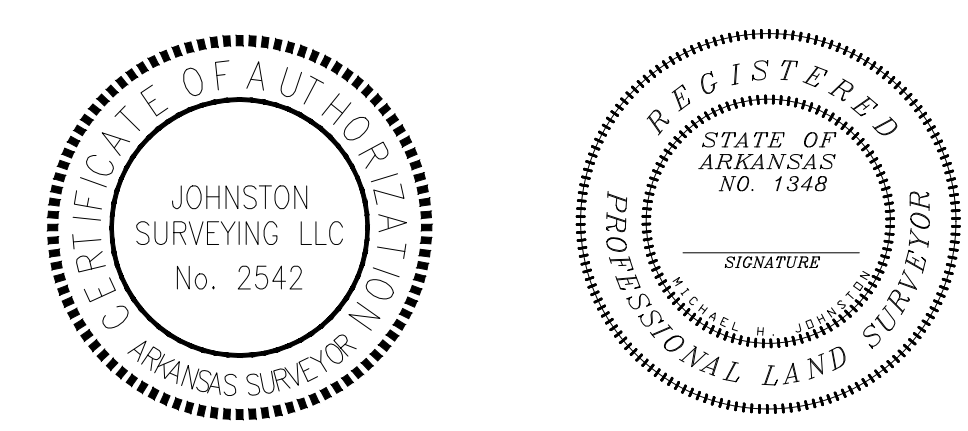
THE UNDERSIGNED, A REGISTERED LAND SURVEYOR HEREBY CERTIFIES THAT: (A) THIS SURVEY AND THE PROPERTY DESCRIPTION SET FORTH HEREON ARE TRUE AND CORRECT AND PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY OR THE REAL PROPERTY SHOWN HEREON; (B) SUCH SURVEY WAS CONDUCTED BY THE SURVEYOR OR UNDER HIS DIRECT SUPERVISION; (C) ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THE LOCATION, SIZE AND TYPE OF MATERIAL THEREOF ARE CORRECTLY SHOWN; (D) DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF; (E) THE BOUNDARIES, DIMENSIONS, AND OTHER DETAILS SHOWN HEREON ARE TRUE AND CORRECT.

FOR THE USE AND BENEFIT OF:
 BY _____ REGISTERED LAND SURVEYOR # 1348
 DATE 1/9/24

Flood Information
 This property lies within Zone X according to Federal Flood Insurance Rate Map Community Panel No. 5125C0380E, effective June 5, 2020.

Note:
 All utilities shown per visible field evidence, lines marked on the ground, or verbal communication from onsite utility personnel. Surveyor is not responsible for existing underground utilities that are incorrectly located, omitted from or added to this plat.

SHEET 1 OF 2

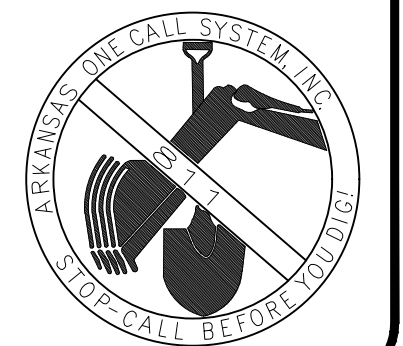


EXISTING CONDITIONS SURVEY

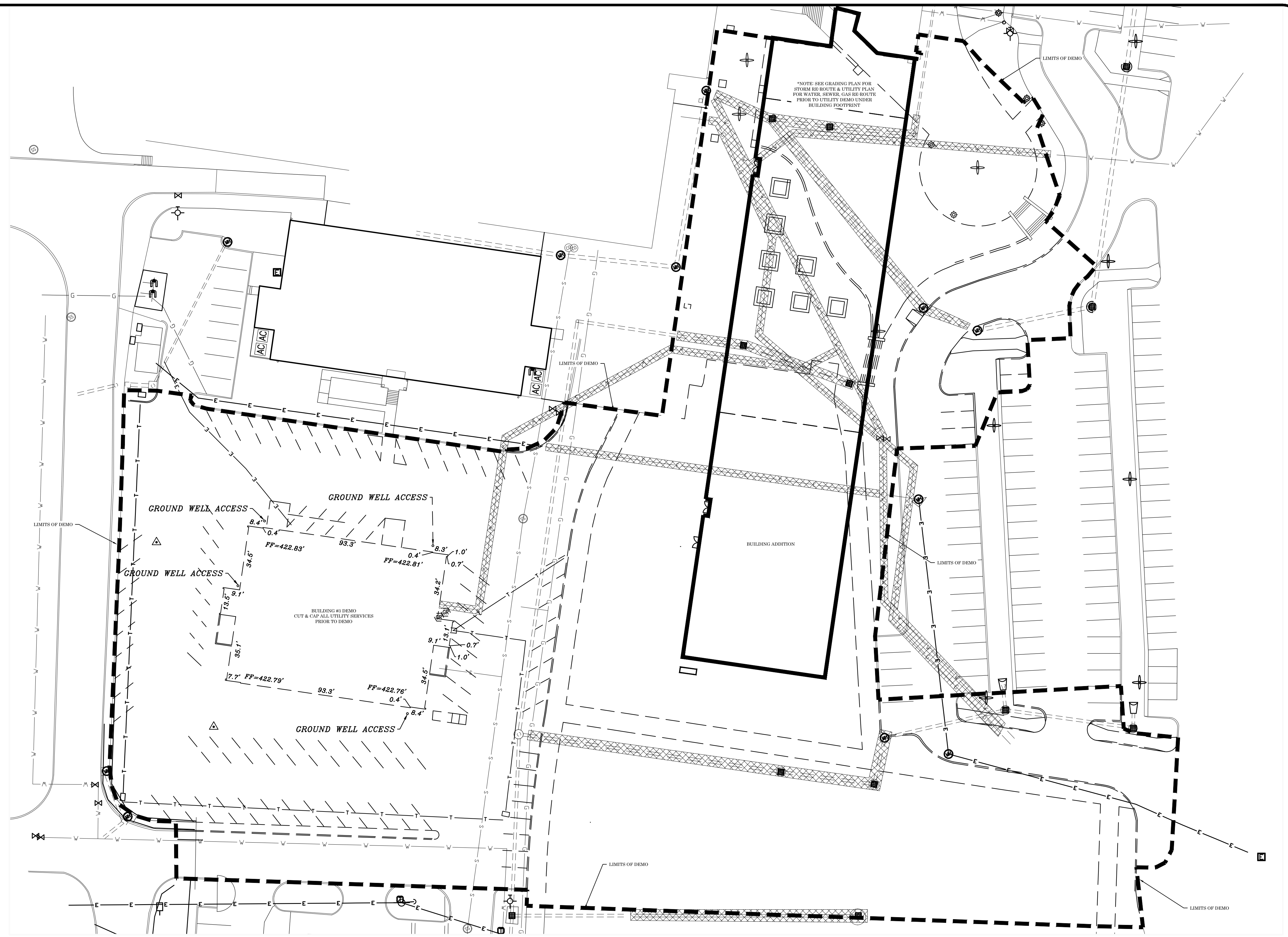
HIGH SCHOOL ADDITION
 BRYANT SCHOOL DISTRICT
 BRYANT, ARKANSAS

DATE: 04-09-24
 PROJECT NO: 23060
 DRAWN BY: JM
 REVISION:

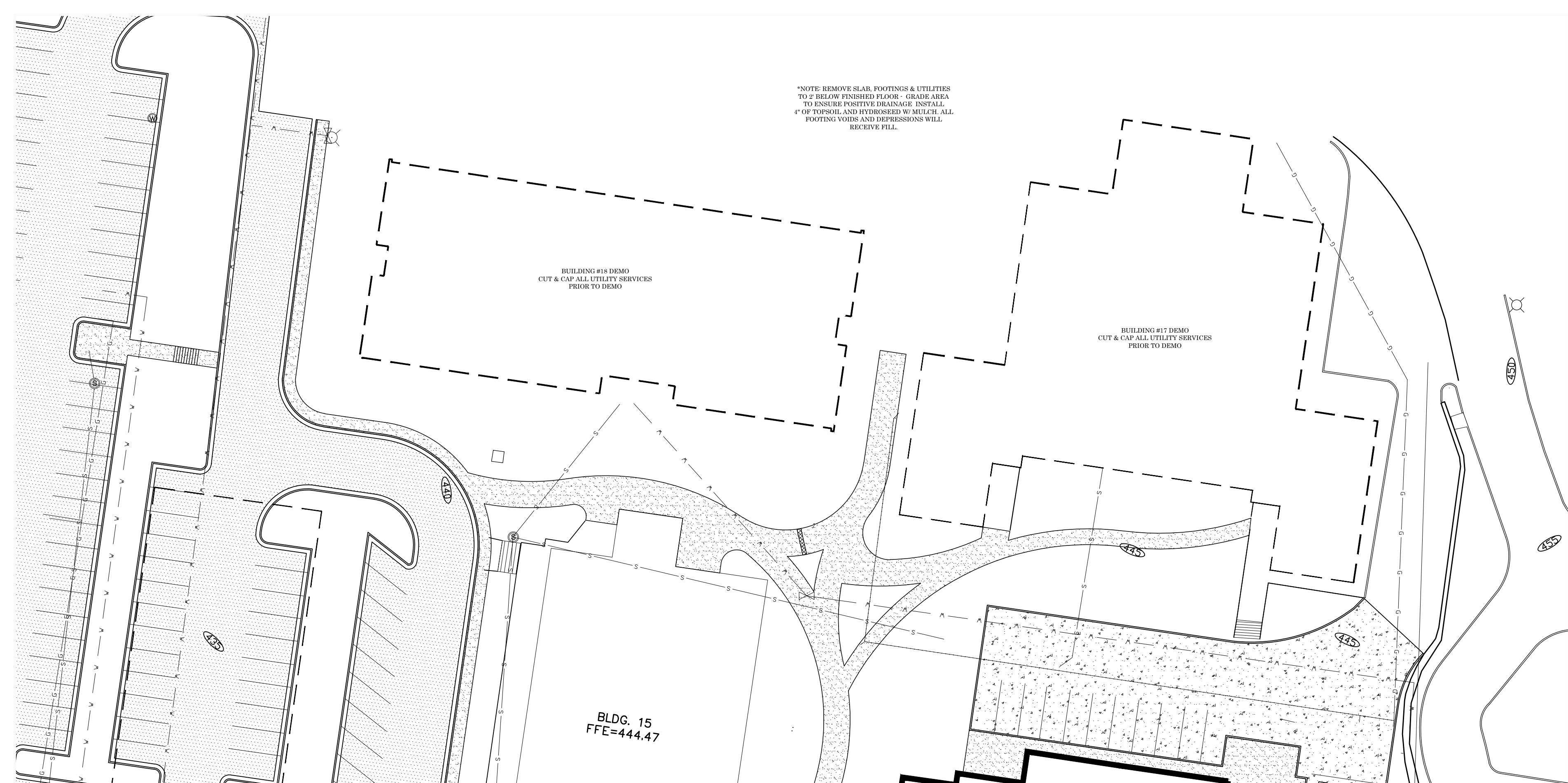
CO.1
 1 of 6



SITE LEGEND	
100	EX. CONTOUR LINE
PL	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
V	EX. WATER LINE
(Tree Symbol)	EX. TREE
100	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
(Hatched Box)	UTILITY TO BE REMOVED OR ABANDONED
(Triangle)	PR. WATERLINE BLOCKING
(Dashed Line)	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TV	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLOW LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
ND	NOT IN CONTRACT

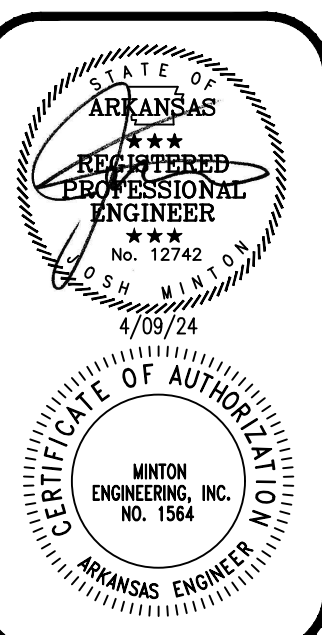


SITE DEMOLITION PLAN - BUILDING ADDITION
 SCALE: 1" = 30'



SITE DEMOLITION PLAN - BUILDINGS #17 & #18
 SCALE: 1" = 30'

- GENERAL SITE DEMOLITION NOTES:**
- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DEMOLITION OF ANY UTILITIES, FACILITIES, STRUCTURES, ECT. IN THE OUTLINED AREA NOT SHOWN ON THIS PLAN BUT NECESSARY TO COMPLETE THIS PROJECT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
 - DEMOLITION SCOPE:
 - CONTACT ENERGY TO REMOVE METERS AND SERVICE POLES TO BUILDINGS BEING REMOVED.
 - CUT & CAP ALL UNDERGROUND UTILITY SERVICES TO BUILDINGS BEING REMOVED.
 - REMOVE ALL EXISTING UTILITIES TO 10' OUTSIDE NEW BUILDING FOOTPRINT. BACKFILL TRENCHES WITH SELECT MATERIAL COMPACTED.
 - REMOVE ALL HARDSCAPE (CONCRETE, ASPHALT, FENCING, LANDSCAPING, ECT) INSIDE THE LIMITS OF DEMOLITION.
 - THE CONTRACTOR WILL COORDINATE ALL DEMOLITION ACTIVITIES WITH THE OWNER, ARCHITECT & LOCAL UTILITY COMPANIES.
 - THE EXISTING CONDITIONS SHOWN WERE TAKEN OFF OF A TOPOGRAPHIC SURVEY PROVIDED BY THE OWNER - ANY DISCREPANCIES SHOULD BE ADDRESSED PRIOR TO BIDDING.



DATE: 04-09-24
 PROJECT NO: 23000
 DRAWN BY: JM
 REVISION:

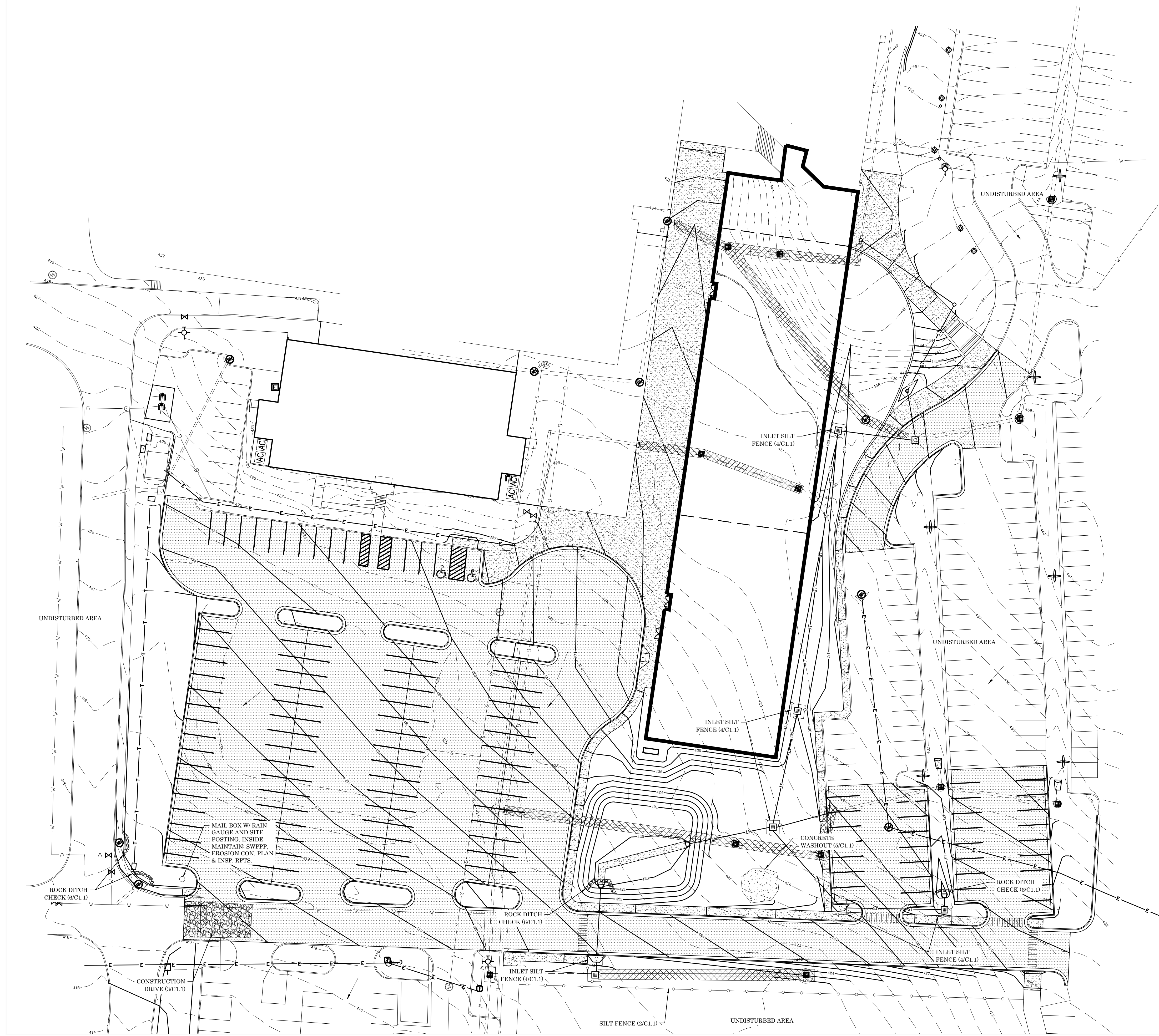


GENERAL EROSION CONTROL NOTES:

1. THE CONTRACTOR WILL PRODUCE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT MEETS THE REQUIREMENTS SET FORTH BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY.
2. THE CONTRACTOR WILL FILL OUT INSPECTION REPORTS AND LOG RAINFALL DATA AS REQUIRED BY THE SWPPP.
3. THE CONTRACTOR WILL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING DIRTWORK ACTIVITIES ON THIS SITE.
4. THE CONTRACTOR WILL IMMEDIATELY CLEAN UP ANY SEDIMENT THAT LEAVES THIS SITE.
5. THE CONTRACTOR WILL RE-ESTABLISH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SWPPP.
6. THE CONTRACTOR WILL REMOVE ALL EROSION CONTROL MEASURES ONCE THE SITE HAS BEEN RE-ESTABLISHED.

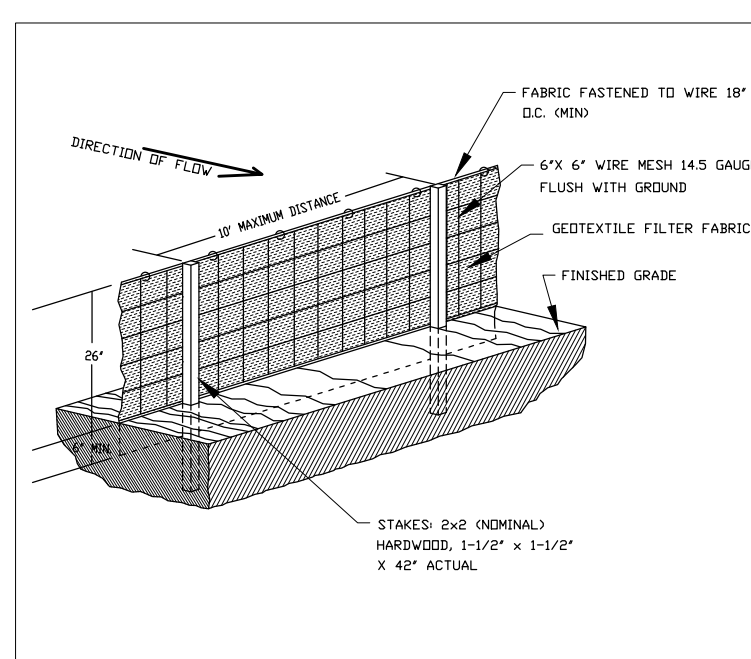
SITE LEGEND:

---	EX. CONTOUR LINE
---	PROPERTY LINE
S---	EX. SEWER LINE
G---	EX. GAS LINE
C---	EX. OVERHEAD ELECTRIC
V---	EX. WATER LINE
○	EX. TREE
---	PR. CONTOUR
V---	PR. WATER
S---	PR. SEWER
G---	PR. GAS
ST---	PR. STORM PIPE
▨	UTILITY TO BE REMOVED OR ABANDONED
▤	PR. WATERLINE BLOCKING
▥	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TW	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLDW. LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
NIC	NOT IN CONTRACT

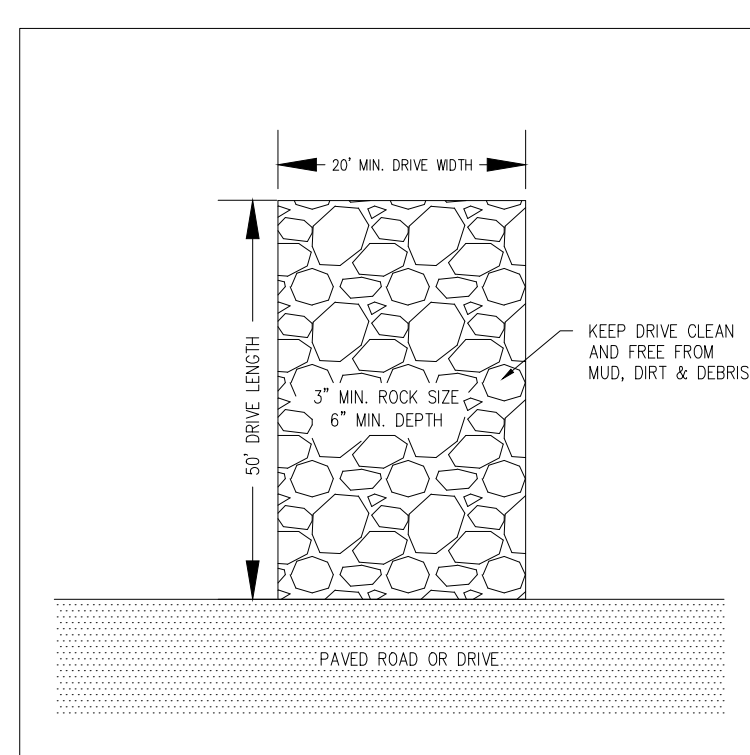


SITE EROSION CONTROL PLAN

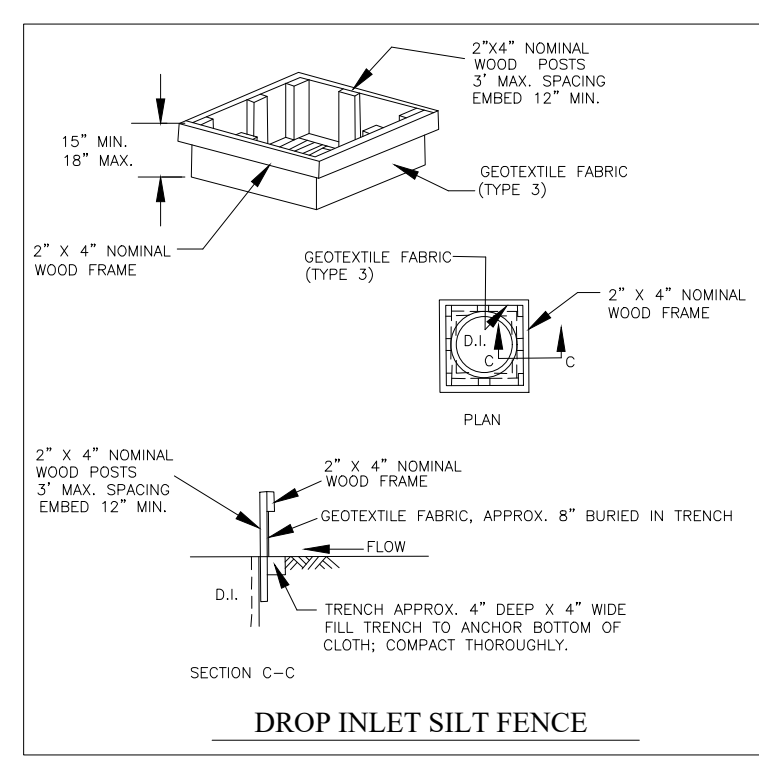
SCALE: 1" = 30'
0 30 60



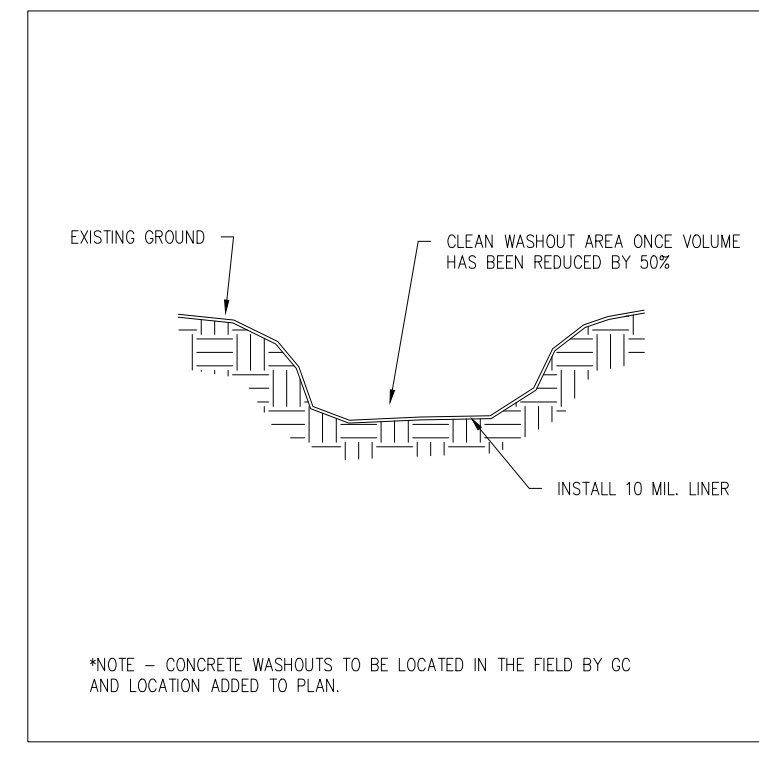
2 SILT FENCE DETAIL
SCALE: N.T.S.



