



# Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** September 19, 2024 - **Time:** 9:00 AM

## Call to Order

## Old Business

## New Business

### 1. Little Life Academy - 4200 Hwy 5 - Play Ground Renovations

*Seth Jeffery - Requesting Approval for play ground renovations on site*

- [0909-PLN-02.pdf](#)
- [0909-PLN-01.pdf](#)

### 2. 2714 Lavern St - Conditional Use Permit for Duplex

*Vanessa Guerra - Requesting recommendation for approval of CUP*

- [0908-APP-01.pdf](#)

### 3. 3 Tanglewood Dr - Conditional Use Permit for Accessory Dwelling Unit

*Peter Bluemmel - Requesting recommendation for approval of CUP*

- [0913-APP-01.pdf](#)
- [0913-PLN-01.pdf](#)

### 4. 302 Court St - Minor Exception from Midtown Code

*Zach Smith - Requesting approval for minor exception from Midtown Code on location of parking*

- [0910-PLT-01.pdf](#)
- [0910-PLN-01.pdf](#)

### 5. Window World - 511 Boone Road - New Driveway

*Jodie Cerrato - Requesting approval for new additional driveway*

- [0905-PLN-01.pdf](#)

### 6. Lot 11 & 12 Block 13 - Original Town of Bryant - Replat

*Freddy Beza - Requesting Recommendation of Approval for Replat*

- [0915-PLT-01.pdf](#)

### 7. 7 Brew Coffee - 2006 N Reynolds Road - Site Plan

*Brian Evans - Requesting Approval for Site Plan*

- [0911-PLN-01.pdf](#)

#### **8. 21814 I-30 - Site Plan Addition**

*- Requesting Approval for Site Plan for addition of two carports*

- [0914-PLN-03.pdf](#)
- [0914-PLN-02.pdf](#)
- [0914-PLN-01.png](#)
- [0914-DRW-01.pdf](#)

#### **9. Skye Blue Duplexes Subdivison - Plat and Conditional Use Permits**

*Hope Consulting - Requesting Recommendation of Approval for Subdivison Plat and Four Conditional Use Permits for Duplexes*

- [0889-PLT-01.pdf](#)
- [0889-LTR-01.pdf](#)
- [0889-CUP-01.pdf](#)
- [0889-WVR-01.pdf](#)

#### **10. First Southern Baptist Church - 604 S Reynolds - Site Plan**

*Hope Consulting - Requesting Recommendation for Approval of Site Plan*

- [0912-PLN-01.pdf](#)

### **Staff Approved**

#### **11. Bath & Body Works - 7341 Alcoa Rd - Sign Permit**

*Arkansas Sign & Neon - Requesting Sign Permit Approval - STAFF APPROVED*

- [92725-SGNAPP-02.pdf](#)

#### **12. Fiiz Drinks -1812 N Reynolds Rd, Ste 4 - Sign Permit**

*Little Rock Conway Sign - Requesting Sign Permit Approval - STAFF APPROVED*

- [92766-SGNAPP-01.pdf](#)

#### **13. Fun Town RV - 22524 I-30 - Sign Permit**

*Action Signs - Requesting Sign Permit Approval - STAFF APPROVED*

- [92767-SGNAPP-01.pdf](#)

#### **14. Goodwill - 5914 Hwy 5 - Sign Permit**

*Ace Sign Company - Requesting Sign Permit Approval - STAFF APPROVED*

- [92723-APP-02.pdf](#)
- [92723-APP-01.pdf](#)

#### **15. Fence Brokers - 25736 I-30 - Sign Permit**

*Signs & Lines - Requesting Sign Permit Approval - STAFF APPROVED*

- [92783-SGNAPP-01.pdf](#)

### **Permit Report**

### **Adjournments**

# NLC SALINE COUNTY PLAYGROUND IMPROVEMENTS

BRYANT, SALINE COUNTY, ARKANSAS

## CONSTRUCTION PLANS

June 2022

HOLLOWAY ENGINEERING JOB NO. 2022-044



Holloway Engineering,  
Surveying & Civil Design

200 Casey Drive  
Maumelle, AR 72113  
(501) 851-3366  
www.holloway-eng.com

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
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|      |      |             |
|      |      |             |
|      |      |             |

| LEGEND             |                           |                    |
|--------------------|---------------------------|--------------------|
| PROPOSED           | DESCRIPTION               | EXISTING           |
| — W —              | WATER LINE                | — W —              |
| — G —              | GAS LINE                  | — G —              |
| — SS —             | SANITARY SEWER LINE       | — SS —             |
| — FO —             | FIBER OPTIC LINE          | — FO —             |
| — C <sub>u</sub> — | UNDERGROUND PHONE LINE    | — C <sub>u</sub> — |
| — OHE —            | OVERHEAD ELECTRIC LINE    | — OHE —            |
| — E <sub>u</sub> — | UNDERGROUND ELECTRIC LINE | — E <sub>u</sub> — |
| — —                | STORM DRAINAGE PIPE       | — —                |
| (X-X)              | DRAINAGE STRUCTURE - NO.  | (X-X)              |
| — CTV —            | CATV CABLE LINE           | — CTV —            |
| — X —              | FENCE                     | — X —              |
| — —                | DITCH FLOW LINE           | — —                |
| ⊕                  | CURB INLET/JUNCTION BOX   | ⊕                  |
| △                  | CONTROL POINT             | △                  |
| ⊗                  | GAS METER                 | ⊗                  |
| ⊗                  | GAS REGULATOR             | ⊗                  |
| ⊗                  | WATER METER               | ⊗                  |
| ⊗                  | WATER VALVE               | ⊗                  |
| ⊗                  | FIRE HYDRANT              | ⊗                  |
| ⊗                  | AIR RELEASE VALVE         | ⊗                  |
| ⊗                  | GUY ANCHOR                | ⊗                  |
| ⊗                  | UTILITY POLE              | ⊗                  |
| ⊗                  | LIGHT POLE                | ⊗                  |
| ⊗                  | ELECTRICAL BOX            | ⊗                  |
| ⊗                  | SANITARY SEWER MANHOLE    | ⊗                  |
| ⊗                  | SANITARY SEWER CLEAN-OUT  | ⊗                  |
| ⊗                  | TELEPHONE PEDESTAL/RISER  | ⊗                  |
| ⊗                  | SIGN                      | ⊗                  |



VICINITY MAP

| Sheet List Table |                            |              |
|------------------|----------------------------|--------------|
| Sheet Number     | Sheet Title                | Sheet Number |
| C0.00            | COVER SHEET                | C0.00        |
| C1.00            | SITE PLAN                  | C1.00        |
| C1.01            | SITE DETAILS               | C1.01        |
| C2.00            | GRADING & DRAINAGE         | C2.00        |
| C2.01            | GRADING & DRAINAGE DETAILS | C2.01        |

NLC SALINE COUNTY  
BRYANT, SALINE COUNTY, AR  
FOR NLC SALINE  
COVER SHEET

**DRAFT**  
This document  
is preliminary  
in nature and  
is not a final  
signed and  
sealed  
document.

| DATE | PLAN SET | SHEET NO. |
|------|----------|-----------|
|      |          |           |
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|      |          |           |

OWNER/DEVELOPER  
NEW LIFE CHURCH  
4200 HWY 5 NORTH  
BRYANT, AR 72022

ENGINEER/ SURVEYOR  
HOLLOWAY ENGINEERING  
200 CASEY DRIVE  
MAUMELLE, AR 72113  
(501) 851-3366

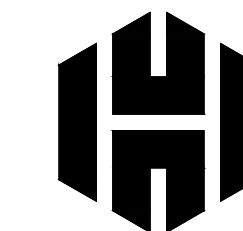


Know what's below.  
Call before you dig.

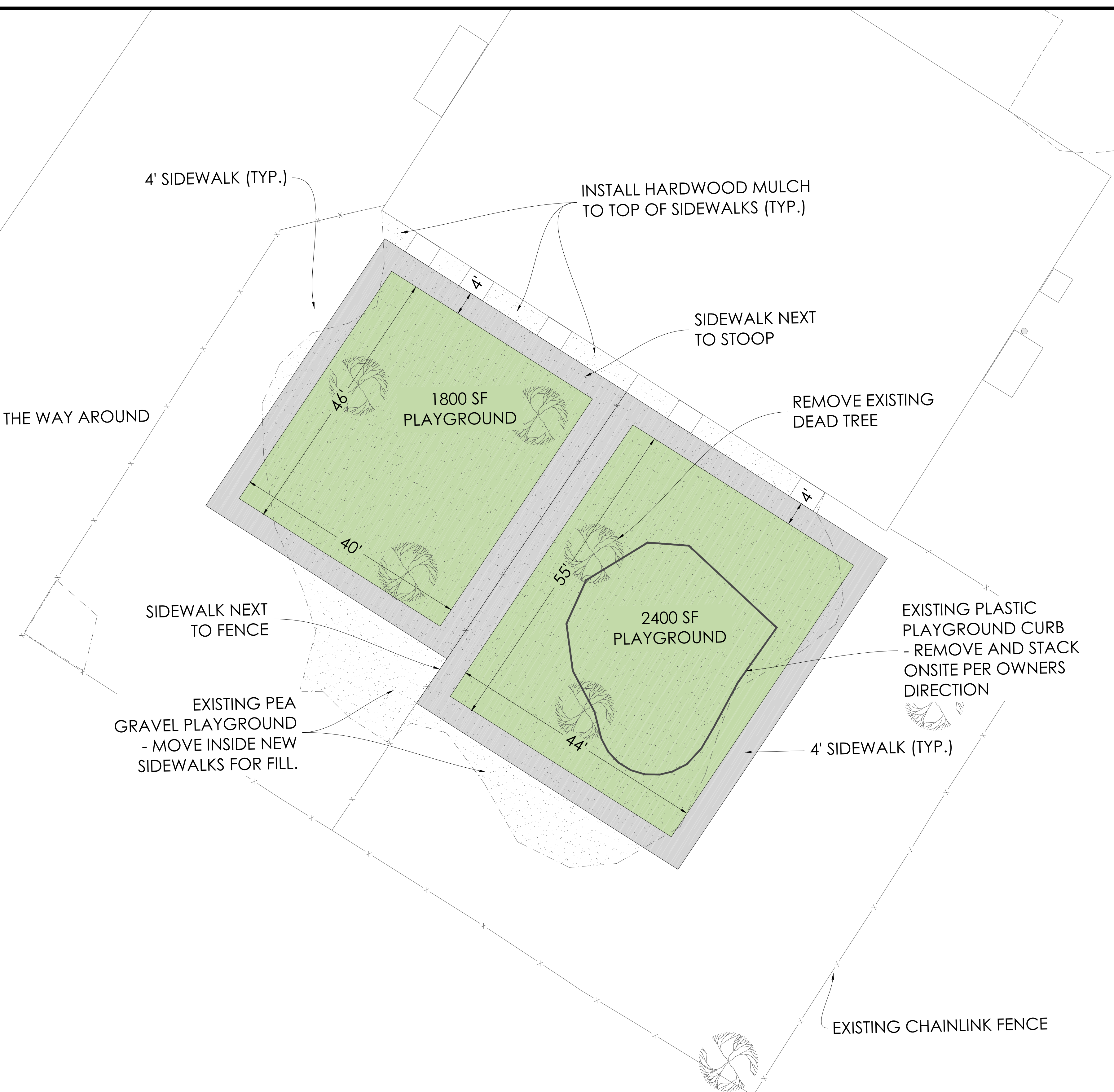
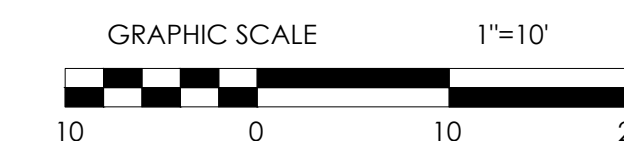
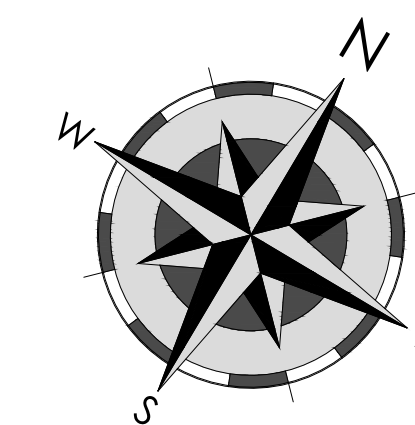
CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY. ARKANSAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES TWO WORKING DAYS ADVANCE NOTIFICATION THROUGH THE ARKANSAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPLOSIVES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-482-8998. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE ARKANSAS ONE-CALL SYSTEM; THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES, AS WELL AS THE ONE-CALL SYSTEM.

JOB NO.: 2022-044  
DATE: 7/21/23  
DRAWN BY: LCM  
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- GENERAL NOTES
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  2. CONTRACTOR TO UNCOVER AND MARK UTILITY LINES BEFORE CONSTRUCTION.
  3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
  4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
  5. EXISTING UTILITIES TO REMAIN ARE TO BE ADJUSTED TO MATCH PROPOSED GRADE.
  6. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER PRIOR TO BEGINNING WORK.
  7. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
  8. CONTRACTOR IS TO PROTECT EXISTING STORM DRAINAGE SYSTEM ACCORDING TO PROTECTION ILLUSTRATIONS PROVIDED.
  9. CONTRACTOR TO CONFORM TO ALL CONSTRUCTION STORM WATER AND EROSION CONTROL PERMITTING REQUIREMENTS BY "EPA PHASE II STORM WATER REGULATIONS" AS ADMINISTERED BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ). WHERE PERMITTING IS REQUIRED, A COPY OF THE NOTICE OF INTENT SHALL BE PROVIDED TO THE LOCAL MUNICIPAL AUTHORITY.
  10. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN ACCORDANCE WITH THE ARKANSAS UNDERGROUND FACILITIES DAMAGE PREVENTION ACT. THIS LAW REQUIRES THAT THE CONTRACTOR MAKE A TELEPHONE CALL TO THE ARKANSAS ONE-CALL SYSTEM AT 1-800-482-8998 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION TO ENSURE THAT ANY EXISTING UTILITIES CAN BE LOCATED.

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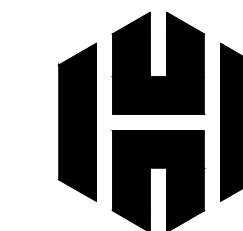
NLC SALINE COUNTY  
BRYANT, SALINE COUNTY, AR  
FOR NLC SALINE

SITE PLAN

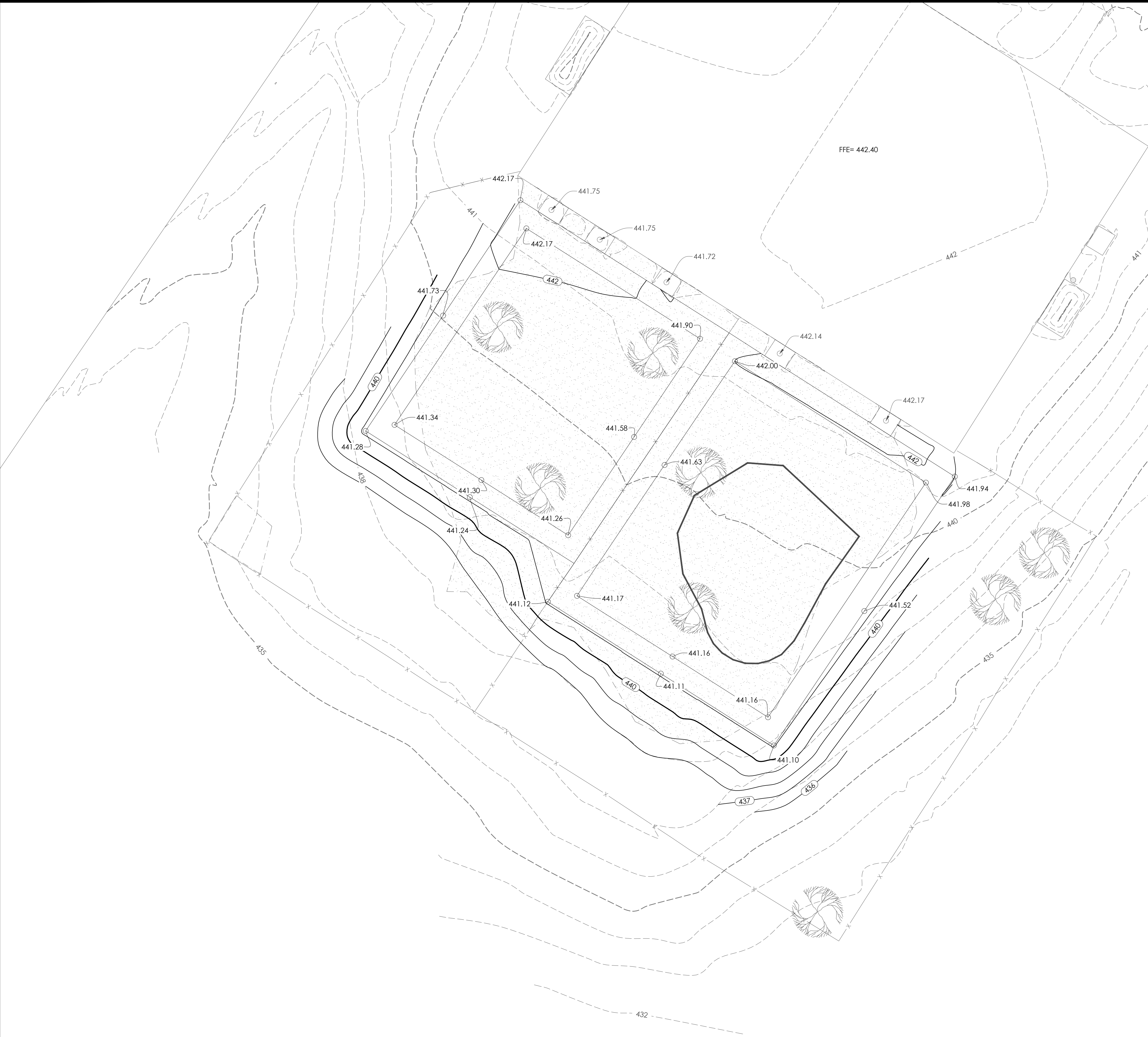
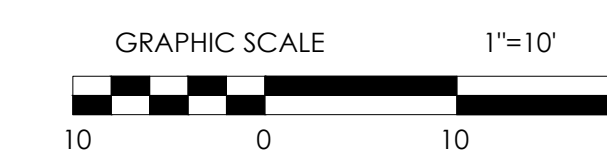
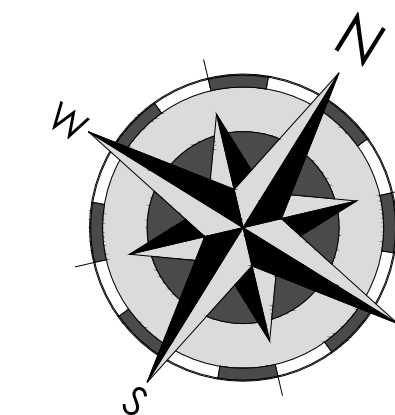
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**NOTES:**

1. CONTRACTOR TO NOTIFY "ARKANSAS ONE-CALL" AND ALL APPROPRIATE UTILITIES, CABLE COMPANIES, ETC., PRIOR TO STARTING ANY EXCAVATION, DIAL 811
2. VEGETATION MUST BE ESTABLISHED ON DISTURBED AREAS WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES.
3. ADEQ STORMWATER PERMIT MUST BE OBTAINED AND EROSION CONTROL MEASURES MUST BE INSTALLED TO COMPLY WITH ALL STORMWATER RUNOFF REGULATIONS.
4. ALL SIDEWALK AREAS TO MAINTAIN A MAXIMUM 2% CROSS SLOPE AND A 5% RUNNING SLOPE & CONFORM TO ALL ADA REGULATIONS, ALL ADA PARKING TO BE MAX. 2% SLOPE ALL DIRECTIONS.
5. THE LOCATION OF ANY UTILITIES SHOWN IS ONLY APPROXIMATE OR PROPOSED, THERE MAY EXIST MORE UTILITIES THAN THOSE SHOWN.
6. ALL DRAINAGE PIPE SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
7. CONTRACTOR TO ADJUST ALL VALVE BOXES, COVERS, PULL BOXES TO FINISH GRADE.

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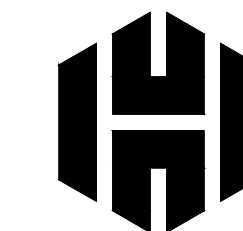
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**GRADING & DRAINAGE**

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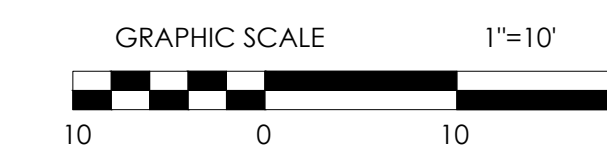
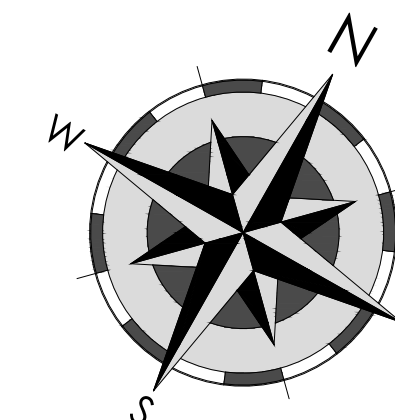
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| EROSION CONTROL LEGEND |   |
|------------------------|---|
| SYMBOL                 | DESCRIPTION                                       |
|                        | ROCK DITCH CHECK                                  |
|                        | SILT FENCE  |
|                        | CENTER DITCH & FLOW DIRECTION                     |
|                        | VEHICULAR TRACKING PAD<br>(CONSTRUCTION ENTRANCE) |
|                        | INLET PROTECTION                                  |
|                        | TEMPORARY PARKING & STORAGE                       |
|                        | OUTLET PROTECTION RIPRAP PAD                      |



**EROSION CONTROL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER CONSTRUCTION OF ALL EROSION CONTROL DEVICES AS SHOWN ON THIS SHEET, AND DESCRIBED IN THE SPECIFICATIONS. ADDITIONAL EROSION CONTROL AND/OR ADJUSTMENT OF LOCATIONS FOR EROSION CONTROL MAY BE REQUIRED.
2. CONTRACTOR AT HIS EXPENSE SHALL MEET ALL REQUIREMENTS OF ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING, BUT NOT LIMITED TO, BEST MANAGEMENT PRACTICES, A STORM WATER POLLUTION PREVENTION PLAN, A FILING OF A NOTICE OF INTENT IN THE OWNERS NAME, AND FILING A NOTICE OF TERMINATION AT THE END OF PROJECT.
3. SILT FENCES SHALL BE CONSTRUCTED PER MANUFACTURER RECOMMENDATIONS.
4. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES ALREADY IN PLACE. CONTRACTOR SHALL REMOVE AND REPLACE EROSION CONTROL AS NEEDED FOR CONSTRUCTION OR ACCESS. ALL EROSION CONTROL MUST BE IN PLACE AT ALL TIMES DURING CONSTRUCTION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE WHATEVER MEANS NECESSARY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, CREEKS, STORM DRAIN SYSTEMS AND INLETS FROM EROSION DEPOSITS.
6. ALL DISTURBED SOIL SHALL BE PERMANENTLY SODDED/SEEDED.
7. IN ORDER TO ALLEVIATE DUST CONDITIONS WITHIN THE CITY LIMITS DURING GRADING OPERATIONS, AND AFTER GRADING OPERATIONS ARE COMPLETED, BUT BEFORE PAVEMENT AND/OR PERMANENT EROSION CONTROL WORK IS STARTED, THE CONTRACTOR SHALL SPRINKLE GRADING AT INTERVALS APPROVED BY THE CITY.
8. CONTRACTOR SHALL CONSTRUCT AT LEAST ONE VEHICULAR TRACKING PAD, TWO IS OPTIONAL.

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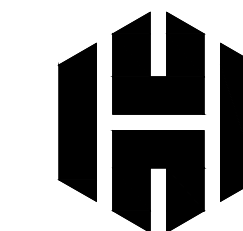
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**SWPPP-EROSION CONTROL PLAN**

**DRAFT**  
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DATE: 7/21/23  
DRAWN BY: TJH  
SHEET NUMBER:

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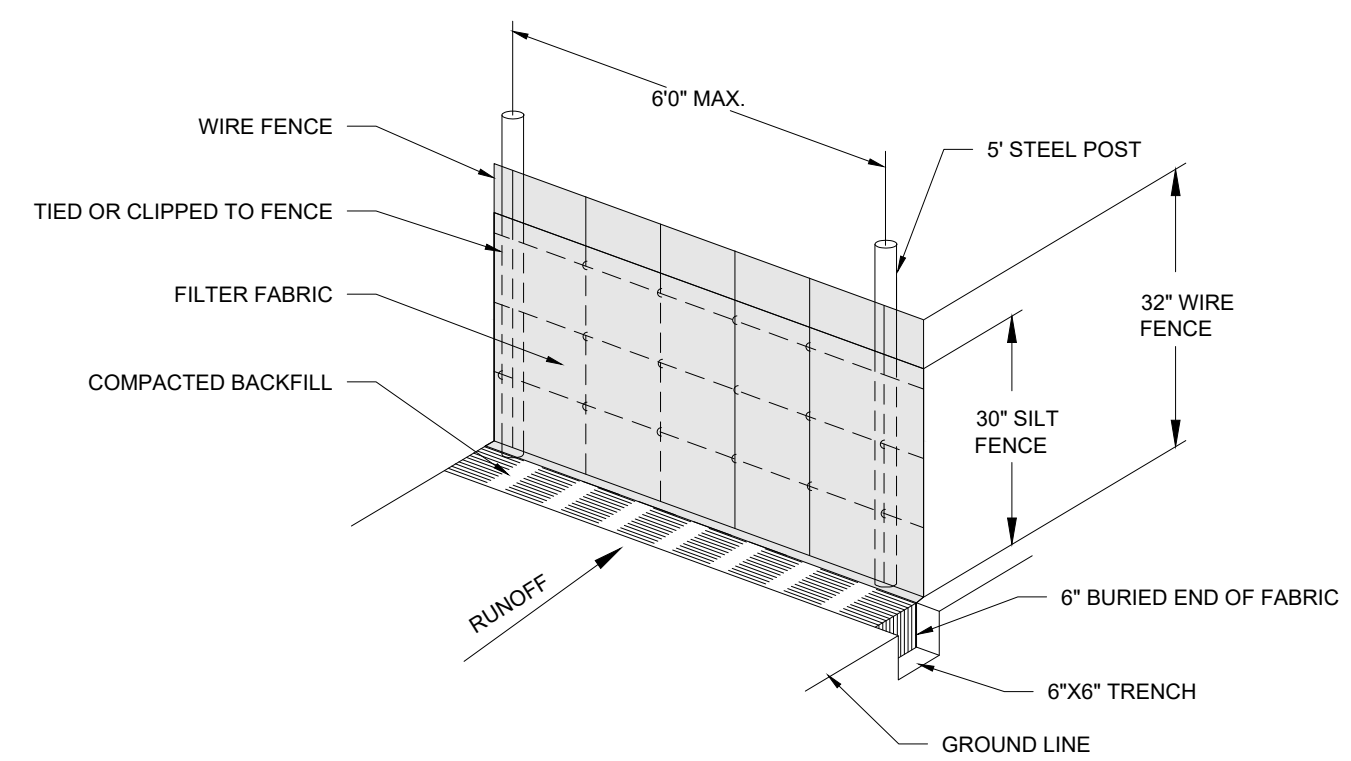
DETAILS

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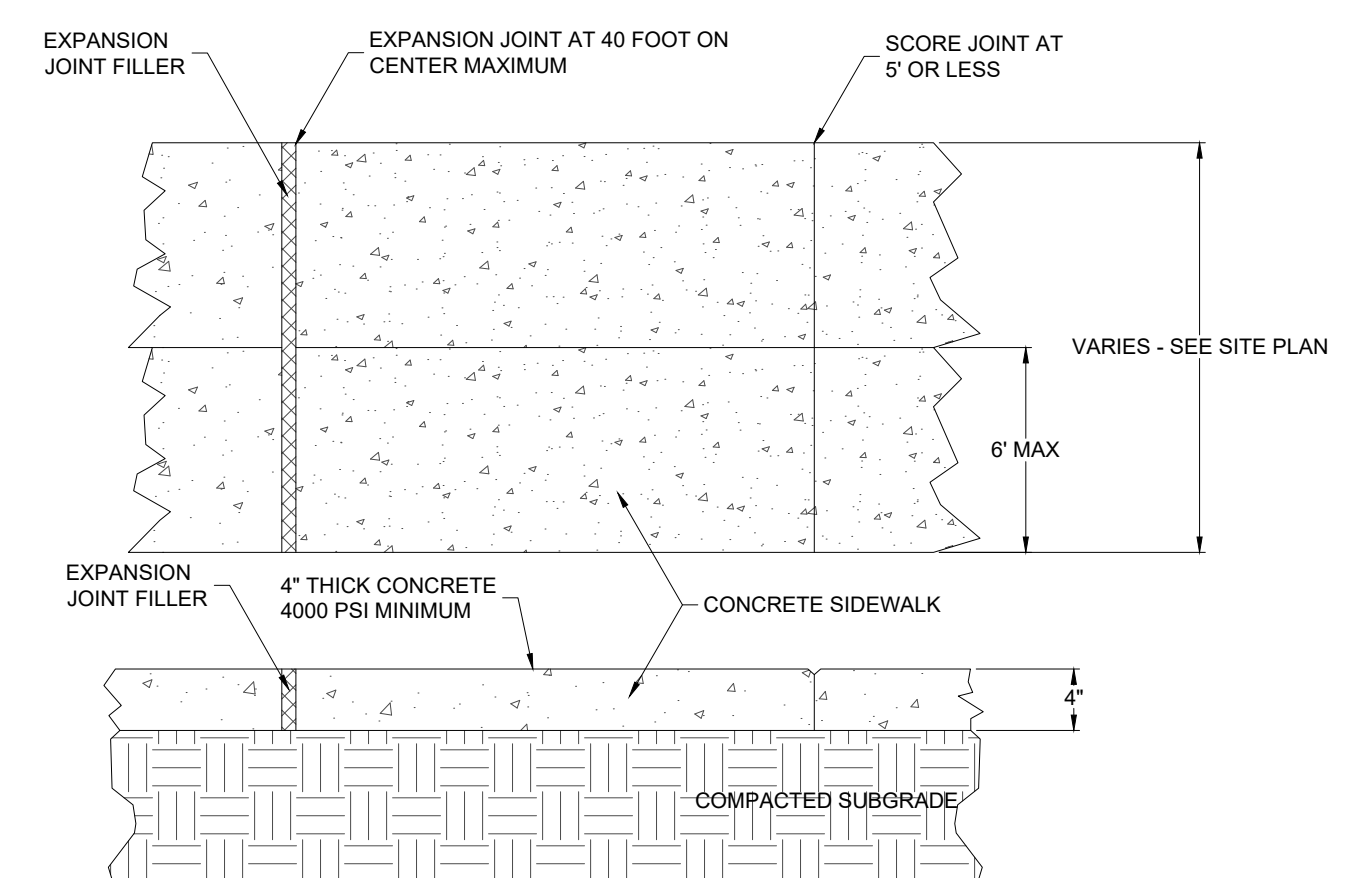
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C4.00