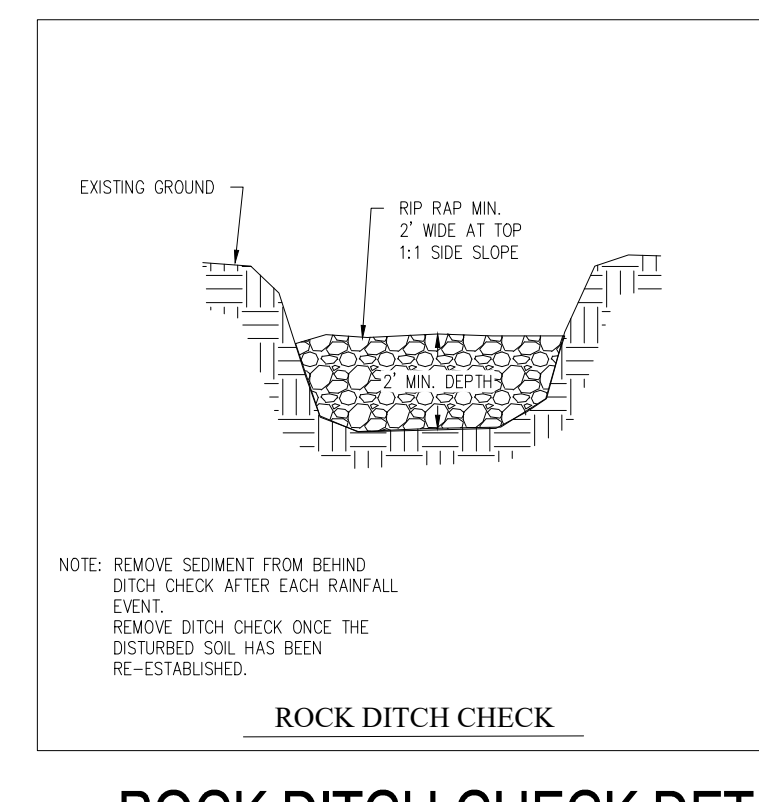
3 CONSTRUCTION DRIVE DETAIL
SCALE: N.T.S.



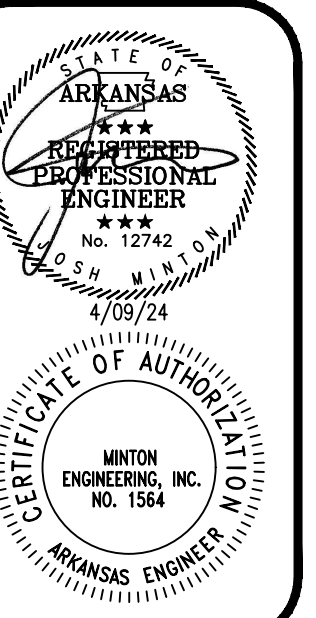
4 INLET SILT FENCE DETAIL
SCALE: N.T.S.

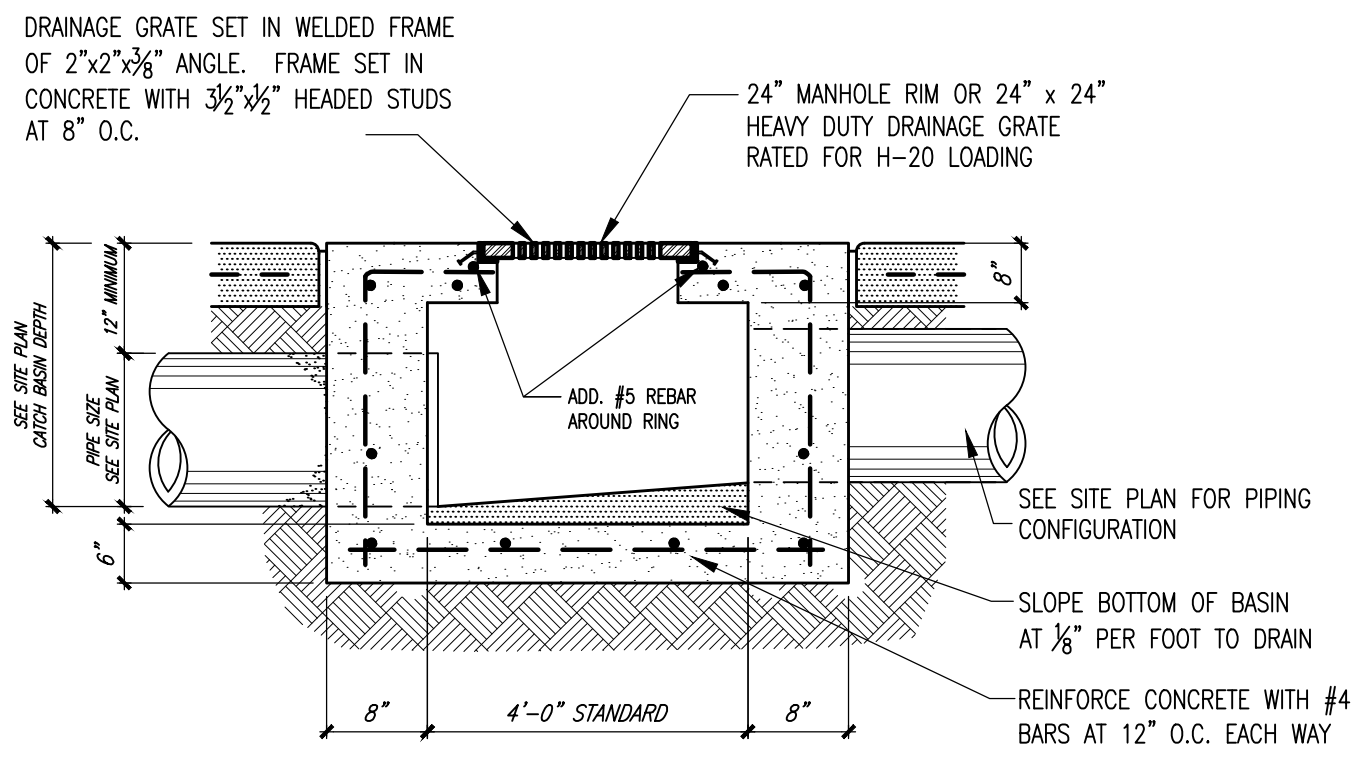


5 CONCRETE WASHOUT DETAIL
SCALE: N.T.S.

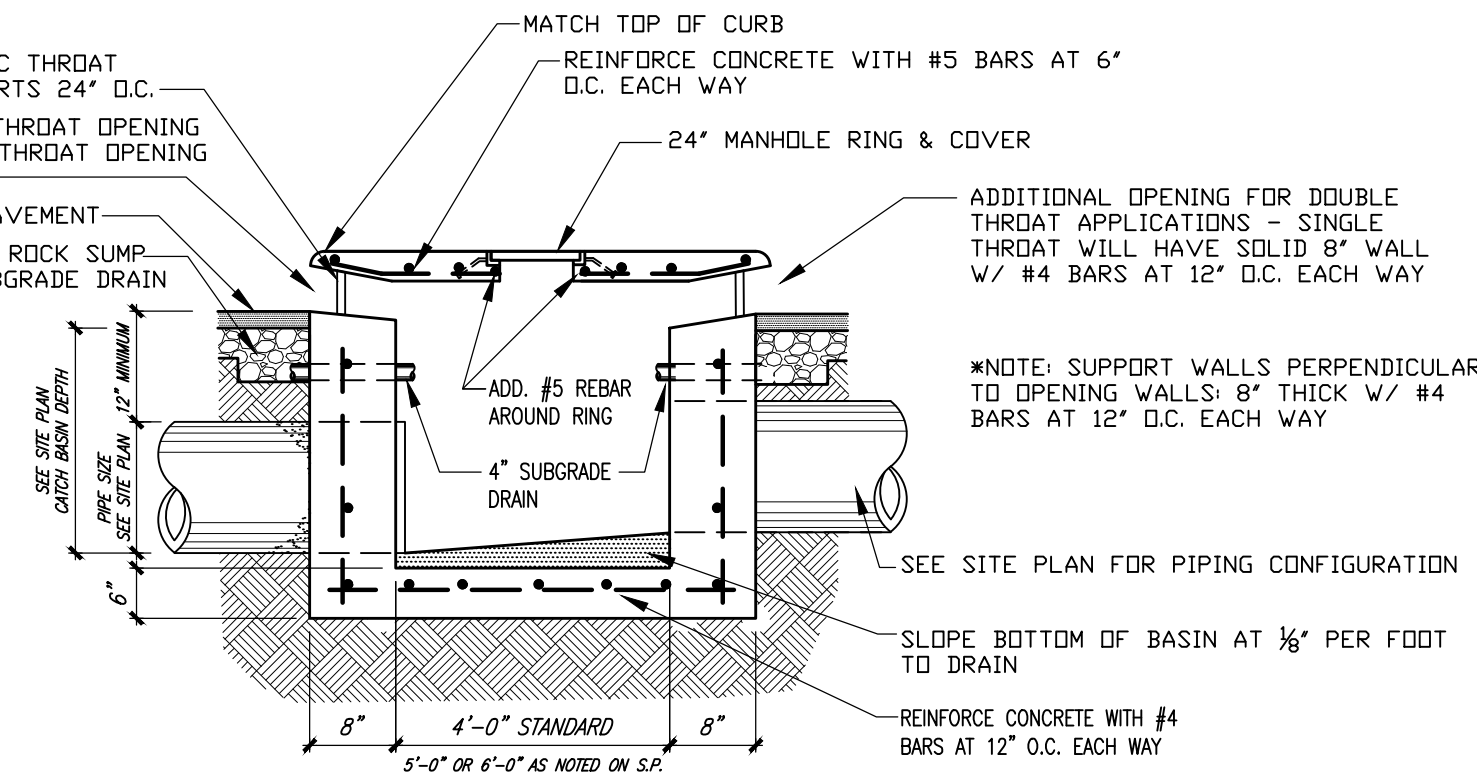


6 ROCK DITCH CHECK DETAIL
SCALE: N.T.S.

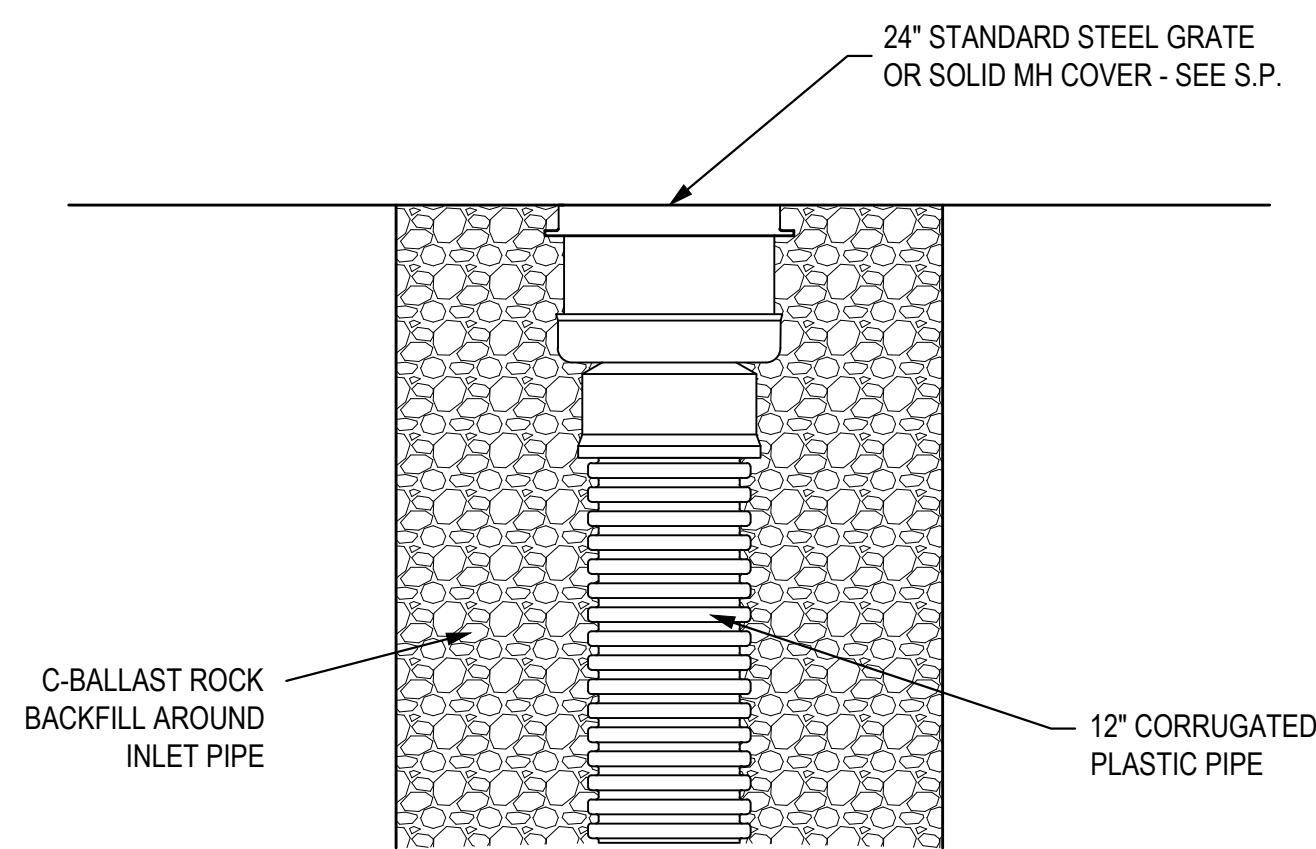




2 STORM DRAINAGE JUNCTION BOX (J.B.) DETAIL
C1.2 NOT TO SCALE



3 STORM DRAINAGE CURB INLET (C.I.) DETAIL
C1.2 NOT TO SCALE



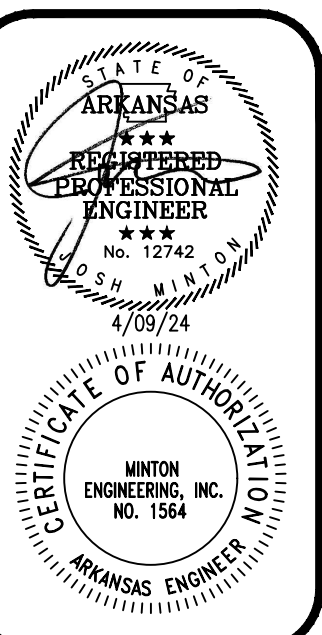
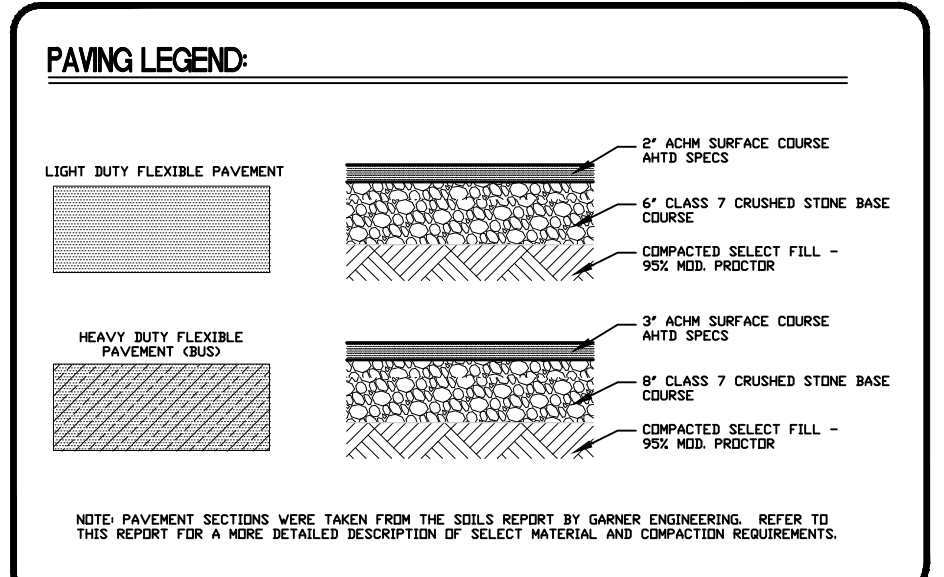
4 INLINE DRAIN DETAIL
C1.2 N.T.S.

SITE LEGEND	
---	EX. CONTOUR LINE
---	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
W	EX. WATER LINE
○	EX. TREE
100	PR. CONTOUR
W	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
▨	UTILITY TO BE REMOVED OR ABANDONED
▨	PR. WATERLINE BLOCKING
▨	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TW	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLOW LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX.	EXISTING
PR.	PROPOSED
ND	NOT IN CONTRACT

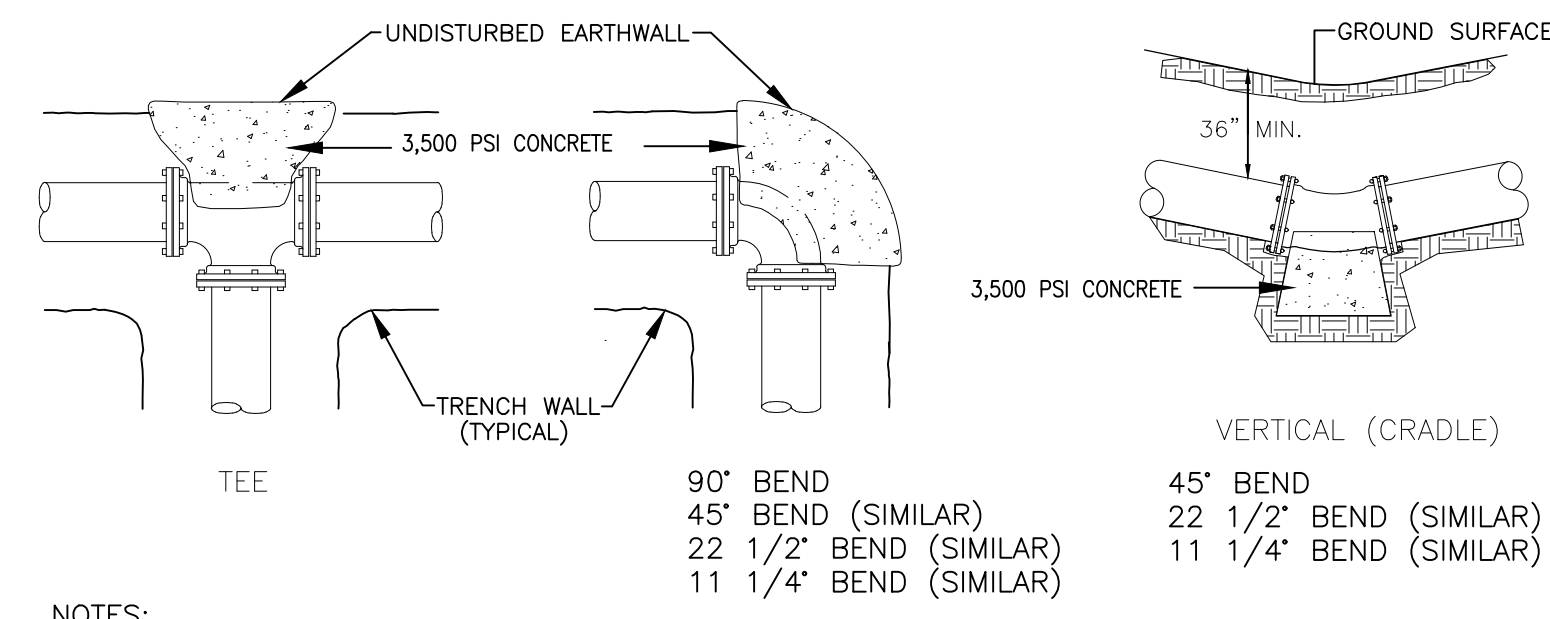


NORTH
1 SITE GRADING & STORM DRAINAGE PLAN
C1.2 SCALE: 1" = 30'
0 30 60

- GENERAL SITE GRADING NOTES:**
1. ALL EXISTING UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION. ANY UNIDENTIFIED UTILITIES SHALL BE REVEALED PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR TO ANY REMOVAL OR NEW CONSTRUCTION WORK COMMENCES.
 3. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
 4. FILL WORK SHALL BE CONFINED TO THE EXISTING GRADE. EXISTING FILL SHALL BE REMOVED FROM THE CONSTRUCTION AREA TO BE PROTECTED WITH 2x4 WOOD PLANKS CONT. IN LINE WITH CURB EDGE OF TRAIL. SECURED TOGETHER & PLACED OVER THE EXISTING CURB TO PREVENT DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES WHICH ARE DAMAGED OR O.K. TO CONSTRUCTION WORK.
 5. THE GENERAL CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER EMPLOYED TO OBSERVE SITE WORK WITH THE GEOTECHNICAL ENGINEER THAT PROVIDED THE SOILS REPORT. THIS MEETING SHOULD OCCUR AT LEAST BEFORE THE PRE-CONSTRUCTION MEETING TO REVIEW THE AMOUNT OF OVERBURDEN THAT MAY BE REQUIRED FOR THE PROJECT. RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL NOT BE IMPLEMENTED INTO WORK WITHOUT AUTHORIZATION FROM OWNER & ARCHITECT. NOTIFY ARCHITECT IMMEDIATELY IF UNEXPECTED SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR WILL RETAIN THE GEOTECHNICAL REPORT FOR A MORE DETAILED DESCRIPTION OF EARTHWORK AND CONSTRUCTION REQUIREMENTS.
 6. SEQUENCE OF EARTHWORK ACTIVITIES (REFERENCE GEOTECH REPORTS) SHALL BE DETERMINED BY THE CONTRACTOR. SEE DEMO PLAN. EXISTING UTILITIES SHALL BE REMOVED PRIOR TO CONSTRUCTION UNDER ALL STRUCTURAL ELEMENTS (BUILDINGS, PARKING & DRIVE AREAS). THIS MATERIAL CAN BE USED ON SITE AS UNCLASSIFIED FILL (OPEN SPACES). SEE GEOTECH REPORT FOR SANDWICH RECOMMENDATIONS. SELECT FILL WILL BE PLACED TO 10' OUTSIDE BUILDING. 2' OUTSIDE THE CURB FOR DRIVE AND PARKING. APPROX. 10' WILL BE SUBGRADE PRIOR TO PLACING FILL. REMOVE AND REPLACE WITH COMPACTED SELECT FILL AS DIRECTED BY GEOTECH. EXISTING FILL WILL BE PLACED IN LOTS OF 10' AND COMPACTED TO MEET MOISTURE PROVISIONS OR OPTIMUM MOISTURE CONTENT. SEE GEOTECH REPORT FOR SELECT FILL REQUIREMENTS. ON-SITE MATERIAL BELOW THE 10' STRIPPING MAY BE USED FOR SELECT FILL, VERIFY WITH GEOTECH.
 7. ALL HANDICAP PARKING AND ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS. MAXIMUM SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RAMPING-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1:12. MAXIMUM SLOPE SHALL NOT EXCEED 3.0% WITH HANDRAILS AND LANDING AREAS. UNDESIGNED PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION. EXISTING HANDICAP PARKING SHALL HAVE A SIGN. THE CONTRACTOR WILL REFER TO THE "CODE OF FEDERAL REGULATIONS" 28 CFR PART 36 ADA STANDARDS FOR ACCESSIBLE ROUTES FOR A MORE DETAILED DESCRIPTION OF STANDARDS.
 8. THE CONTRACTOR WILL RETAIN THE "TWO" CONCRETE & FOUNDATION DRAIN PLAN PRIOR TO INSTALLING ANY METS NEXT TO THE BUILDING. THIS PLAN WILL SHOW CONNECTIONS TO THE METS NOT SHOWN ON THIS PLAN.
 9. ALL SIDEWALK, SIDEWALK JUNCTION CURB, STAIR HANDCAP SIGN & WALL DETAILS WILL BE SHOWN ON THE ARCHITECTURAL SITE PLAN.



DATE: 04-09-24
PROJECT NO: 23090
DRAWN BY: JM
REVISION:

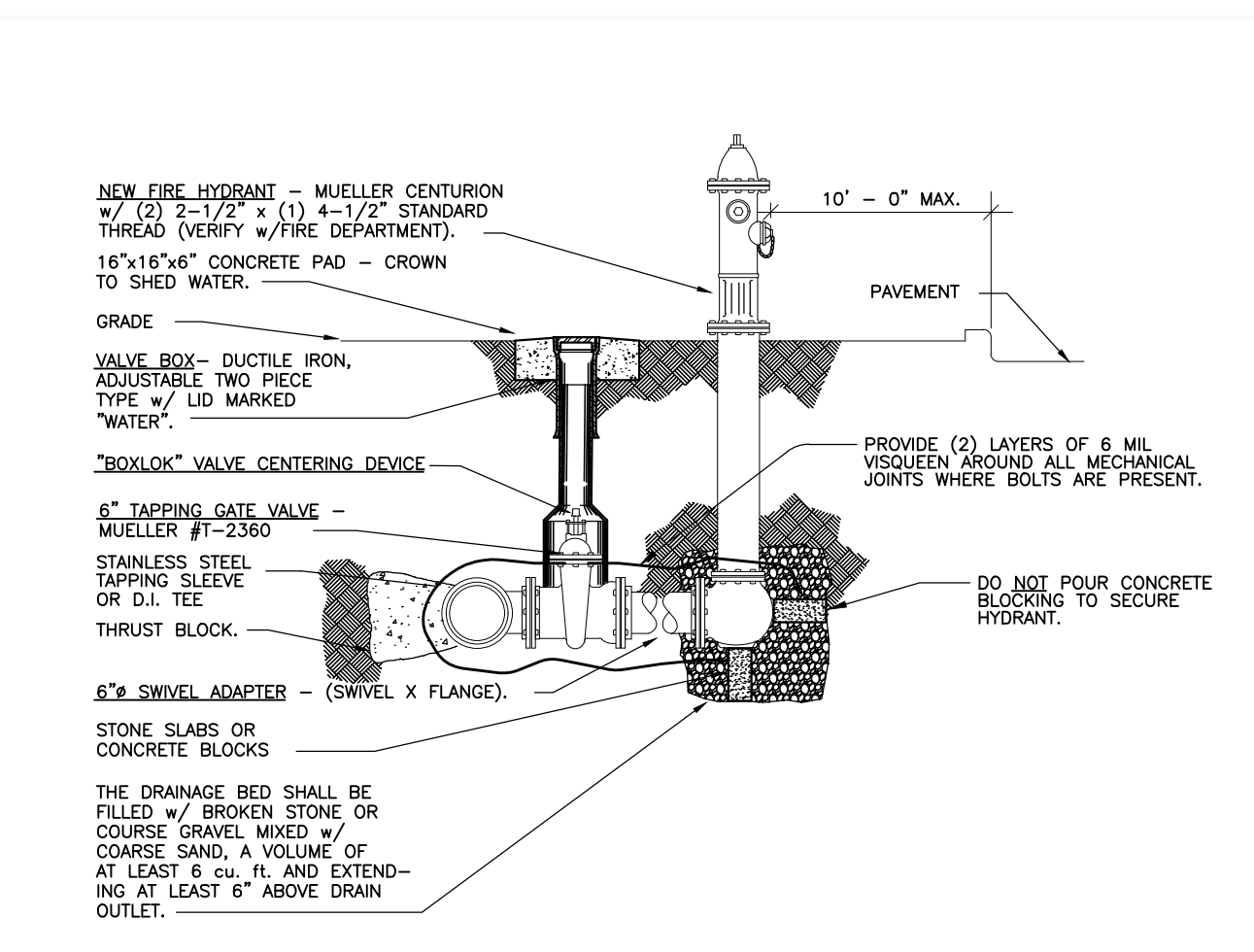


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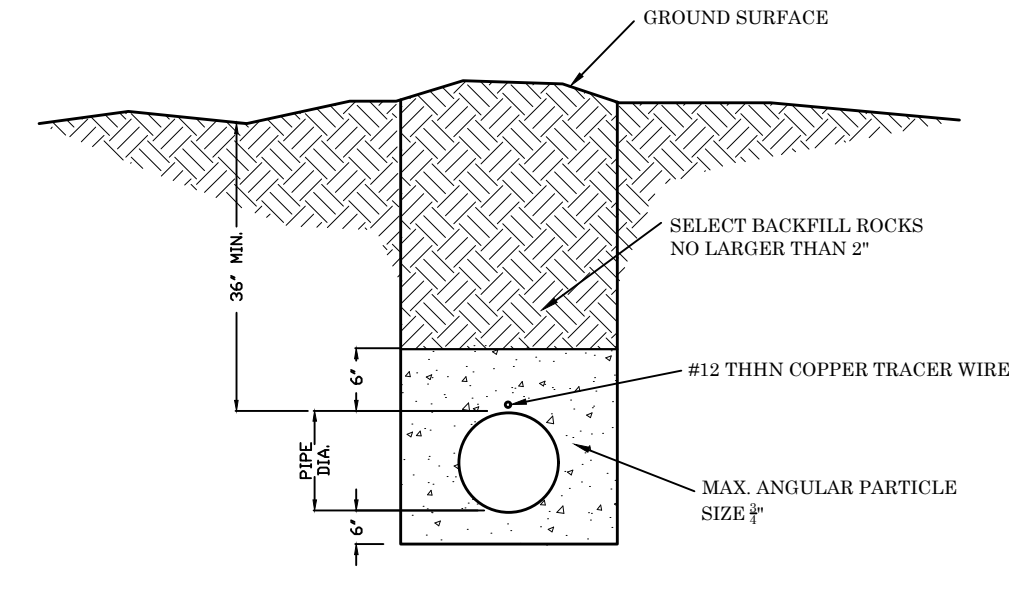
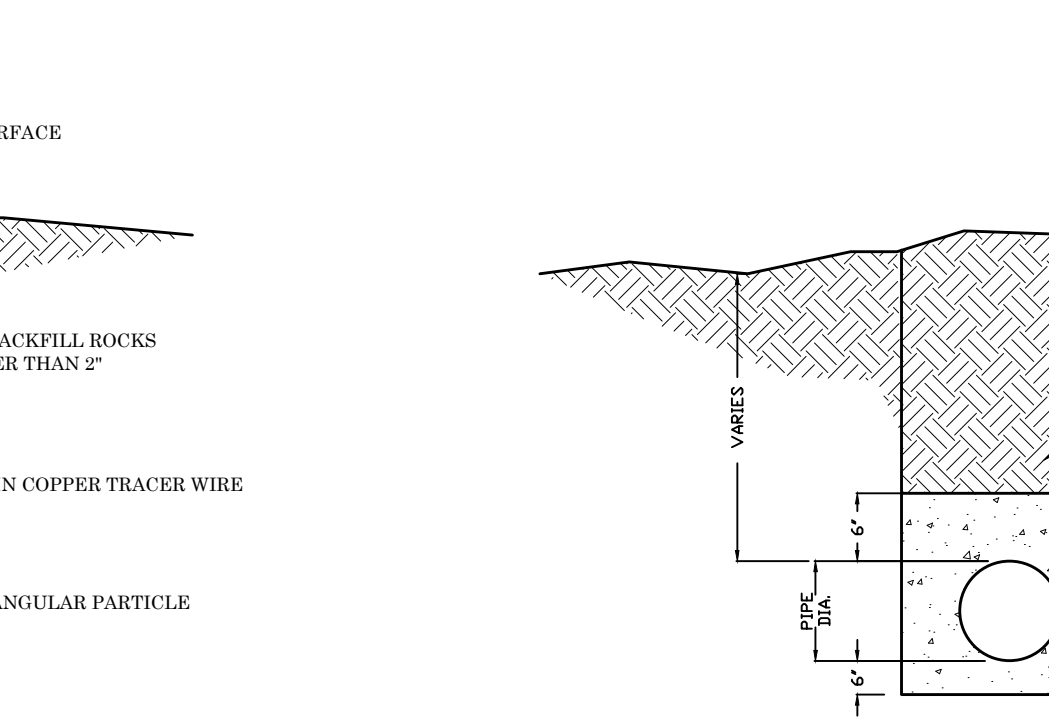
- All fittings shall be mechanical joint with retainer glands.
- Do not cover bells or flanges with concrete.
- Wrap all fittings with visqueen.
- Back all tees according to size of branch.
- Backing future line extensions shall be such that later removal is possible.
- All bends where fittings are used, both horizontal and vertical, shall be backed.
- Reaction backing table is based on 150 p.s.i. and soil bearing pressure of 2,500 lb./sq. ft. Additional backing may be required in some areas as directed by engineer.

SIZE	TYPE OF FITTINGS				
	TEE OR PLUG/CAP	90°	45°	22 1/2°	11 1/4°
2'-4"	2	2	1	1	1
6"	3	3	2	1	1
8"	4	4	3	2	2
12"	10	10	5	3	2
18"	28	28	14	7	4
24"	38	38	20	10	7
30"	59	59	32	16	10

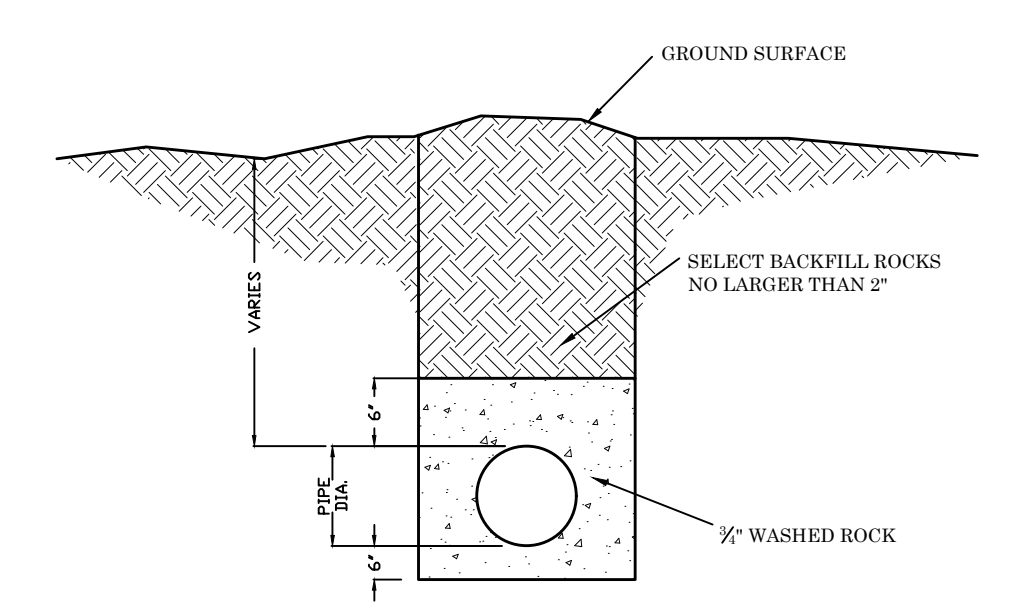
2 WATERLINE BLOCKING DETAIL
C1.3 NOT TO SCALE



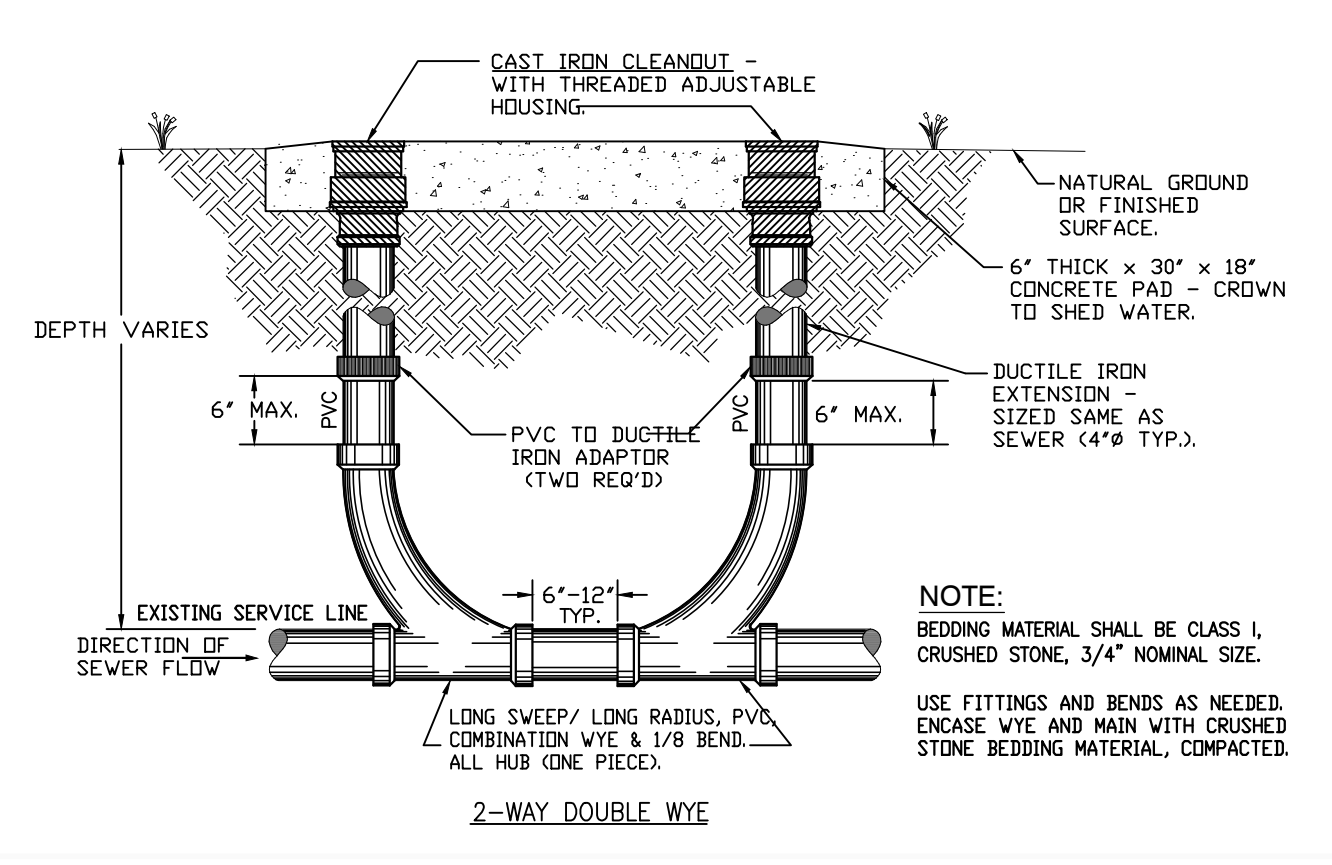
3 FIRE HYDRANT DETAIL
C1.3 NOT TO SCALE



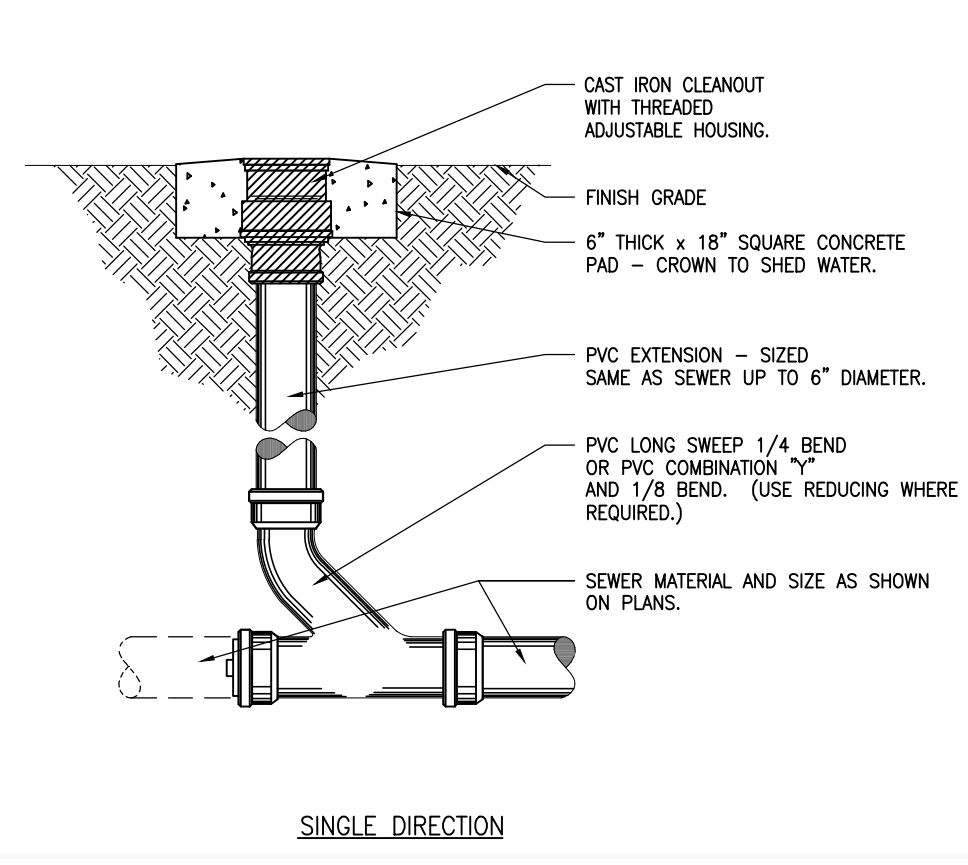
4 WATER BEDDING DETAIL
C1.3 NOT TO SCALE



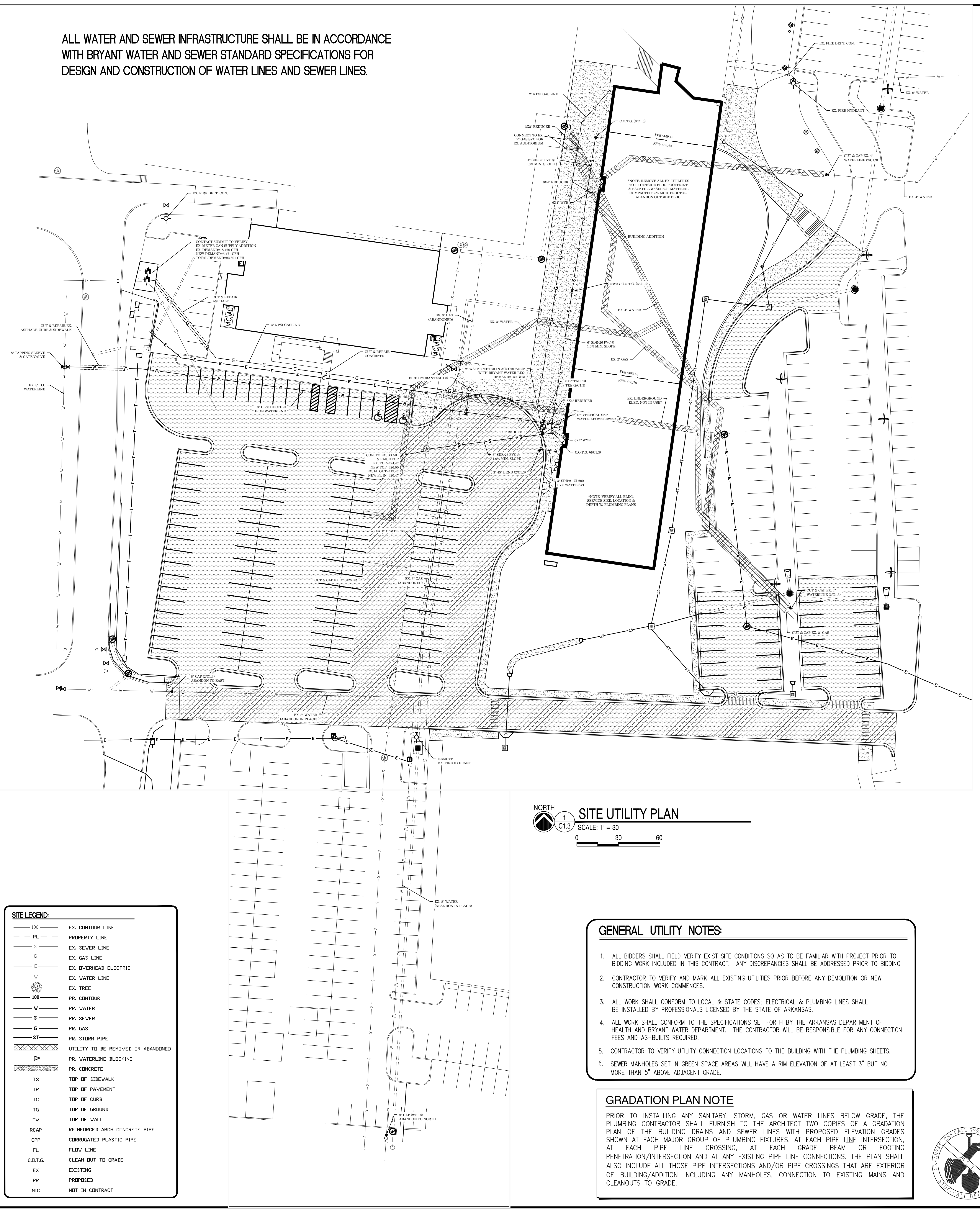
5 SEWER BEDDING DETAIL
C1.3 NOT TO SCALE



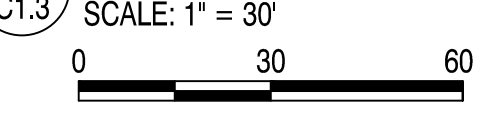
6 CLEANOUT TO GRADE (C.O.T.G.) DETAIL
C1.3 NOT TO SCALE



ALL WATER AND SEWER INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH BRYANT WATER AND SEWER STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES.