- SILT FENCE NOTES**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
  2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
  3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
  4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
  5. REPAIR OF REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

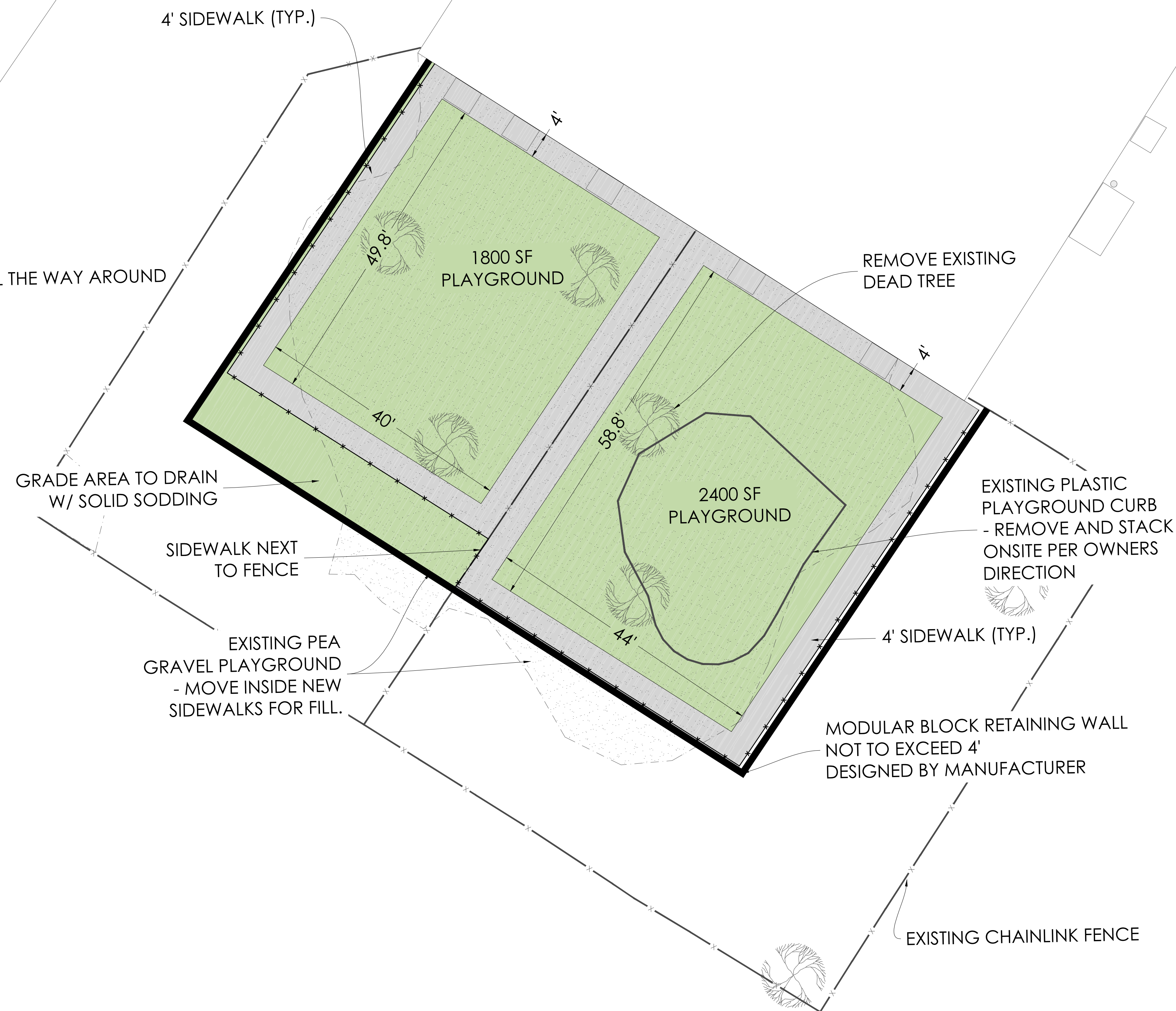
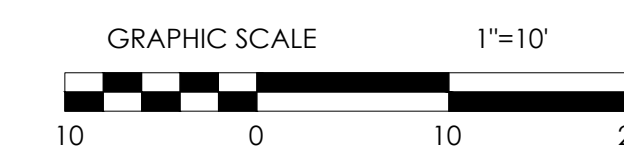
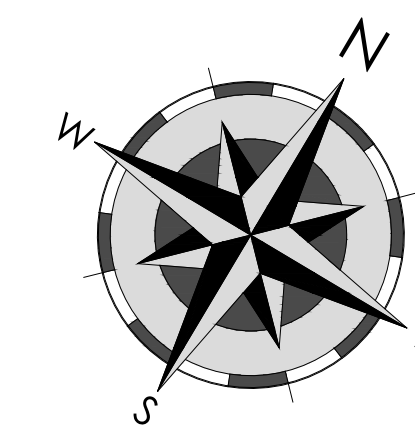
**E-2** WIRE REINFORCED SILT FENCE  
N.T.S.



**1** CONCRETE SIDEWALK - VARIED WIDTH  
NOT TO SCALE



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- GENERAL NOTES
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NLC SALINE COUNTY  
BRYANT, SALINE COUNTY, AR  
FOR NLC SALINE

SITE PLAN

**DRAFT**  
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JOB NO.: 2022-044  
DATE: 9/10/24  
DRAWN BY: TJH  
SHEET NUMBER:

**C1.00**





**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 08/22/2024

**Applicant or Designee:**

**Project Location:**

Name Delia Vanessa Guerra Chon Property Address 2714 Laverne St.  
 Address 7029 Kiwer Dr. NLR AR 72110 Bryant, AR.  
 Phone 501-283-4058 Parcel Number \_\_\_\_\_  
 Email Address: deliaguerra@gmail.com Zoning Classification R-M

**Property Owner (If different from Applicant):**

Name \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Address \_\_\_\_\_  
 Email Address \_\_\_\_\_

**Additional Information:**

Legal Description (Attach description if necessary)

\_\_\_\_\_

Description of Conditional Use Request (Attach any necessary drawings or images)

Convert portion of home to duplex

Proposed/Current Use of Property for Duplex  
current is single family

# Application Checklist

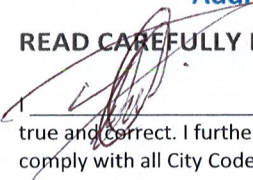
## Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
  - Additional information that may be requested by the administrative official due to unique conditions of the site.

**Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.**

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

### **READ CAREFULLY BEFORE SIGNING**

 \_\_\_\_\_, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

## NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, Oct. 14, 2024 at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a conditional use request at the site of  
2714 Lavern St. Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department  
of Community Development.

Lance Penfield  
Chairman of Planning Commission  
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*





City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 9.4.24

**Applicant or Designee:**

Name PETER BLUESSEL  
Address 2600 HUNTHILLS E #602  
Phone 501-249-3874  
Email Address: PBLUES@ME.COM

**Project Location:**

Property Address 3 TANGLEWOOD DR  
BRYANT, AR 72022  
Parcel Number \_\_\_\_\_  
Zoning Classification \_\_\_\_\_

**Property Owner (If different from Applicant):**

Name RITCHIE A. BRADY  
Phone 501 940 6541  
Address 3 TANGLEWOOD BRYANT, AR 72022  
Email Address BRADY.6@COMCAST.NET

**Additional Information:**

Legal Description (Attach description if necessary)

SINGLE FAMILY HOME W/ DETACHED GARAGE

Description of Conditional Use Request (Attach any necessary drawings or images)

RENOVATE GARAGE TO & 1 BR MOTHER-IN-LAW SUITE

Proposed/Current Use of Property SINGLE FAMILY HOME

---

09SEPT24

3 Tanglewood Cr.  
Bryant, AR 72022

Dear Council Members:

I'm writing this letter to request a conditional use permit on the property addressed in this letter. We would like to convert a single car detached garage to a mother-in-law suite. The intent would be for a family member to use this conversion as a home to be near their children and grandchildren. This family member has suffered two strokes in the last ten years and needs to be close to family members for support, which this conversion would provide. The property owners have lived in Bryant for 30+ years and have been good upstanding citizens of Bryant. One is a schoolteacher for the Bryant school district.

The intent of this project would be to create a small one-bedroom suite, 600 sq/ft. It would be outfitted with a bathroom, kitchen, living area, and a bedroom. Please see accompanying sketch.

Sincerely,

A handwritten signature in blue ink, appearing to read "Peter Bluemmel", with a large, stylized flourish at the end.

Peter Bluemmel

Property Owner Designate

**NOTICE OF PUBLIC HEARING**

A public hearing will be held on Monday, October 14th, 2024 at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a conditional use request at the site of  
3 TANGELWOOD DR BRYANT, AR 72022 (address).

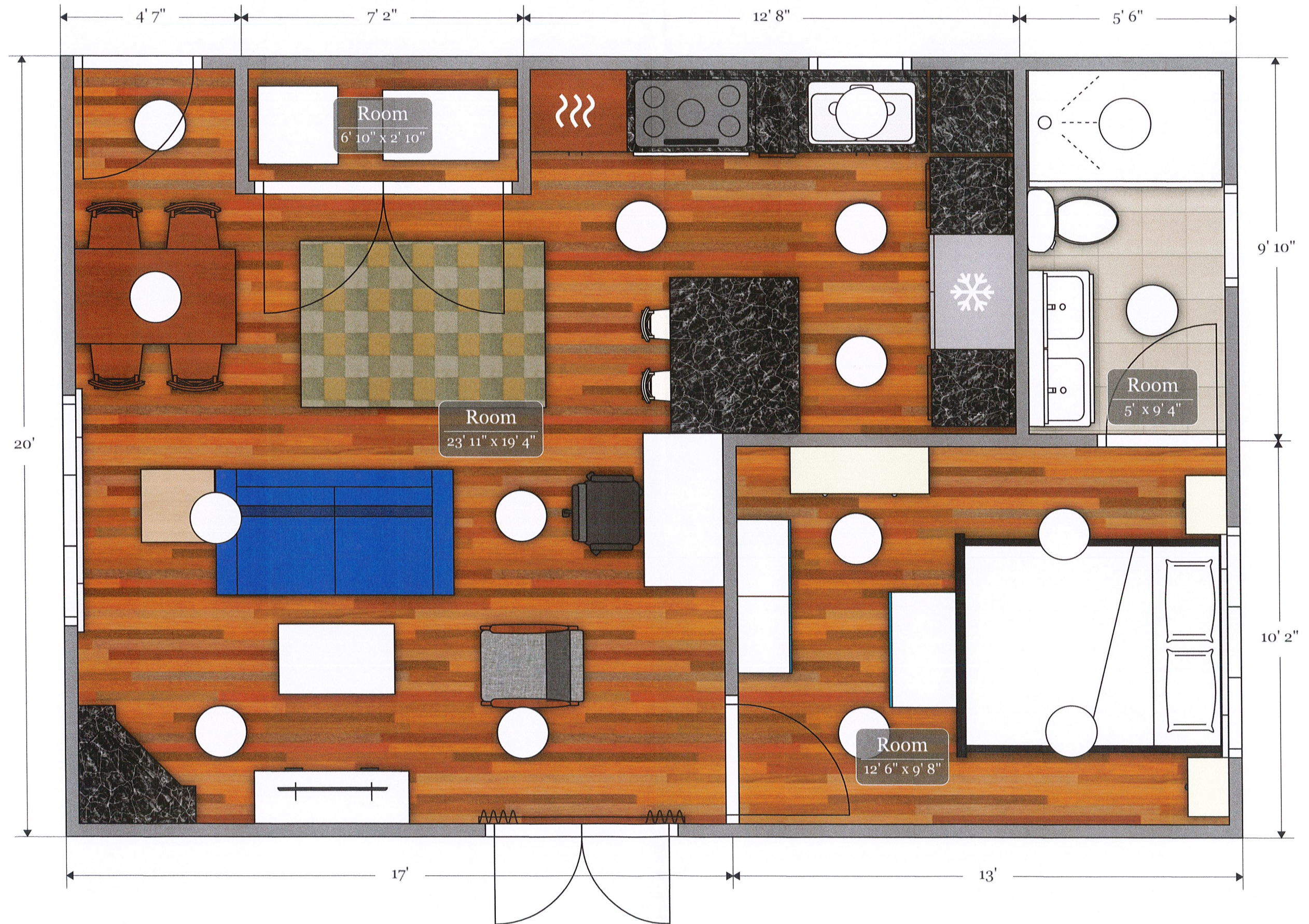
A legal description of this property can be obtained by contacting the Bryant Department  
of Community Development.

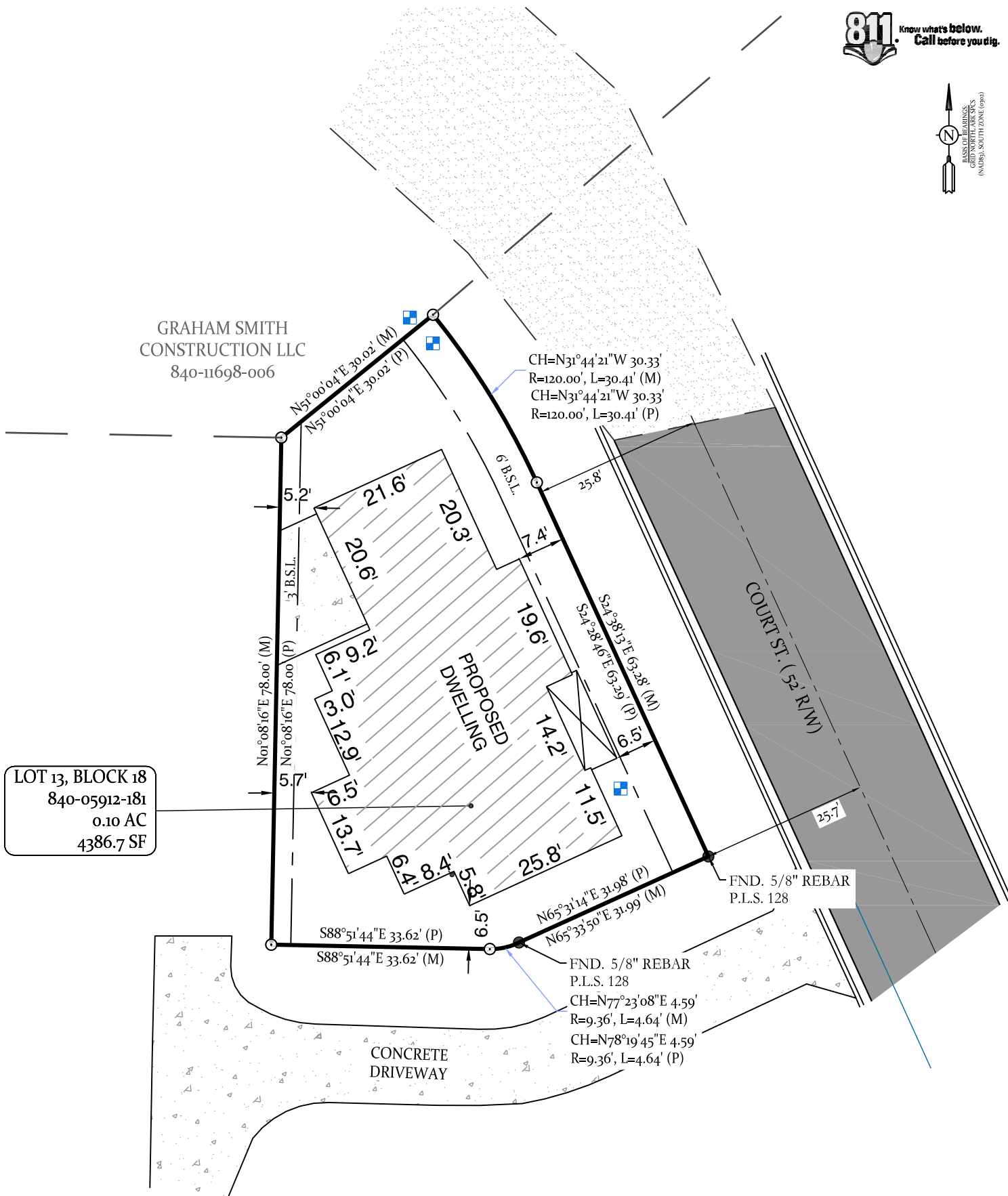
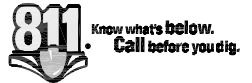
Lance Penfield  
Chairman of Planning Commission  
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*









LOT 13, BLOCK 18  
 840-05912-181  
 0.10 AC  
 4386.7 SF

GRAHAM SMITH  
 CONSTRUCTION LLC  
 840-11698-006

**RECORD DESCRIPTION**  
 SALINE COUNTY INSTRUMENT DEED 2021-009614  
 LOT 13, BLOCK 18, MIDTOWN BRYANT, PHASE 1, AN ADDITION TO  
 THE CITY OF BRYANT, ARKANSAS.

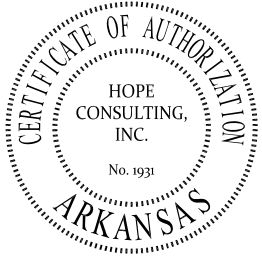
This Plot Plan depicts the lot as it appears on the subdivision plat. This drawing does not represent an actual survey.



# PLOT PLAN

No portion of the property described hereon lies within the 100 year flood plain, according to the Flood Insurance Rate Map, panel # 05125C0240E, dated: 06/05/2020.

For the Exclusive Use and Benefit of:  
Zach Smith Construction  
 Address 302 Court St.  
Bryant, AR 72022 Date 9-9-24



| LEGEND                |                                   |
|-----------------------|-----------------------------------|
|                       | Found Monument                    |
|                       | Set 1/2" Rebar #1664              |
|                       | Computed Point Location           |
|                       | Measured by Surveyor              |
|                       | Record/Deed/Plat Measurements     |
|                       | Building Setback Line Restriction |
|                       | Utility/Drainage Easement         |
|                       | Property Boundary Line            |
|                       | Fence Lines                       |
|                       | Centerlines                       |
|                       | Parcel Lines/Misc Lines           |
| Drawn By <u>MG</u>    |                                   |
| Checked By <u>WCS</u> |                                   |

|     |     |     |   |    |     |    |      |
|-----|-----|-----|---|----|-----|----|------|
| 500 | 01S | 14W | 0 | 15 | 340 | 62 | 1664 |
|-----|-----|-----|---|----|-----|----|------|



| NO. | DESCRIPTION | BY | DATE |
|-----|-------------|----|------|
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |

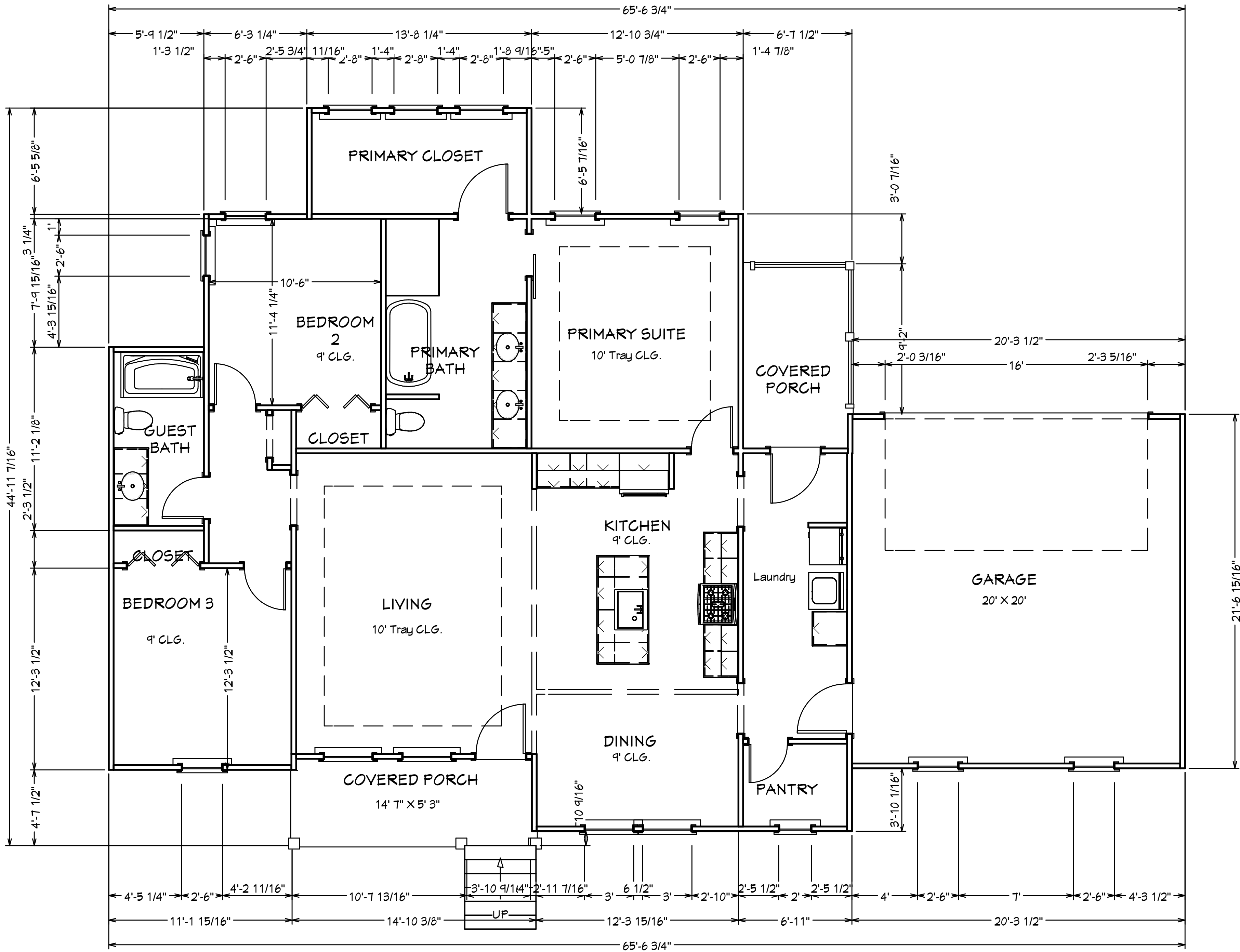
302 Court St.  
Bryant, AR 72022

DRAWINGS PROVIDED BY:  
Zack Smith Construction

DATE:  
08/21/24

Scale: 1/4" = 1'

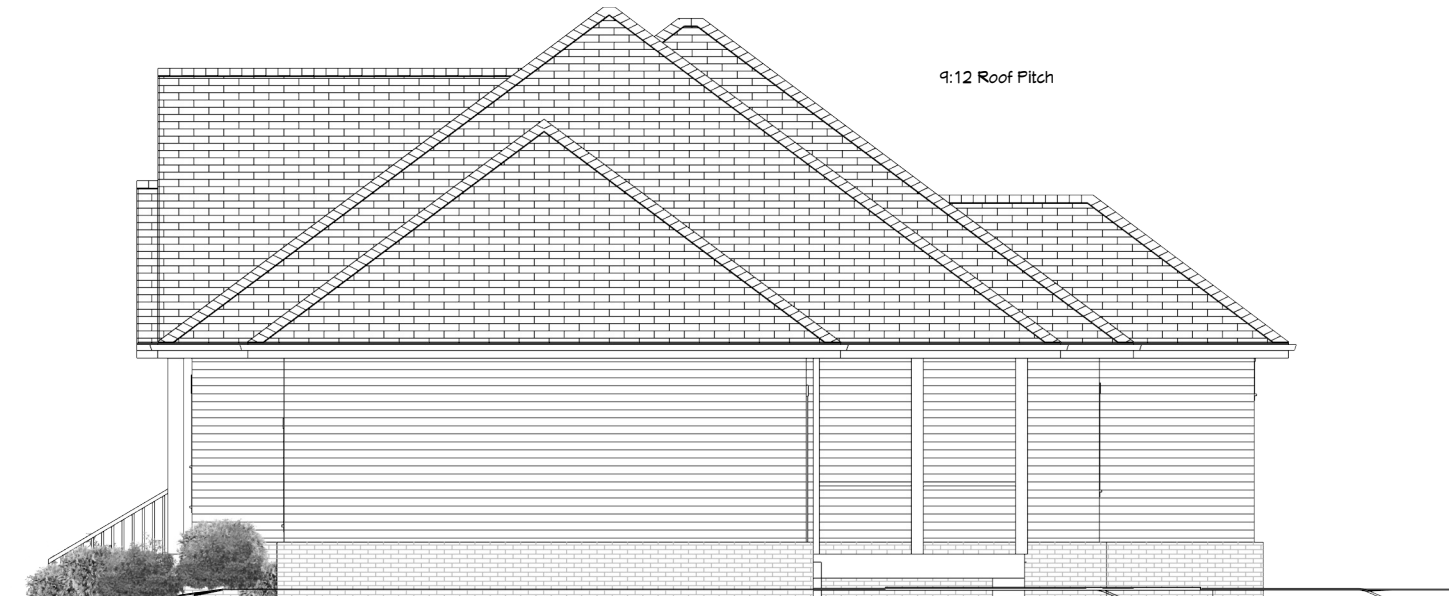
SHEET:  
**A-1**



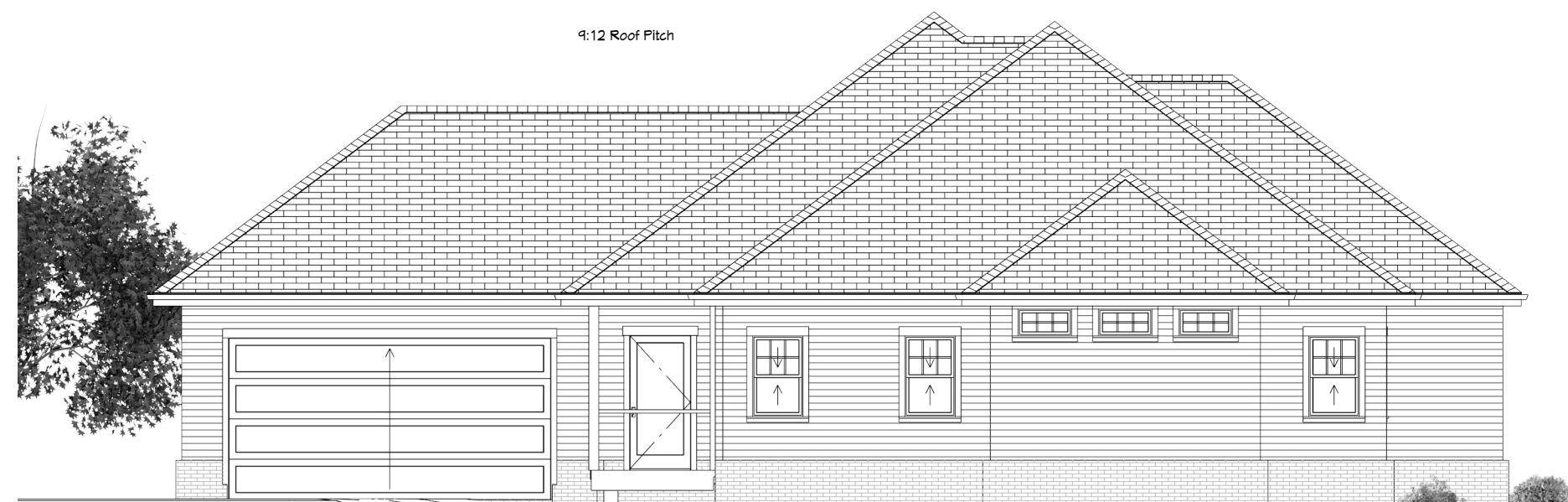
LIVING AREA  
1552 SQ FT



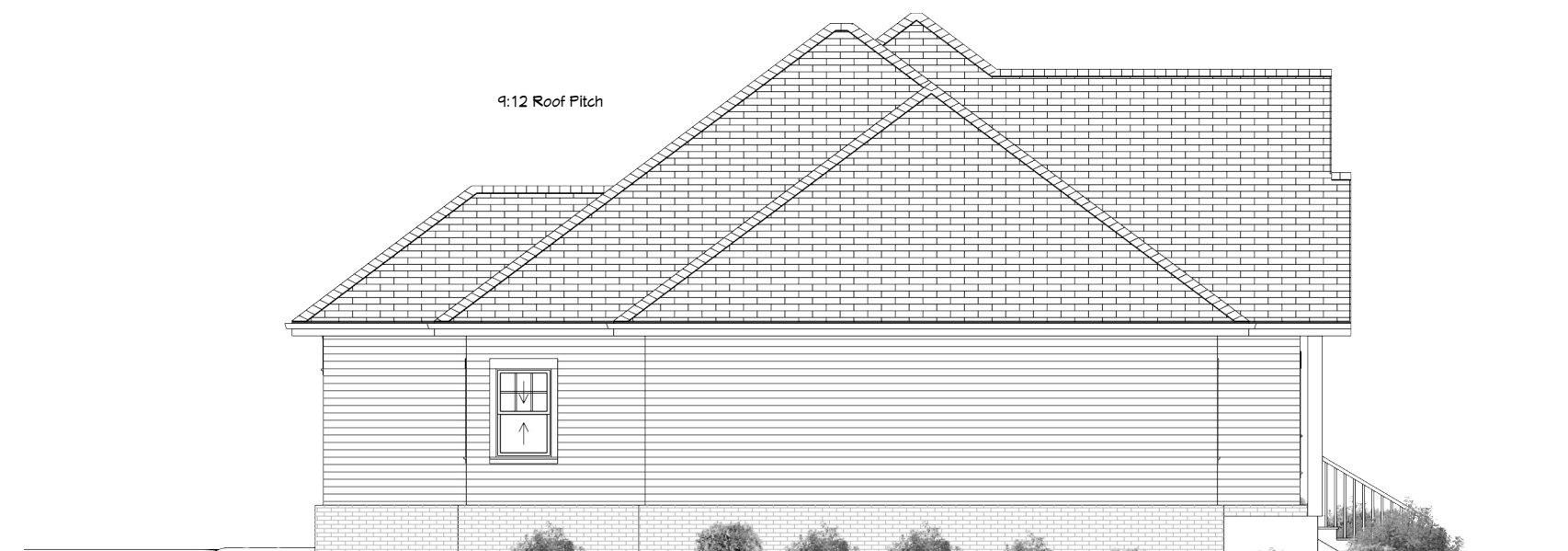
Front Elevation



Right Elevation



Rear Elevation



Left Elevation



| NO. | DESCRIPTION | BY | DATE |
|-----|-------------|----|------|
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |

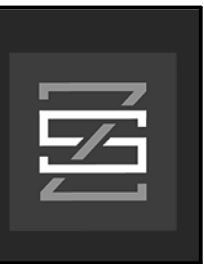
302 Court St.  
Bryant, AR 72022

DRAWINGS PROVIDED BY:  
Zack Smith Construction

DATE:  
08/21/24

Scale: 1/8" = 1'

SHEET:  
**A-2**



| NO. | DESCRIPTION | BY | DATE |
|-----|-------------|----|------|
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |
|     |             |    |      |

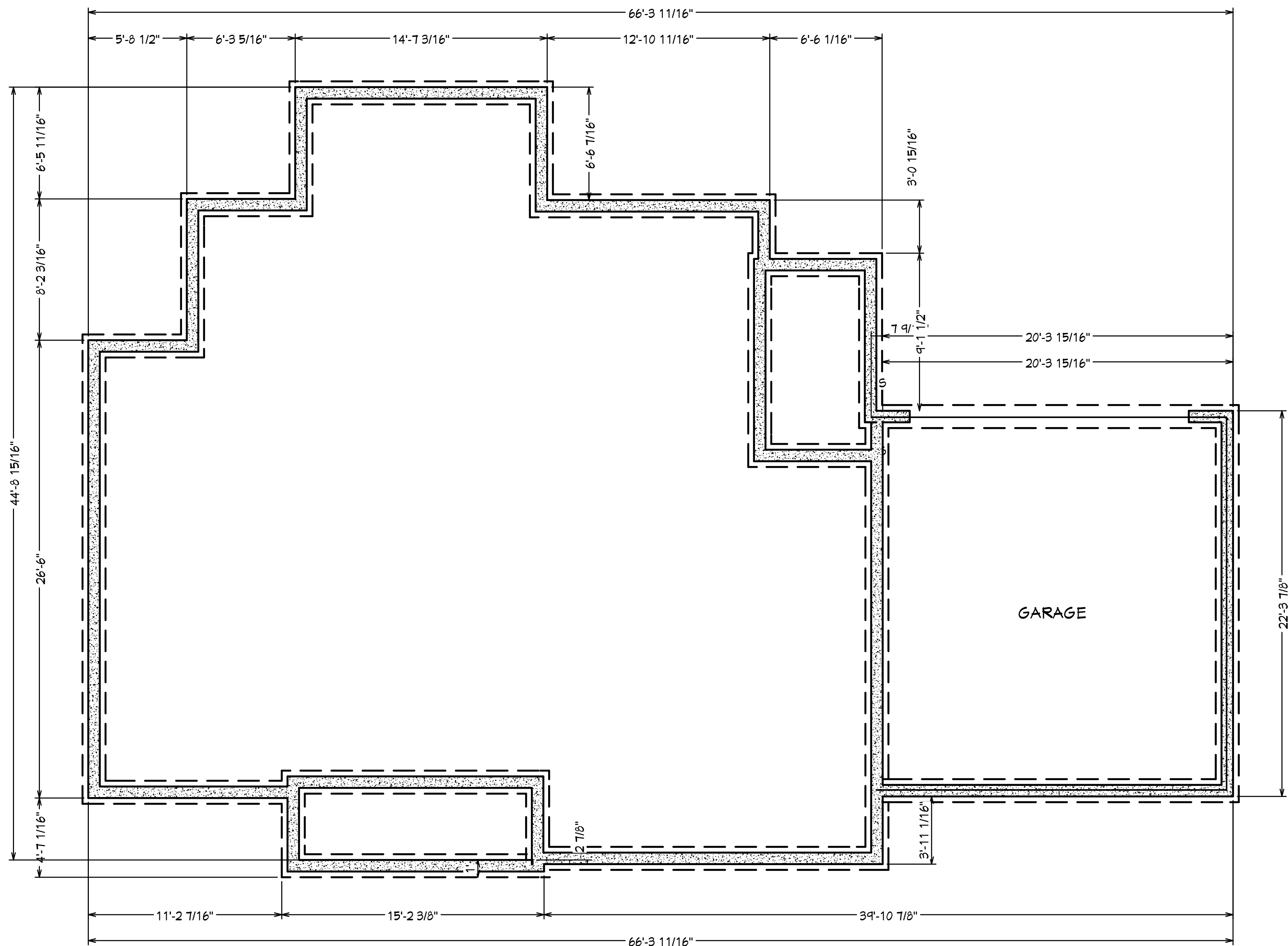
302 Court St.  
Bryant, AR 72022

DRAWINGS PROVIDED BY:  
Zack Smith Construction

DATE:  
08/21/24

SCALE  
1/4" = 1'

SHEET:  
**A-3**





We would like to add a

410' x 24"

Culvert for driveway Entrance

Current Entry

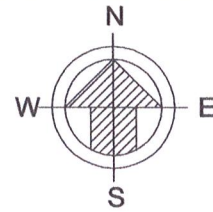
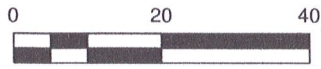
Boone Rd

511 Boone Rd.

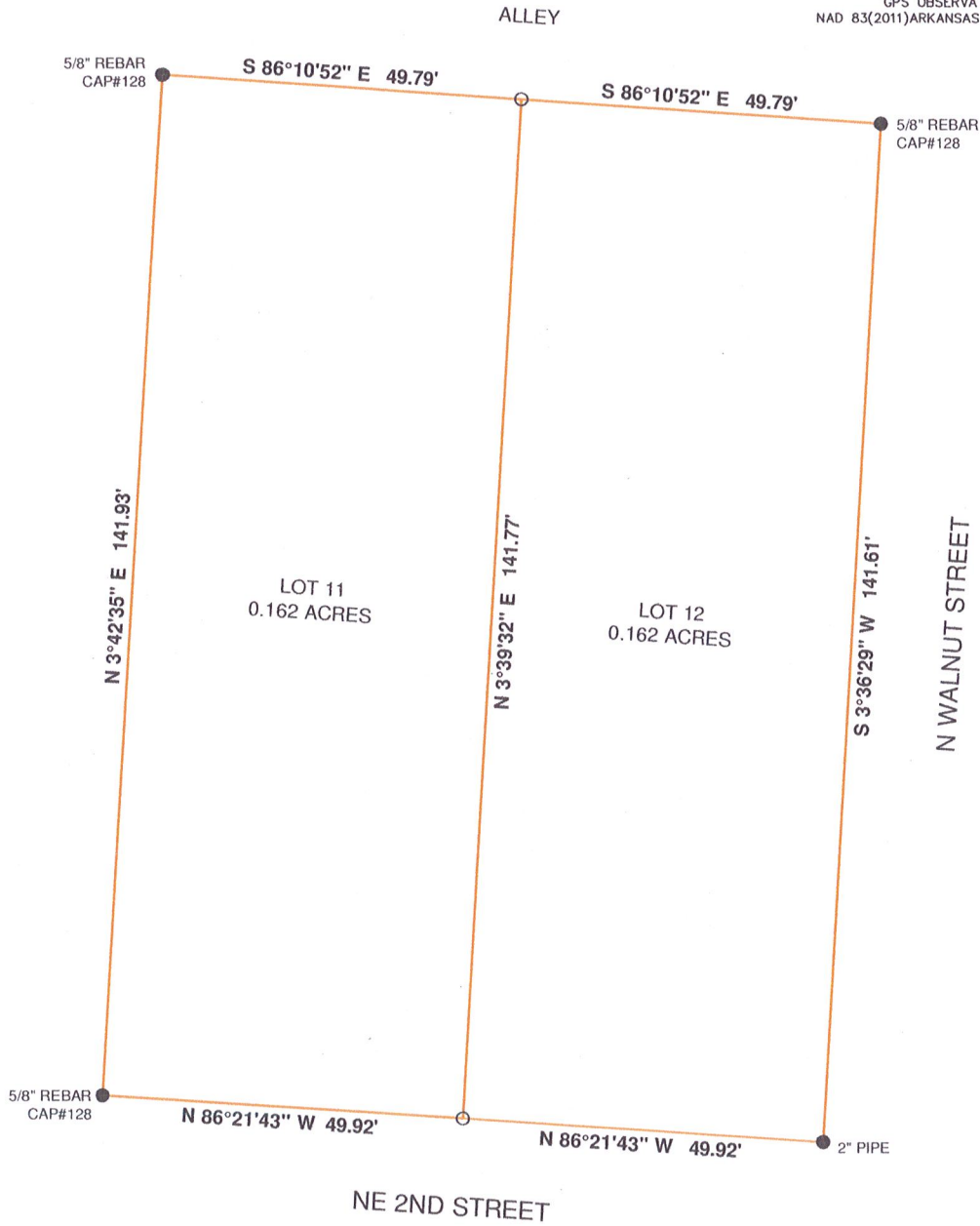
Boone Rd

**LEGEND**

- - SET #5REBAR/CAP
- - FND MONUMENT
- △ - COMPUTED POINT
- - SURVEY BOUNDARY

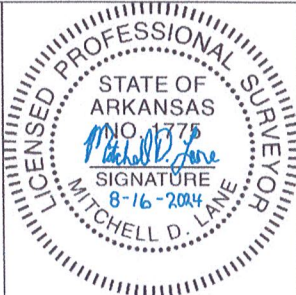


BASIS OF BEARING  
GRID NORTH BASED ON  
GPS OBSERVATION  
NAD 83(2011)ARKANSAS SOUTH ZONE



LOT 11 AND LOT 12 BLOCK 13 IN THE TOWN OF BRYANT NOW THE CITY OF BRYANT  
SALINE COUNTY ARKANSAS.

Unless Specifically Stated Or Shown, This Boundary Survey Is Made Subject To And Does Not Delineate: Building Setback Lines, Zoning Regulations, Restrictions, Or Other Items Which May Affect Development. No Statement Is Made Concerning Subsurface Conditions, Or The Existence Of Underground Or Overhead Containers Or Facilities, Unless Specifically Shown, Which May Affect The Use Or Development Of The Tract. Tract May Be Subject To Easements, Restrictive Covenants, Subdivision Restrictions, And Planning And Zoning Regulations Of Record, If Any, And Is Subject To Such Facts Which A Current Title Search May Disclose. I, Mitchell D. Lane, Heroby Certify That The Above Plat Represents A Boundary Survey Performed By Me Or Under My Supervision On This Day.



SURVEY PLAT  
LOT 11 & 12 BLOCK 13 IN THE CITY OF  
BRYANT SALINE COUNTY ARKANSAS

FOR USE AND BENEFIT OF:

**FREDDY BEZA**

MITCHELL D LANE  
4801 HIGHWAY 5 BENTON, AR 72015

|           |               |
|-----------|---------------|
| DATE      | 16AUG<br>2024 |
| DRAWING # | 24-022M       |
| FIELD     | MDL           |
| DRAWN     | MDL           |

CERTIFICATE OF FINAL SURVEYING ACCURACY

I, MITCHELL D. LANE HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, AND THAT ALL INTERIOR LOT LINES ARE ACCURATELY DESCRIBED IN TERMS OF LENGTH AND DIRECTION OF THE PROPERTY SIDES.

SIGNED \_\_\_\_\_  
 LICENSED PROFESSIONAL SURVEYOR  
 NO. 1775, ARKANSAS

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN DO HEREBY CERTIFY THAT WE HAVE CAUSED TO BE LAID OFF, PLATTED AND SUBDIVIDED, AND TO HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

SIGNED \_\_\_\_\_ DATE OF EXECUTION \_\_\_\_\_

FREDDY BEZA  
 NAME

15566 DOGWOOD RANCHETTE DR. ALEXANDER, AR 72002  
 ADDRESS

SOURCE OF TITLE: 2024-013399

CERTIFICATE OF FINAL PLAT APPROVAL

PURSUANT TO THE SALINE COUNTY SUBDIVISION RULES AND REGULATIONS, AND ALL OF THE CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

SIGNED \_\_\_\_\_ DATE OF EXECUTION \_\_\_\_\_  
 CHAIRMAN, SALINE COUNTY  
 PLANNING BOARD

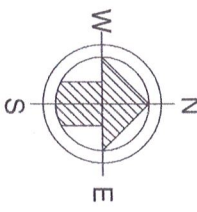
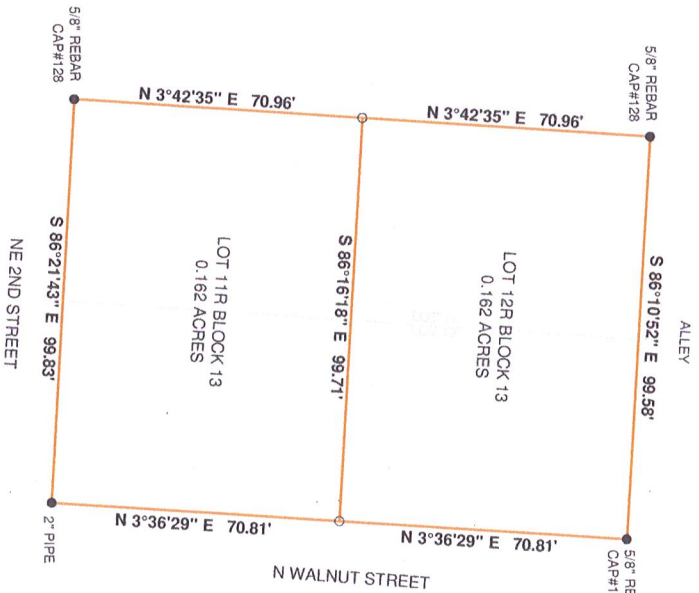
LEGAL DESCRIPTION  
 LOTS 11 AND 12, BLOCK 13 IN THE TOWN, NOW CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

SURVEYORS CERTIFICATION

UNLESS SPECIFICALLY STATED OR SHOWN, THIS BOUNDARY SURVEY IS MADE SUBJECT TO AND DOES NOT DELINQUATE BUILDING SETBACK LINES, ZONING REGULATIONS, RESTRICTIONS TO EASEMENTS, EGRESS, ETC. NO STATEMENTS MADE HEREIN ARE TO BE CONSTRUED AS A GUARANTEE OF THE EXISTENCE OF UNDERGROUND OR OVERHEAD UTILITIES OR ANY OTHER SUBSURFACE CONDITIONS. THE SURVEYOR HAS BEEN ADVISED OF THE EXISTENCE OF THE TRACT TRACT MAY BE SUBJECT TO EASEMENTS, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AND PLANNING AND ZONING REGULATIONS OF RECORD. IF ANY, AND IS SUBJECT TO SUCH FACTS WHICH A CURRENT TITLE SEARCH MAY DISCLOSE. I, MITCHELL D. LANE, HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION ON THIS DAY.

CERTIFICATE OF FLOOD NOTE  
 BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP. THE FLOOD INSURANCE RATE MAP NO. 850398 WHICH BEARS AN EFFECTIVE DATE OF 6-5-20 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LOTS 11R AND 12R BLOCK 13 BEING A REPLAT OF LOTS 11 & 12 BLOCK 13 IN THE TOWN NOW CITY OF BRYANT SALINE COUNTY ARKANSAS



FOR USE AND BENEFIT OF:  
**FREDDY BEZA**

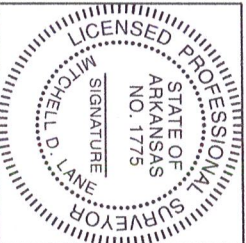
PLAT FILING CODE: 500-01S-14W-0-34-140-62-1775

MITCHELL D. LANE SURVEYING  
 4801 HIGHWAY 5, BENTON, AR 72015  
 mitchell.lane1775@gmail.com

DATE  
 AUG 28  
 2024

JOB #  
 24-022M

FIELD/CAD  
 MDL





# 7 BREW COFFEE BRYANT, AR #2

24198 7BBA2

AUGUST 15, 2024

PERMIT SET

## SHEET INDEX

### GENERAL

G0.0 COVER SHEET  
G0.1 GENERAL NOTES & SCHEDULES

### CIVIL

C0.0 COVER  
C0.1 GENERAL NOTES  
C1.1 DEMOLITION PLAN  
C1.2 EROSION CONTROL PLAN  
C2.1 SITE PLAN  
C3.1 GRADING PLAN  
C6.1 STRIPING PLAN  
C7.1 DETAILS  
C7.2 DETAILS

### STRUCTURAL

S0.0 GENERAL NOTES  
S0.1 ISOMETRIC VIEWS  
S1.1 FOUNDATION & DETAILS  
S3.1 DRIVE THRU CANOPY  
S4.1 FRAMING DETAILS

### ARCHITECTURAL

AD1.1 ARCHITECTURAL DEMOLITION  
AD1.2 ARCHITECTURAL DEMOLITION  
AD1.3 ARCHITECTURAL DEMOLITION  
A1.1 FLOOR PLANS  
A1.2 ROOF PLAN / EGRESS PLAN  
A1.3 REFLECTED CEILING PLANS  
A2.1 EXTERIOR ELEVATIONS  
A2.2 EXTERIOR ELEVATIONS  
A3.1 SECTIONS AND DETAILS  
A4.1 DOORS AND WINDOWS  
A5.1 INTERIOR ELEVATIONS

### SITE UTILITIES

SU1.1 SITE UTILITIES PLAN

### MECHANICAL

M1.1 UNDERSLAB PLUMBING PLAN  
M1.2 PLUMBING PLAN  
M2.1 HVAC PLAN  
M3.1 SCHEDULES AND DETAILS

### ELECTRICAL

E1.1 LIGHTING PLAN  
E2.1 POWER PLAN

## BUILDING CODE INFORMATION

AUTHORITY HAVING JURISDICTION: CITY OF BRYANT  
 APPLICABLE BUILDING CODES: 2021 ARKANSAS FIRE PREVENTION CODE - BUILDING, 2020 NEC, 2012 IEBC, 2009 IECC  
 CURRENT ZONING: C-2, COMMERCIAL  
 USE GROUPS: B, BUSINESS  
 CONSTRUCTION TYPE: V-8  
 BUILDING LIMITATIONS:  
 ALLOWABLE HEIGHT: 2 STORIES (BASED ON B USE GROUP, IBC 2021, 504.4)  
 ALLOWABLE AREA: 9,000 S.F. (BASED ON B USE GROUP, IBC 2021, 506.2)  
 ACTUAL AREAS: 610 S.F. SERVICE AREA  
 OTHER CODE ITEMS: SEE EGRESS PLAN FOR ADDITIONAL ITEMS

## PROJECT DESCRIPTION

INFILL OF AN EXISTING RESTAURANT TO CONVERT IT INTO A 7 BREW COFFEE PLACE. COFFEE, TEA AND ENERGY DRINKS ARE SERVED TO CUSTOMERS VIA DRIVE-THRU LANES. AN INTERIOR ORDERING AREA IS PROVIDED. DRINK ITEMS ARE THE ONLY ITEMS OFFERED ON THE MENU.

## CANOPY & STAINLESS SUPPLIER



DREW RODIGER  
PROJECT MANAGER  
C: 417-425-4546  
E: DREW@CMCMOD.COM

LEE LOVEALL  
OWNER/DESIGN CONSULTANT  
C: 417-353-1865  
E: LEE@CMCMOD.COM

## 7 BREW DEVELOPMENT TEAM



BREW CREW, LLC  
 SCOTT MURRY  
DIRECTOR OF CONSTRUCTION  
C: 479-445-3533  
E: SCOTT@7BREWCREW.COM

## CONSULTANTS

### CIVIL ENGINEER:



1550 E. REPUBLIC RD.  
SPRINGFIELD, MO 65804  
(417) 888-0645

### STRUCTURAL ENGINEER:



3045 S. KANSAS EXPY.,  
SPRINGFIELD, MO 65807  
(417) 708-9315

engineering consultants

### MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:



2225 WEST CHESTERFIELD BOULEVARD, SUITE  
200 SPRINGFIELD, MO 65807  
(417) 877-1700

Engineering | Energy | Innovation



FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 7BBA2  
REVISION:

## SCOPE OF WORK SCHEDULE

| CONSTRUCTION ITEM   | RESPONSIBLE PARTY  |
|---|--|
| EQUIPMENT LISTED IN EQUIPMENT SCHEDULE  | OWNER PROVIDED, OWNER VENDOR INSTALLED (EXCEPT EQ-9)                                 |
| SITE WORK INCLUDING BUT NOT LIMITED TO GRADING, PAVING, LANDSCAPING AND UTILITY EXTENSION TO BUILDING LOCATION. | GC   |
| SITE AND FOUNDATION RELATED INSPECTIONS   | GC   |
| SITE LIGHTING   | GC PROVIDED, GC INSTALLED.   |
| SITE SIGNAGE  | GC TO PROVIDE ELECTRICAL AND FOUNDATIONS. OWNER VENDOR TO PROVIDE SIGNS AND INSTALL. |
| SITE ELECTRICAL, PLUMBING AND MECHANICAL CONNECTIONS  | GC   |
| INSTALLATION OF MECHANICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO DUCTWORK, RTUS, AHUS, GRILLES, ETC.           | GC   |
| INTERIOR CLADDING AND FINISHES  | GC   |
| PLUMBING FIXTURES INSIDE OR TOUCHING THE BUILDING   | GC   |
| LIGHTING FIXTURES (EXCEPT SITE LIGHTING)  | GC   |
| COUNTERTOPS/TABLES  | CMC, MANUFACTURE AND DELIVER   |
| BUILDING SIGNAGE  | CMC, DELIVER AND INSTALL   |
| SLIDING DOORS   | PROVIDED BY CMC, GC INSTALLED  |
| TRASH ENCLOSURE GATES, HINGES/CLAMPS TO BOLLARDS, AND THEIR INSTALLATION.                                       | CMC, COMPLETED ON SITE   |
| CANOPIES  | CMC, DELIVER AND INSTALL   |
| LOW VOLTAGE EQUIPMENT   | REFER TO SYSTEMS PLAN KEYNOTES   |



VICINITY MAP

7 BREW COFFEE  
**BRYANT, AR #2**  
 2006 N REYNOLDS ROAD  
 BRYANT, AR 72022

**GO.0**  
COVER SHEET

DATE: AUGUST 15, 2024



SITE DEVELOPMENT PLANS FOR



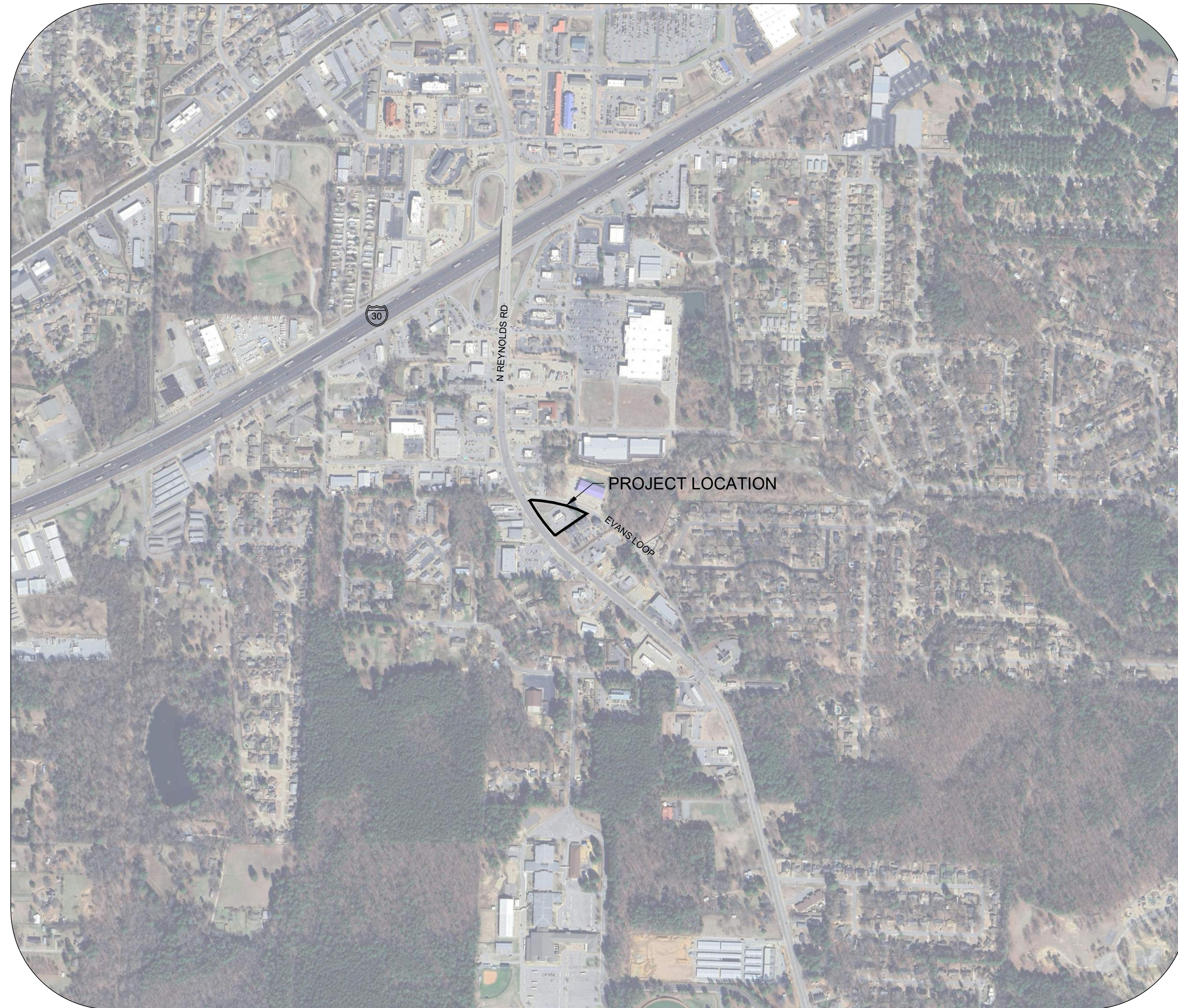
BRYANT, AR

2006 NORTH REYNOLDS ROAD  
BRYANT, AR

PROJECT NUMBER:  
85 081

SHEET INDEX

| SHEET NAME           | NUMBER |
|----------------------|--------|
| COVER SHEET          | C0.0   |
| GENERAL NOTES        | C0.1   |
| DEMOLITION PLAN      | C1.1   |
| EROSION CONTROL PLAN | C1.2   |
| SITE PLAN            | C2.1   |
| GRADING PLAN         | C3.1   |
| STRIPING PLAN        | C6.1   |
| DETAILS              | C7.1   |
| DETAILS              | C7.2   |



0 250 500

NOTE: DRAWING REPRODUCTION  
AND SCALING MAY CHANGE THE  
INDICATED GRAPHIC SCALES  
H. SCALE: 1" = 500'



1500 E. REPUBLIC ROAD  
SPRINGFIELD, MO 65804  
Ph: 417-888-0645 Fax: 417-888-0657  
www.tothassociates.com

AR# 1008  
© 2024 Toth and Associates, Inc.



ENGINEER OF RECORD:  
NAME: SHAWN W. BARRY  
LICENSE NO. AR #PE-16815

PROJECT NUMBER:  
85 081

REVISION:

7 BREW COFFEE  
BRYANT, AR  
2006 NORTH REYNOLDS ROAD  
BRYANT, AR

C0.0  
COVER SHEET

DATE: AUGUST 15, 2024

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Symbol. Includes items like BC (Back of Curb), CC (Standard Catch Curb), CL (Center Line), etc.

CIVIL LEGENDS

SYMBOLS

Table with 3 columns: Symbol, Description, and Abbreviation. Includes Marker Stone, Right of Way Marker, Iron Pin Found, etc.

LINETYPES

Table with 3 columns: Linetype, Description, and Abbreviation. Includes Property Line, Right of Way Line, Sanitary Sewer Line, etc.

PROJECT CONTROL

BENCHMARKS

CONTROL DERIVED FROM OPUS SOLUTION, ARKANSAS STATE PLANE COORDINATE SYSTEM, AR-SF ZONE, NAD 83 FOR HORIZONTAL VALUES AND NAVD88 FOR VERTICAL VALUES.

SURVEY NOTES:

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A SURVEY PERFORMED JULY 6, 2024 BY HOPE CONSULTING, ARKANSAS PROFESSIONAL LAND SURVEYOR NO. 1664 AND IS NOT A PRODUCT OF TOTH & ASSOCIATES.

CONTROL POINT TABLE

Table with 5 columns: Point Number, Northing, Easting, Elevation, and Description. Lists control points CP 5000 through CP 5107.

FLOOD PLAIN INFORMATION:

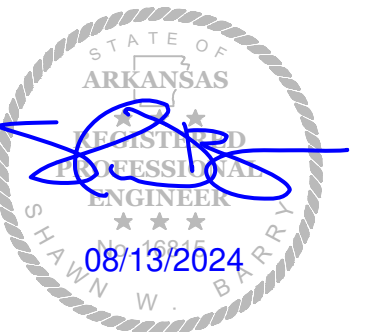
FEMA PANEL #: 05125C0380E - EFFECTIVE DATE: 6/5/2020
FEMA ZONE - X: THE SUBJECT PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE.

DEVELOPER:

BREW CREW, LLC
MR. BRANDON SEBALD
3538 N HWY 112, STE 1
FAYETTEVILLE, AR 72704
914-384-1998

OWNER:

HB SEMINOLE, LLC
2006 REYNOLDS ROAD
BRYANT, ARKANSAS 72022



ENGINEER OF RECORD:
NAME: SHAWN W. BARRY
LICENSE NO. AR #PE-16615

PROJECT NUMBER:
85 081

REVISION:

GENERAL CIVIL NOTES

- 1. THE GENERAL NOTES ON THE DRAWINGS ARE INTENDED TO SUPPLEMENT THE GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS...
2. CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THESE DRAWINGS...
3. ALL TRAFFIC CONTROL SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)...