1 SITE UTILITY PLAN
SCALE: 1" = 30'



SITE LEGEND:

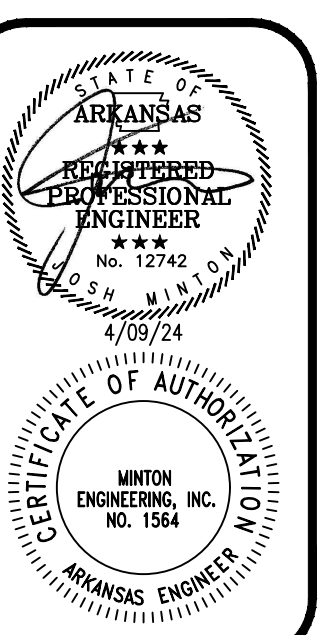
---	EX. CONTOUR LINE
---	PROPERTY LINE
---	EX. SEWER LINE
---	EX. GAS LINE
---	EX. OVERHEAD ELECTRIC
---	EX. WATER LINE
○	EX. TREE
100	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
---	UTILITY TO BE REMOVED OR ABANDONED
---	PR. WATERLINE BLOCKING
---	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TV	TOP OF WALL
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLOW LINE
C.O.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED
NIC	NOT IN CONTRACT

GENERAL UTILITY NOTES:

- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
- CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
- ALL WORK SHALL CONFORM TO LOCAL & STATE CODES; ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
- ALL WORK SHALL CONFORM TO THE SPECIFICATIONS SET FORTH BY THE ARKANSAS DEPARTMENT OF HEALTH AND BRYANT WATER DEPARTMENT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CONNECTION FEES AND AS-BUILTS REQUIRED.
- CONTRACTOR TO VERIFY UTILITY CONNECTION LOCATIONS TO THE BUILDING WITH THE PLUMBING SHEETS.
- SEWER MANHOLES SET IN GREEN SPACE AREAS WILL HAVE A RIM ELEVATION OF AT LEAST 3" BUT NO MORE THAN 5" ABOVE ADJACENT GRADE.

GRADATION PLAN NOTE

PRIOR TO INSTALLING ANY SANITARY, STORM, GAS OR WATER LINES BELOW GRADE, THE PLUMBING CONTRACTOR SHALL FURNISH TO THE ARCHITECT TWO COPIES OF A GRADATION PLAN OF THE BUILDING DRAINS AND SEWER LINES WITH PROPOSED ELEVATION GRADES SHOWN AT EACH MAJOR GROUP OF PLUMBING FIXTURES, AT EACH PIPE LINE INTERSECTION, AT EACH PIPE LINE CROSSING, AT EACH GRADE BEAM OR FOOTING PENETRATION/INTERSECTION AND AT ANY EXISTING PIPE LINE CONNECTIONS. THE PLAN SHALL ALSO INCLUDE ALL THOSE PIPE INTERSECTIONS AND/OR PIPE CROSSINGS THAT ARE EXTERIOR OF BUILDING/ADDITION INCLUDING ANY MANHOLES, CONNECTION TO EXISTING MAINS AND CLEANOUTS TO GRADE.



DATE: 04-09-24
PROJECT NO: 23060
DRAWN BY: JM
REVISION:

DESIGN DATA

GENERAL CODES:
INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION
ARKANSAS FIRE PREVENTION CODE (AFPC) 2021 EDITION

SEISMIC:
SEISMIC RISK CATEGORY 2021 IBC
SEISMIC DESIGN CATEGORY SALINE COUNTY AFPC REVISIONS

ACCESSIBILITY STANDARDS:
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

OCCUPANCY CLASSIFICATION:
EDUCATION IBC 305

BUILDING CONSTRUCTION TYPE:
II-A-SPRINKLED IBC TABLE 601

ALLOWABLE BUILDING HEIGHT AND AREA:
4 STORY / 85 FT TALL / 79,500 SQ. FT. PER FLOOR IBC 503

OCCUPANT LOAD AND REQUIRED EGRESS:

LEVEL	OCCUPANTS	EXITS (REQ. / ACT)	EGRESS WIDTH (REQ. / ACT)
1ST FLOOR	734	3 / 4	110' / 236'
2ND FLOOR	241	2 / 2	60' / 124'
3RD FLOOR	235	2 / 2	60' / 124'
4TH FLOOR	235	2 / 2	60' / 124'

TOTAL BUILDING SQUARE FOOTAGE:

1ST FLOOR	24,002 SQFT
2ND FLOOR	13,852 SQFT
3RD FLOOR	13,852 SQFT
4TH FLOOR	65,558 SQFT

FIRE PROTECTION:

PORTABLE FIRE EXTINGUISHERS	NFPA 10
AUTOMATIC SPRINKLER SYSTEM	IBC 903
2-HR RATED EXIT STAIR (FIRE BARRIER)	IBC 1023
2-HR RATED BUILDING SEPARATION (FIRE WALL) AT EXISTING	IBC 706
FIRE RESISTANCE RATED BUILDING ELEMENTS	IBC TABLE 601
PRIMARY STRUCTURAL FRAME	1-HR
BEARING WALLS	1-HR
FLOOR CONSTRUCTION	1-HR
ROOF CONSTRUCTION	1-HR

STORM SHELTER: IBC 423 / ICC 500

NET OCCUPANT LOAD REQUIRED (75% CLASSROOMS, 70% LAB SPACES)	1061 OCC
REQUIRED AREA (OCCUPANT LOAD AT 5 SQFT/PERSON)	5305 SQFT
PROVIDED AREA	5562 SQFT

POR - ACADEMIC CORE SPACES

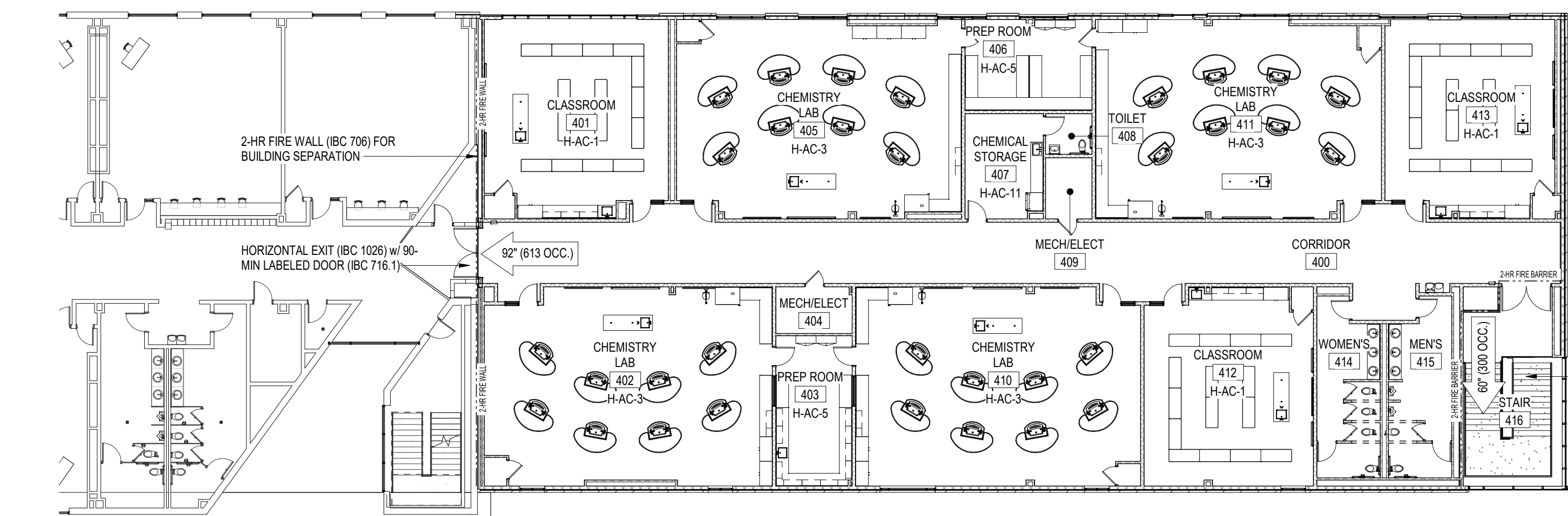
ROOM POR#	Number	ROOM NAME	PROVIDED AREA	REQUIRED AREA
CE-FCS-4	135	FAMILY AND CONSUMER SCIENCES	3410 SF	
H-AC-1	107	CLASSROOM	851 SF	850
H-AC-1	113	CLASSROOM	858 SF	850
H-AC-1	114	CLASSROOM	865 SF	850
H-AC-1	122	CLASSROOM	853 SF	850
H-AC-1	123	CLASSROOM	860 SF	850
H-AC-1	127	CLASSROOM	880 SF	850
H-AC-1	128	CLASSROOM	874 SF	850
H-AC-1	129	CLASSROOM	861 SF	850
H-AC-1	130	CLASSROOM	864 SF	850
H-AC-1	131	CLASSROOM	845 SF	850
H-AC-1	133	CLASSROOM	882 SF	850
H-AC-1	134	CLASSROOM	868 SF	850
H-AC-1	201	CLASSROOM	922 SF	850
H-AC-1	212	CLASSROOM	855 SF	850
H-AC-1	213	CLASSROOM	855 SF	850
H-AC-1	301	CLASSROOM	922 SF	850
H-AC-1	313	CLASSROOM	868 SF	850
H-AC-1	401	CLASSROOM	922 SF	850
H-AC-1	412	CLASSROOM	855 SF	850
H-AC-1	413	CLASSROOM	854 SF	850
H-AC-2	202	SCIENCE LAB	1459 SF	1440
H-AC-2	205	SCIENCE LAB	1450 SF	1440
H-AC-2	211	SCIENCE LAB	1447 SF	1440
H-AC-3	402	CHEMISTRY LAB	1455 SF	1440
H-AC-3	405	CHEMISTRY LAB	1456 SF	1440
H-AC-3	410	CHEMISTRY LAB	1463 SF	1440
H-AC-3	411	CHEMISTRY LAB	1456 SF	1440
H-AC-4	302	SCIENCE LAB	1456 SF	1440
H-AC-4	305	SCIENCE LAB	1451 SF	1440
H-AC-5	203	PREP ROOM	302 SF	300
H-AC-5	206	PREP ROOM	303 SF	300
H-AC-5	303	PREP ROOM	303 SF	300
H-AC-5	306	PREP ROOM	302 SF	300
H-AC-5	311	SCIENCE LAB	1450 SF	1440
H-AC-5	403	PREP ROOM	302 SF	300
H-AC-5	406	PREP ROOM	303 SF	300
H-AC-6	310	PROJECT LAB	1158 SF	1100
H-AC-6	312	PROJECT LAB	1158 SF	1100
H-AC-11	307	CHEMICAL STORAGE	214 SF	150
H-AC-11	407	CHEMICAL STORAGE	217 SF	150
H-AM-9	110	STORAGE	169 SF	150
H-AM-9	120	STORAGE	154 SF	150
H-VA-1	210	ART LAB	1461 SF	1200
H-VA-3	207	ART STORAGE	213 SF	100
TOTAL			42001 SF	41,770 SF*

* TOTAL FUNDED/REQUIRED ACADEMIC CORE SPACE PER PROJECT AGREEMENT

POR - SPECIAL EDUCATION SPACES

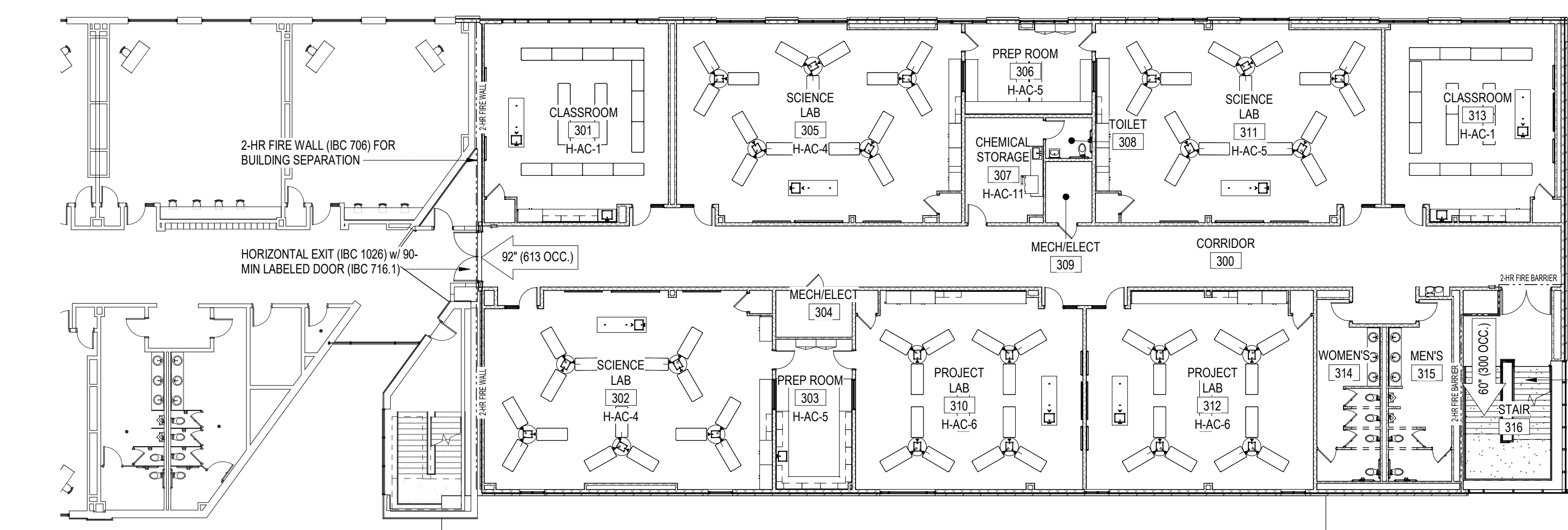
ROOM POR#	Number	ROOM NAME	PROVIDED AREA	REQUIRED AREA
H-SE-2	105	CONFERENCE/WORKROOM	195 SF	150
H-SE-2	214	WORKROOM/CONFERENCE	544 SF	150
H-SE-3	111	TOILET / SHOWER	148 SF	100
H-SE-3	118	TOILET / SHOWER	147 SF	100
H-SE-4	115	RESOURCE	482 SF	450
H-SE-4	121	RESOURCE	455 SF	450
H-SE-5	101	SPEECH	488 SF	475
H-SE-5	103	SPEECH	497 SF	475
H-SE-7	108	OT/PT	381 SF	350
H-SE-7	116	OT/PT	380 SF	350
TOTAL			3687 SF	3,600 SF*

* TOTAL FUNDED/REQUIRED SPECIAL EDUCATION SPACE PER PROJECT AGREEMENT



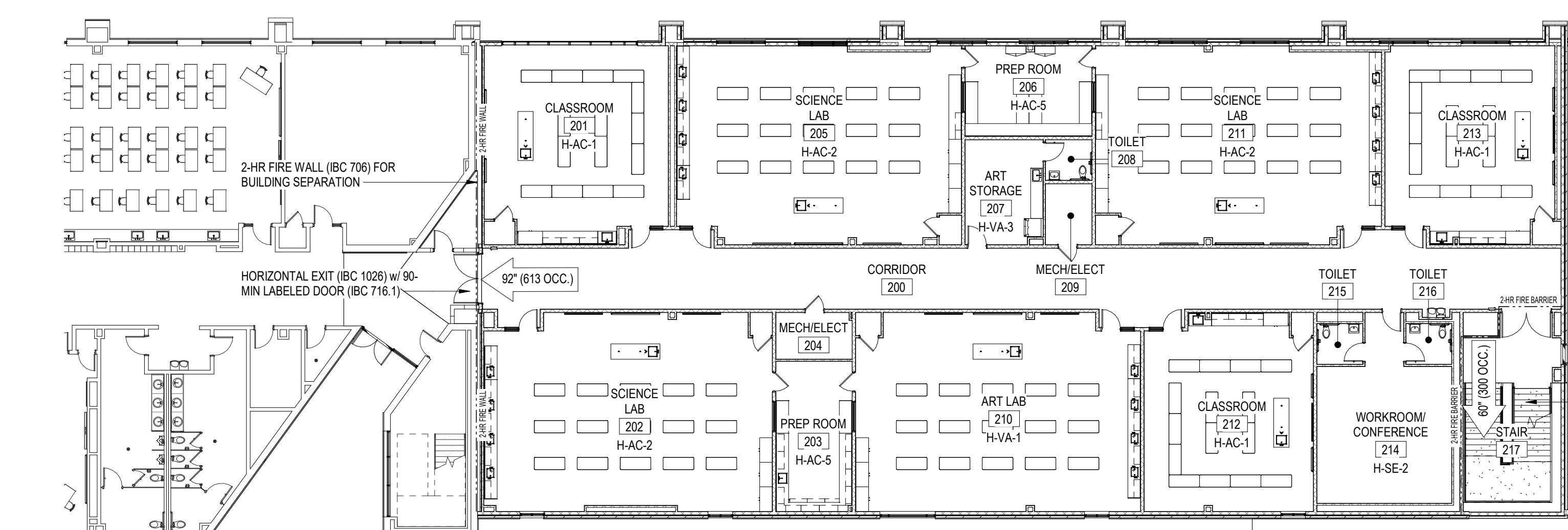
4 LIFE SAFETY / POR - FOURTH FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



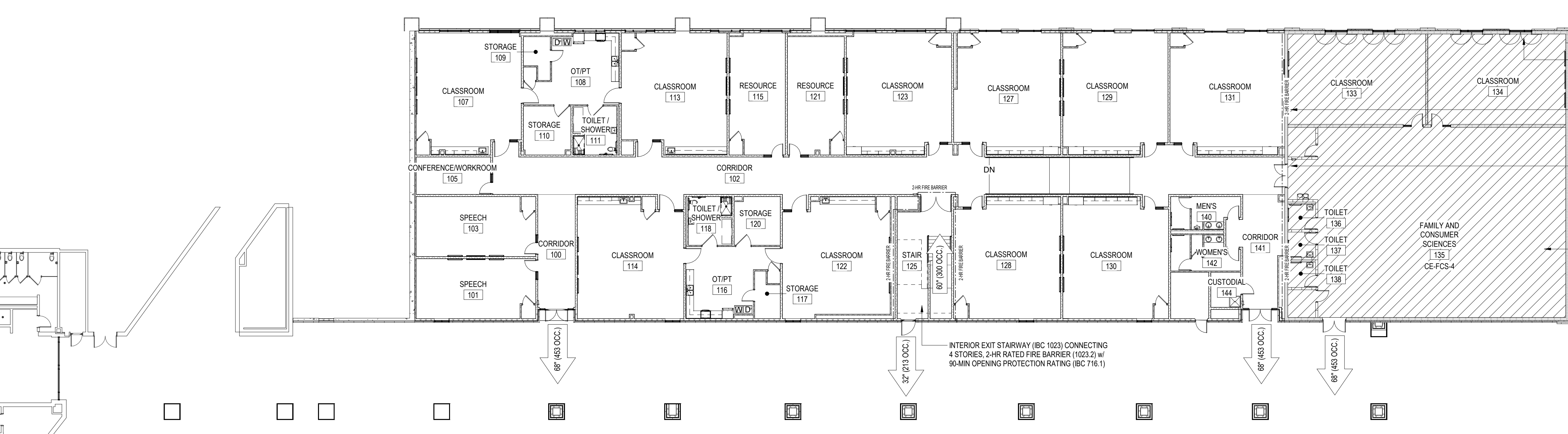
3 LIFE SAFETY / POR - THIRD FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



2 LIFE SAFETY / POR - SECOND FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)



1 LIFE SAFETY / POR - FIRST FLOOR PLAN
A1.1 1/16" = 1'-0"

INTERIOR EXIT STAIRWAY (IBC 1023) CONNECTING 4 STORES, 2-HR RATED FIRE BARRIER (1023.2) w/ 90-MIN OPENING PROTECTION RATING (IBC 716.1)

ICC 500 RATED HEAVY DUTY MANUAL STEEL SHUTTERS AT WINDOWS
2-HR FIRE BARRIER BETWEEN SHELTER AND OTHER AREAS (ICC 500, 603.1)
ICC 500 RATED STEEL DOORS/FRAMES AND HARDWARE
TORNADO SAFE ROOM (IBC 423) 5,562 SQFT PROTECTED AREA

TOILET ACCESSORY SCHEDULE

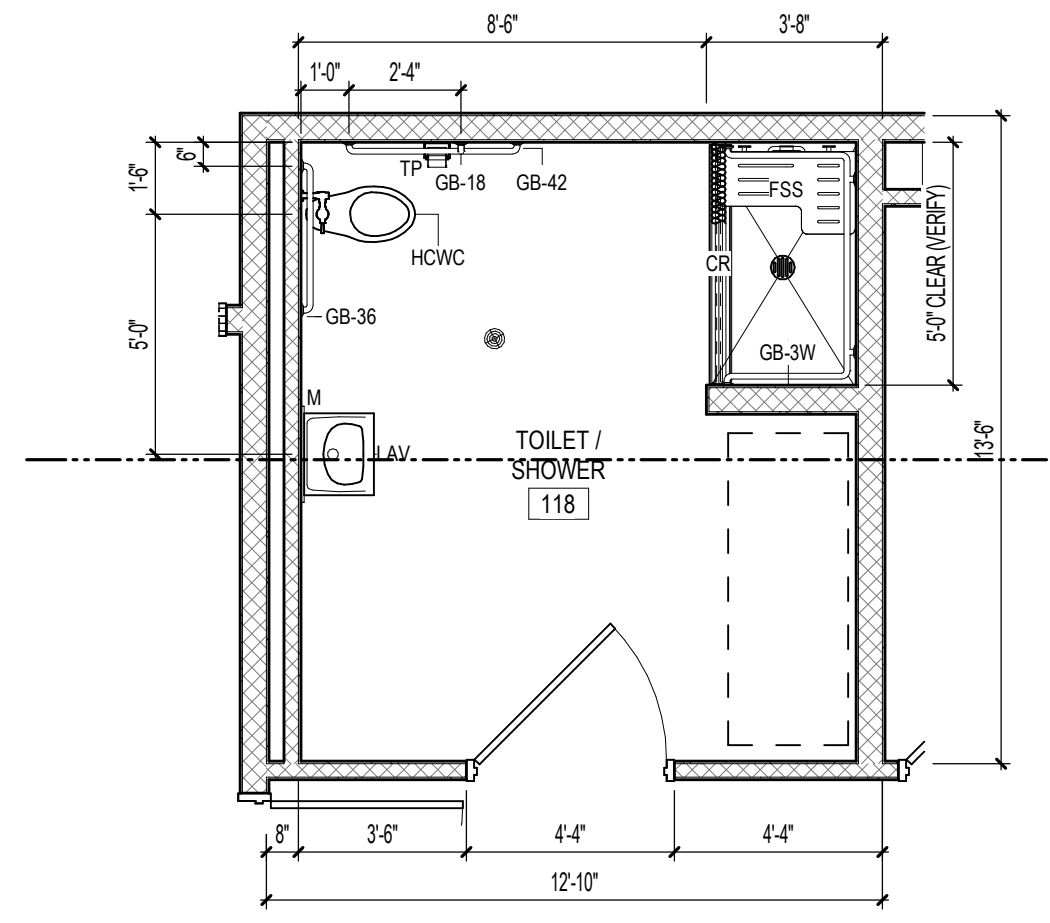
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
GB-18	VERTICAL GRAB BAR - 18"	40" A.F.F. to BASE
GB-2W	GRAB BAR - 2 WALL	34" A.F.F. to CENTERLINE
GB-3W	GRAB BAR - 3 WALL	34" A.F.F. to CENTERLINE
LAV	LAVATORY - WALL MOUNTED	34" A.F.F. to RIM
S	SINK - COUNTER MOUNTED	
CH	COAT HOOK	54" A.F.F.
M	MIRROR	24"X36" - 40" A.F.F. to BOTTOM OF REFLECTIVE SURFACE
HD	HAND DRYER	44" A.F.F. to BOTTOM
CT	CHANGING TABLE	31" A.F.F. to BOTTOM
HCWC	H.C. WATER CLOSET	17" A.F.F. to SEAT
WC	WATER CLOSET	15" A.F.F. to SEAT
U	URNAL	24" A.F.F. to RIM
HEWC	HANDICAP WATER COOLER	36" to SPOUT
FSS	FOLDING SHOWER SEAT	17" A.F.F. to SEAT
EWC	ELECT. WATER COOLER w/ BOTTLE FILLER	42" to SPOUT / 36" to SPOUT @ ADA
CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

NOTES:

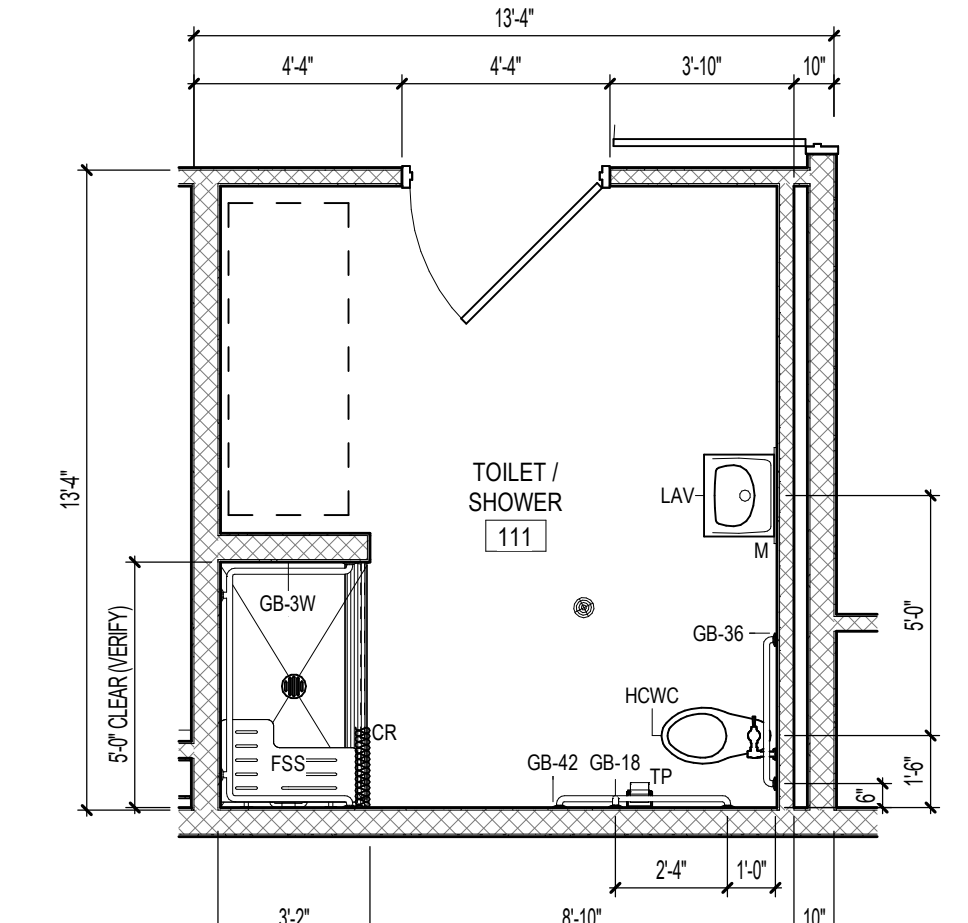
- TOILET PAPER AND SOAP DISPENSERS ARE TO BE PROVIDED BY THE OWNER. TOILET PAPER DISPENSER ARE TO BE INSTALLED NO LOWER THAN 18" AFF. THE OPERATION AND SPOUT PORTION OF SOAP DISPENSERS SHALL BE INSTALLED AT 44" AFF. CONTRACTOR TO COORDINATE AND VERIFY

GENERAL NOTES

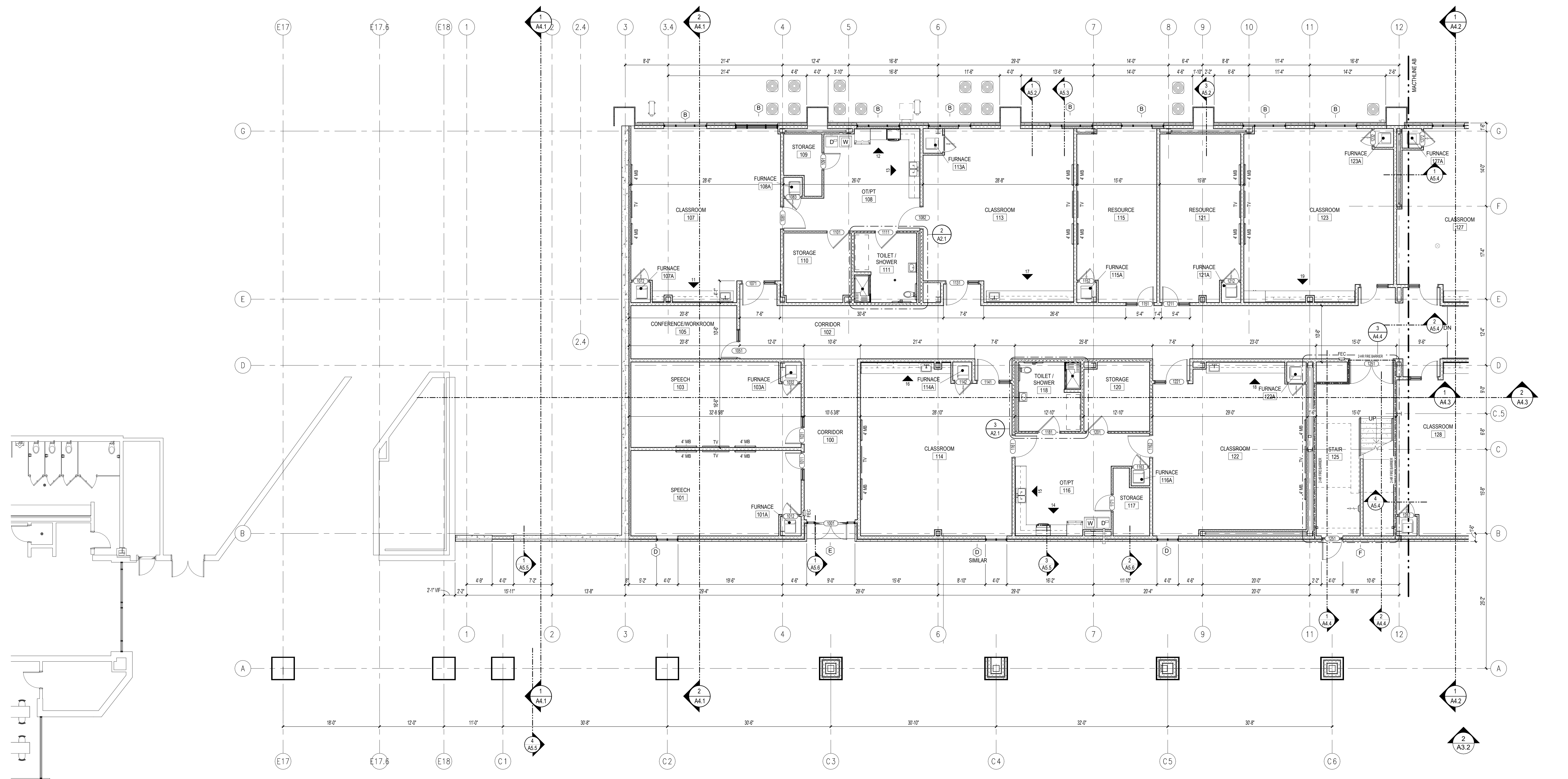
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- INTERIOR LIGHT GAUGE METAL STUD WALLS
 - WALLS SHALL BE FRAMED WITH 3 5/8" OR 6" (SEE PLAN) MEMBERS AT 16" O.C. w/ CONTINUOUS TRACK TOP AND BOTTOM, UNLESS NOTED OTHERWISE.
 - EXTEND ALL WALLS 8" MIN. ABOVE CEILING.
 - WALLS WITHOUT AN ADJACENT FINISHED CEILING SHALL EXTEND TO DECK ABOVE LIGHT GAUGE FRAMING NOT SUFFICIENTLY BRACED BY INTERSECTING FRAMING OR REQUIRED BY HEIGHT OF FRAMING SHALL BE BRACED TO STRUCTURE WITH METAL STUD KICKERS (APPROXIMATELY 45 DEGREES) AT 48" ON CENTER MAXIMUM.
- PRIVACY WALLS (BLOCK OR STUD) SHALL EXTEND TO FLOOR DECK OR 5'-0" ABOVE HIGHEST ADJACENT CEILING WITH L.G. METAL FRAMING AND 5/8" GYPSUM BOARD ON AT LEAST ONE SIDE.
- INTERIOR DOORS NOT DIMENSIONS SHALL BE LOCATED AS FOLLOWS:
 - HINGE SIDE ADJACENT TO INTERSECTING WALL (CMU)
 - HINGE SIDE 4" OFF INTERSECTING WALL (STUD)
 - LATCH SIDE 1'-4" OFF INTERSECTING WALL (STUD/CMU)
 - CENTERED BETWEEN INTERSECTING WALLS (STUD/CMU)
- PROVIDE HOUSEKEEPING PADS FOR ELECTRICAL AND MECHANICAL EQUIPMENT. VERIFY SIZE AND LOCATION WITH ELECTRICAL, PLUMBING, AND HVAC INSTALLERS AND MANUFACTURERS.
- FOR SOUND TRANSFER CONTROL, FILL STUD WALLS WITH SOUND ATTENUATION BLANKET INSULATION. INSTALL BATT INSULATION ON ALL CEILING AROUND PERIMETER OF ROOMS EXTENDING 2'-0" FROM ALL INTERIOR WALLS UNLESS NOTED OTHERWISE IN REFLECTED CEILING PLAN NOTES.
- GYPSUM BOARD EXPANSION JOINTS SHALL BE LOCATED 30'-0" O.C. MAXIMUM. VERIFY LOCATIONS WITH ARCHITECT. LOCATE ABOVE DOOR HEADS WHERE POSSIBLE.
- FIELD VERIFY ALL DIMENSIONS FOR HANDRAILS, EQUIPMENT, ETC. PRIOR TO FABRICATION AND INSTALLATION.
- PROVIDE WOOD FOR BLOCKING WHERE BLOCKING IS REQUIRED. WHERE BLOCKING CONTACTS METAL FRAME, STUDS, ETC. SEPARATE WITH BUILDING FELT TO AVOID REACTIONS BETWEEN WOOD AND METALS.
- ALL FIRE WALLS AND BARRIERS SHALL BE MARKED WITH SIGNAGE READING, "FIRE AND/OR SMOKE BARRIER. PROTECT ALL OPENINGS" ACCORDING TO 2021 ARKANSAS FIRE PREVENTION CODE SECTION 103.1. ALL PENETRATIONS SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM IN ACCORDANCE WITH UL 1479



3 ENLARGED PLAN - TOILET/SHOWER 118
A2.1 1/4" = 1'-0"



2 ENLARGED PLAN - TOILET/SHOWER 111
A2.1 1/4" = 1'-0"



1 FIRST FLOOR PLAN - AREA A
A2.1 1/8" = 1'-0"

ELLIOTT • MCMORAN • VADEN
RAGSDALE • WOODWARD • INCORPORATED
501 223 9302 • WWW.LEMVRW.COM

LEWIS ARCHITECTS ENGINEERS

HIGH SCHOOL ADDITION
BRYANT SCHOOL DISTRICT
BRYANT, AR



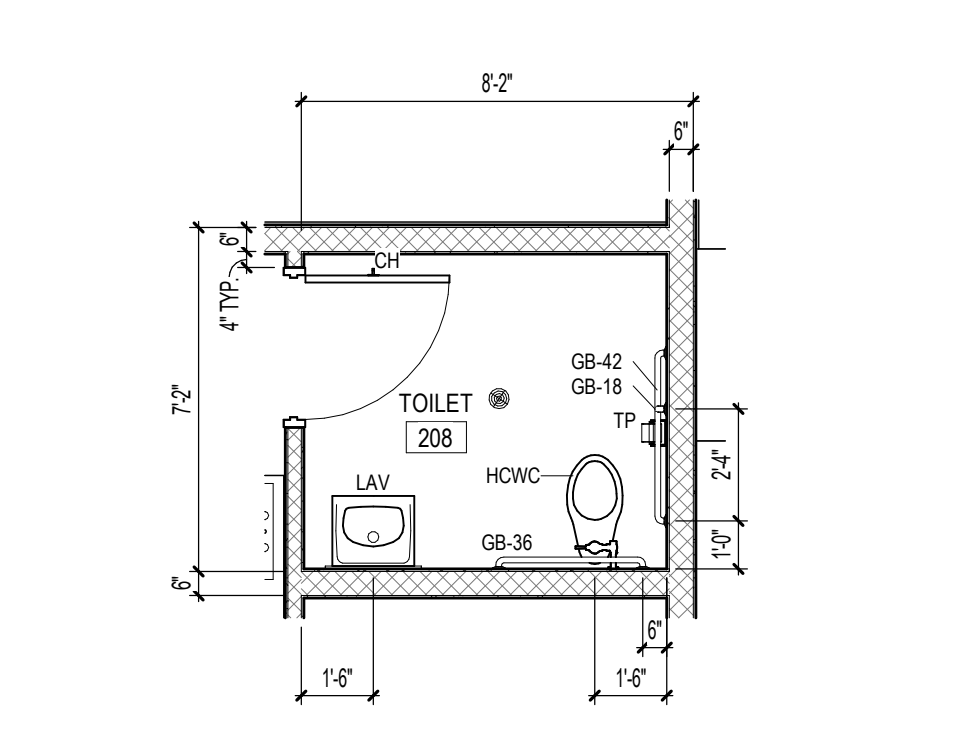
DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:

A2.1

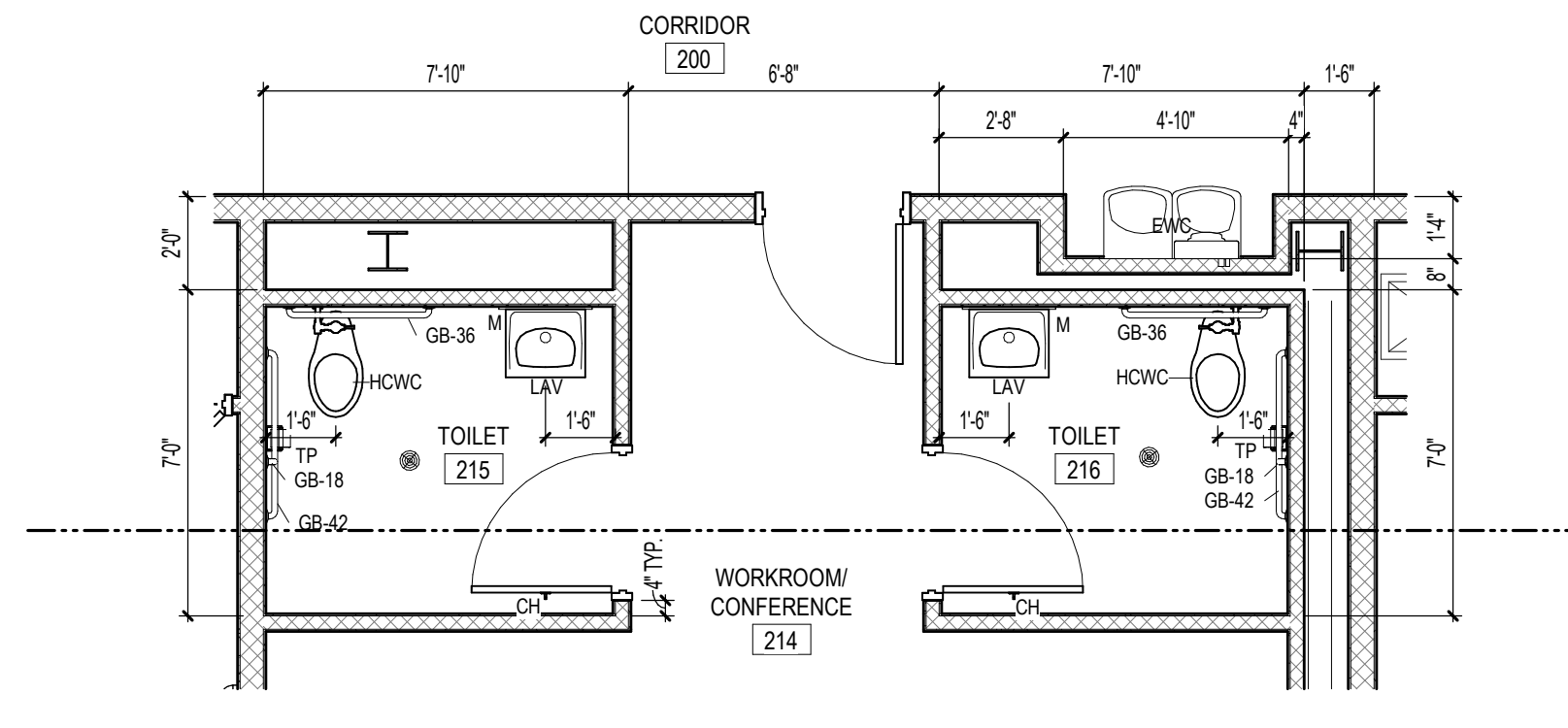
TOILET ACCESSORY SCHEDULE		
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
GB-18	VERTICAL GRAB BAR - 18"	40" A.F.F. to BASE
GB-2W	GRAB BAR - 2 WALL	34" A.F.F. to CENTERLINE
GB-3W	GRAB BAR - 3 WALL	34" A.F.F. to CENTERLINE
LAV	LAVATORY - WALL MOUNTED	34" A.F.F. to RIM
S	SINK - COUNTER MOUNTED	
CH	COAT HOOK	54" A.F.F.
M	MIRROR	24"X36" - 40" A.F.F. to BOTTOM OF REFLECTIVE SURFACE
HD	HAND DRYER	44" A.F.F. to BOTTOM
CT	CHANGING TABLE	31" A.F.F. to BOTTOM
HCWC	H.C. WATER CLOSET	17" A.F.F. to SEAT
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U	URNAL	24" A.F.F. to RIM
HEWC	HANDICAP WATER COOLER	36" to SPOUT
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EWC	ELECT. WATER COOLER w/ BOTTLE FILLER	42" to SPOUT / 36" to SPOUT @ ADA
CR	SHOWER CURTAIN & ROD	7'-0" A.F.F.

NOTES:
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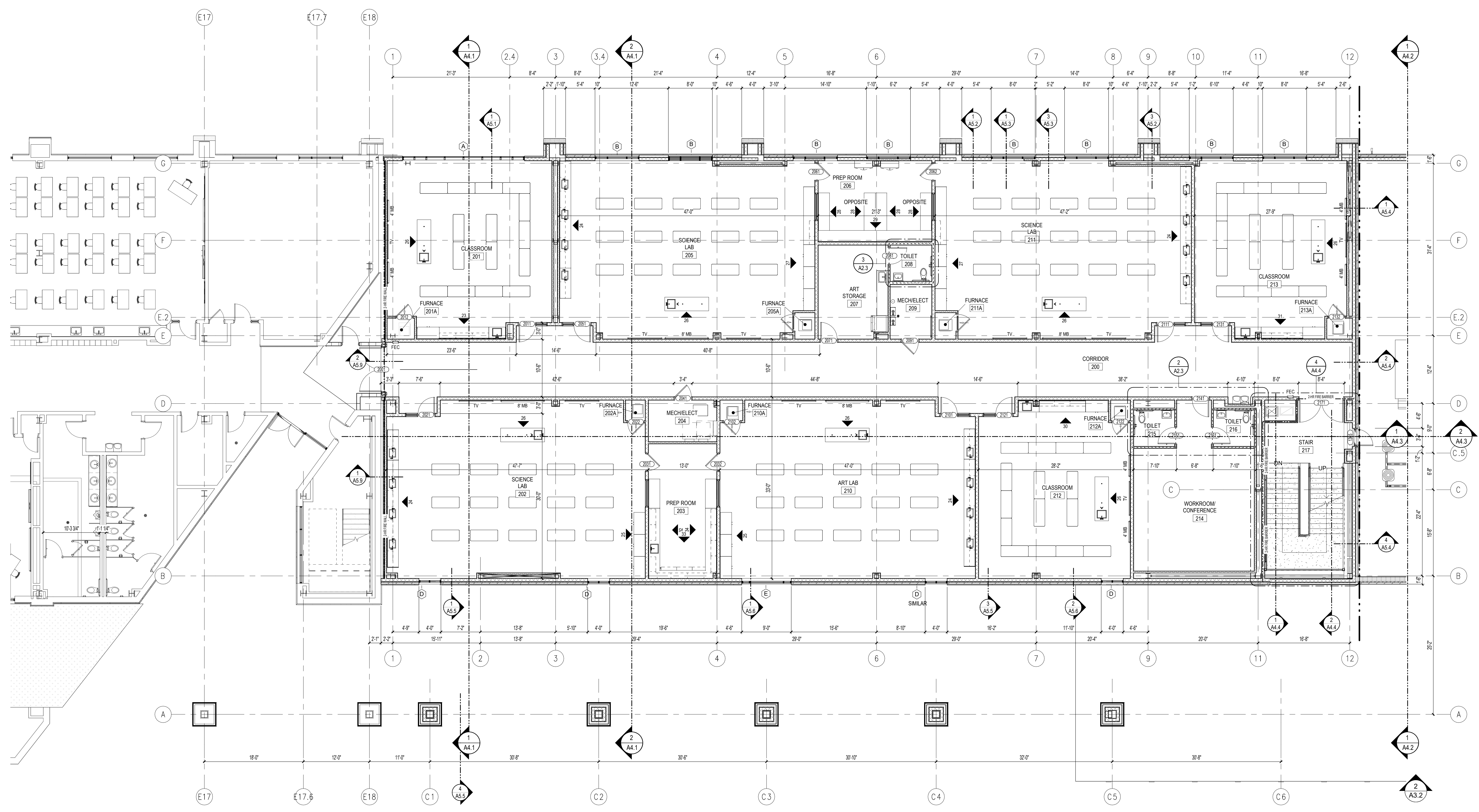
- GENERAL NOTES**
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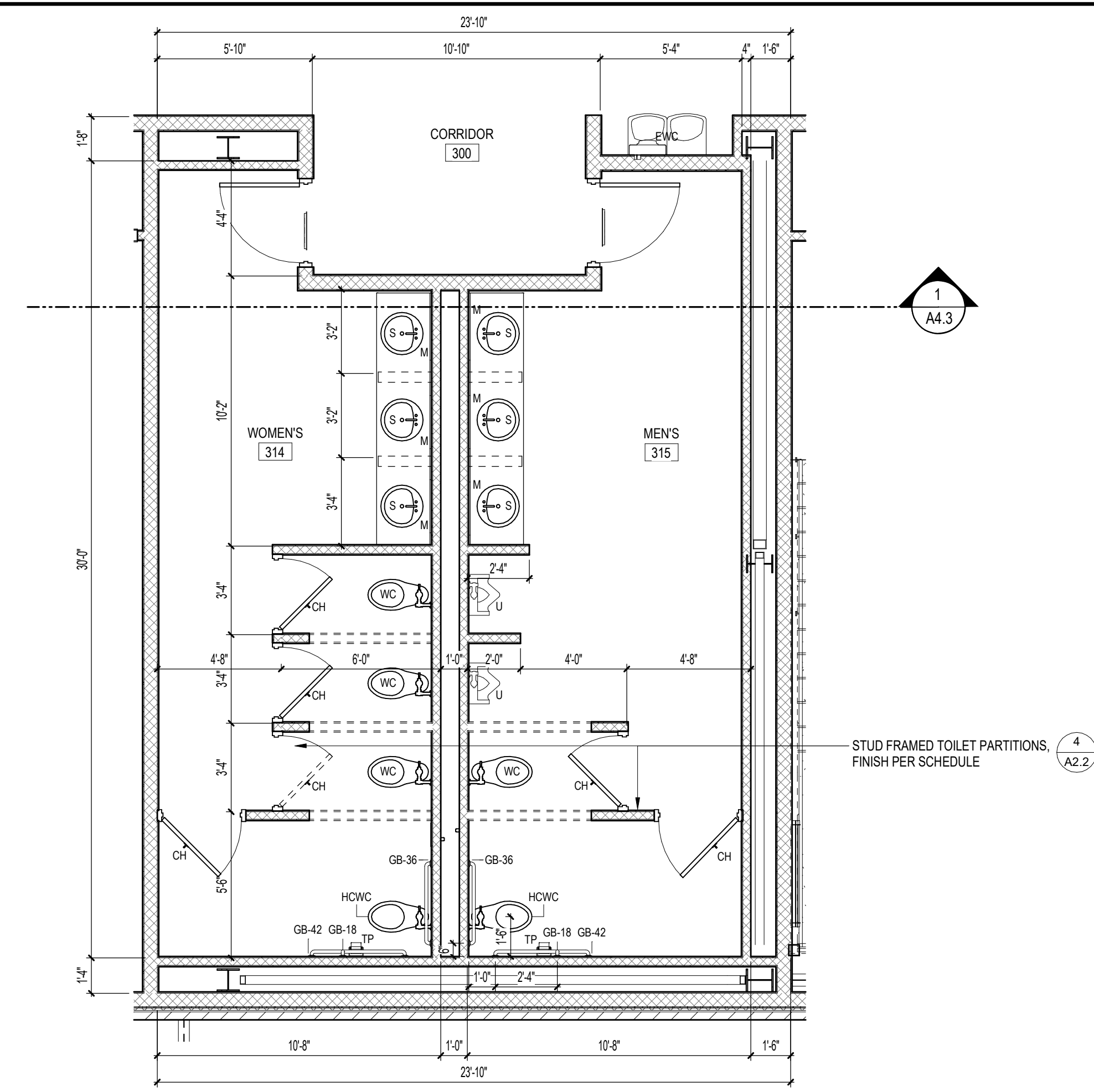
3 ENLARGED PLAN - TOILET 208
A2.3 1/4" = 1'-0"