DEMOLITION NOTES

JOB CONDITIONS

- 1. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL CONDITION OF ANY STRUCTURES TO BE DEMOLISHED.
2. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE PROJECT SITE AT THE APPROVAL OF THE OWNER...

DEMOLITION

- 1. POLLUTION CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR.
2. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS...

DISPOSAL OF DEMOLISHED MATERIALS

- 1. REMOVE FROM SITE ACCUMULATED VEGETATION, DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM THE DEMOLITION OPERATION.
2. BURNINGS OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES AND VEGETATION WILL NOT BE PERMITTED ON SITE.

PROTECTION OF EXISTING STRUCTURES AND VEGETATION

- 1. CONTRACTOR SHALL INSTALL 6" STEEL FENCE POSTS, DRIVEN 18" INTO THE GROUND, AT 10' ON CENTER AT TREE DRIP LINES AND INSTALL 4" TEXAS ORANGE WARNING BARRIER OR EQUAL, ATTACHED AS RECOMMENDED BY THE MANUFACTURER...

SEDIMENT & EROSION CONTROL NOTES

- 1. THE EROSION CONTROL PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY EROSION CONTROLS TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND DISCHARGE OF SEDIMENT FROM THE SITE AT ALL TIMES DURING CONSTRUCTION...
2. INITIAL SEDIMENT CONTROLS SHOWN ON THE EROSION CONTROL PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.

UTILITY CONSTRUCTION NOTES

- 1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING UTILITY CONSTRUCTION...
2. ALL TRENCHES CROSSING PAVED AREAS OR AREAS TO BE PAVED SHALL BE BACKFILLED FULL DEPTH WITH COMPACTED BEDDING MATERIAL IN CONFORMANCE WITH PROJECT DETAILS AND SPECIFICATIONS.

SITE GRADING NOTES

- 1. THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL UTILITIES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE STATE'S UTILITY LOCATE PHONE NUMBER AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING SITE GRADING ACTIVITIES...
2. CONTRACTOR SHALL USE CAUTION AROUND ALL EXISTING UTILITIES LOCATED ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF SUCH STRUCTURES WHEN BROKEN OR OTHERWISE DAMAGED BY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR

- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK...
2. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

UTILITY DISCLAIMER

- 1. INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

USE OF CONSTRUCTION DOCUMENTS

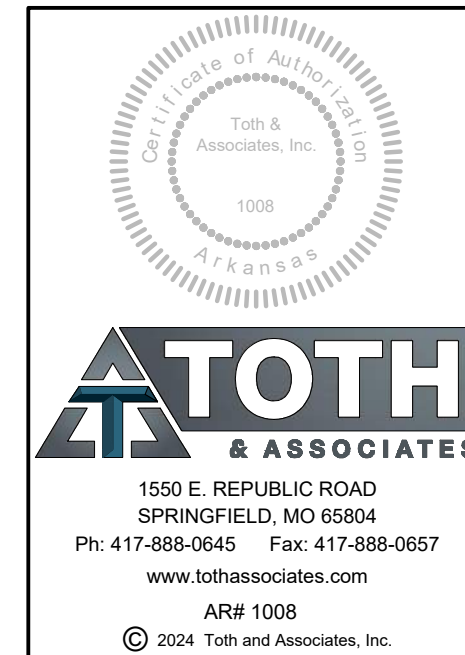
- 1. DRAWINGS AND SPECIFICATIONS ARE PROVIDED AS A SERVICE. DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED FOR USE ON OTHER PROJECTS AT THIS SITE OR OTHER SITES WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
2. DRAWING REPRODUCTION AND SCALING MAY ALTER THE INDICATED GRAPHIC SCALES.

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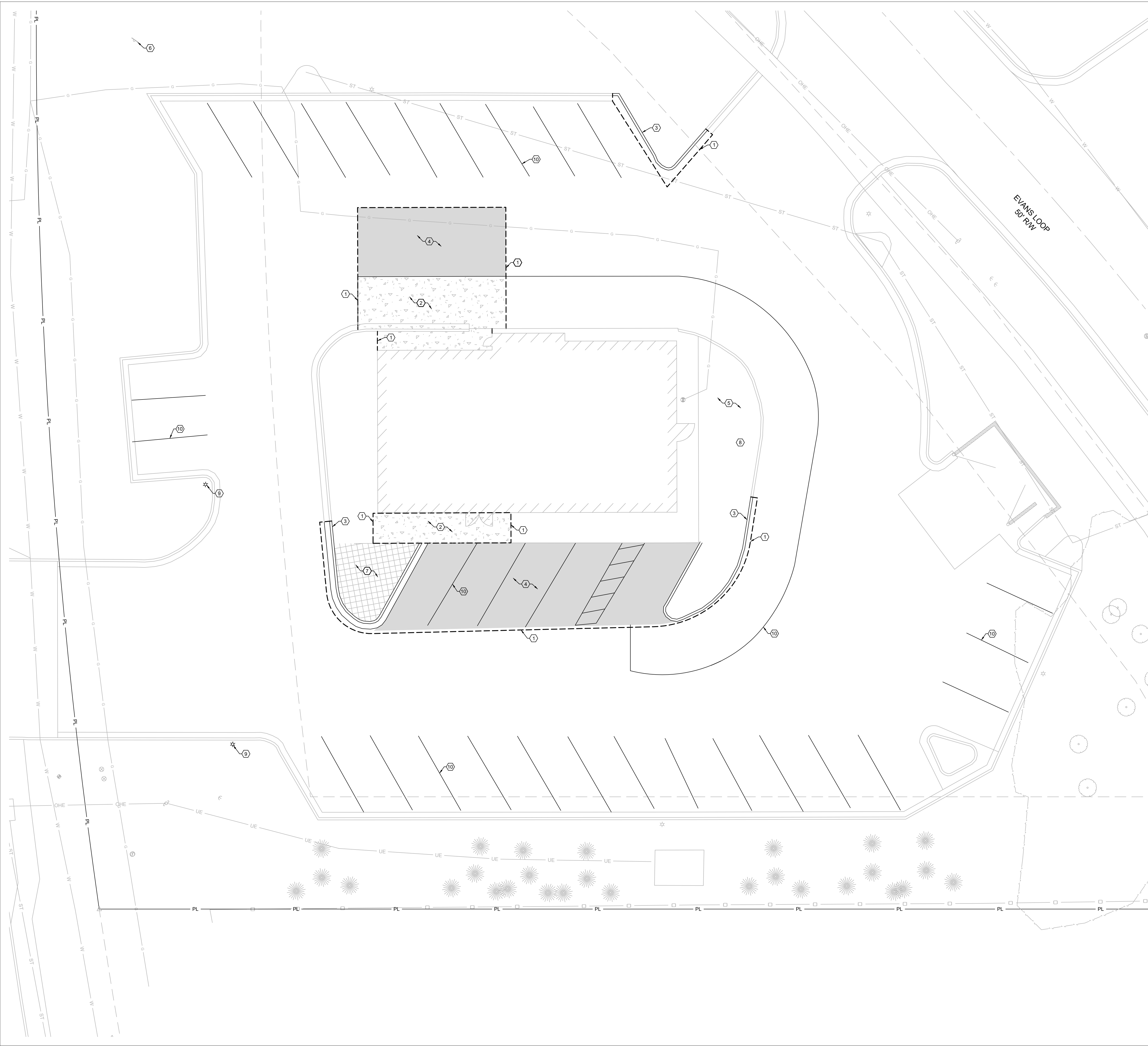


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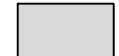


C 0.1

GENERAL NOTES

DATE: AUGUST 15, 2024



**HATCH LEGEND:**

-  = ASPHALT AREA TO BE REMOVED.
-  = CONCRETE AREA TO BE REMOVED.
-  = LANDSCAPE SHRUBS & TREES TO BE REMOVED.

**KEY NOTES:**

- ① SAW CUT CLEAN EDGE FOR PAVEMENT REMOVAL. PROTECT EDGE OF PAVEMENT DURING CONSTRUCTION.
- ② REMOVE 700 S.F. ± OF CONCRETE.
- ③ REMOVE 135 L.F. ± OF CONCRETE CURB.
- ④ REMOVE 1651 S.F. ± OF ASPHALT PAVEMENT.
- ⑤ EXISTING LANDSCAPING. DO NOT DISTURB.
- ⑥ REMOVE EXISTING SIGN FACE, PYLON AND FOUNDATION TO REMAIN FOR REUSE.
- ⑦ REMOVE 222 S.F. EXISTING LANDSCAPING.
- ⑧ REMOVE EXISTING MENU BOARD AND INTERCOM.
- ⑨ REMOVE EXISTING LIGHT POLE.
- ⑩ REMOVE EXISTING STRIPING, TYPICAL.



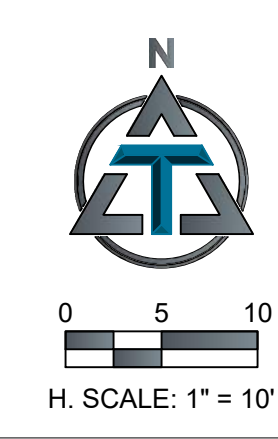
ENGINEER OF RECORD:  
 NAME: SHAWN W. BARRY  
 LICENSE NO. AR #PE-16815

PROJECT NUMBER:  
 85 081

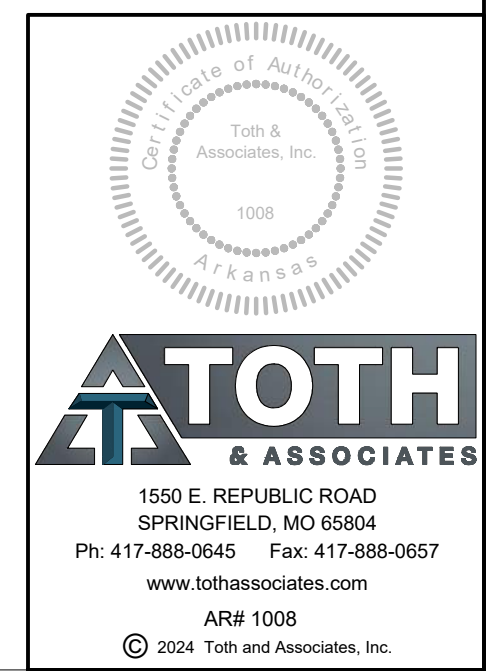
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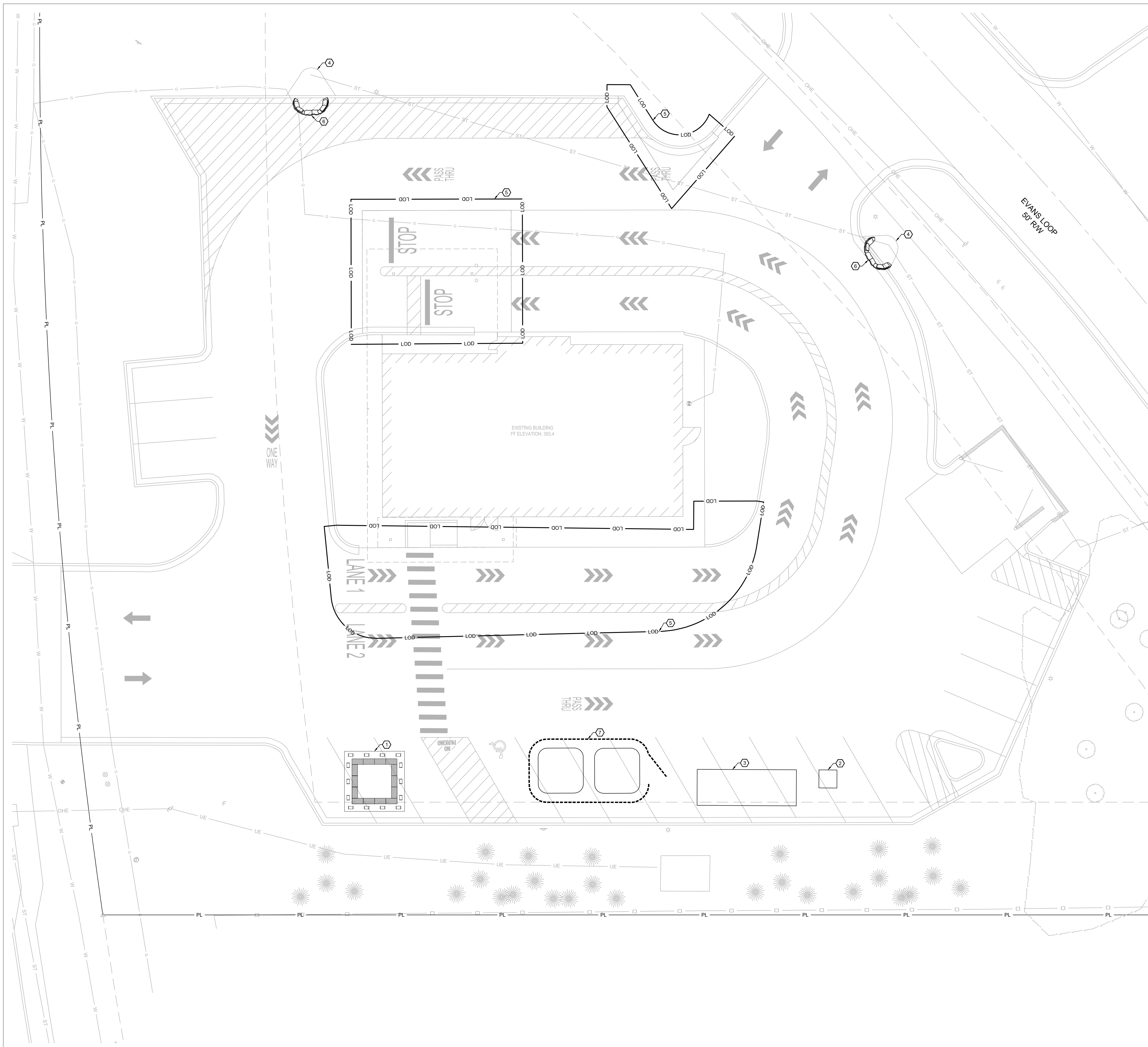


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**C1.1**  
 DEMOLITION PLAN

DATE: AUGUST 15, 2024



- KEY NOTES:**
- ① APPROXIMATE LOCATION OF CONCRETE WASHOUT PER DETAIL 1.03 SHEET C7.1.
  - ② APPROXIMATE LOCATION OF PORTABLE RESTROOM.
  - ③ APPROXIMATE LOCATION OF TEMPORARY ROLL-OFF DUMPSTER.
  - ④ PROPOSED OUTFALL.
  - ⑤ LIMITS OF DISTURBANCE = 0.08 ACRES.
  - ⑥ CURB INLET SEDIMENT BARRIER PROTECTION PER DETAIL 1.04 SHEET C7.2.
  - ⑦ APPROXIMATE LOCATION OF SOIL STOCKPILES. PROTECT STOCKPILES WITH COMPOST FILTER SOCK.

**PHASING TABLE:**

| PHASE                            | CONSTRUCTION ACTIVITIES                    | BEST MANAGEMENT PRACTICES INSTALLED   |
|----------------------------------|--|---|
| PHASE 1<br>(PRE - CONSTRUCTION)  | INSTALLATION OF PRE-CON BMPs               | - TREE PROTECTION<br>- CONSTRUCTION ENTRANCE<br>- PERIMETER CONTROL (SILT SOCK) |
| PHASE 2                          | CLEARING                                   | - RETAIN TOPSOIL<br>- STOCK PILE PROTECTION<br>- DEWATERING<br>- DUST CONTROL   |
| PHASE 3                          | CONSTRUCTION                               | - CONCRETE WASHOUT PIT<br>- CONSTRUCTION ENTRANCE<br>- TEMPORARY SEEDING        |
| PHASE 4<br>(FINAL STABILIZATION) | FINAL STABILIZATION OF ALL DISTURBED AREAS | - HYDROSEED<br>- RIP RAP PLACEMENT<br>- SEED / STRAW                            |



ENGINEER OF RECORD:  
 NAME: SHAWN W. BARRY  
 LICENSE NO. AR #PE-16815

PROJECT NUMBER:  
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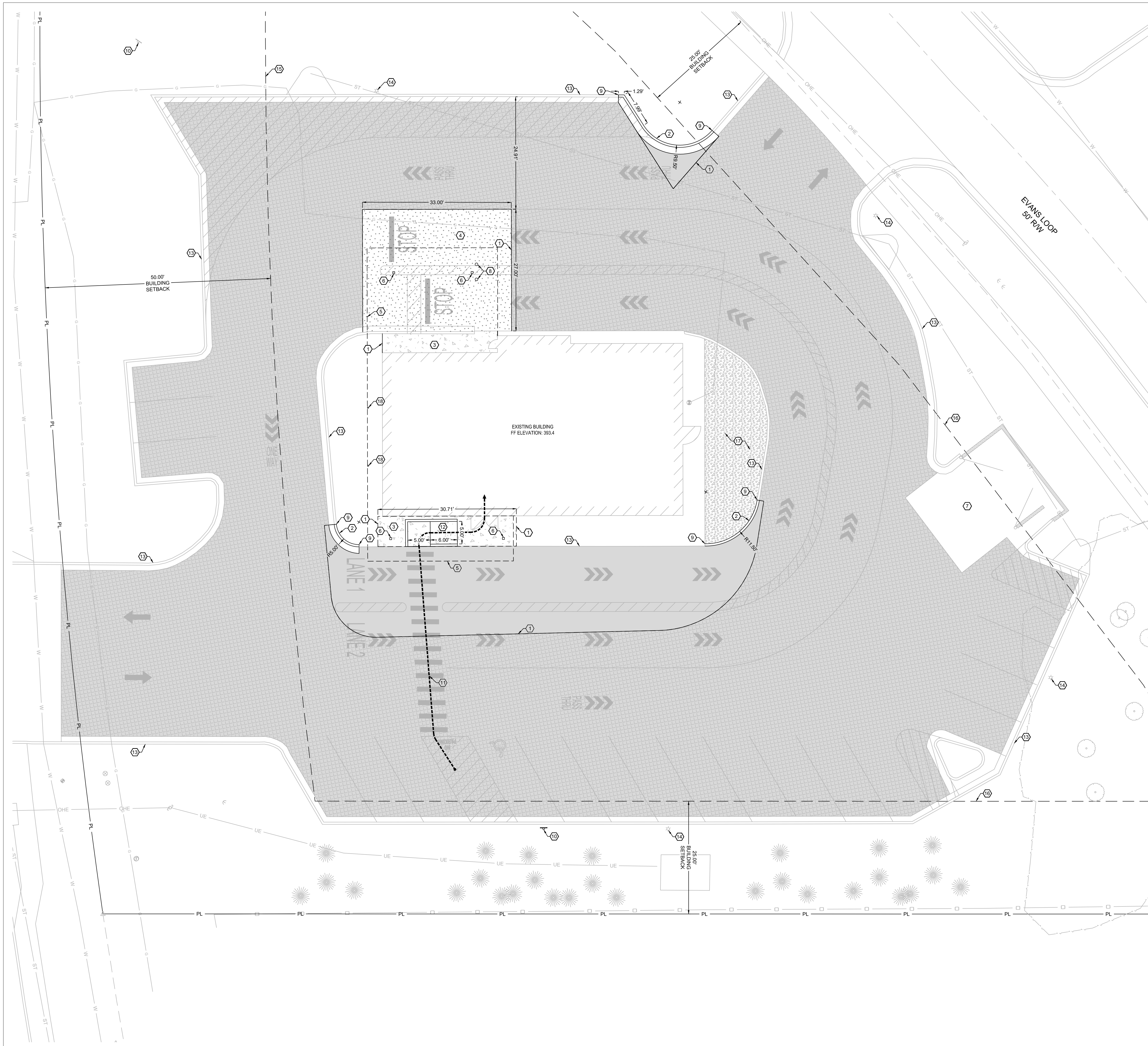
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**C1.2**  
 EROSION CONTROL PLAN  
 DATE: AUGUST 15, 2024



**HATCH LEGEND:**

- = ASPHALT PAVEMENT PER DETAIL 2.06 SHEET C7.1.
- = ASPHALT SEAL COAT OVER EXISTING PAVEMENT, PER MANUFACTURERS RECOMMENDATIONS.
- = CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02 SHEET C7.1.
- = CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05 SHEET C7.1.
- = EXISTING LANDSCAPING.

**KEY NOTES:**

- 1 MATCH EXISTING PAVEMENT.
- 2 CONCRETE CURB & GUTTER PER DETAIL 2.01 SHEET C7.1.
- 3 SIDEWALK PER DETAIL 2.02 SHEET C7.1.
- 4 CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05 SHEET C7.1.
- 5 BUILDING CANOPY OUTLINE.
- 6 CANOPY COLUMNS LOCATIONS, TYPICAL.
- 7 EXISTING TRASH ENCLOSURE AND NEW GATE.
- 8 36" X 4.5" BOLT-DOWN STEEL PIPE SAFETY BOLLARD.
- 9 CONNECT TO EXISTING CURB.
- 10 SIGN, SEE SHEET C6.1.
- 11 ACCESSIBLE PATH FROM PARKING TO BUILDING.
- 12 TYPE 2 ADA CURB RAMP PER DETAIL 2.12 SHEET C7.2.
- 13 EXISTING CURB AND GUTTER, DO NOT DISTURB.
- 14 EXISTING LIGHT POLE, TO REMAIN.
- 15 50 FOOT BUILDING SETBACK LINE.
- 16 25 FOOT BUILDING SETBACK LINE.
- 17 EXISTING LANDSCAPING TO REMAIN, PROTECT AS NEEDED, REMOVE AND REPLACE LANDSCAPING WITH LIKE SPECIES AS NECESSARY FOR MENU BOARD DEMOLITION.
- 18 CANOPY COLUMN TO BE FASTENED TO EXISTING SITE CONCRETE. CONTRACTOR TO FIELD VERIFY LOCATION DURING CONSTRUCTION.

**PROPOSED USE:**

RESTAURANT WITH DRIVE THRU.

**ZONING:**

ZONING: C-2 HIGHWAY COMMERCIAL DISTRICT.

**PARKING REQUIREMENTS:**

1 SPACE PER 300 S.F.  
 REQUIRED = 8 SPACES AT 2,400 S.F.  
 PROVIDED = 19 STALLS, 18 STANDARD AND 1 ADA.

**BUILDING AND LOT DATA:**

LOT SIZE 56,688 S.F. = 1.30 ACRES  
 PROJECT FOOTPRINT 3,448 S.F. = 0.08 ACRES  
 EXISTING BUILDING (1 STORY) - RETAIL = 2,400 S.F.

**QUANTITIES**

CURB & GUTTER: 75 L.F.  
 ASPHALT PAVEMENT: 1,795 S.F.  
 ASPHALT SEAL COAT: 19,395 S.F.  
 8" CONCRETE PAVEMENT: 910 S.F.  
 4" CONCRETE SIDEWALK: 305 S.F.

**KNOWN EXISTING UTILITIES**

| UTILITY        | UTILITY                    | PHONE NUMBER |
|----------------|----------------------------|--------------|
| ELECTRIC       | FIRST ELECTRIC COOPERATIVE | 800-489-7405 |
| WATER          | CITY OF BRYANT             | 501-943-0441 |
| SANITARY SEWER | CITY OF BRYANT             | 501-943-0441 |



ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

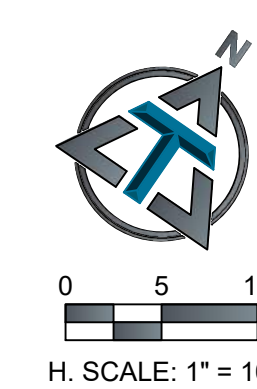
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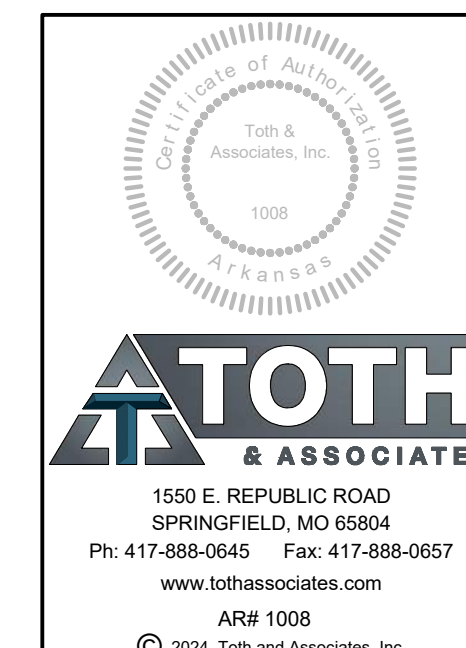
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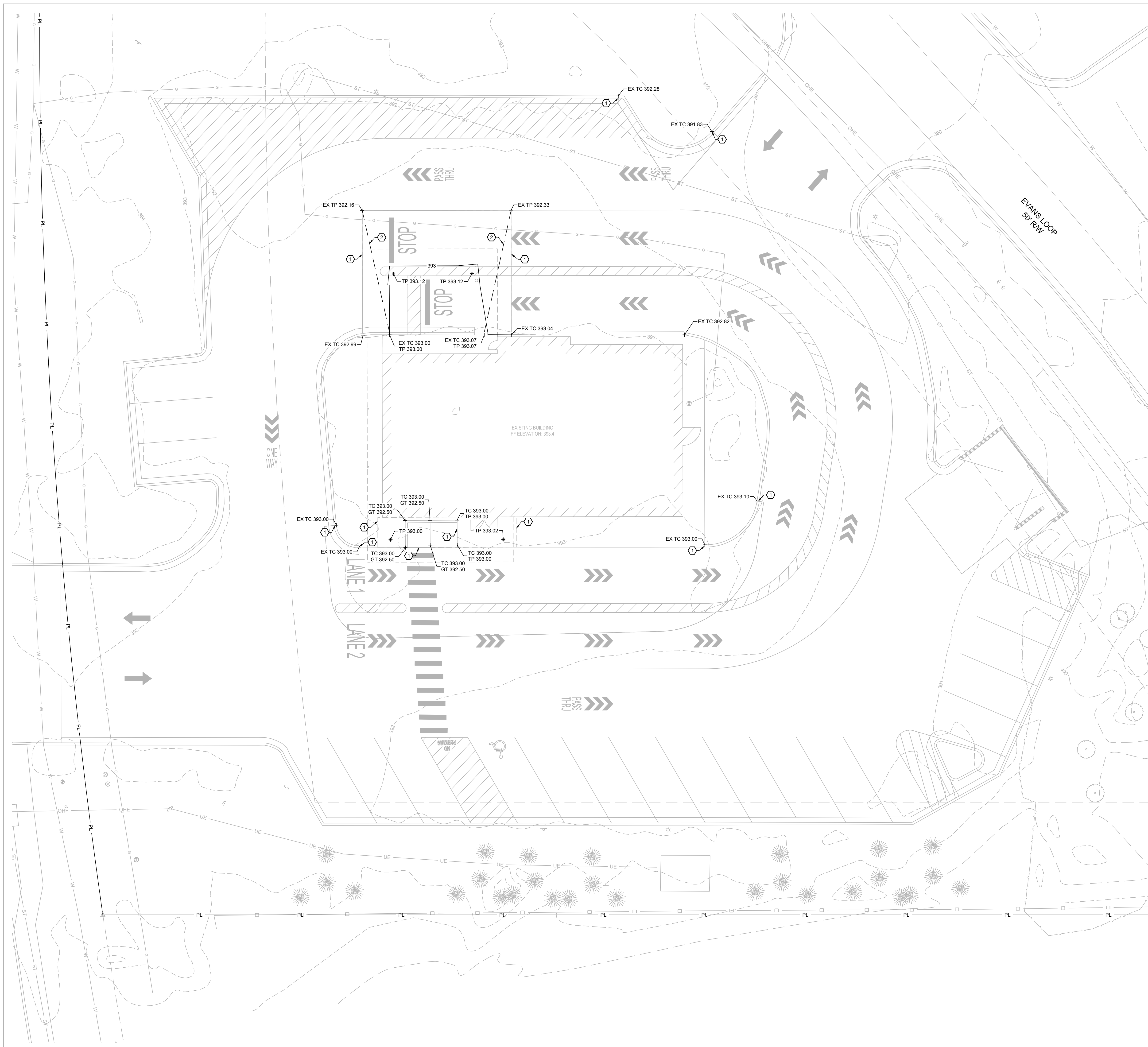


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**C 2.1**  
 SITE PLAN

DATE: AUGUST 15, 2024



- KEY NOTES:**
- ① MATCH EXISTING ELEVATION.
  - ② CENTERLINE OF GRADE BREAK IN PAVEMENT.