2 ENLARGED PLAN - TOILET 215 & 216
A2.3 1/4" = 1'-0"



1 SECOND FLOOR PLAN
A2.3 1/8" = 1'-0"



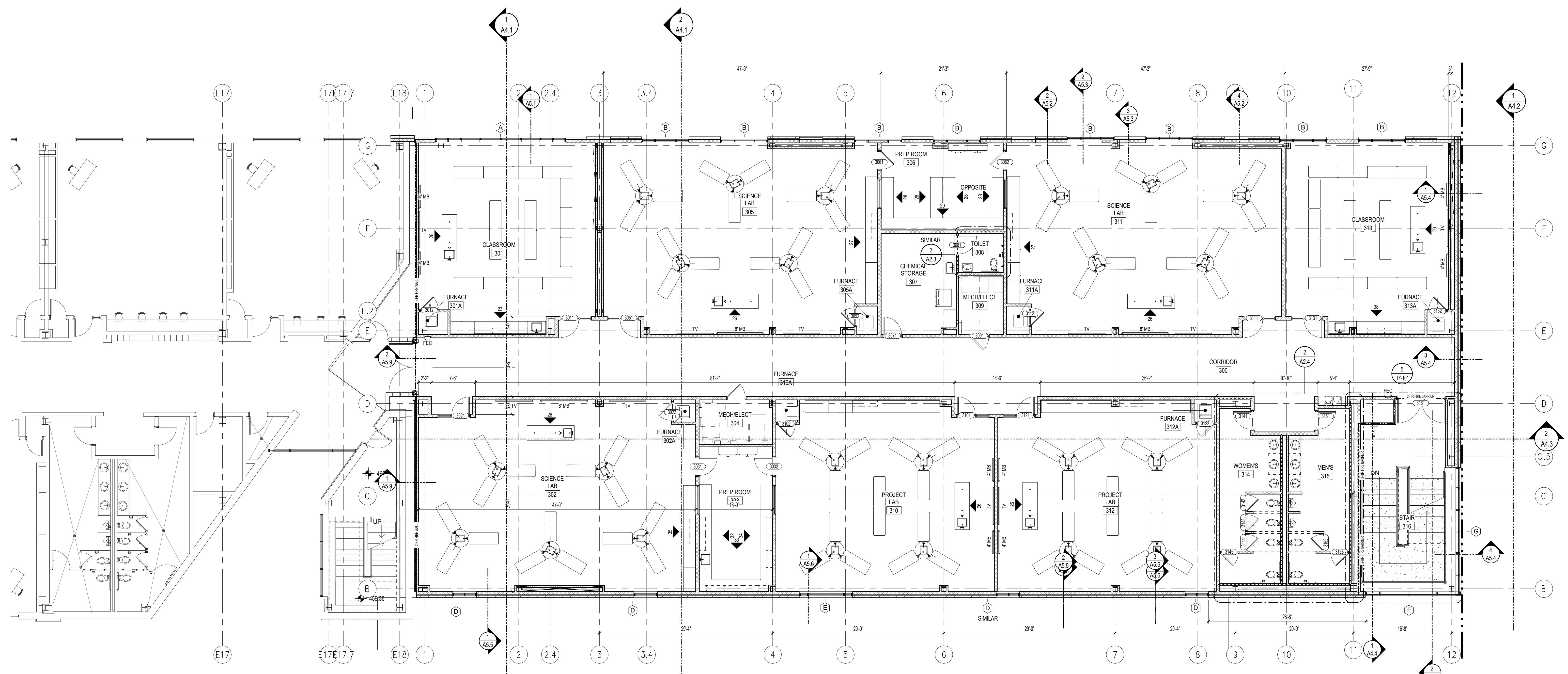
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2
A2.4
ENLARGED PLAN - TOILETS 314 & 315 / 414 & 415
1/4" = 1'-0"



1
A2.4
THIRD FLOOR PLAN
1/8" = 1'-0"



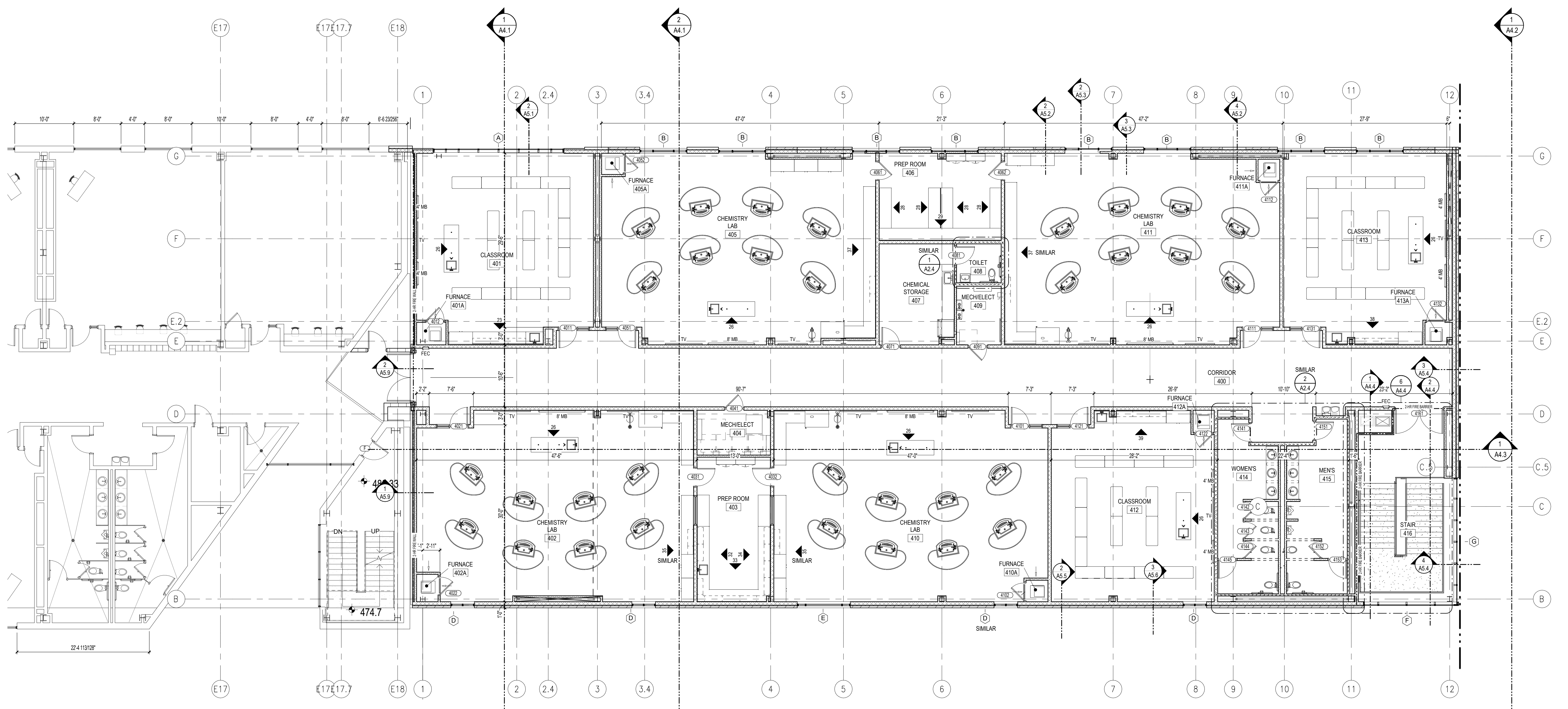
DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:

TOILET ACCESSORY SCHEDULE		
MARK	DESCRIPTION	MOUNTING HEIGHT
GB-36	GRAB BAR - 36"	34" A.F.F. to CENTERLINE
GB-42	GRAB BAR - 42"	34" A.F.F. to CENTERLINE
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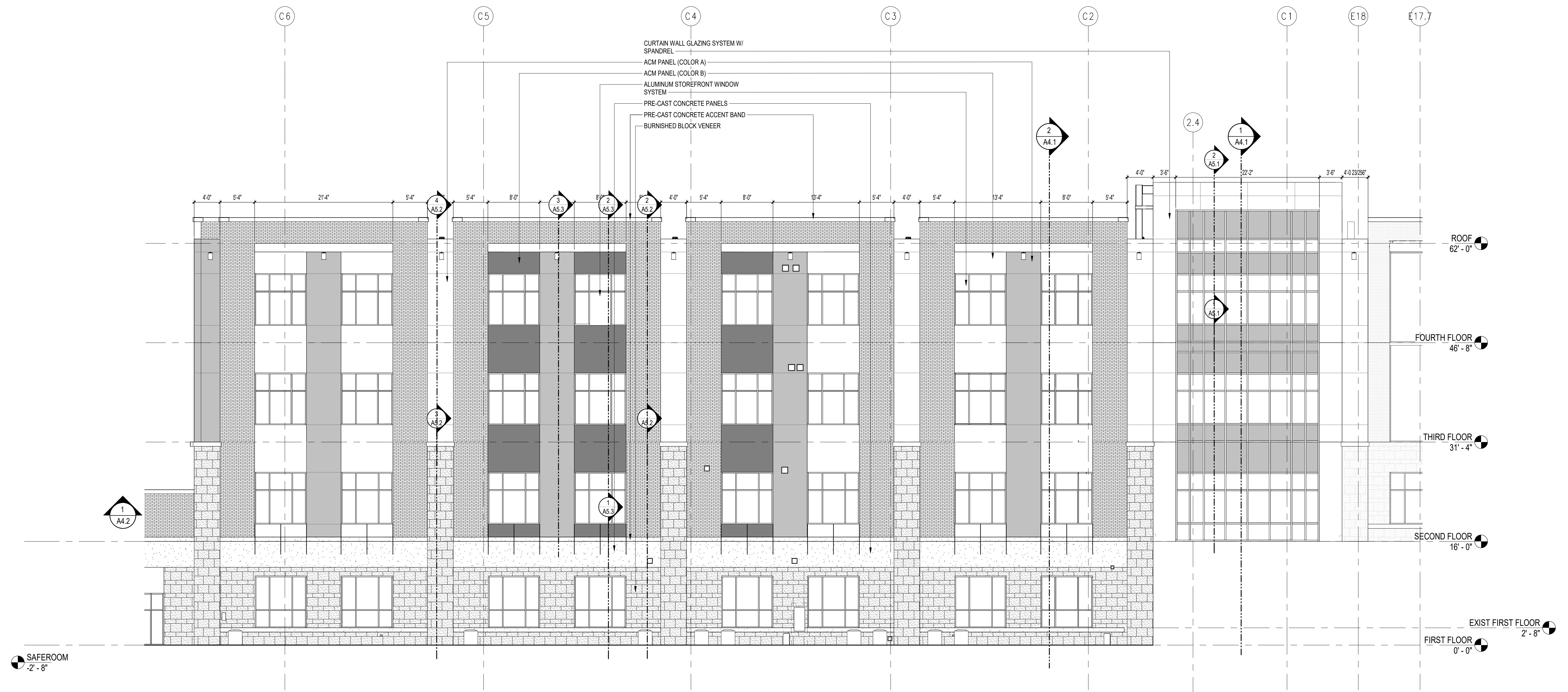
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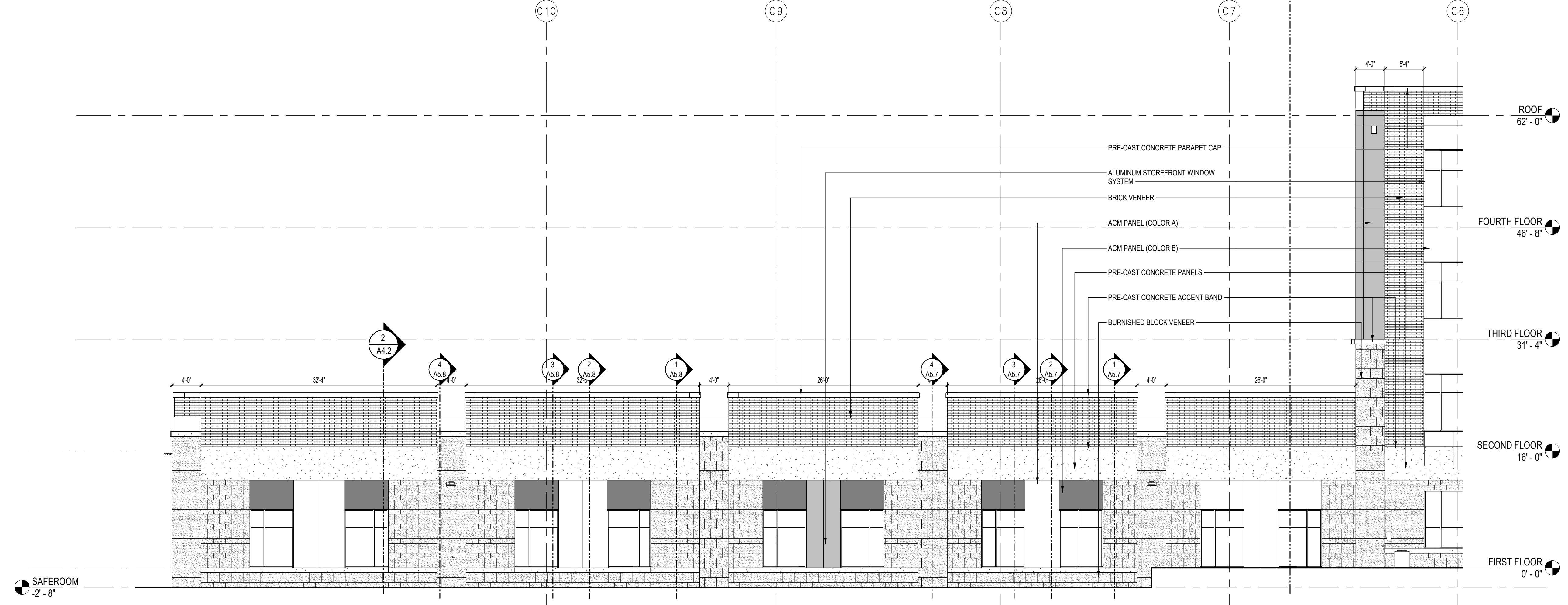
FOURTH FLOOR PLAN
 1/8" = 1'-0"



DATE: 09 APRIL 2024
 PROJECT NO.: 23060
 DRAWN BY: NRW
 REVISION:

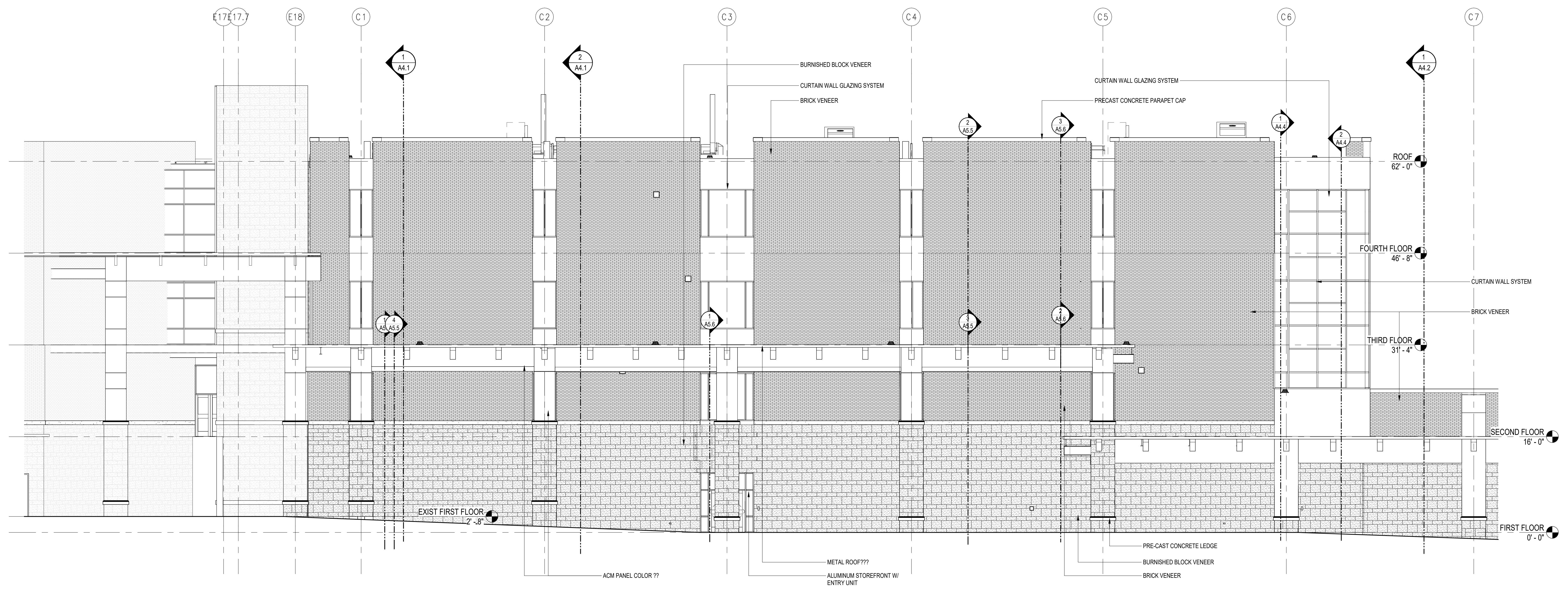


2 EAST ELEVATION - AREA A
A3.1 1/8" = 1'-0"

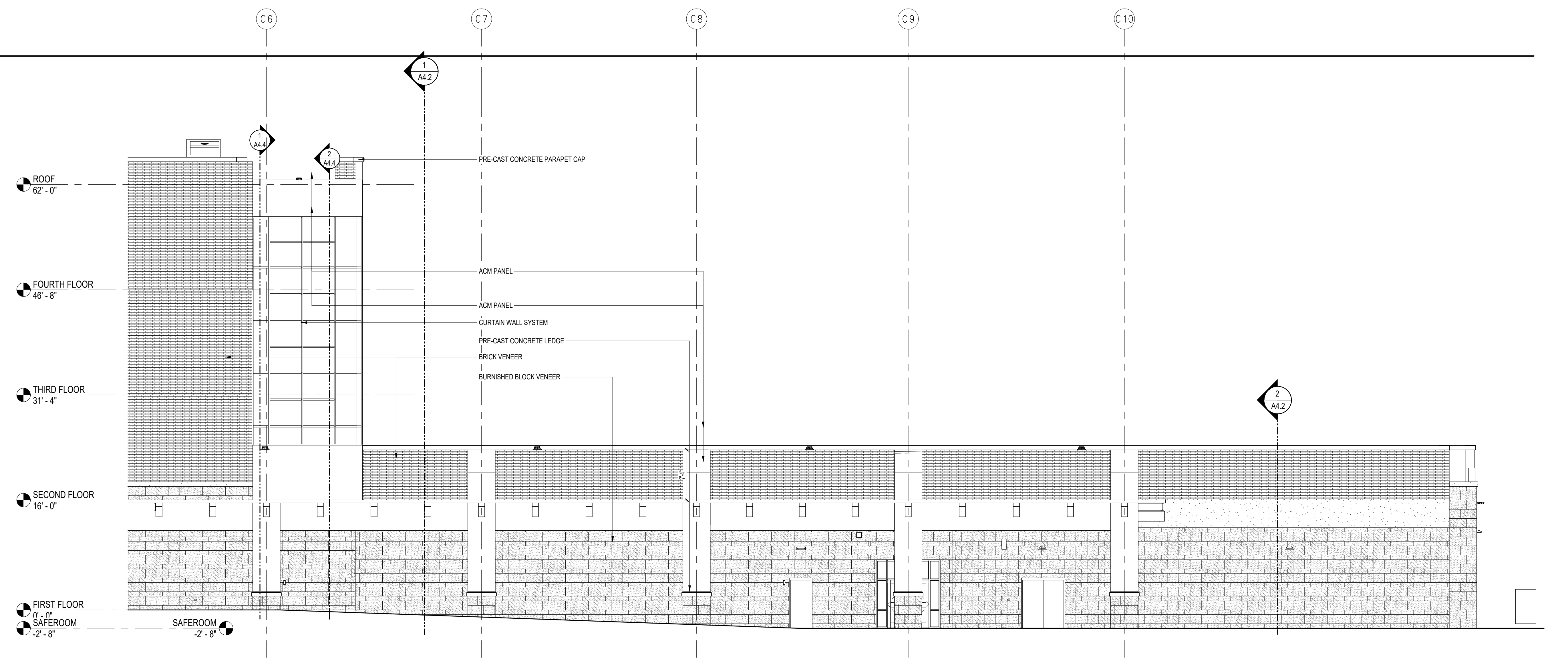


4 EAST ELEVATION - AREA B
A3.1 1/8" = 1'-0"

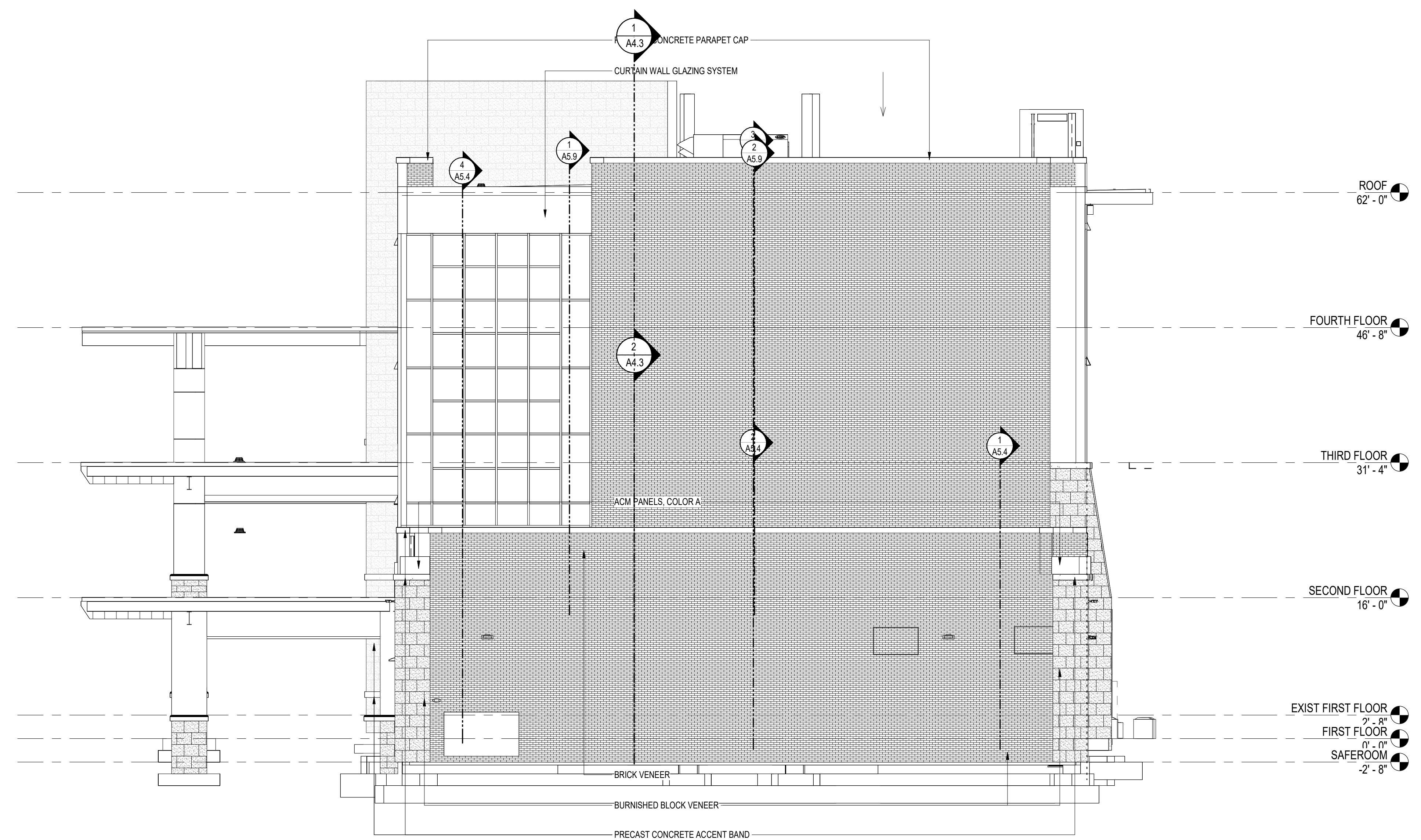




1 WEST ELEVATION - AREA A
 A3.2 1/8" = 1'-0"



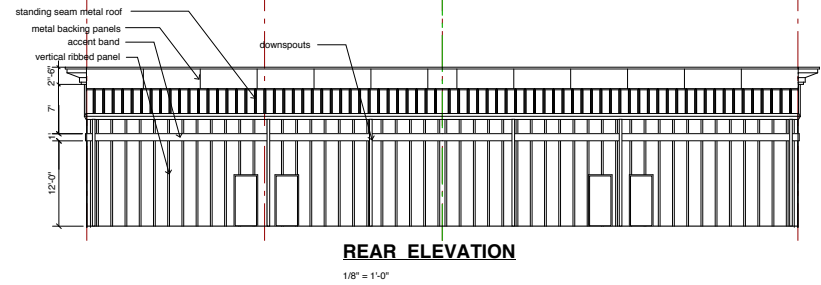
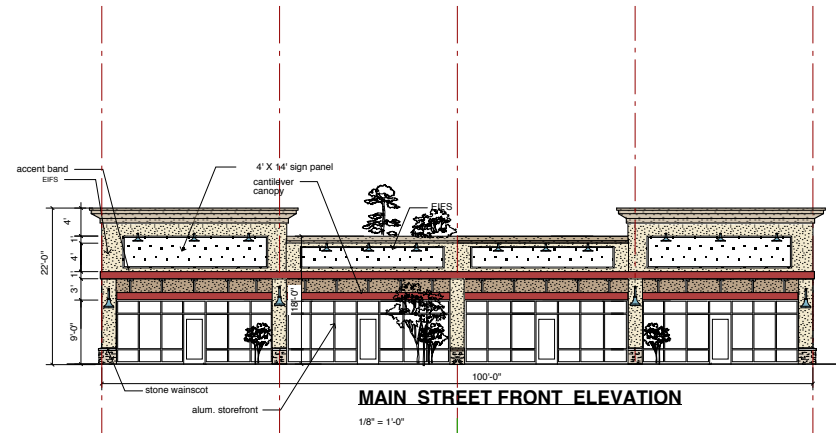
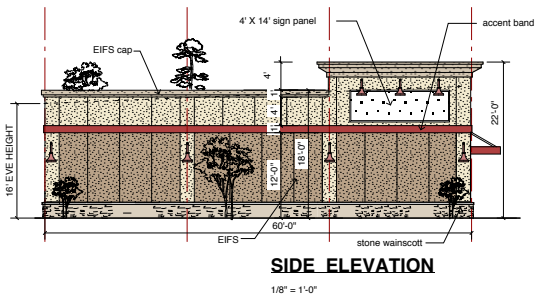
2 WEST ELEVATION - AREA B
 A3.2 1/8" = 1'-0"



1 SOUTH ELEVATION
A3.3 1/8" = 1'-0"



DATE: 09 APRIL 2024
PROJECT NO.: 23060
DRAWN BY: NRW
REVISION:



RANDY S. RIPLEY
ARCHITECT P. A.
*103 TERRY TOWN ROAD
*LITTLE ROCK, ARKANSAS 72227 (501) 580-6344

MARKET and MAIN, LLC
MARKET PLACE CENTER (Building 2)
Bryant, AR

DATE: 9sept19
SHEET:
A3

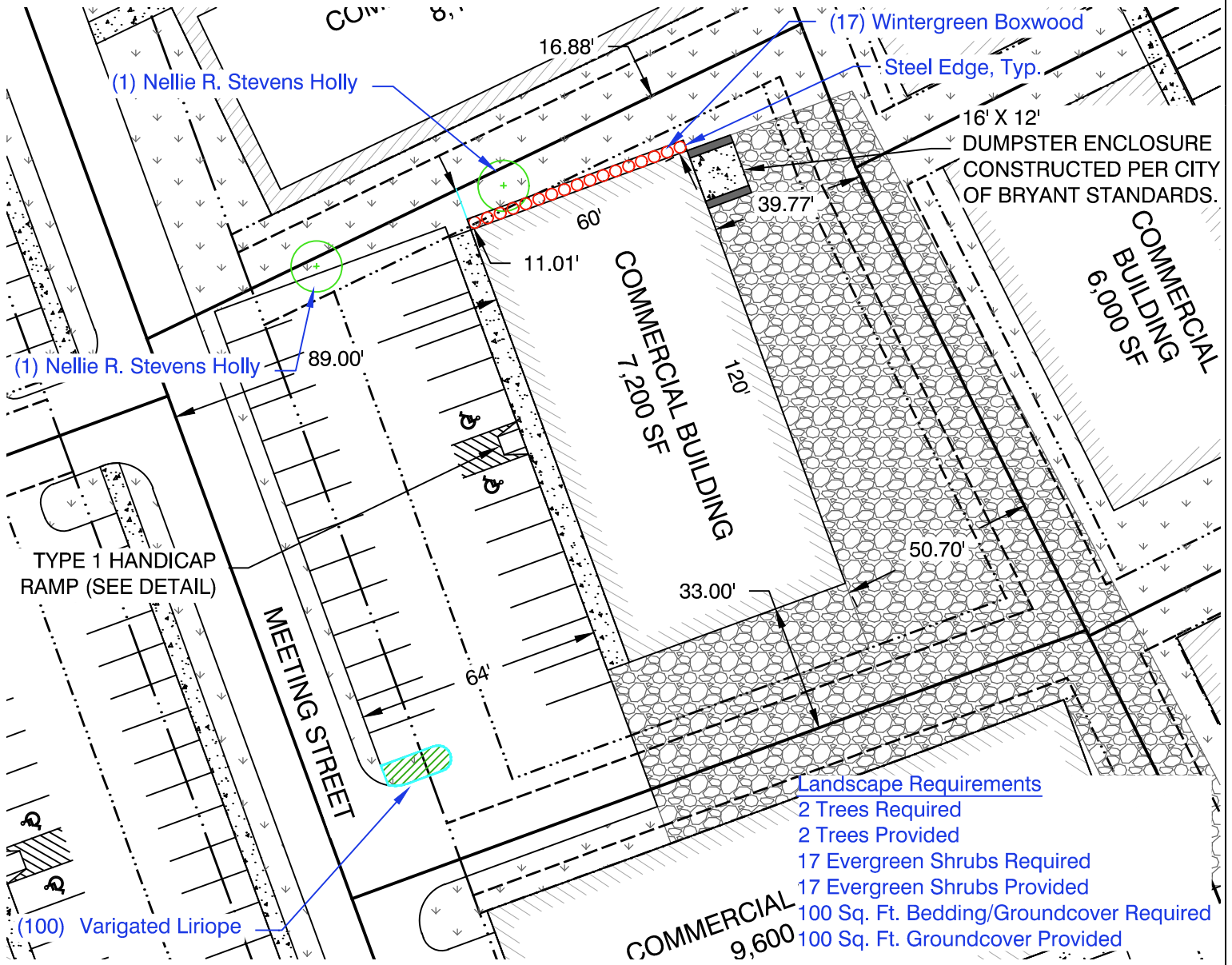
P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- ▲ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted



PROPERTY DESCRIPTION:

LOT 19

JOB NUMBER:

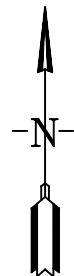
**18087
 MARKET PLACE II
 PHASE 3**

04/18/24

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.

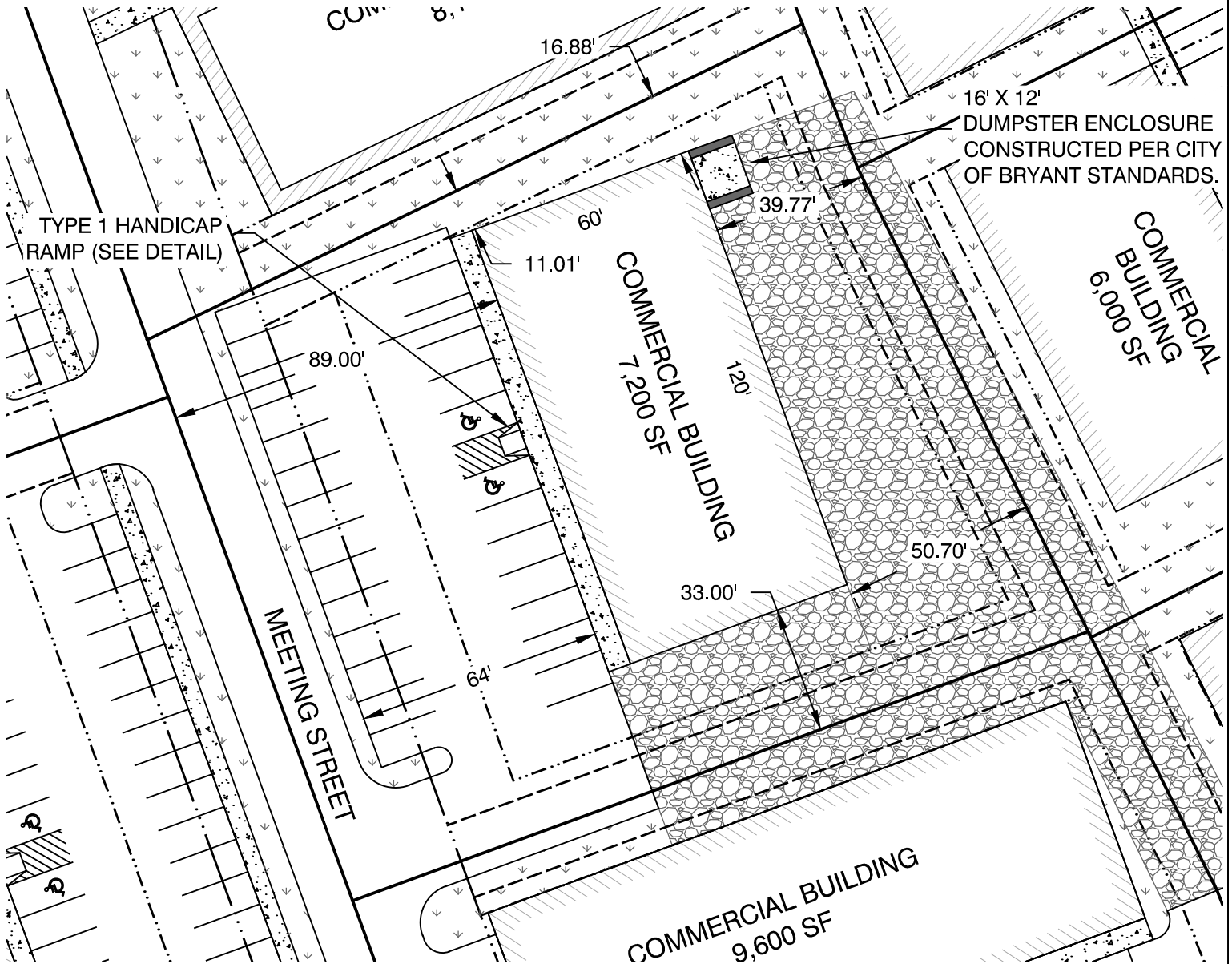


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Name: BART FERGUSON

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- (M) - Measured
- (R) - Record
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PROPERTY DESCRIPTION:

LOT 19



JOB NUMBER:

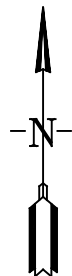
**18087
 MARKET PLACE II
 PHASE 3**

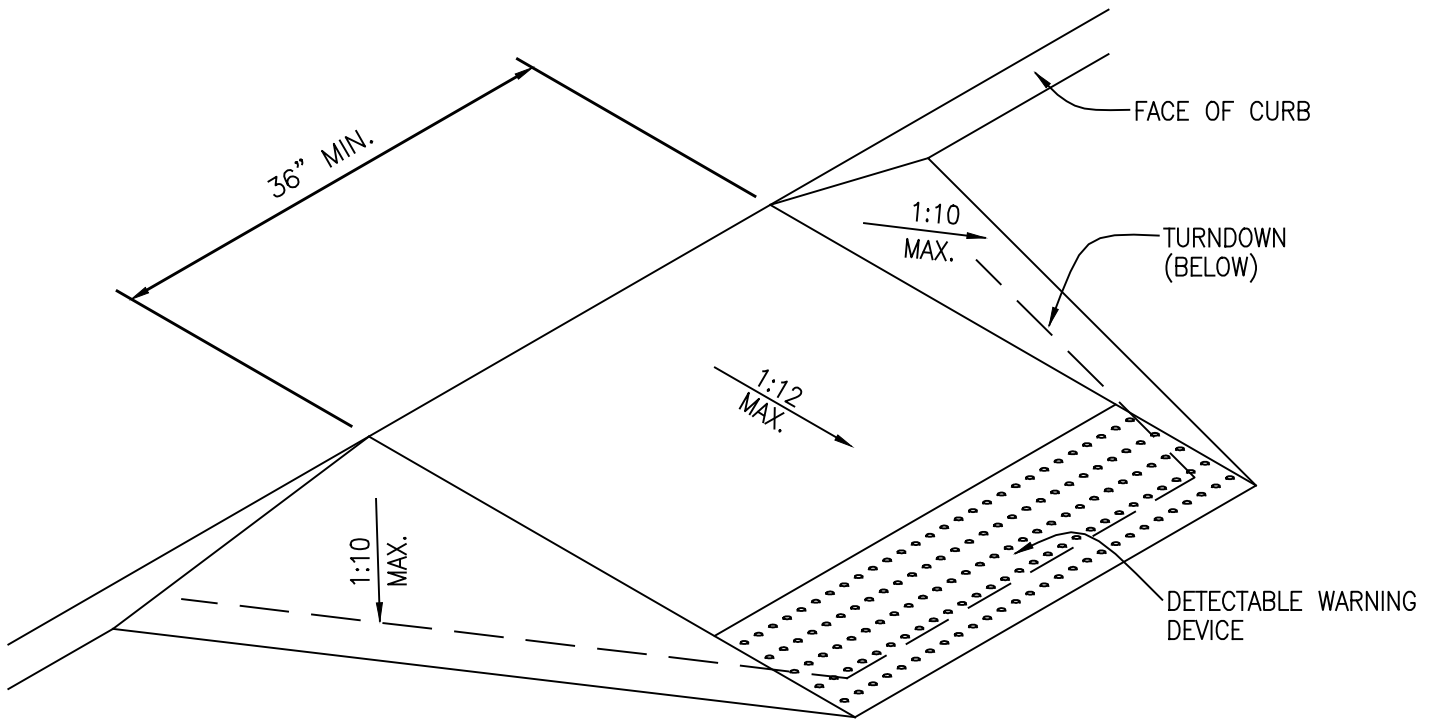
04/17/24

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.



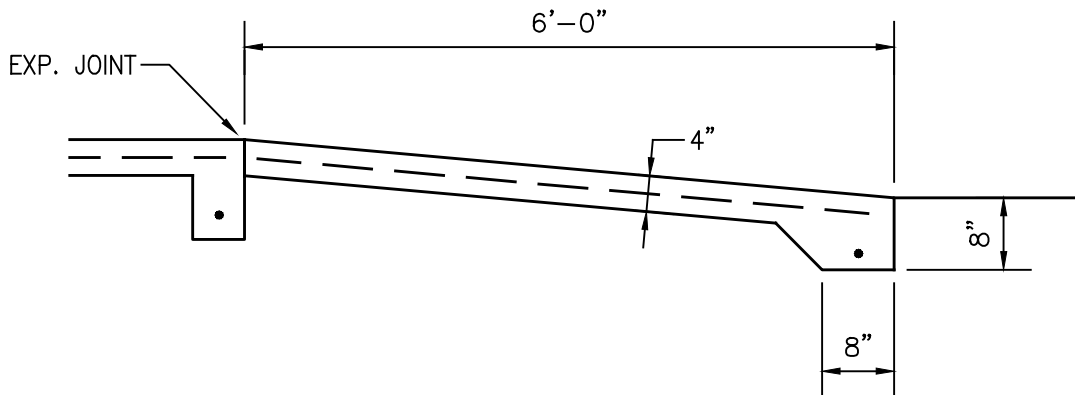


NOTE: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30"

TYPE 1 HANDICAP RAMP DETAIL

5

NOT TO SCALE



TYPE 1 HANDICAP RAMP SECTION

7

NOT TO SCALE

P.O. Box 116 3825 Mt Carmel Rd
 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

FOR EXCLUSIVE USE & BENEFIT OF:

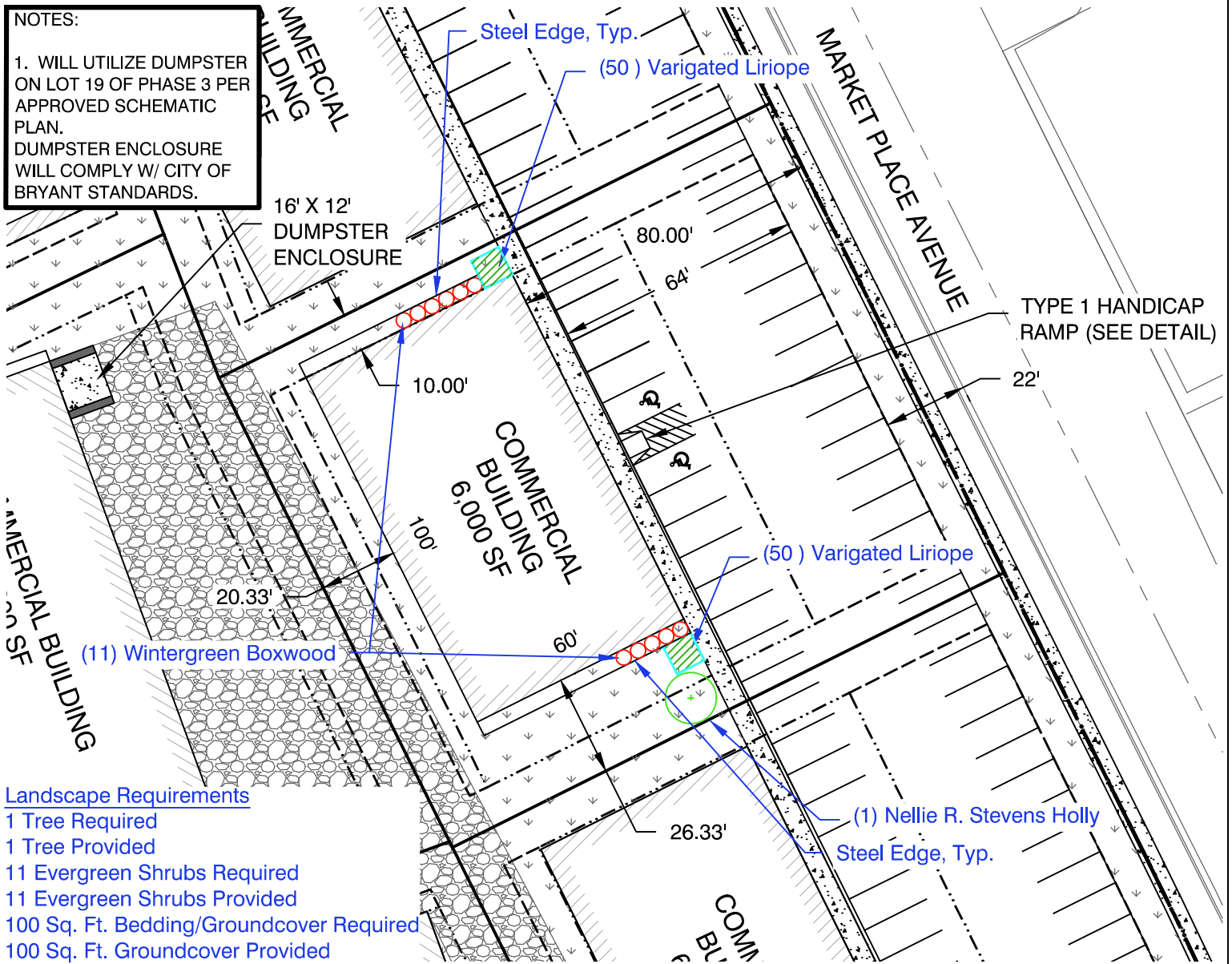
Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

NOTES:

1. WILL UTILIZE DUMPSTER ON LOT 19 OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



Landscape Requirements

- 1 Tree Required
- 1 Tree Provided
- 11 Evergreen Shrubs Required
- 11 Evergreen Shrubs Provided
- 100 Sq. Ft. Bedding/Groundcover Required
- 100 Sq. Ft. Groundcover Provided

PROPERTY DESCRIPTION:

LOT 16



JOB NUMBER:

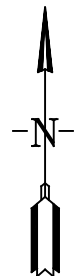
**18087
 MARKET PLACE II
 PHASE 2**

04/18/24

PLOT PLAN

This Plot Plan depicts the lot as it appears on the subdivision final plat. This drawing does not represent an actual survey.

According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.