**ABBREVIATIONS**

|       |                           |
|-------|---------------------------|
| BC    | BACK OF CURB              |
| CC    | STANDARD CATCH CURB       |
| CL    | CENTER LINE               |
| CMP   | CORRUGATED METAL PIPE     |
| EP    | EDGE OF PAVEMENT          |
| FES   | FLARED END SECTION        |
| FL    | FLOW LINE                 |
| GT    | GUTTER INVERT             |
| GY    | GUY WIRE                  |
| HDPE  | HIGH DENSITY POLYETHYLENE |
| INV   | INVERT                    |
| LF    | LINEAR FEET               |
| MC    | MOUNTABLE CURB            |
| PVC   | POLYVINYL CHLORIDE PIPE   |
| RW    | RIGHT-OF-WAY              |
| RCP   | REINFORCED CONCRETE PIPE  |
| SC    | SPILL CURB                |
| TB    | TOP OF BASE COURSE        |
| TC    | TOP OF CURB               |
| TG    | TOP OF GROUND             |
| TP    | TOP OF PAVEMENT           |
| TS    | TOP OF SIDEWALK           |
| TW    | TOP OF WALL               |
| EX TP | EXISTING TOP OF PAVEMENT  |
| EX TS | EXISTING TOP OF SIDEWALK  |
| →     | DIRECTION OF SHEET FLOW   |

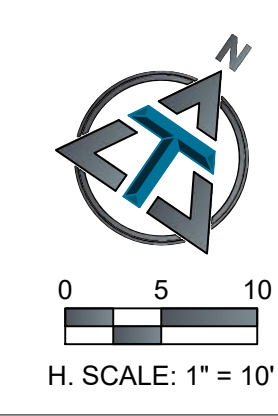


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 NAME: SHAWN W. BARRY  
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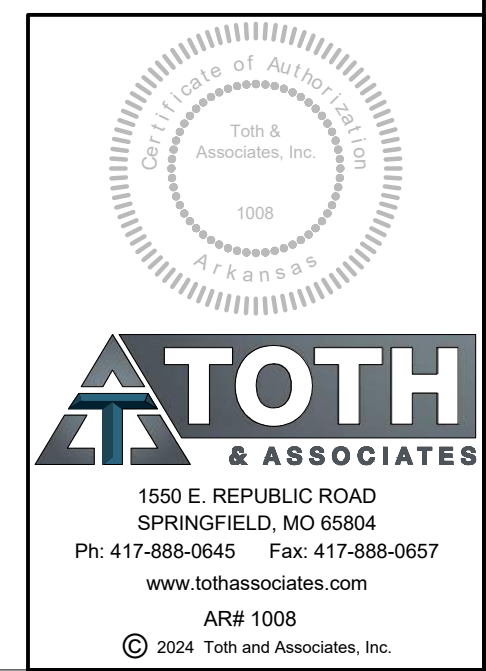
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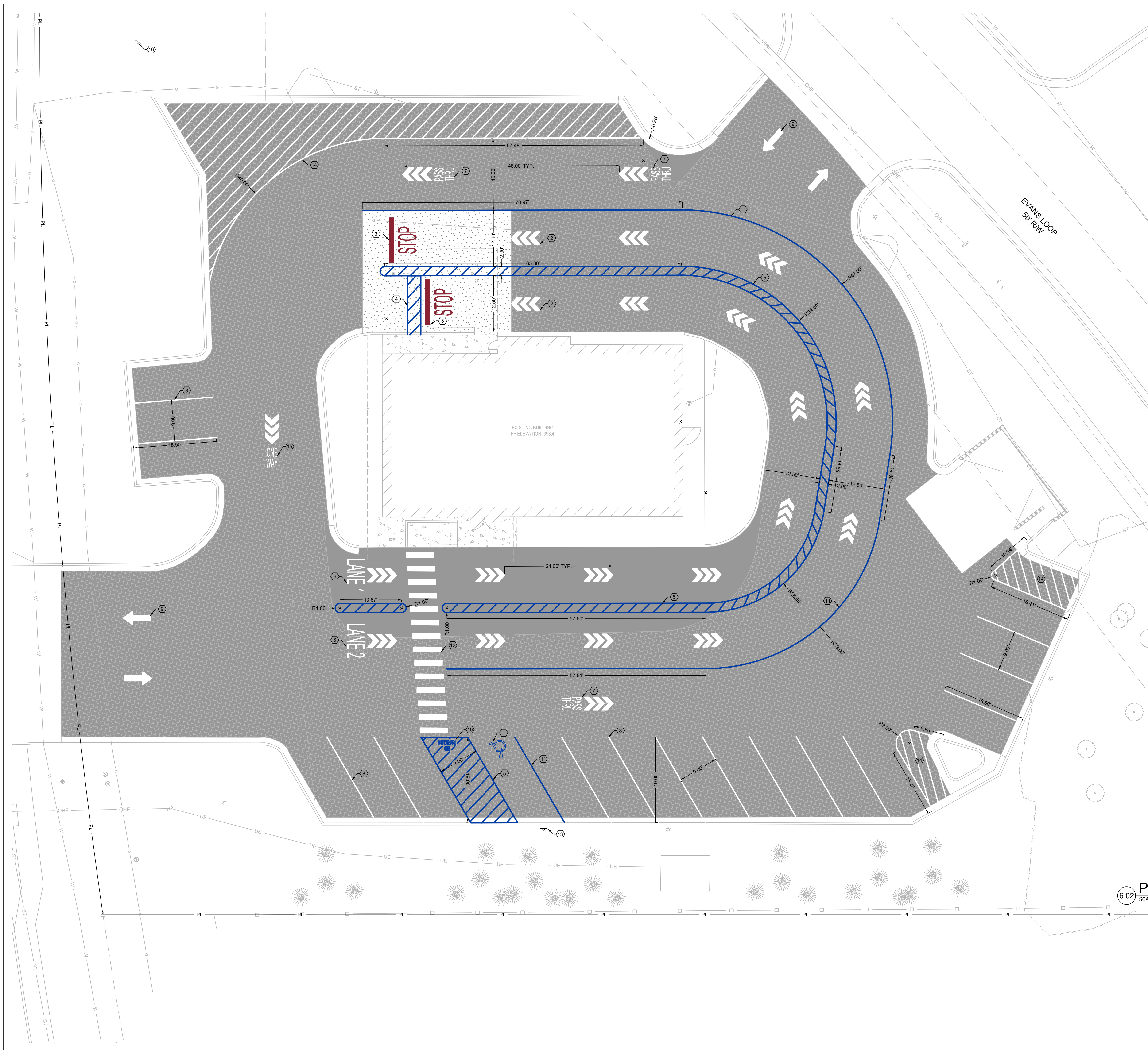


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**C3.1**  
 GRADING PLAN  
 DATE: AUGUST 15, 2024

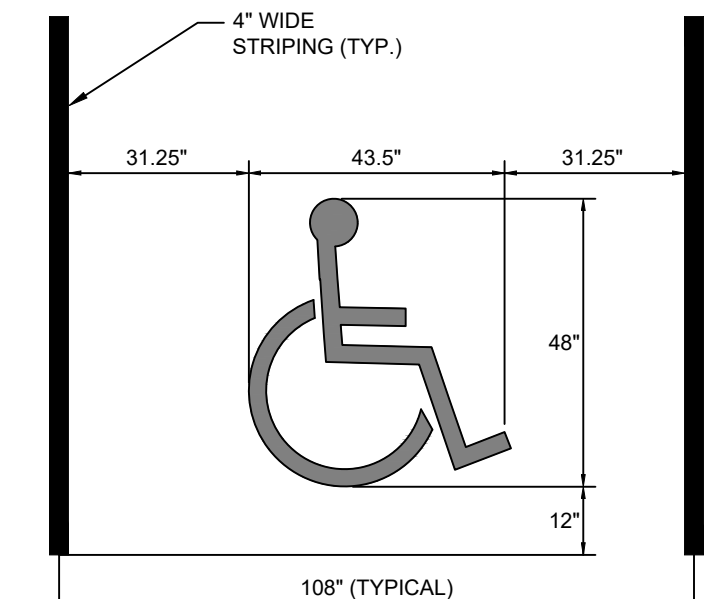




**HATCH LEGEND:**

- ASPHALT PAVEMENT PER DETAIL 2.06 SHEET C7.1.
- ASPHALT SEAL COAT OVER EXISTING PAVEMENT, PER MANUFACTURERS RECOMMENDATIONS.
- CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02 SHEET C7.1.
- CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05 SHEET C7.1.

- KEY NOTES:**
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01 THIS SHEET.
  - SOLID WHITE TRIPLE ARROW PAVEMENT MARKER, PER DETAIL 6.02 THIS SHEET.
  - 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
  - ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
  - 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
  - 48-INCH TALL "LANE # PAINTED IN WHITE.
  - 24-INCH TALL "PASS THRU" PAINTED IN WHITE.
  - 4-INCH SOLID WHITE PAVEMENT MARKER FOR PARKING, TYPICAL.
  - SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING.
  - "NO PARKING" PAINTED IN ACCESS AISLE. ALL CAPITAL LETTERS < 12-INCH HEIGHT LETTERS, 2-INCH STROKE.
  - 4-INCH SOLID BLUE PAVEMENT MARKER.
  - CROSS WALK PAVEMENT MARKING, 12" WIDE BY 6' LONG SOLID WHITE PAINT SPACED EVERY 3'. ORIENT THE STRIPES IN THE DIRECTION SHOWN PARALLEL TO THE DIRECTION OF TRAFFIC.
  - ADA VAN ACCESSIBLE SIGN PER DETAIL 6.03 SHEET C7.1.
  - 4-INCH SOLID WHITE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
  - 24-INCH TALL "ONE WAY" PAINTED IN WHITE.
  - REPLACE SIGN FACE OF EXISTING PYLON SIGN.

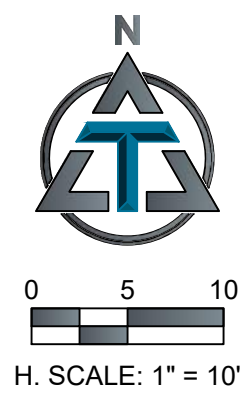


**6.01 ADA ACCESSIBLE PARKING SYMBOL**  
SCALE: NONE

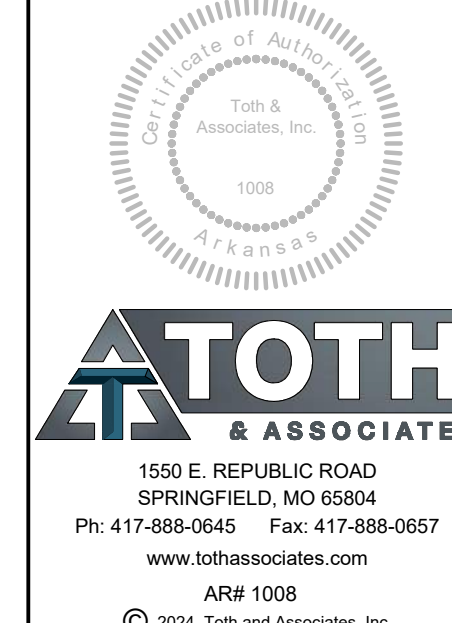
**6.02 PARKING LOT STRIPING COLORS & PAINT**  
SCALE: NONE

| PARKING LOT STRIPING COLORS & PAINT |              |
|-------------------------------------|--------------|
| <b>ASPHALT PAINT COLORS:</b>        |              |
| WHITE                               | PANTONE 000C |
| BLUE                                | PANTONE 293  |
| <b>CONCRETE PAINT COLORS:</b>       |              |
| RED                                 | PANTONE 202  |
| BLUE                                | PANTONE 293  |
| <b>PMS 000C</b>                     |              |
| R: 255                              |              |
| G: 255                              |              |
| B: 255                              |              |
| HEX: FFFFFFFF                       |              |
| <b>PMS 293</b>                      |              |
| R: 0                                |              |
| G: 61                               |              |
| B: 165                              |              |
| HEX: 003DA5                         |              |
| <b>PMS 202</b>                      |              |
| R: 138                              |              |
| G: 36                               |              |
| B: 50                               |              |
| HEX: 8A2432                         |              |

**6.02 PARKING LOT STRIPING COLORS & PAINT**  
SCALE: NONE



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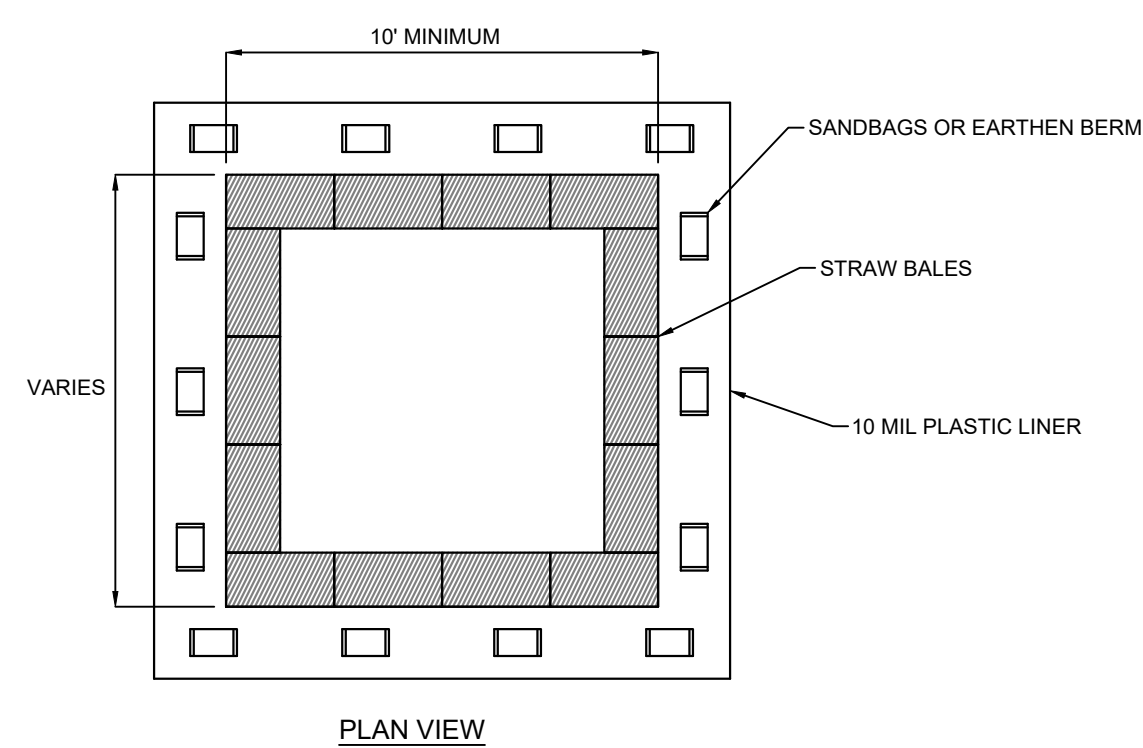
ENGINEER OF RECORD:  
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LICENSE NO. AR #PE-16815

PROJECT NUMBER:  
85 081

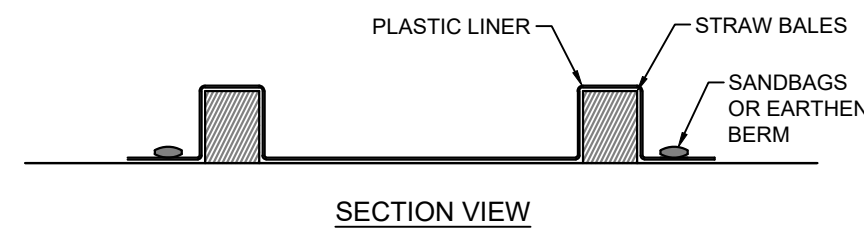
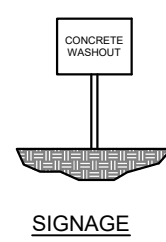
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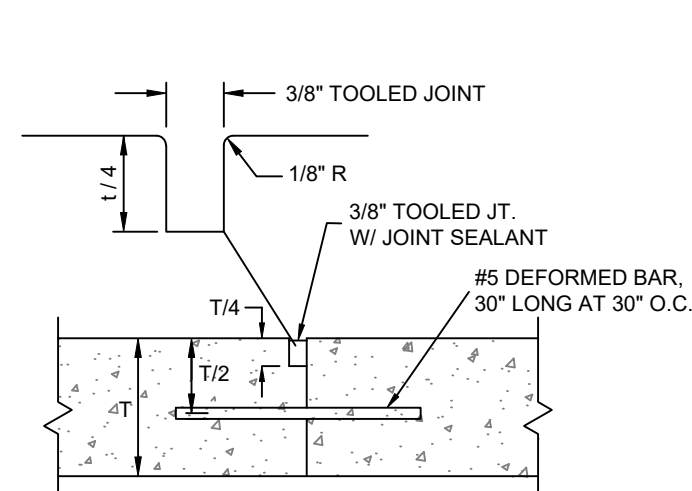
**C6.1**  
STRIPING PLAN  
DATE: AUGUST 15, 2024



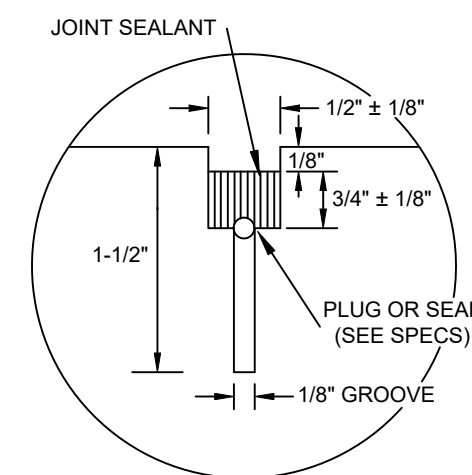
- NOTES:**
1. WASHOUT CONTAINMENT SHALL BE INSTALLED FOR DURATION OF CONCRETE WORK AND RETAIN CONCRETE AND OTHER WASHOUT LIQUIDS UNTIL EVAPORATION OR REMOVAL BY PUMP.
  2. CONTAINMENT SHALL BE SIZED FOR EXPECTED WASHOUT VOLUMES.
  3. AVOID PLACING NEAR STORM DRAINS, STREAMS, SINKHOLES, OUTFALLS OR OTHER LOW AREAS WHERE WATER PONDS OR FLOWS.
  4. OTHER APPROVED LEAK-PROOF CONTAINMENT IS ACCEPTABLE.
  5. TRAPS SHALL BE ROUTINELY MAINTAINED AT 75% CAPACITY AND REPLACED AS NECESSARY TO PERFORM.
  6. THE WASHOUT PIT SHALL BE COVERED BEFORE PREDICTED RAIN EVENTS TO PREVENT OVERFLOW.
  7. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



**1.03 CONCRETE WASHOUT**  
SCALE: NONE



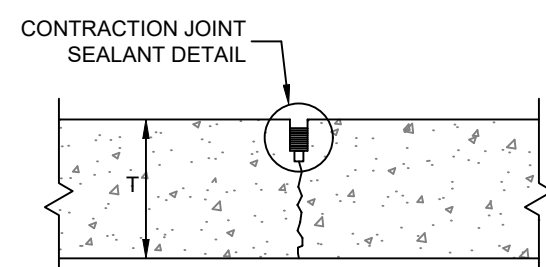
DOWELED CONSTRUCTION JOINT



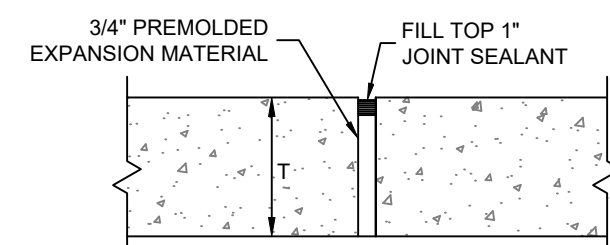
CONTRACTION JOINT SEALANT DETAIL

**CONCRETE JOINT NOTES:**

1. CONSTRUCTION JOINTS SHALL BE PLACED AS REQUIRED BY THE CONTRACTOR.
2. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE ABUTS STRUCTURES OR EXISTING PAVEMENT AND AT 45 FEET ON CENTER, EACH DIRECTION (OR AS SHOWN ON PLAN).
3. CONTRACTION JOINTS SHALL BE PLACED AT 15 FEET MINIMUM SPACING IN EACH DIRECTIONS.

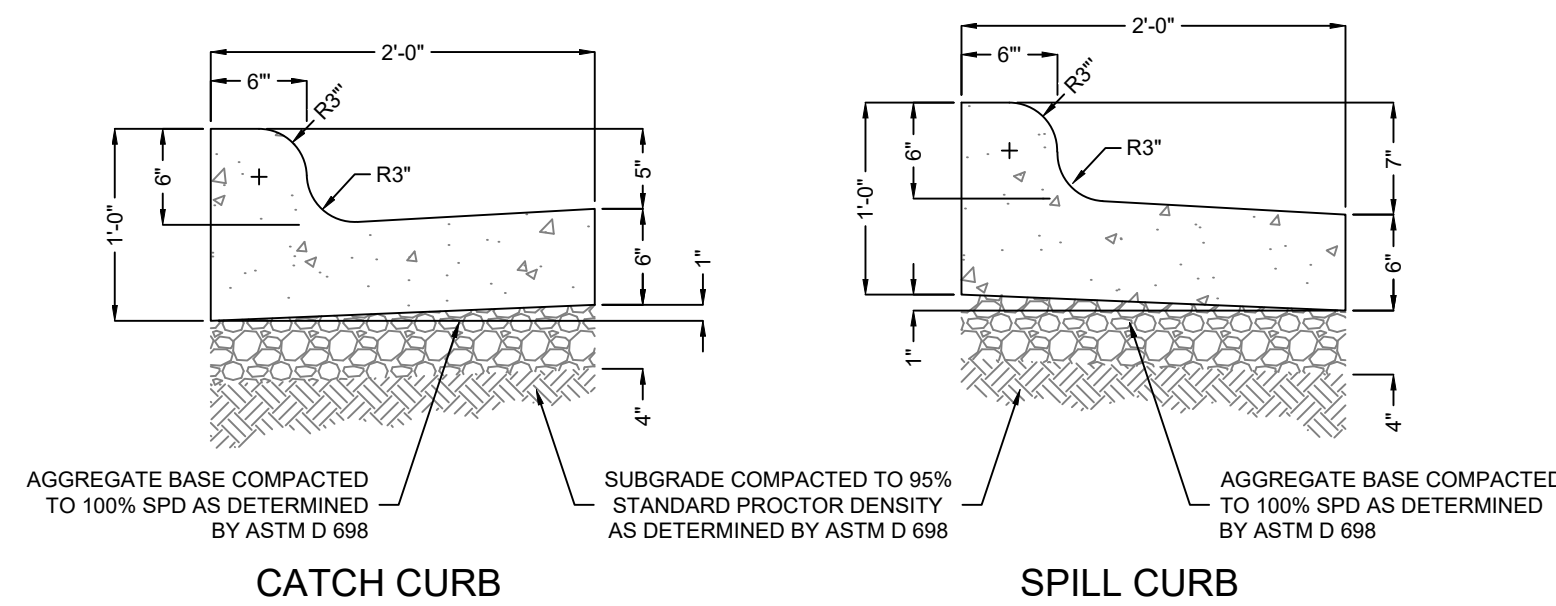


SAWED CONSTRUCTION JOINT



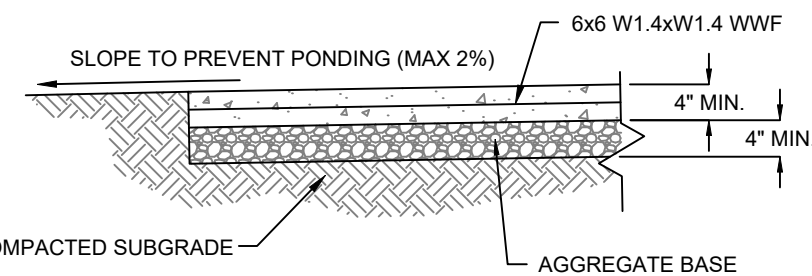
EXPANSION JOINT

**2.03 CONCRETE PAVEMENT JOINT DETAILS**  
SCALE: NONE



- NOTES:**
1. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, CUT TO THE CONFIGURATION OF THE FULL SIZE OF THE CURB AND GUTTER SECTION AND BEING SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS. THE EDGES OF THESE JOINTS SHALL BE ROUNDED WITH AN EDGING TOOL ONE-EIGHTH (1/8) INCH RADIUS.
  2. EXPANSION JOINTS SHALL BE PLACED WHERE CURB AND GUTTER ABUTS OTHER STRUCTURES AND AT ALL TANGENT POINTS TO CURBS. EXPANSION JOINTS SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID CURBS AND NOT MORE THAN 100 FEET APART FOR MACHINE LAID CURB AND GUTTER PROVIDED THAT ONE-HALF (1/2) INCH THICK JOINT FILLER IS USED. ALL JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE CURB AND GUTTER.
  3. CONTRACTION JOINTS SHALL BE CONSTRUCTED BY INSERTING A REMOVABLE METAL TEMPLATE IN THE FRESH CONCRETE. THEY SHALL NOT BE SAW CUT. CONTRACTION JOINTS SHALL BE TO A DEPTH OF NOT LESS THAN ONE AND ONE-FOURTH (1-1/4) INCHES BELOW THE SURFACE AND TO A WIDTH NOT TO EXCEED THREE-EIGHTHS (3/8) INCH. CONTRACTION JOINTS SHALL BE LOCATED APPROXIMATELY 10 FEET APART.

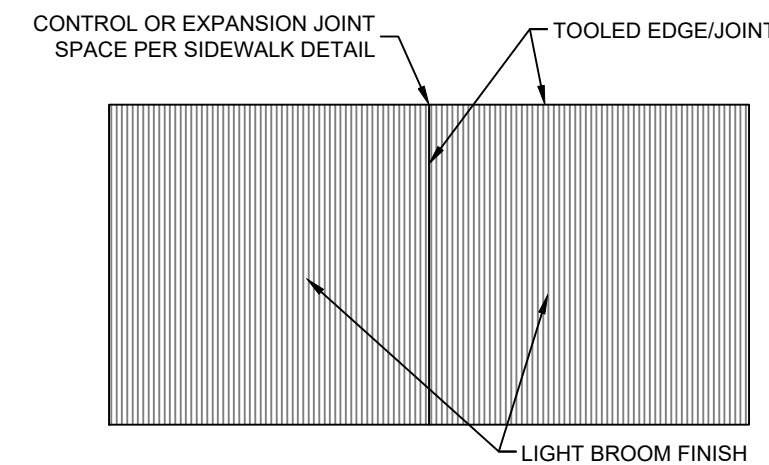
**2.01 CONCRETE CURB & GUTTER DETAIL**  
SCALE: NONE



**NOTES:**

1. PROVIDE CONTROL JOINTS @ 5' O.C. MAX. OR WIDTH OF SIDEWALK. SEE JOINT DETAIL.
2. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX. & AS INDICATED ON SITE PLAN.
3. WHERE WALK ABUTS ANOTHER WALK, CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES, PROVIDE 1/2" EXP. JOINT W/ FIBER BOARD AND SELF-LEVELING SEALANT.
4. KEY ALL CONSTRUCTION JOINTS.
5. PROVIDE NON-SLIP LIGHT BROOM FINISH.
6. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 2%. MAXIMUM SLOPE OF SIDEWALK IN DIRECTION OF TRAVEL SHALL BE 5%.

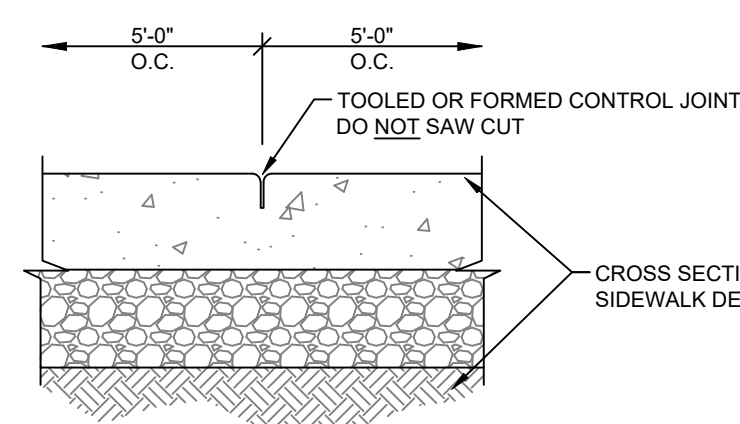
SECTION



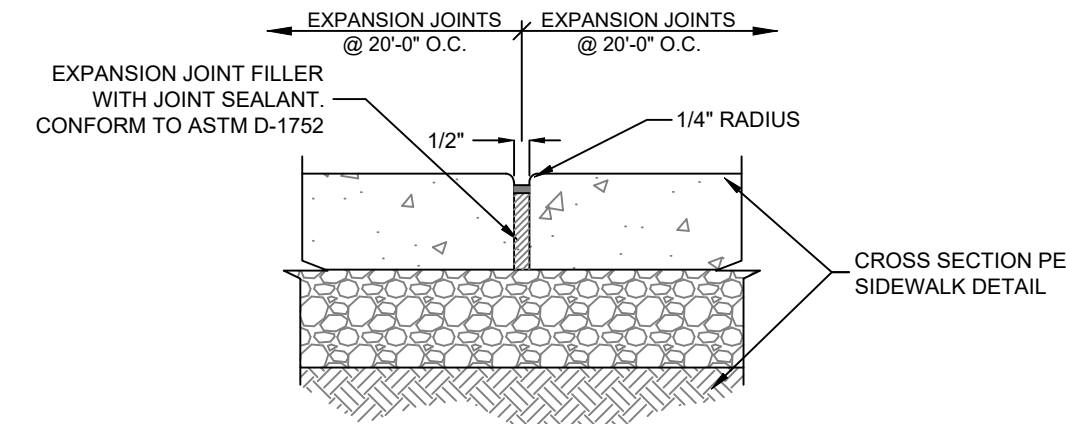
**NOTES:**

1. CONTRACTOR SHALL TOOL EDGES AND JOINTS AS SHOWN THEN LIGHTLY BROOM FINISH ENTIRE SIDEWALK SURFACE.

FINISH PLAN

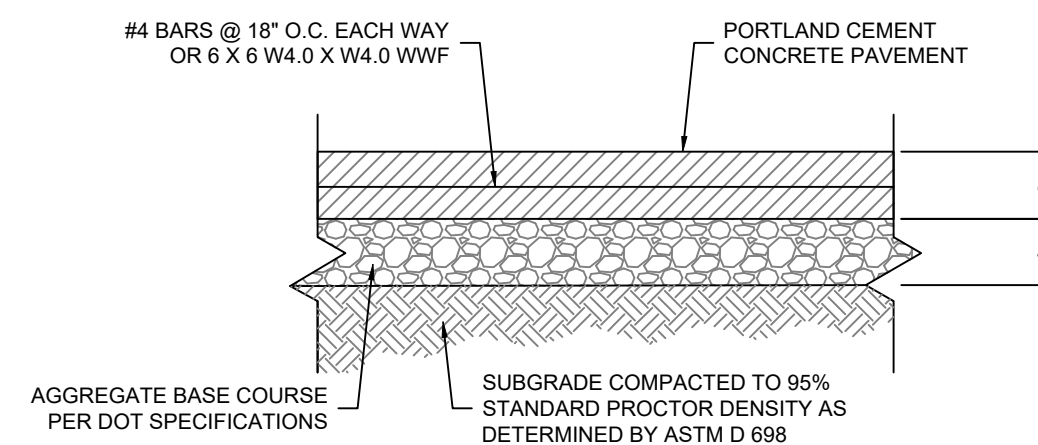


CONTROL JOINT



EXPANSION JOINT

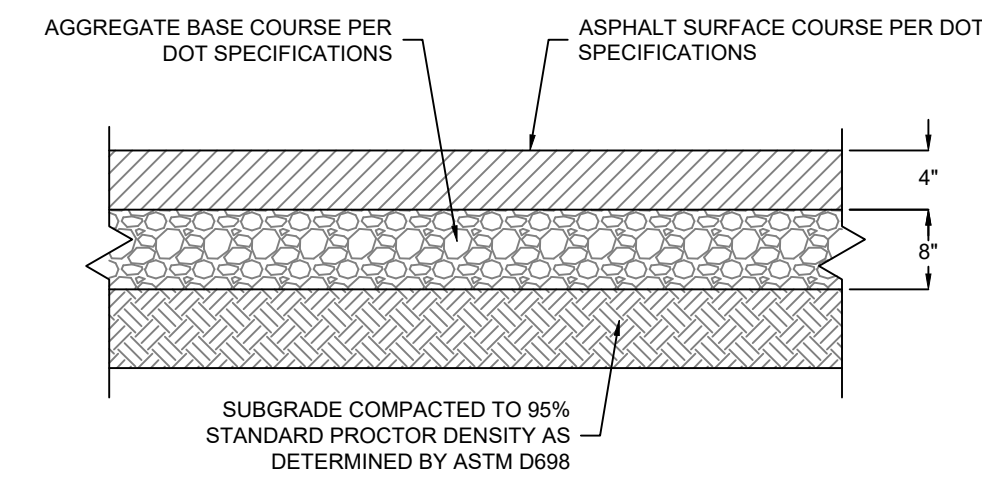
**2.02 SIDEWALK DETAILS**  
SCALE: NONE



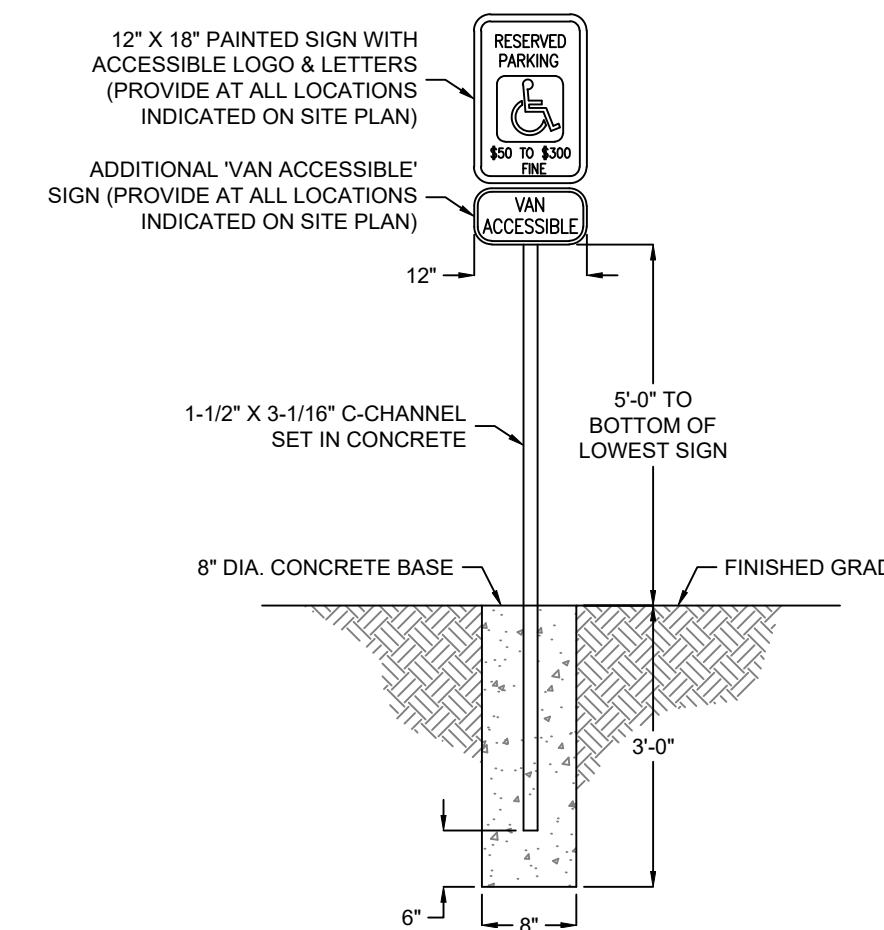
**NOTES:**

1. SEE CONCRETE PAVEMENT JOINT DETAILS AND NOTES.
2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND BE PLACED WITH A MAXIMUM SLUMP OF 4 INCHES PER GEOTECHNICAL ENGINEERING REPORT IF AVAILABLE.
3. ALL MATERIALS SHALL MEET THE CURRENT DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**2.05 CONCRETE PAVEMENT**  
SCALE: NONE



**2.06 ASPHALT PAVEMENT**  
SCALE: NONE



**6.03 ADA ACCESSIBLE SIGN DETAIL**  
SCALE: NONE



ENGINEER OF RECORD:

NAME: SHAWN W. BARRY

LICENSE NO. AR #PE-16815

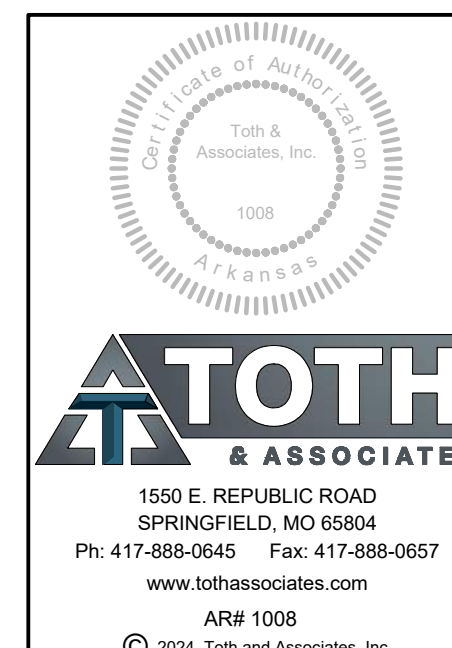
PROJECT NUMBER:

85 081

REVISION:

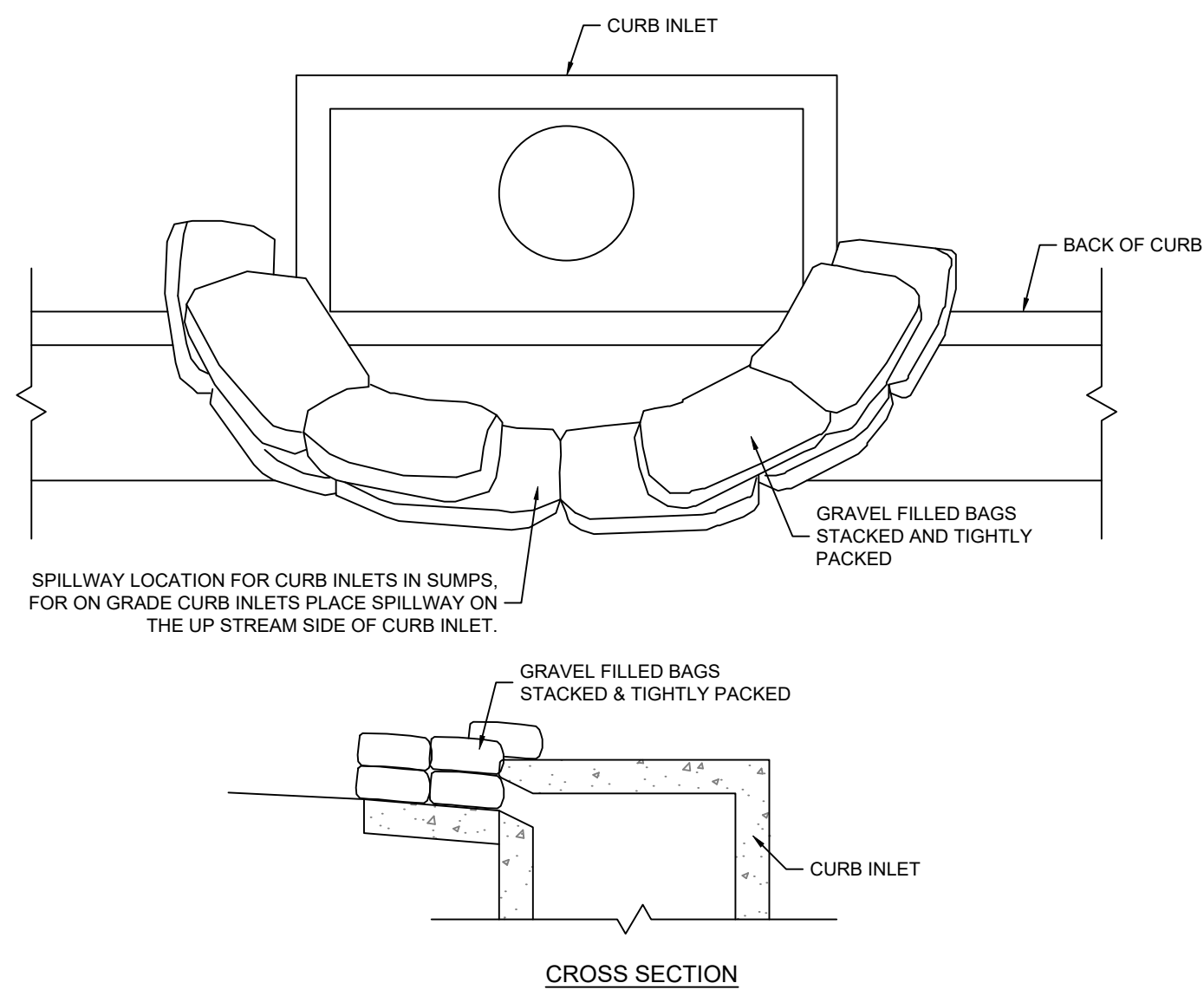
7 BREW COFFEE  
BRYANT, AR

2006 NORTH REYNOLDS ROAD  
BRYANT, AR



**C7.1**  
DETAILS

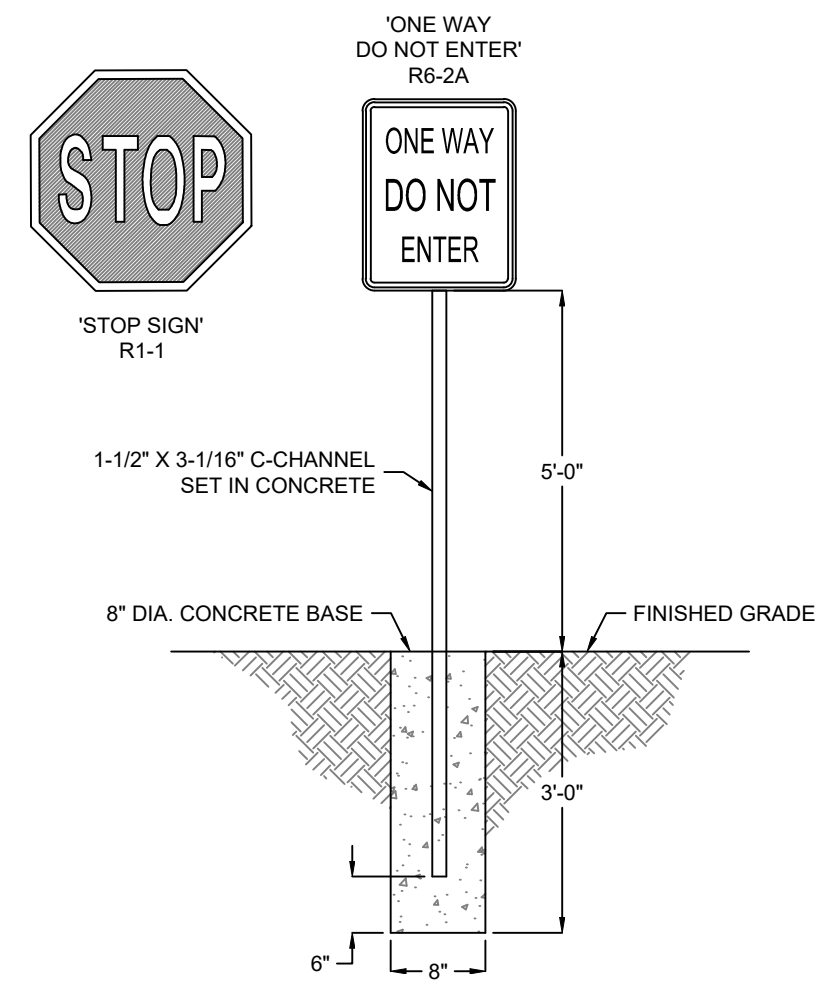
DATE: AUGUST 15, 2024



NOTES:

1. PLACE CURB INLET SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS OR IN SUMPS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. BAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH RAINFALL EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

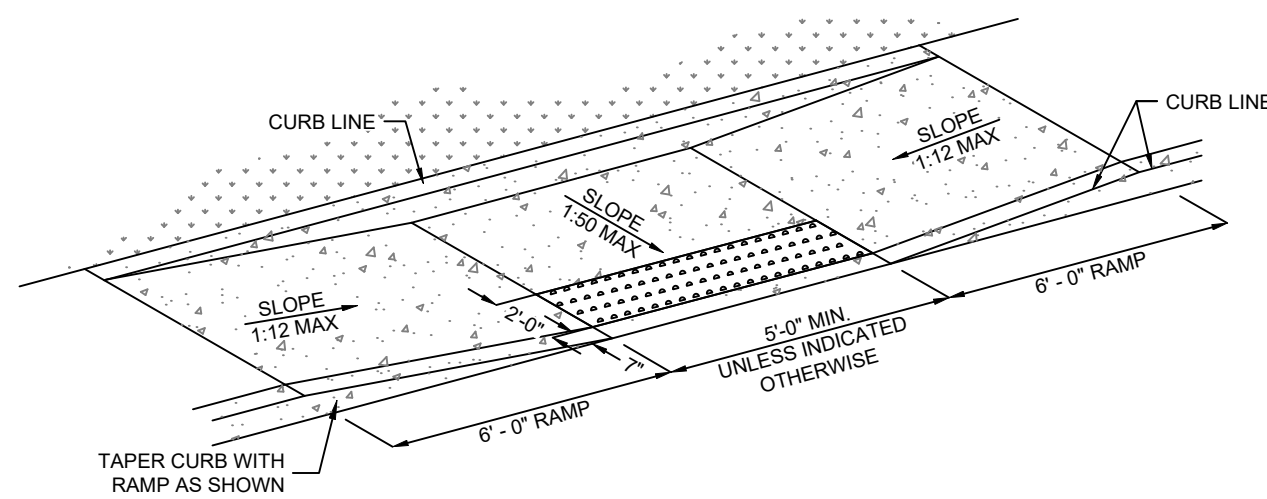
1.04 CURB INLET SEDIMENT BARRIER DETAIL  
SCALE: NONE



6.04 TYPICAL SIGN POST DETAIL  
SCALE: NONE

NOTES:

1. DETECTABLE WARNING ON RAMP SURFACE SHALL CONSIST OF TRUNCATED DOMES (FOR THE ENTIRE WIDTH OF THE RAMP) AND SHALL CONTRAST VISUALLY W/ ADJOINING SURFACES. PROVIDE ARMOR-TILE ADA TACTILE EPOXY POLYMER CAST IN PLACE WARNING TILES WITH TRUNCATED DOMES OR APPROVED EQUAL.
2. TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH AT THE BOTTOM, A DIAMETER OF 0.4 INCH AT THE TOP, A HEIGHT OF 0.2 INCH AND A CENTER-TO-CENTER SPACING OF 1.7 INCHES MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT.



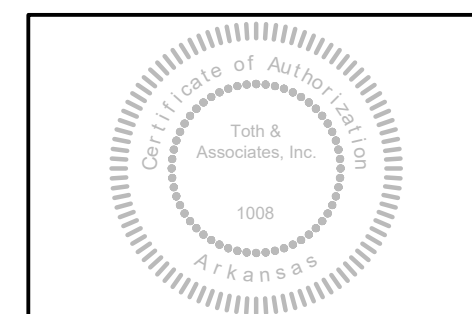
2.12 TYPE 2 CURB RAMP DETAIL  
SCALE: NONE



ENGINEER OF RECORD:  
NAME: SHAWN W. BARRY  
LICENSE NO. AR #PE-16815

PROJECT NUMBER:  
85 081  
REVISION:

7 BREW COFFEE  
BRYANT, AR  
2006 NORTH REYNOLDS ROAD  
BRYANT, AR

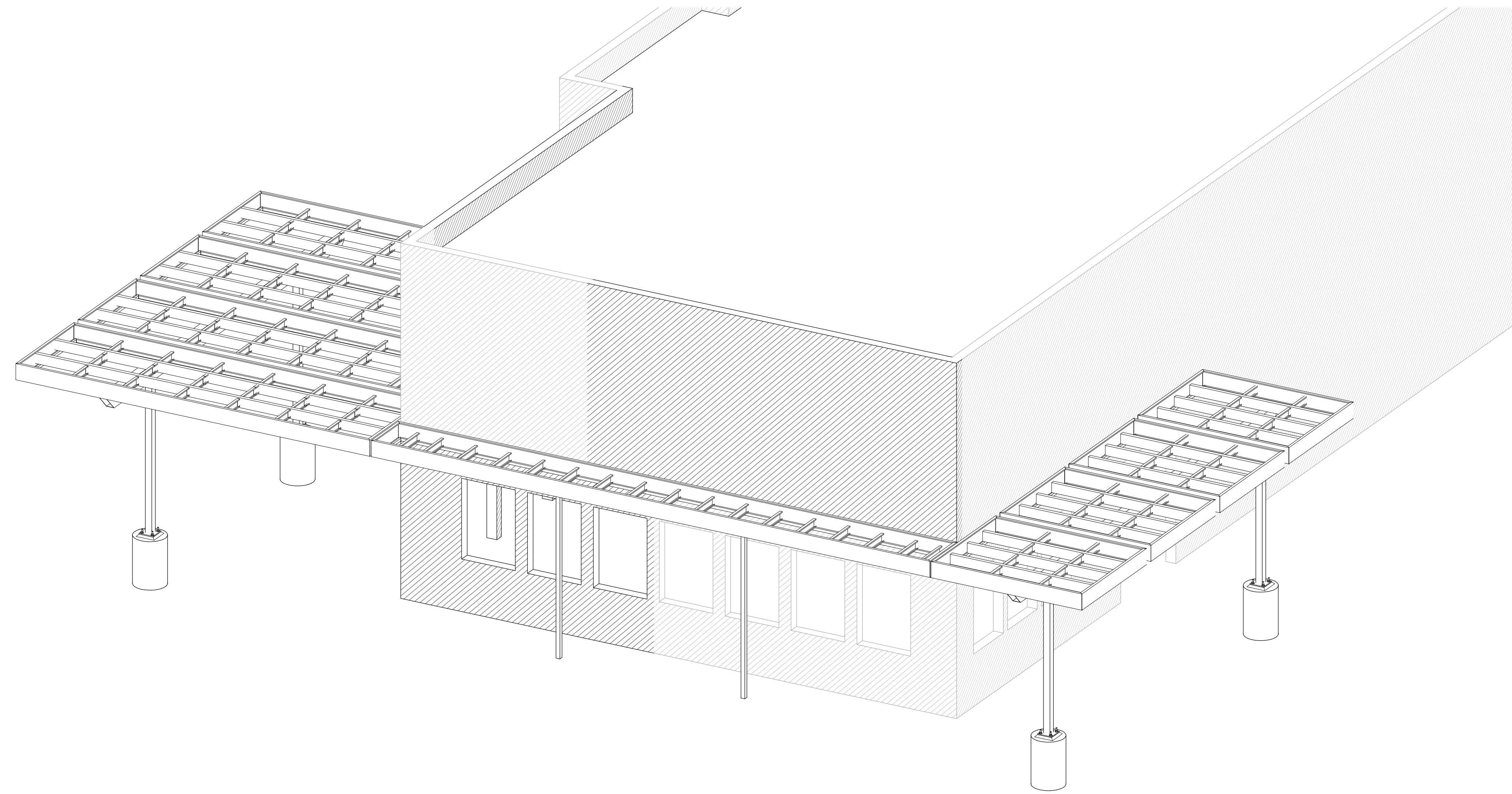


**TOOTH & ASSOCIATES**  
1550 E. REPUBLIC ROAD  
SPRINGFIELD, MO 65804  
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www.tothassociates.com  
AR# 1008  
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**C7.2**  
DETAILS

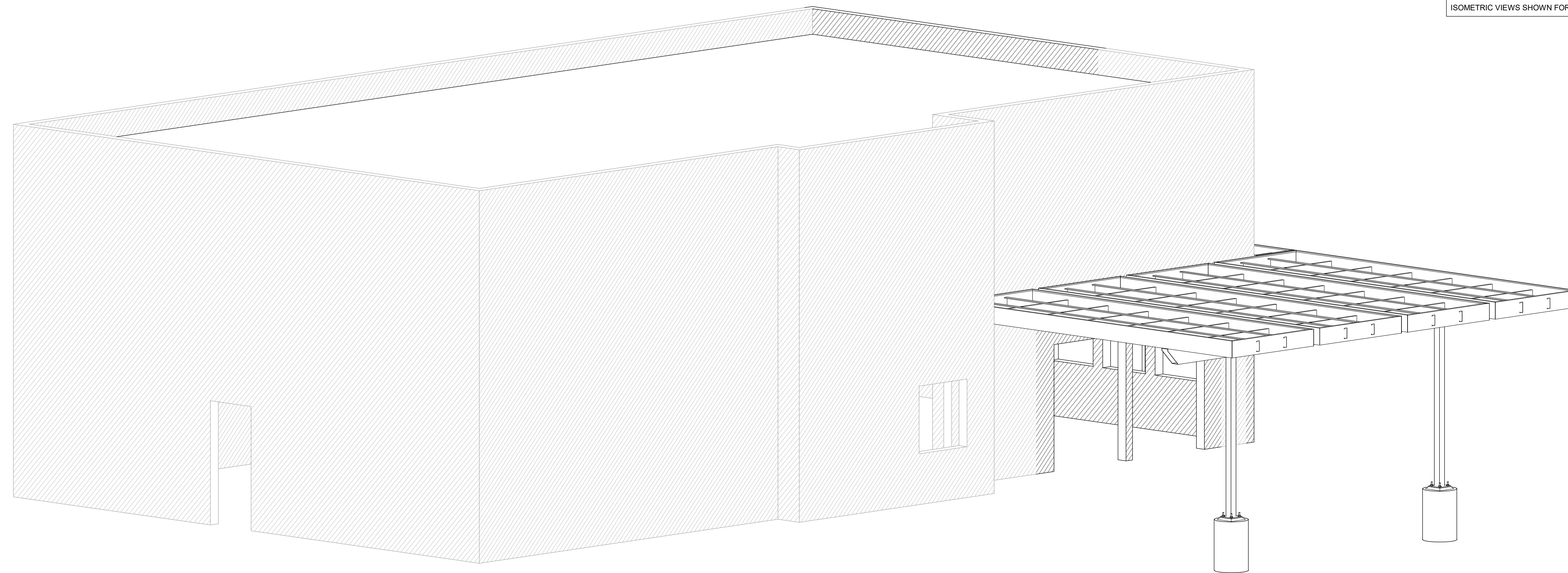
DATE: AUGUST 15, 2024





1 FRONT ISOMETRIC VIEW

ISOMETRIC VIEWS SHOWN FOR REFERENCE ONLY



2 REAR ISOMETRIC VIEW



RTM ENGINEERING CONSULTANTS, LLC  
 3045 S. KANSAS EXPRESSWAY  
 SPRINGFIELD, MO 65807  
 PHONE: 417.708.9315  
 AR COA. 3006



ENGINEER OF RECORD:  
 NAME: BEN C. JENNINGS, PE  
 LICENSE NO. 14855

PROJECT NUMBER:  
 24198 78BA2

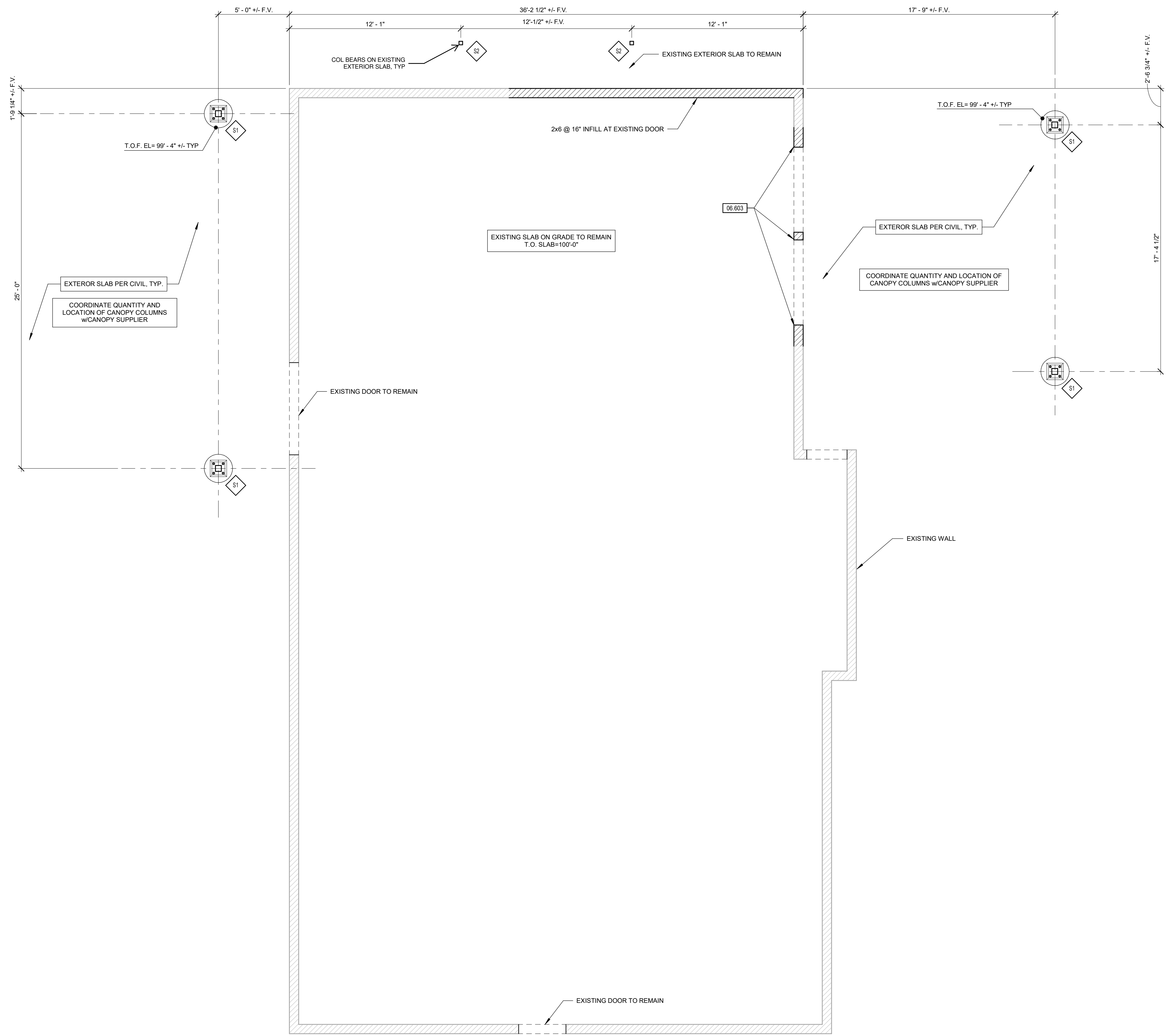
REVISION:

7 BREW COFFEE  
 BRYANT, AR #2

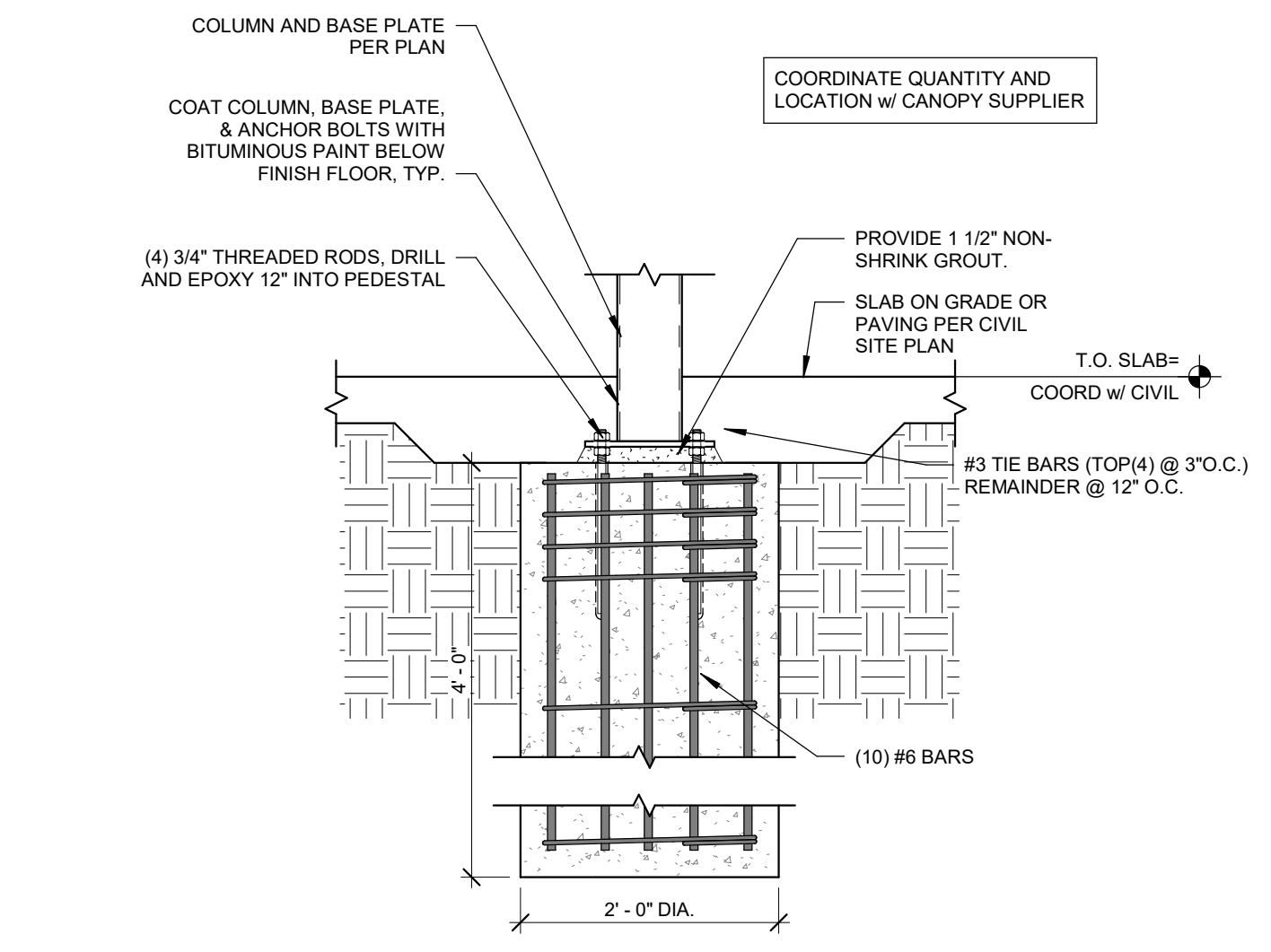
2006 N REYNOLDS ROAD  
 BRYANT, AR 72022