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 Benton, AR 72018 Bryant, AR 72022
 Ph (501) 408-4650 garnatengineering@gmail.com

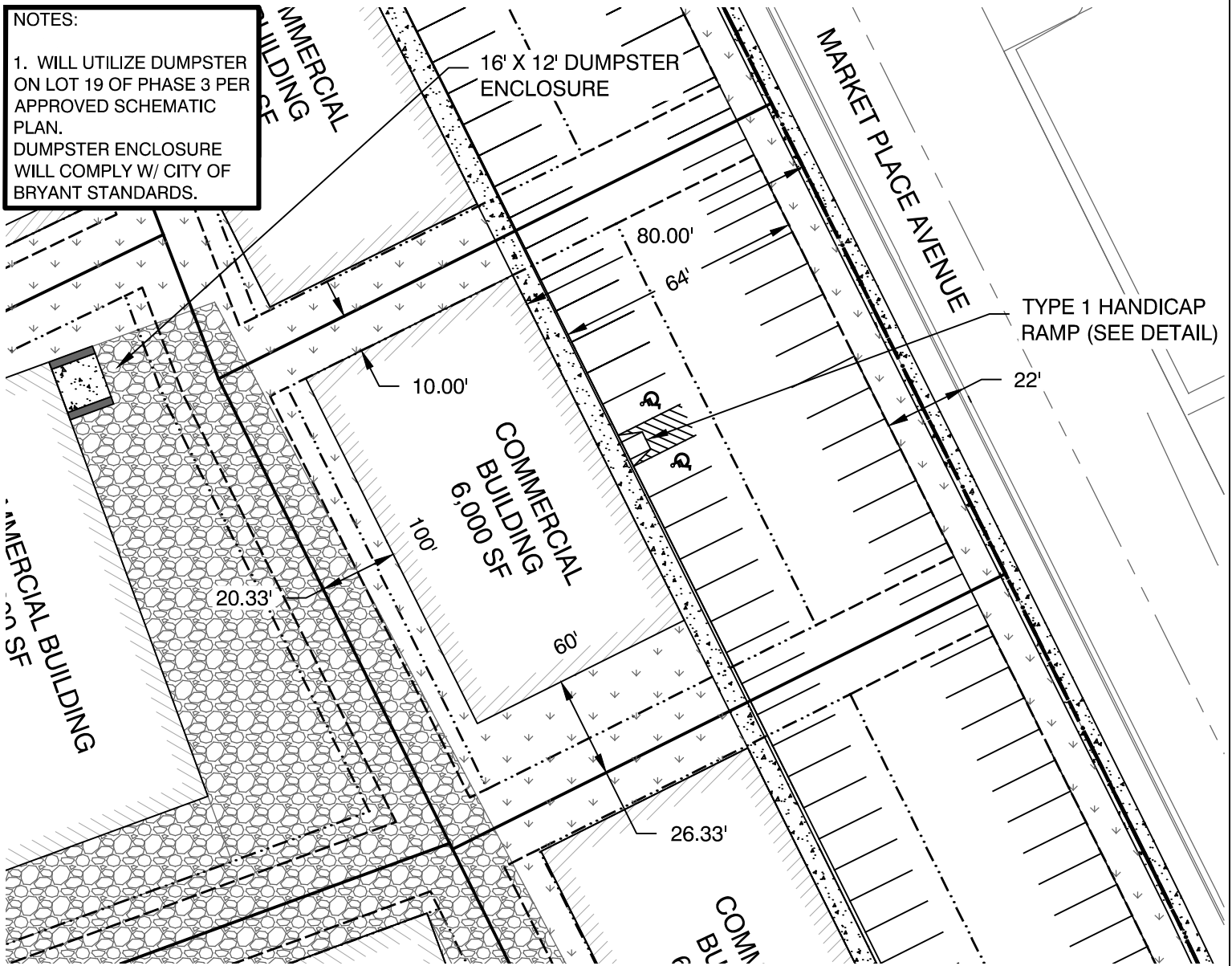
FOR EXCLUSIVE USE & BENEFIT OF:

Name: BART FERGUSON

LEGEND

- △ - Computed point
- - Found monument
- ⊙ - Set #4 RB/Plas. Cap
- (M) - Measured
- (R) - Record
- (P) - Platted

NOTES:
 1. WILL UTILIZE DUMPSTER ON LOT 19 OF PHASE 3 PER APPROVED SCHEMATIC PLAN. DUMPSTER ENCLOSURE WILL COMPLY W/ CITY OF BRYANT STANDARDS.



PROPERTY DESCRIPTION:

LOT 16



JOB NUMBER:

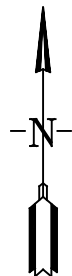
**18087
 MARKET PLACE II
 PHASE 2**

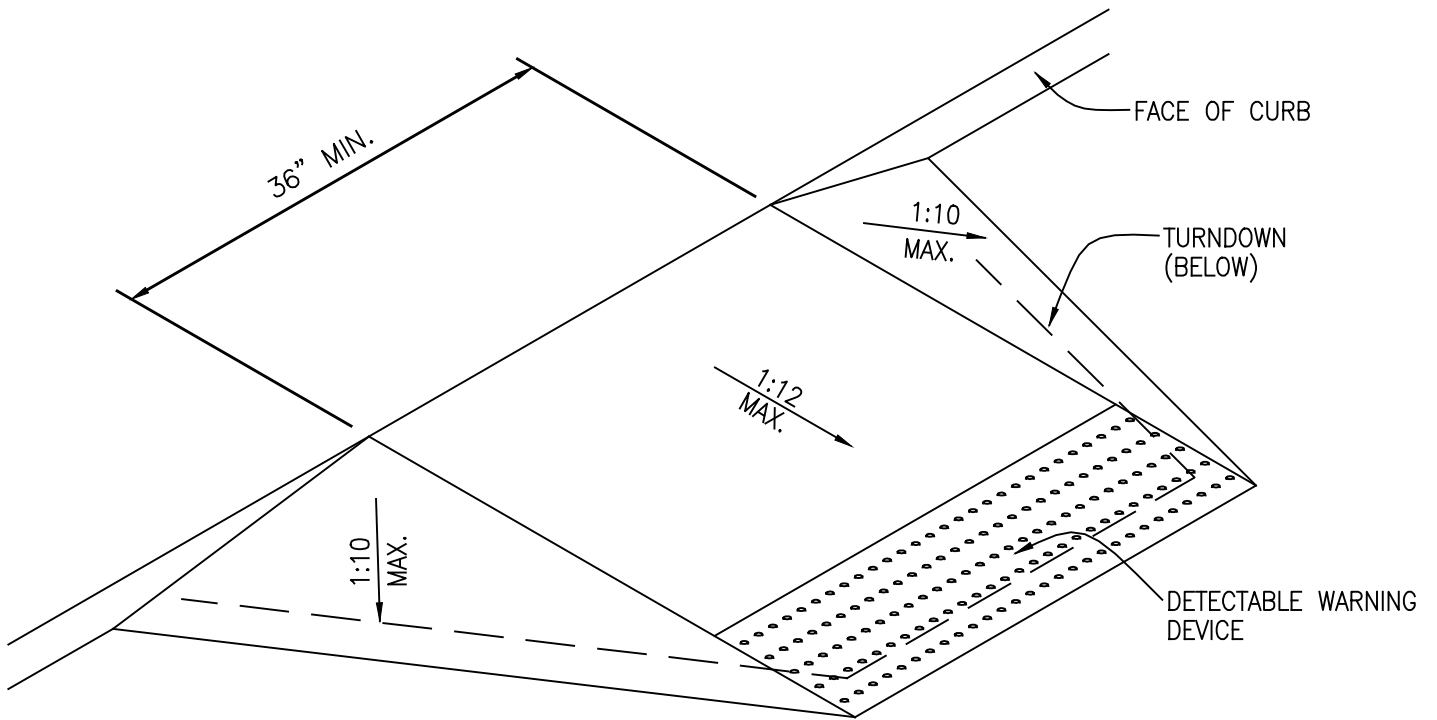
04/17/24

PLOT PLAN

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According to the the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Saline County unincorporated areas, panel # 05125C0240E dated JUNE 05, 2020, no portion, dated of the property described hereon does lie within the 100 year flood hazard boundary.



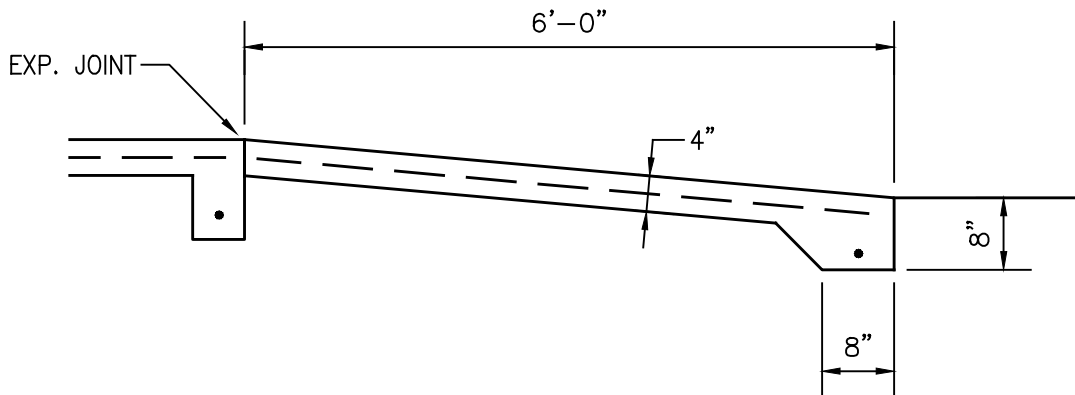


NOTE: THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30"

TYPE 1 HANDICAP RAMP DETAIL

5

NOT TO SCALE



TYPE 1 HANDICAP RAMP SECTION

7

NOT TO SCALE

THE BREAK ROOM



PROPERTY BRAND/EXTENSION:
The Break Room

PROPERTY LOCATION:
1812 Reynolds Road Ste 2 Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
04/15/2024

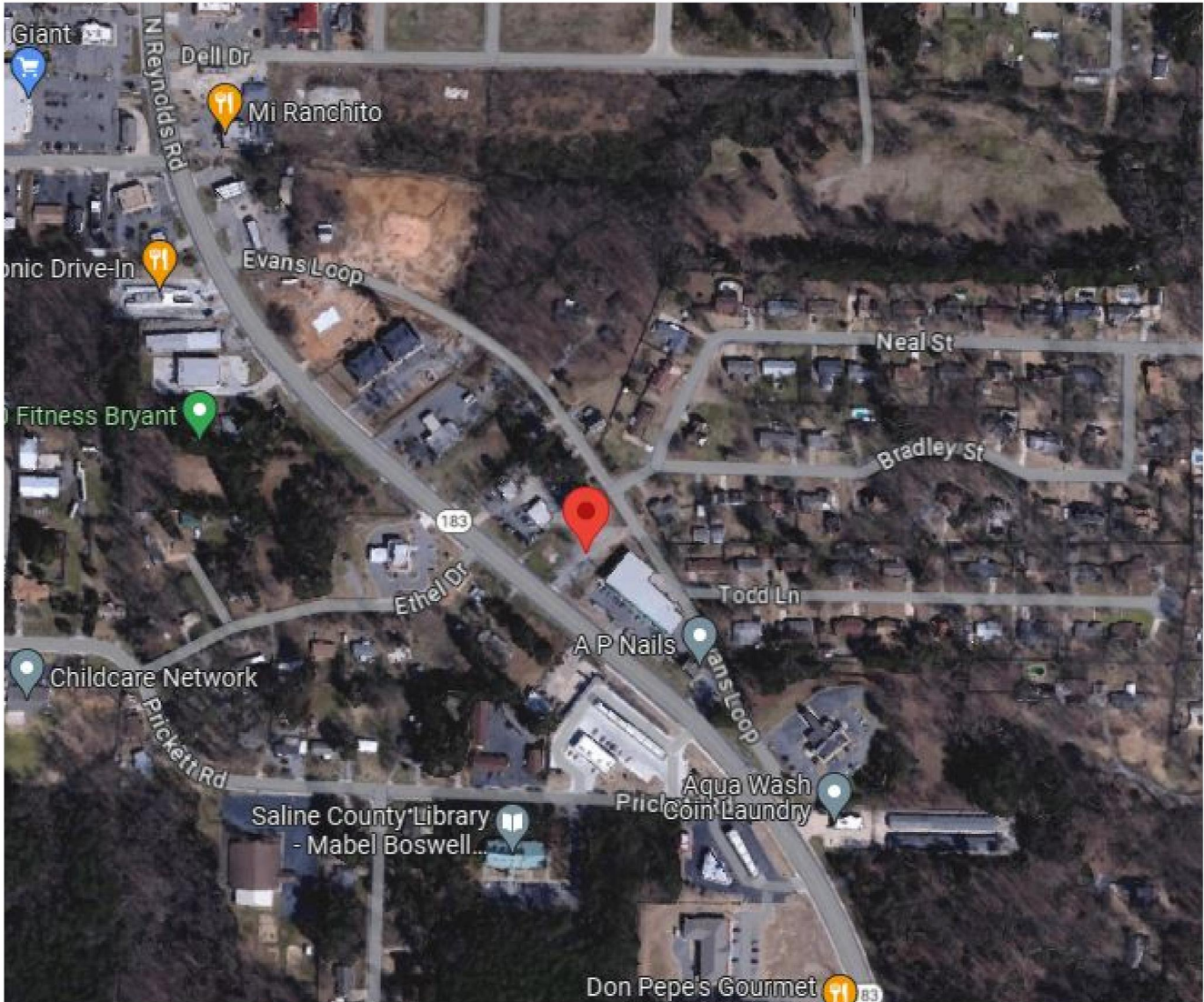
SALES REP:
Patrick Beam

PREPARED BY:
Victoria Phan

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INITIALS: _____

LOCATION MAP



PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 04/15/2024		SALES REP: Patrick Beam		PREPARED BY: Victoria Phan
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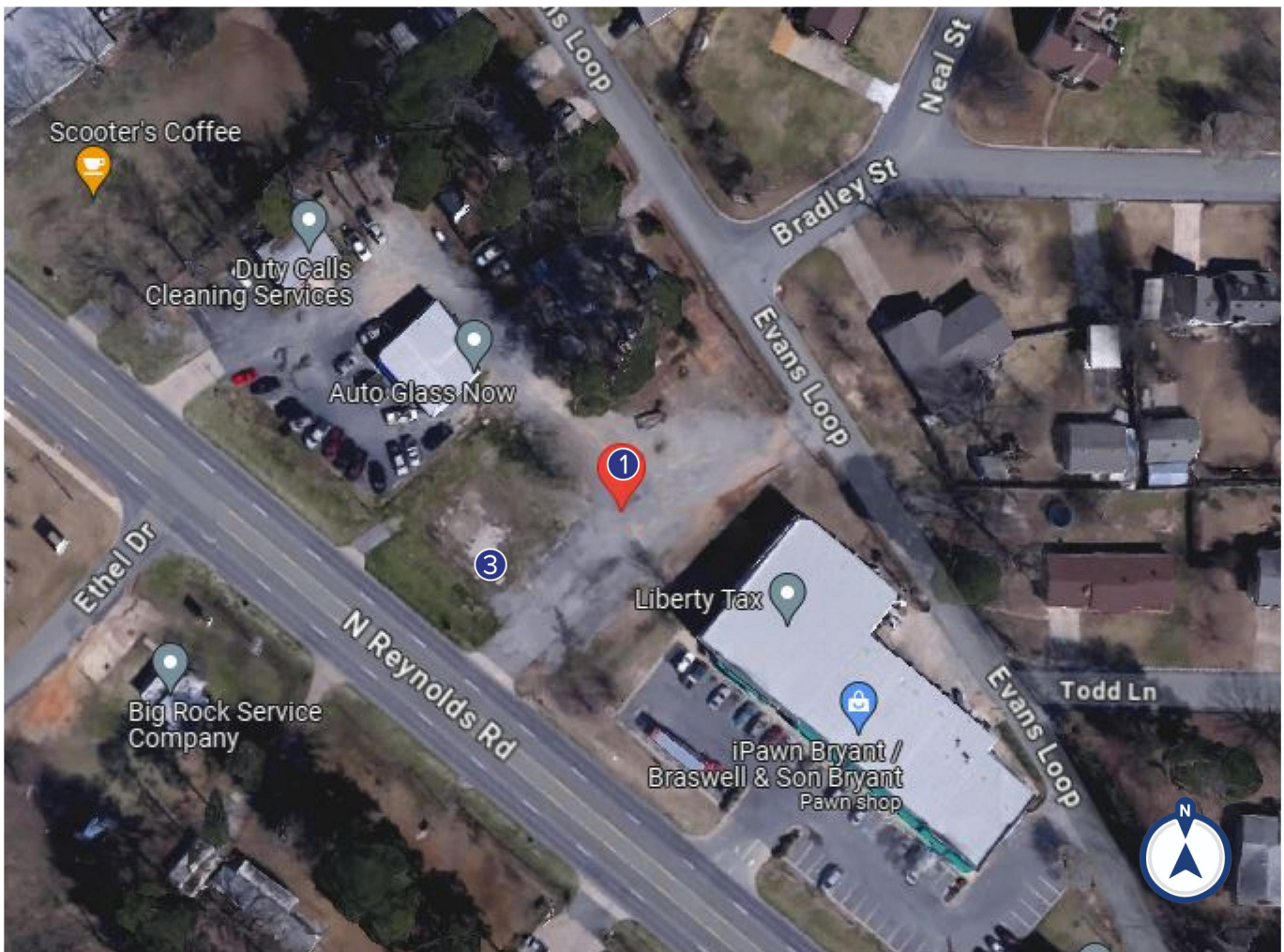
SITE PLAN

PROPOSED SIGNS:

- ① CLOUD SIGN
- ② VINYL
- ③ MULTI-TENANT

EXISTING SIGNS:

- ① NO SIGN
- ② NO SIGN
- ③ MULTI-TENANT



PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 04/15/2024	SALES REP: Patrick Beam	PREPARED BY: Victoria Phan		
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EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H4'-10" x W10' LED illuminated cloud sign with applied graphics
 Signage 48 sq ft
 Elevation 460 sq ft

- PANTONE WHITE
- PANTONE BLACK

	PROPERTY BRAND/EXTENSION: The Break Room		PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022		PROPERTY CODE: TBD		
	DATE: 04/16/2024		SALES REP: Patrick Beam		PREPARED BY: Kayla Haydar		
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PROPOSED



H14 1/2" x W30" contour cut vinyl with digital print

○ PANTONE WHITE

● PANTONE BLACK

**ACE
SIGNS**
PROPERTY BRAND/EXTENSION:
The Break Room

PROPERTY LOCATION:
1812 Reynolds Road Ste 2 Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
04/16/2024

SALES REP:
Patrick Beam

PREPARED BY:
Kayla Haydar

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INITIALS: _____

EXISTING



PROPOSED



RENDERINGS NOT TO SCALE

**THE
BREAK
ROOM**

(2) H2' x W5'-11" Panel with applied graphics
*Survey required before production

- PANTONE WHITE
- PANTONE BLACK

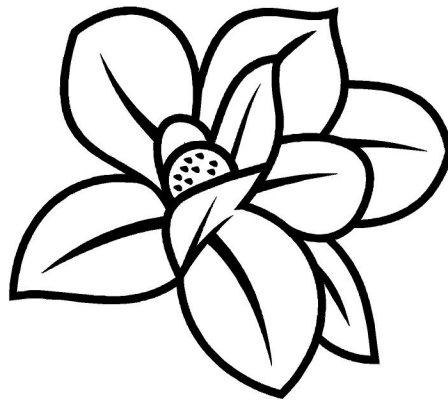
PROPERTY BRAND/EXTENSION: The Break Room	PROPERTY LOCATION: 1812 Reynolds Road Ste 2 Bryant, AR 72022	PROPERTY CODE: TBD
--	--	------------------------------

DATE: 04/15/2024	SALES REP: Patrick Beam	PREPARED BY: Victoria Phan
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INITIALS: _____





MAGNOLIA

— TITLE —

PROPERTY BRAND/EXTENSION:
Magnolia Title

PROPERTY LOCATION:
3417 Market Pl Ave Bryant, AR 72022

PROPERTY CODE:
TBD

DATE:
03/21/2024

SALES REP:
Tonya Hulett

PREPARED BY:
Victoria Phan

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INITIALS: _____



LOCATION MAP



PROPERTY BRAND/EXTENSION: Magnolia Title		PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022		PROPERTY CODE: TBD
DATE: 03/21/2024		SALES REP: Tonya Hulett		INITIALS: _____
		PREPARED BY: Victoria Phan		
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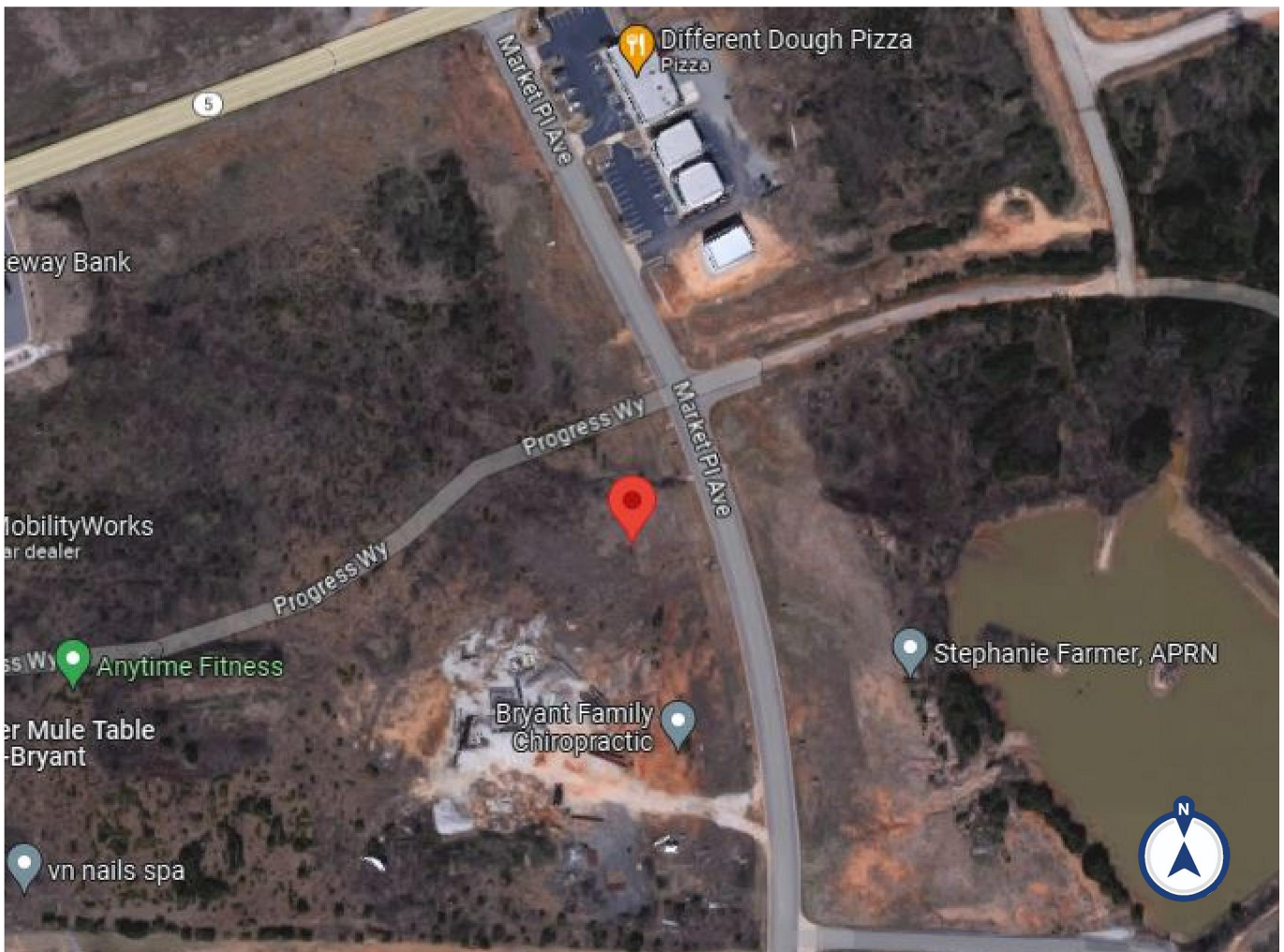
SITE PLAN


PROPOSED SIGNS:

① LETTERS

EXISTING SIGNS:

① NO SIGN



	PROPERTY BRAND/EXTENSION: Magnolia Title	PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022	PROPERTY CODE: TBD
	DATE: 03/21/2024	SALES REP: Tonya Hulett	PREPARED BY: Victoria Phan
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EXISTING



PROPOSED




RENDERINGS NOT TO SCALE

MAGNOLIA
— TITLE —

H1'-10" x W8' x 1/2" Plastic letters stud mounted
(2) H2" x W2' Bars
Overall Dimension: H1'-10" x W8' x 1/2"
Signage 14.6 sq ft
Elevation 626 sq ft

- PANTONE WHITE
- PANTONE BLACK

	PROPERTY BRAND/EXTENSION: Magnolia Title	PROPERTY LOCATION: 3417 Market Pl Ave Bryant, AR 72022	PROPERTY CODE: TBD
	DATE: 04/04/2024	SALES REP: Tonya Hulett	PREPARED BY: Kayla Haydar
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