S0.1  
 ISOMETRIC VIEWS

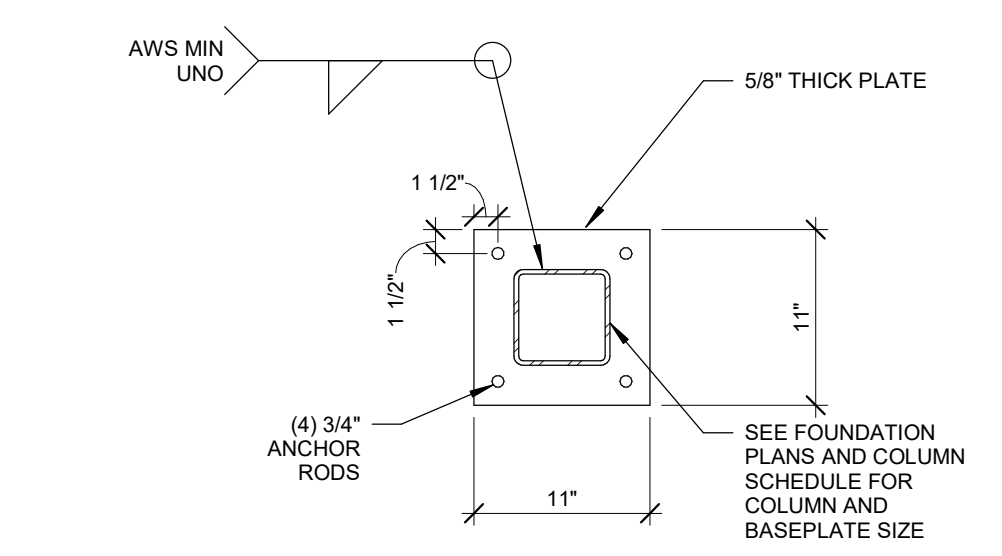
DATE: 08/15/2024



| KEYNOTE | DESCRIPTION   |
|---------|---|
| 06.603  | PROVIDE 2x6 JACK STUD BELOW EA HEADER ABOVE. PROVIDE (4) 2x6 FULL HEIGHT EA SIDE OF NEW DOOR. |



**2 CANOPY COLUMN FOOTING-RECESSED**  
3/4" = 1'-0"



**3 CANOPY BASEPLATE**  
1" = 1'-0"

| COLUMN SCHEDULE |             |                        |                    |
|-----------------|-------------|------------------------|--------------------|
| MARK            | COLUMN SIZE | BASE PLATE TYPE & SIZE | ANCHOR ROD SIZE    |
| S1              | HSS5X5X1/4  | 5/8"x11" SQ            | 3/4" DIA           |
| S2              | HSS3X3X1/4  | 5/8" x 6" SQ           | 1/2" x 3" TITAN HD |



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3045 S. KANSAS EXPRESSWAY  
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AR COA. 3006



ENGINEER OF RECORD:  
NAME: BEN C. JENNINGS, PE  
LICENSE NO. 14855

PROJECT NUMBER:  
24198 78BA2

REVISION:

7 BREW COFFEE  
BRYANT, AR #2  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**S1.1**  
FOUNDATION PLAN AND  
DETAILS

DATE: 08/15/2024

**1 FOUNDATION PLAN**  
1/4" = 1'-0"

| BAR SIZE | STRAIGHT DOWEL DEVELOPMENT LENGTHS (INCHES) |    |    |          |    |    |                   |                   |                   |
|----------|---|----|----|----------|----|----|-------------------|-------------------|-------------------|
|          | TENSION                                     |    |    |          |    |    | COMPRESSION       |                   |                   |
|          | OTHER BARS                                  |    |    | TOP BARS |    |    | 3000 PSI CONCRETE | 4000 PSI CONCRETE | 5000 PSI CONCRETE |
| #3       | 17  | 15 | 13 | 22       | 19 | 17 | 9                 | 8                 | 8                 |
| #4       | 22  | 19 | 17 | 29       | 25 | 22 | 11                | 10                | 9                 |
| #5       | 28  | 24 | 22 | 36       | 31 | 28 | 14                | 12                | 12                |
| #6       | 33  | 29 | 26 | 43       | 37 | 33 | 17                | 15                | 14                |
| #7       | 48  | 42 | 37 | 63       | 54 | 49 | 20                | 17                | 16                |
| #8       | 55  | 48 | 43 | 72       | 62 | 55 | 22                | 19                | 18                |
| #9       | 62  | 54 | 48 | 81       | 70 | 63 | 25                | 22                | 21                |
| #10      | 70  | 61 | 54 | 91       | 79 | 70 | 28                | 25                | 23                |
| #11      | 78  | 67 | 60 | 101      | 87 | 78 | 31                | 27                | 25                |

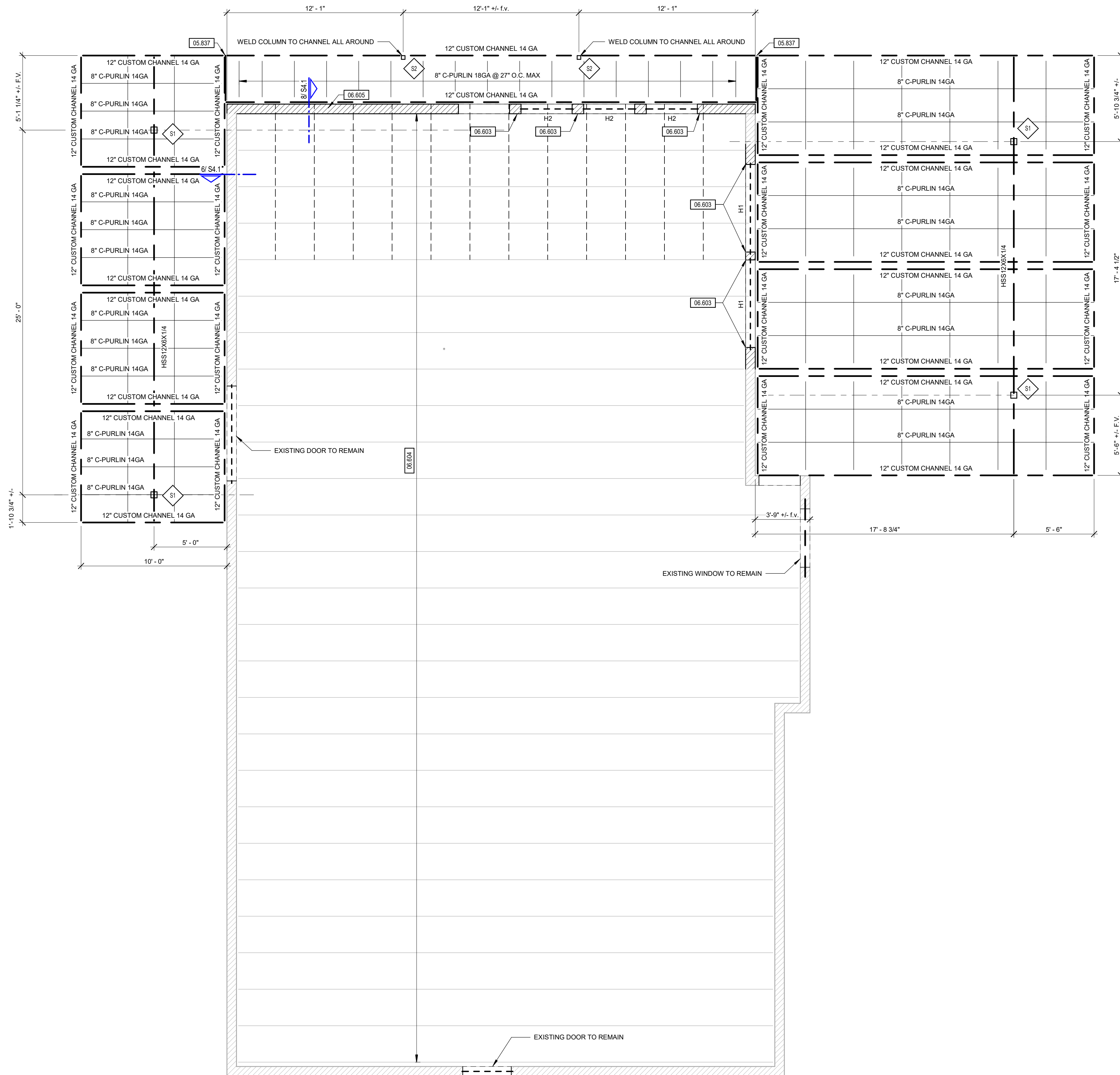
NOTES:  
1. TOP BARS ARE HORIZONTAL REINFORCEMENT PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.  
2. LAP SPLICE LENGTHS ARE BASED ON BARS SPACED AT (2) BAR DIAMETERS OR MORE ON CENTER W/ (1) BARS DIAMETER MINIMUM ON CONCRETE COVER. NOTIFY ENGINEER IF SPACING IS LESS THAN (2) BAR DIAMETERS.

| BAR SIZE | LAP SPLICE LENGTHS (INCHES) |    |    |          |     |     |                   |
|----------|-----------------------------|----|----|----------|-----|-----|-------------------|
|          | TENSION (CLASS B SPLICE)    |    |    |          |     |     | COMPRESSION       |
|          | OTHER BARS                  |    |    | TOP BARS |     |     | 3000 PSI CONCRETE |
| #3       | 22                          | 19 | 17 | 28       | 24  | 22  | 12                |
| #4       | 29                          | 25 | 22 | 37       | 32  | 29  | 15                |
| #5       | 36                          | 31 | 28 | 47       | 40  | 36  | 19                |
| #6       | 43                          | 37 | 33 | 56       | 48  | 43  | 23                |
| #7       | 63                          | 54 | 49 | 81       | 70  | 63  | 27                |
| #8       | 72                          | 62 | 55 | 93       | 80  | 72  | 30                |
| #9       | 81                          | 70 | 63 | 105      | 91  | 81  | 34                |
| #10      | 91                          | 79 | 70 | 118      | 102 | 91  | 38                |
| #11      | 101                         | 87 | 78 | 131      | 113 | 101 | 43                |

NOTES:  
1. TOP BARS ARE HORIZONTAL REINFORCEMENT PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.  
2. LAP SPLICE LENGTHS ARE BASED ON BARS SPACED AT (2) BAR DIAMETERS OR MORE ON CENTER W/ (1) BAR DIAMETER MINIMUM OF CONCRETE COVER. NOTIFY ENGINEER IF SPACING IS LESS THAN (2) BAR DIAMETERS.

| BAR SIZE | HOOKED DOWEL DEVELOPMENT LENGTHS IN TENSION (INCHES) |                   |                   |             |              |                                 |
|----------|--|-------------------|-------------------|-------------|--------------|---------------------------------|
|          | EMBEDMENT  |                   |                   | EXTENSION   |              | MINIMUM RADIUS OF BEND (INCHES) |
|          | 3000 PSI CONCRETE                                    | 4000 PSI CONCRETE | 5000 PSI CONCRETE | 90 DEG HOOK | 180 DEG HOOK |                                 |
| #3       | 8  | 7                 | 6                 | 4.5         | 2.5          | 1.50                            |
| #4       | 11   | 9                 | 8                 | 6.0         | 2.5          | 2.00                            |
| #5       | 14   | 12                | 11                | 7.5         | 2.5          | 2.50                            |
| #6       | 16   | 14                | 13                | 9.0         | 3.0          | 3.00                            |
| #7       | 19   | 17                | 15                | 10.5        | 3.5          | 3.50                            |
| #8       | 22   | 19                | 17                | 12.0        | 4.0          | 4.00                            |
| #9       | 25   | 21                | 19                | 13.5        | 4.5          | 5.64                            |
| #10      | 28   | 24                | 22                | 15.2        | 5.1          | 6.35                            |
| #11      | 31   | 27                | 24                | 16.9        | 5.6          | 7.05                            |

NOTES:  
1. TOP BARS ARE HORIZONTAL REINFORCEMENT PLACED SO THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE REINFORCEMENT.  
2. LAP SPLICE LENGTHS ARE BASED ON BARS SPACED AT (2) BAR DIAMETERS OR MORE ON CENTER W/ (1) BAR DIAMETER MINIMUM OF CONCRETE COVER. NOTIFY ENGINEER IF SPACING IS LESS THAN (2) BAR DIAMETERS.



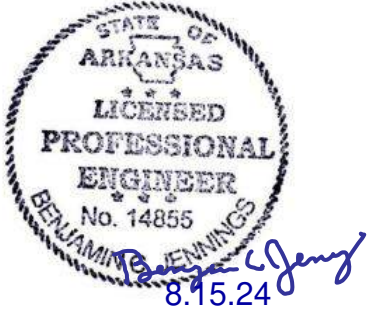
| MARK | COLUMN SIZE | BASE PLATE TYPE & SIZE | ANCHOR ROD SIZE    |
|------|-------------|------------------------|--------------------|
| S1   | HSS5X5X1/4  | 5/8"x11" SQ            | 3/4" DIA           |
| S2   | HSS3X3X1/4  | 5/8" x 6" SQ           | 1/2" x 3" TITAN HD |

| KEYNOTE | DESCRIPTION   |
|---------|---|
| 05.637  | 12" CUSTOM CHANNEL 14GA. PROVIDE (12) #12 SELF DRILLING SCREWS AT BACK-TO-BACK CHANNELS.                                |
| 06.603  | PROVIDE 2x8 JACK STUD BELOW EA HEADER ABOVE. PROVIDE (4) 2x8 FULL HEIGHT EA SIDE OF NEW DOOR.                           |
| 06.604  | EXISTING ROOF TRUSSES, SHOWN HERE ONLY FOR CLARITY.   |
| 06.605  | PROVIDE NEW 2x8 PARAPET STUD SISTERED TO EA EXISTING STUD AT PARAPET EXTENSION. SEE DETAIL 6/S4/1 FOR MORE INFORMATION. |

| TYPE MARK | Description              |
|-----------|--------------------------|
| H1        | (3) 1 3/4" x 11 7/8" LVL |
| H2        | (3) 2x8                  |



**rtm** ENGINEERING CONSULTANTS, LLC  
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 SPRINGFIELD, MO 65807  
 PHONE: 417.708.9315  
 AR COA. 3006



ENGINEER OF RECORD:  
 NAME: BEN C. JENNINGS, PE  
 LICENSE NO. 14855

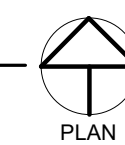
PROJECT NUMBER:  
 24198 78BA2

REVISION:

**7 BREW COFFEE  
 BRYANT, AR #2**

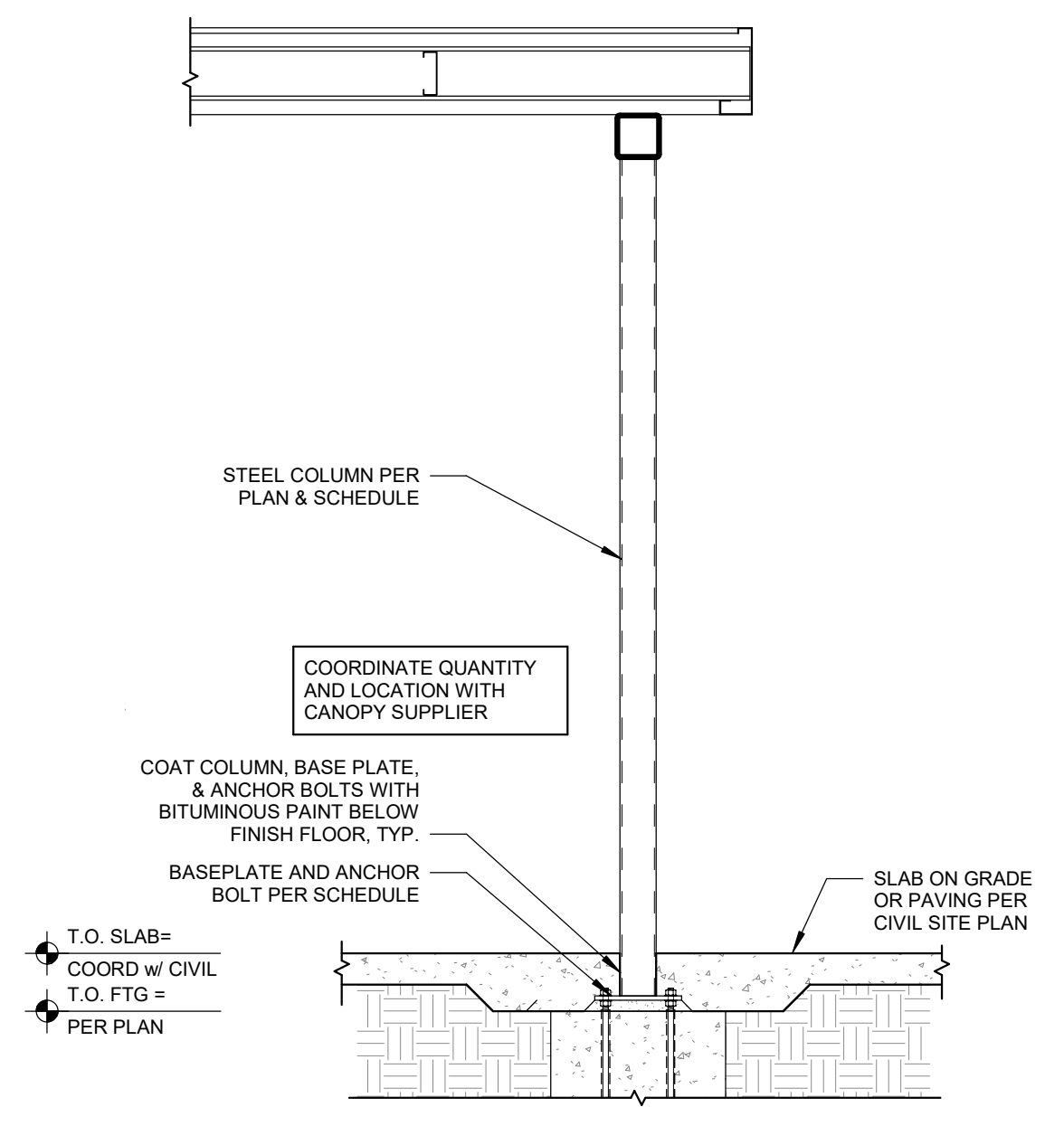
**2006 N REYNOLDS ROAD  
 BRYANT, AR 72022**

**1 CANOPY ADDITION FRAMING PLAN**  
 1/4" = 1'-0"

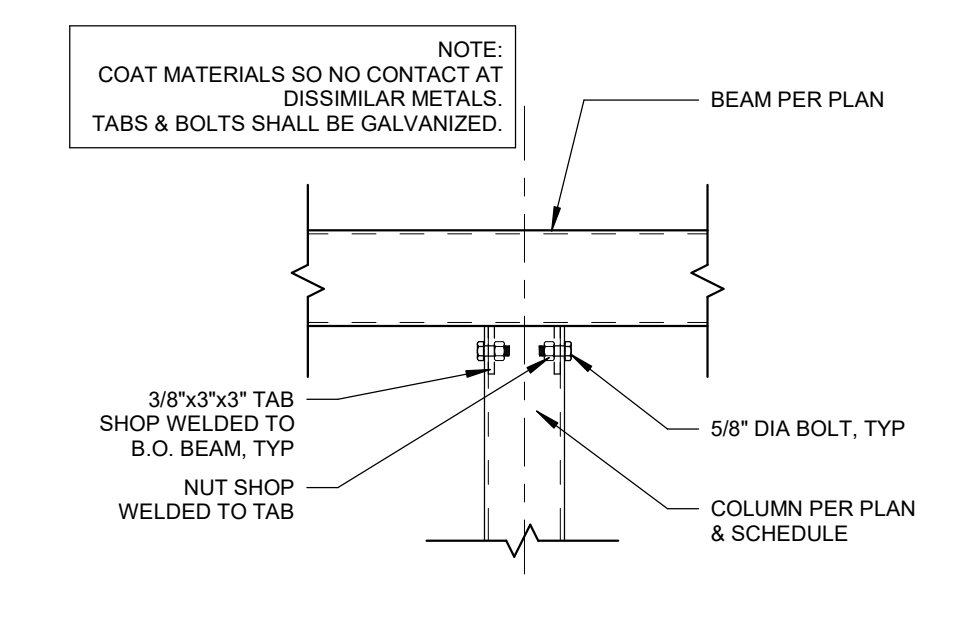


**S3.1**  
 DRIVE-THRU CANOPY

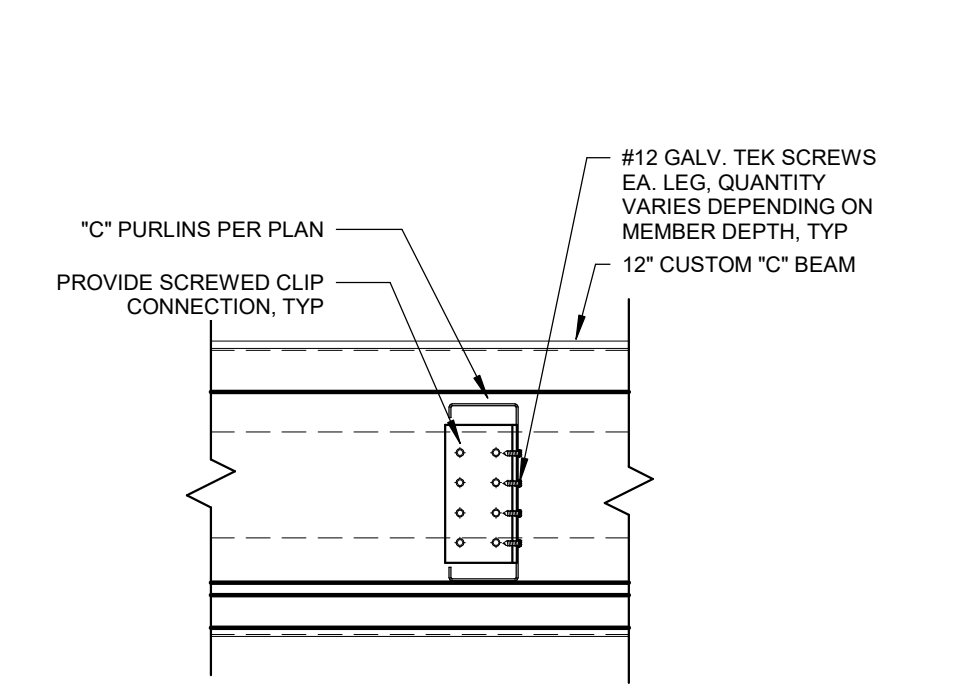
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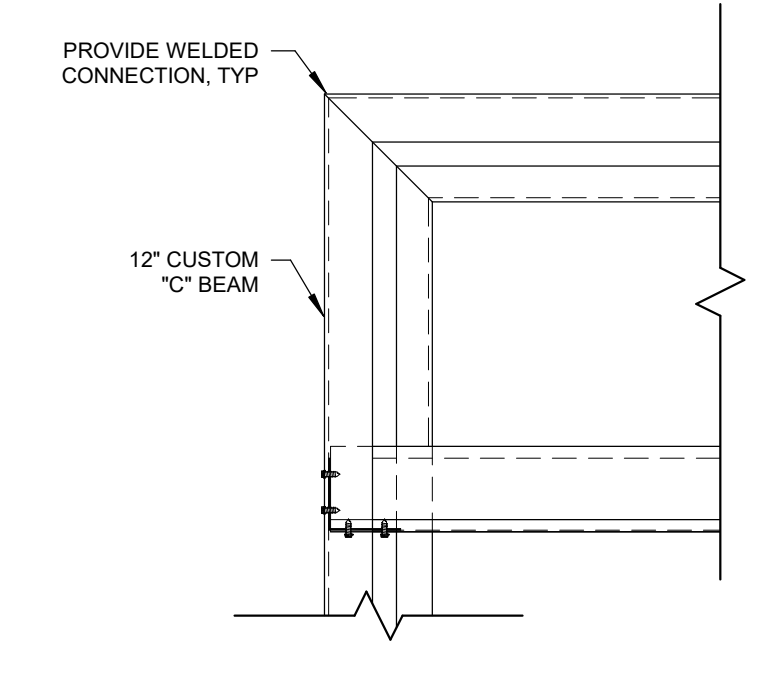
1 SECTION AT COLUMN  
1/2" = 1'-0"



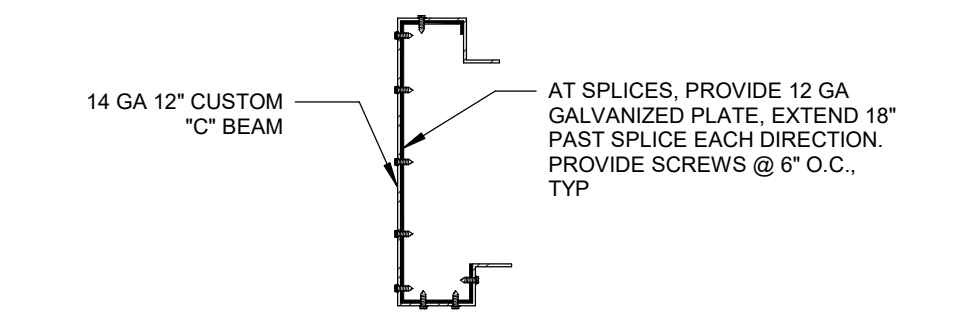
2 SECTION AT COLUMN CAP  
1" = 1'-0"



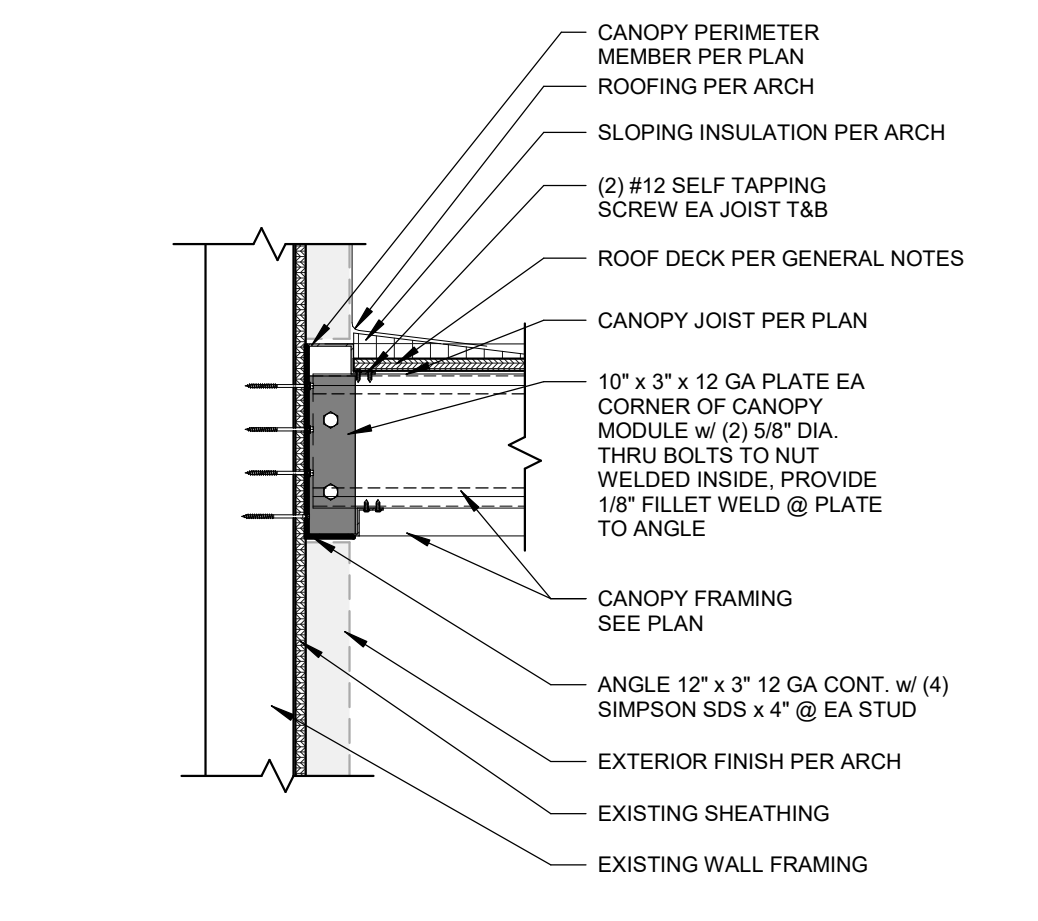
3 "C" PURLIN ATTACHMENT  
1 1/2" = 1'-0"



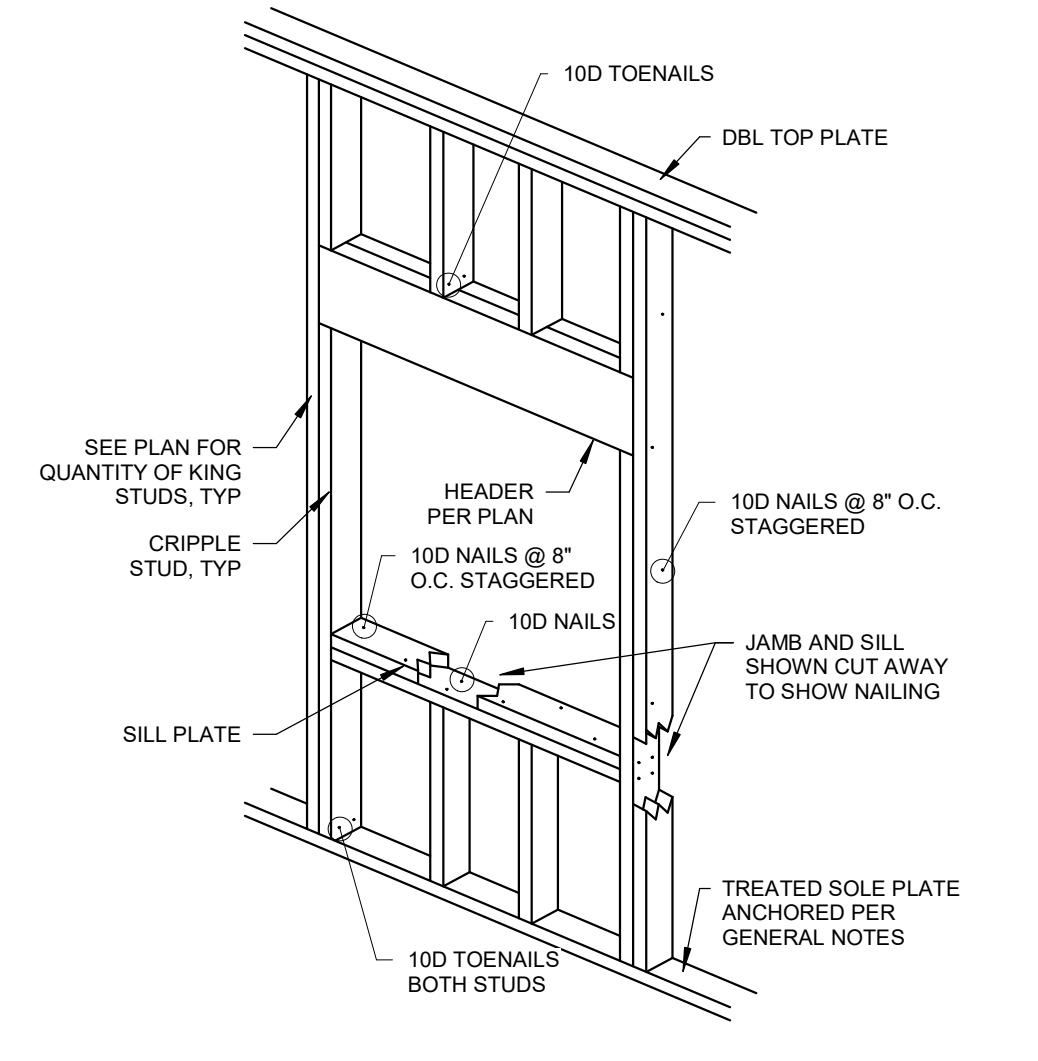
4 DETAIL AT CORNER  
1 1/2" = 1'-0"



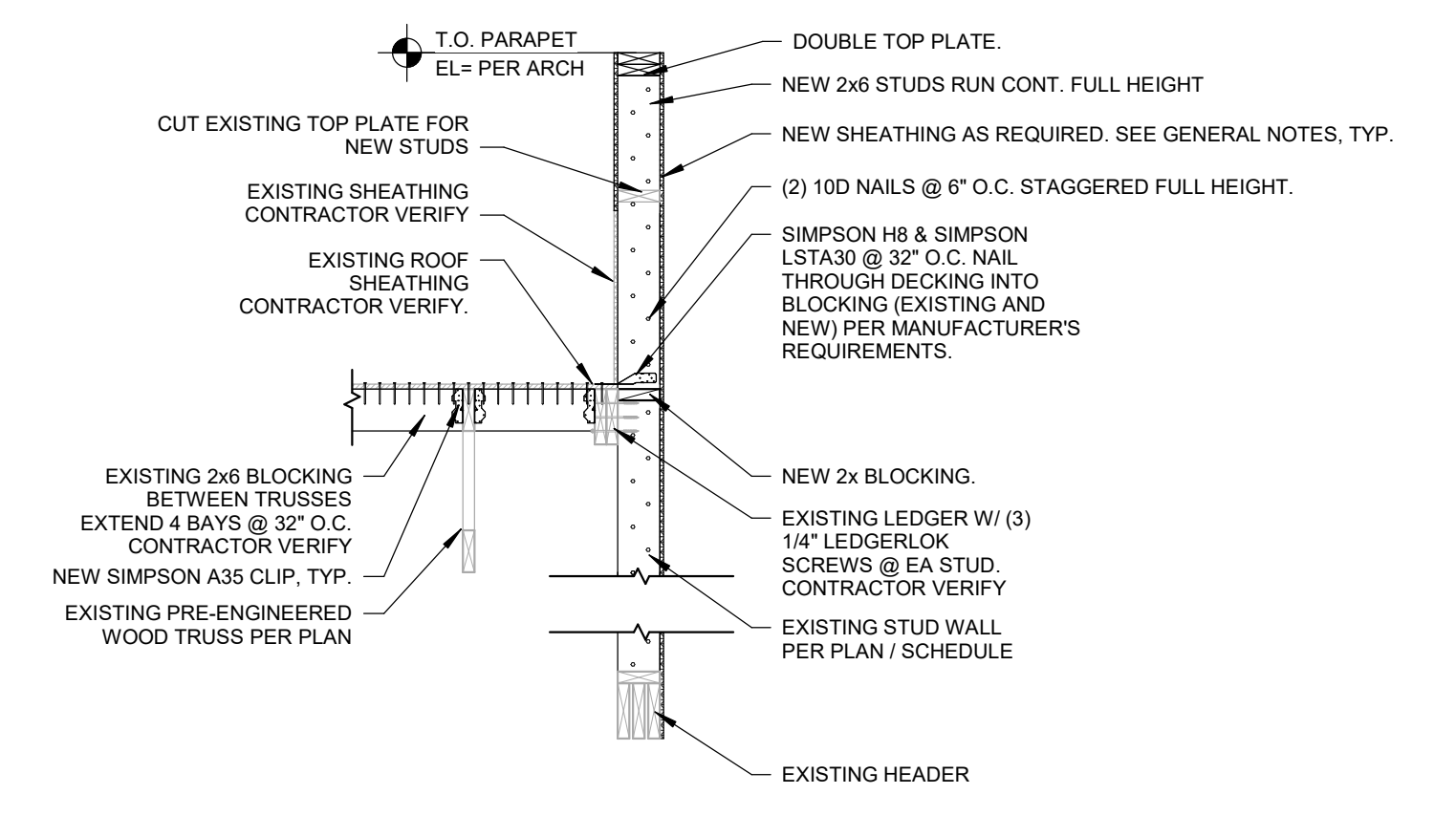
5 CUSTOM SECTION @ CANOPY  
1 1/2" = 1'-0"



6 SECTION AT LOW CANOPY  
1" = 1'-0"

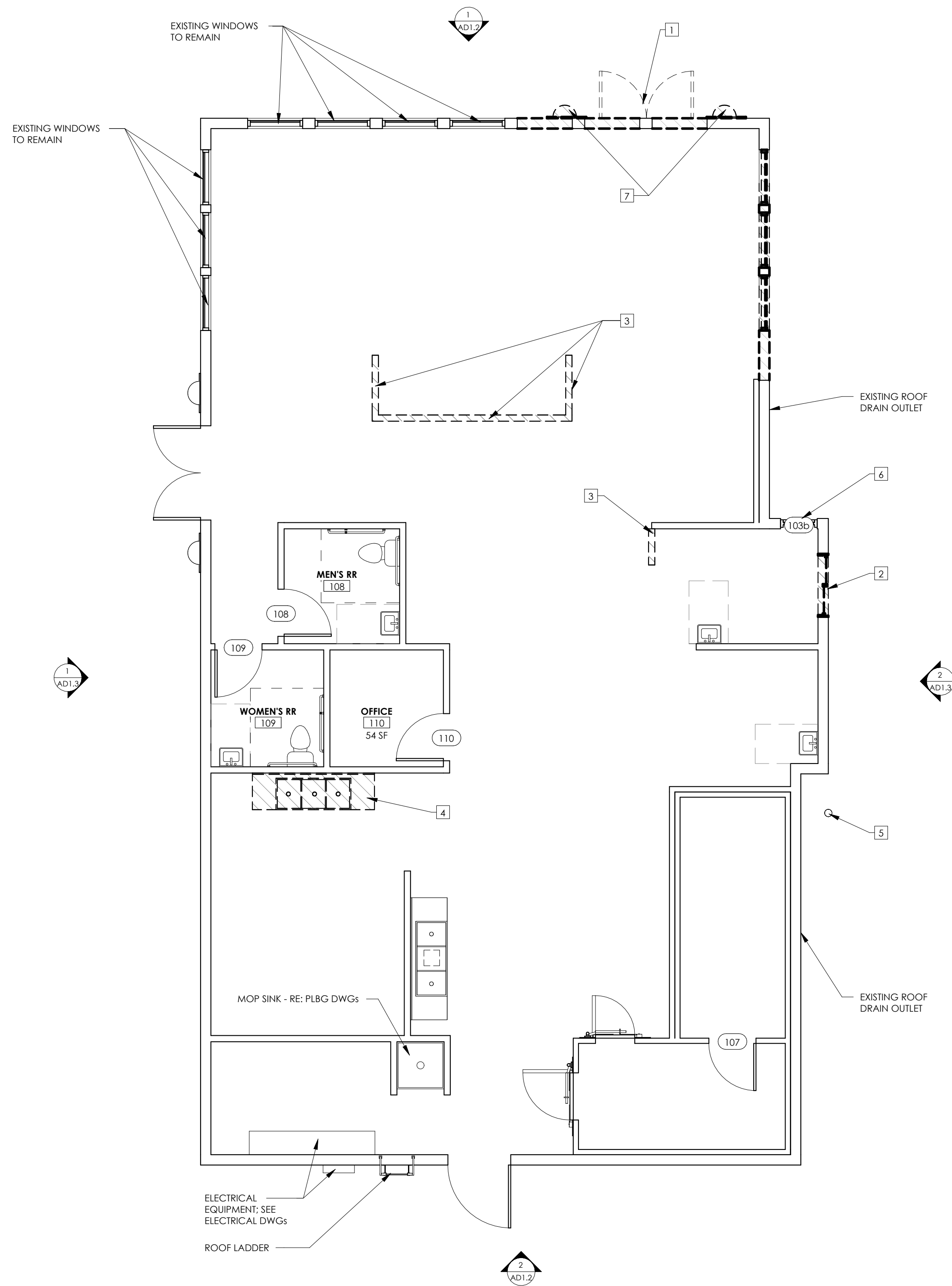


7 TYPICAL HEADER DETAIL  
1/2" = 1'-0"

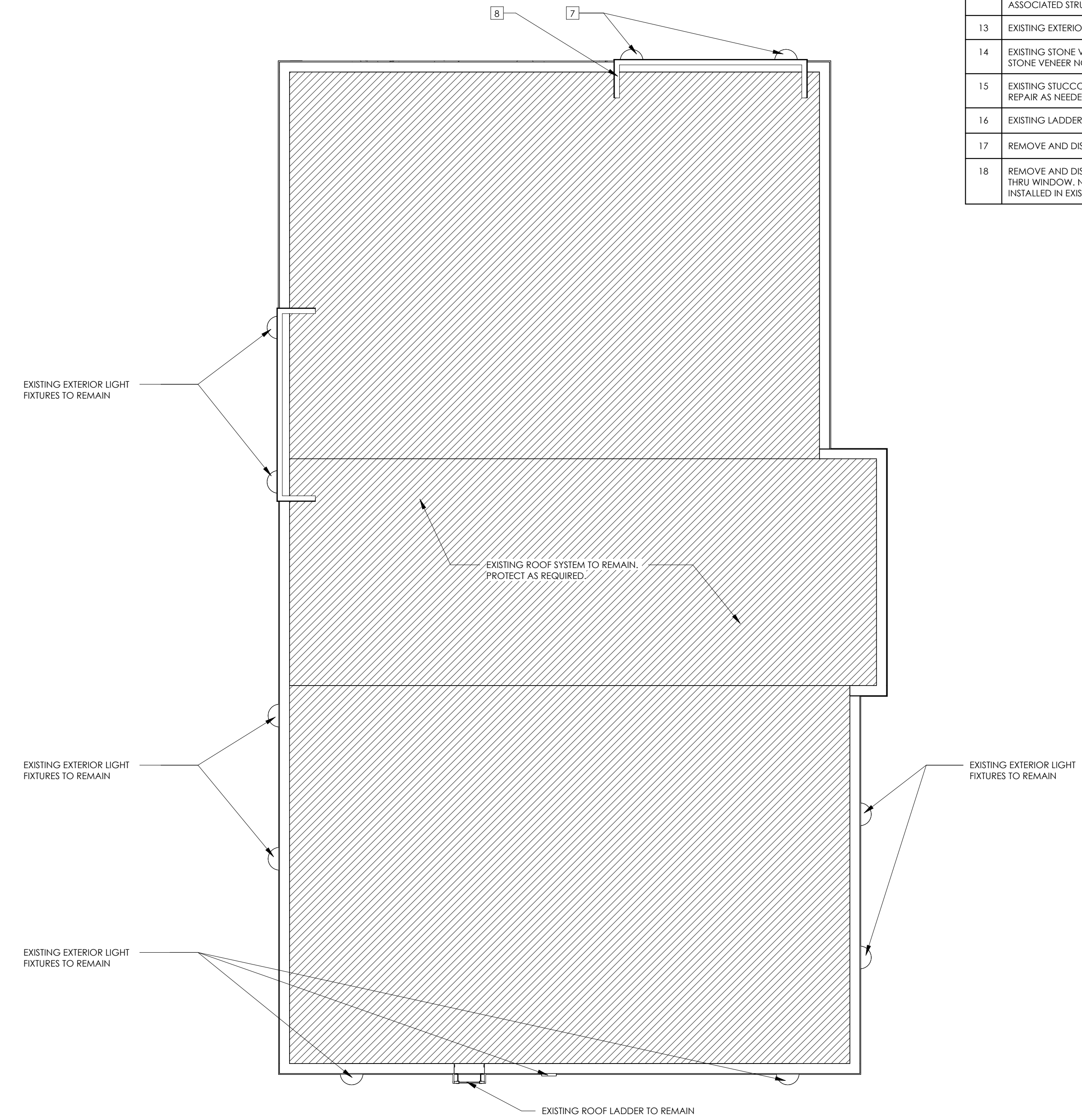


8 END WALL FRAMING  
1/2" = 1'-0"



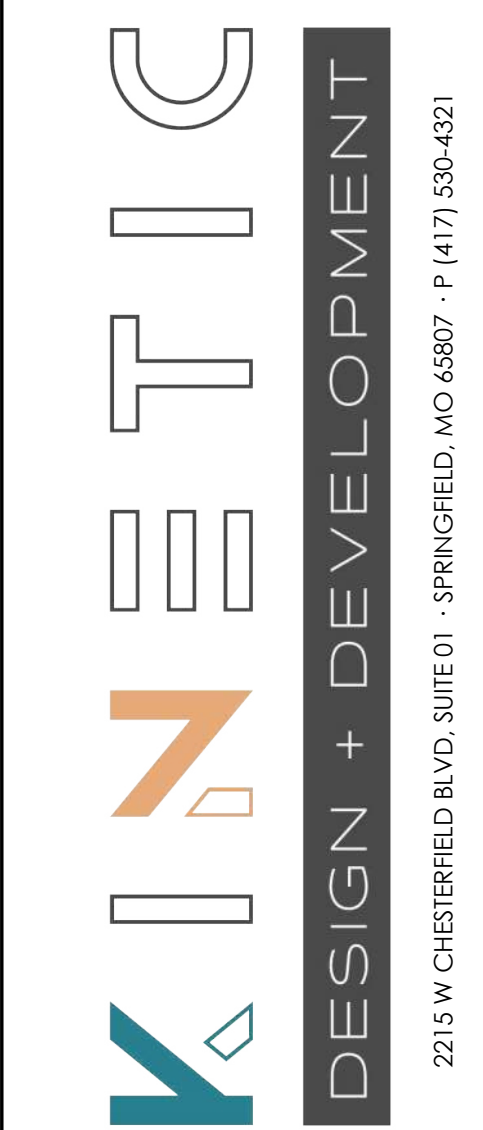


1 DEMOLITION FLOOR PLAN  
3/16" = 1'-0"

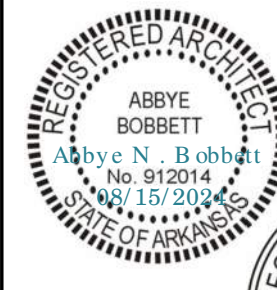


2 DEMOLITION ROOF PLAN  
3/16" = 1'-0"

| DEMOLITION KEYNOTES |  |
|---------------------|--|
| TAG NO.             | DESCRIPTION  |
| 1                   | REMOVE AND DISCARD EXISTING DOOR.  |
| 2                   | REMOVE AND DISCARD SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN PLACE.  |
| 3                   | REMOVE AND DISCARD EXISTING WALLS.   |
| 4                   | REMOVE AND DISCARD EXISTING FIXTURE.   |
| 5                   | EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED.   |
| 6                   | LOCK AND REMOVE HARDWARE. PRIVACY FILM TO BE APPLIED TO GLAZING.   |
| 7                   | REMOVE AND DISCARD EXISTING LIGHT FIXTURE. CAP EXISTING ELECTRICAL JUNCTION BOXES AS NEEDED AND PAINT TO MATCH ADJACENT WALL.  |
| 8                   | REMOVE AND DISCARD EXISTING FINISH ON PARAPET PORTION TO EXISTING STUD/SHEATHING TO ALLOW FOR NEW CONSTRUCTION. REFER TO STRUCTURAL FOR ADDITIONAL SUPPORT REQUIRED. |
| 9                   | REMOVE AND DISCARD EXISTING CANOPY AND TIE RODS. PATCH AND REPAIR WALL BEHIND.   |
| 10                  | REMOVE AND DISCARD PORTION OF EXISTING WALL TO ALLOW FOR CONSTRUCTION OF NEW WINDOW OPENING AS SHOWN ON A1.1 AND A2.1  |
| 11                  | REMOVE AND DISCARD EXISTING WALL SIGNAGE   |
| 12                  | REMOVE AND DISCARD EXISTING CO2 TANK AND ASSOCIATED STRUCTURES   |
| 13                  | EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN  |
| 14                  | EXISTING STONE VENEER TO REMAIN. REFER TO STONE VENEER NOTE  |
| 15                  | EXISTING STUCCO TO REMAIN. CLEAN, PATCH AND REPAIR AS NEEDED.  |
| 16                  | EXISTING LADDER TO REMAIN  |
| 17                  | REMOVE AND DISCARD EXISTING WINDOW   |
| 18                  | REMOVE AND DISCARD EXISTING SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN EXISTING OPENING.  |



FIRM LICENSE NO. 24353



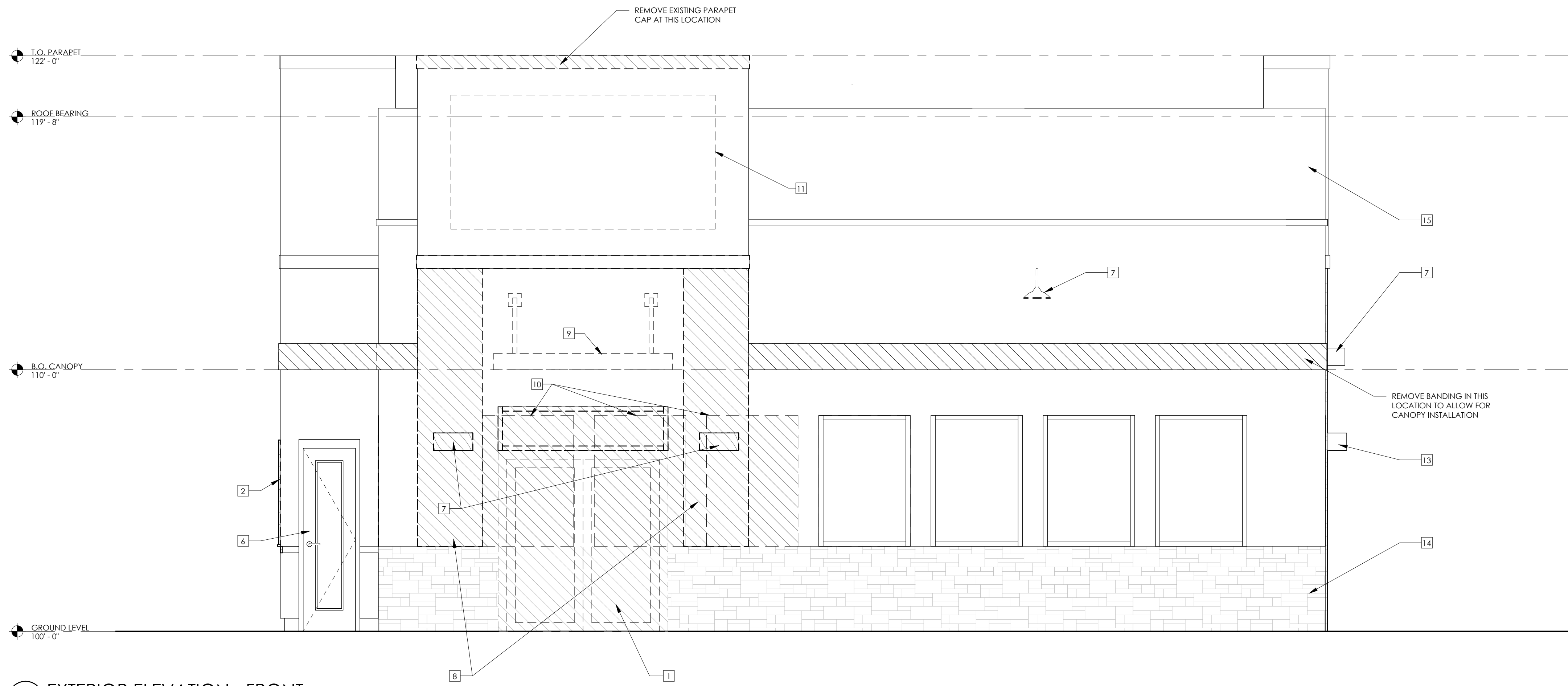
ARCHITECT OF RECORD:  
NAME: ABBYE BOBBITT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2  
REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**AD1.1**  
ARCHITECTURAL DEMOLITION

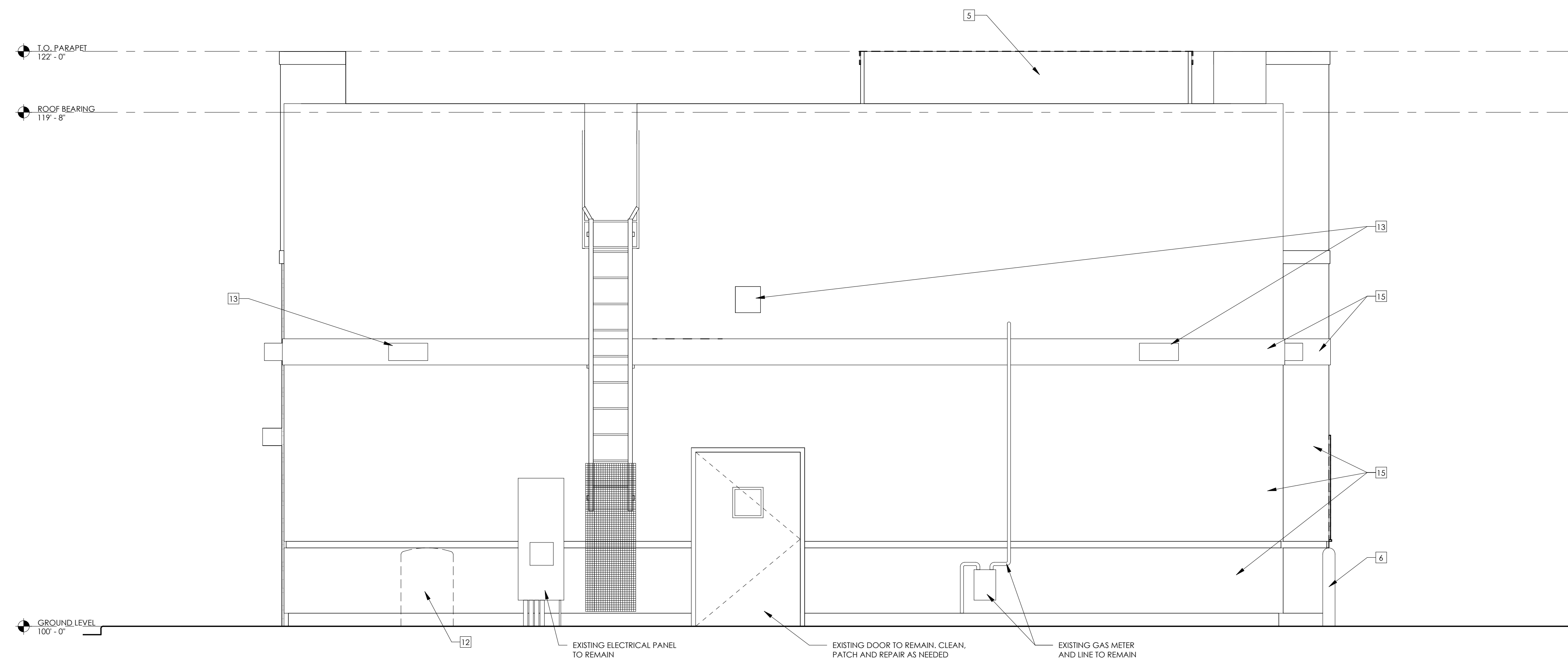
DATE: AUGUST 15, 2024



1 EXTERIOR ELEVATION - FRONT  
3/8" = 1'-0"

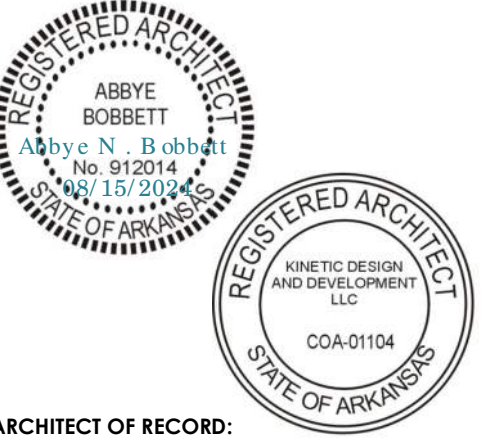
| DEMOLITION KEYNOTES |  |
|---------------------|--|
| TAG NO.             | DESCRIPTION  |
| 1                   | REMOVE AND DISCARD EXISTING DOOR.  |
| 2                   | REMOVE AND DISCARD SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN PLACE.  |
| 3                   | REMOVE AND DISCARD EXISTING WALLS.   |
| 4                   | REMOVE AND DISCARD EXISTING FIXTURE.   |
| 5                   | EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED.   |
| 6                   | LOCK AND REMOVE HARDWARE. PRIVACY FILM TO BE APPLIED TO GLAZING.   |
| 7                   | REMOVE AND DISCARD EXISTING LIGHT FIXTURE. CAP EXISTING ELECTRICAL JUNCTION BOXES AS NEEDED AND PAINT TO MATCH ADJACENT WALL.  |
| 8                   | REMOVE AND DISCARD EXISTING FINISH ON PARAPET PORTION TO EXISTING STUD/SHEATHING TO ALLOW FOR NEW CONSTRUCTION. REFER TO STRUCTURAL FOR ADDITIONAL SUPPORT REQUIRED. |
| 9                   | REMOVE AND DISCARD EXISTING CANOPY AND TIE RODS. PATCH AND REPAIR WALL BEHIND.   |
| 10                  | REMOVE AND DISCARD PORTION OF EXISTING WALL TO ALLOW FOR CONSTRUCTION OF NEW WINDOW OPENING AS SHOWN ON A1.1 AND A2.1  |
| 11                  | REMOVE AND DISCARD EXISTING WALL SIGNAGE.  |
| 12                  | REMOVE AND DISCARD EXISTING CO2 TANK AND ASSOCIATED STRUCTURES   |
| 13                  | EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN  |
| 14                  | EXISTING STUCCO TO REMAIN. CLEAN, PATCH AND REPAIR AS NEEDED.  |
| 15                  | EXISTING LADDER TO REMAIN  |
| 16                  | REMOVE AND DISCARD EXISTING WINDOW   |
| 17                  | REMOVE AND DISCARD EXISTING SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN EXISTING OPENING.  |
| 18                  | REMOVE AND DISCARD EXISTING WINDOW   |

**STONE VENEER NOTE:**  
STONE VENEER EXISTING TO REMAIN. ANY LOCATIONS WHERE STONE IS TO BE REMOVED, IT IS TO BE USED TO REPAIR ANY FAILING LOCATIONS THAT ARE TO REMAIN. CONTRACTOR TO CHECK AND ENSURE ANY LOOSE STONES ARE SECURED.



2 EXTERIOR ELEVATION - BACK  
3/8" = 1'-0"

FIRM LICENSE NO. 24353



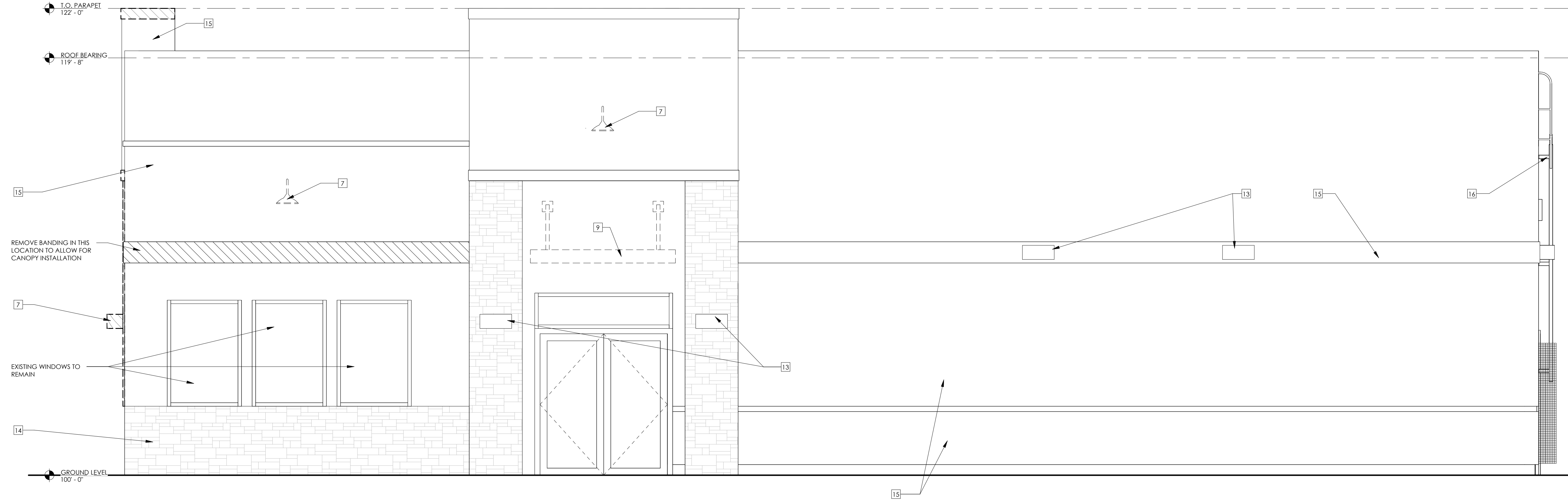
ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2  
REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
 2006 N REYNOLDS ROAD  
 BRYANT, AR 72022

**AD1.2**  
ARCHITECTURAL DEMOLITION

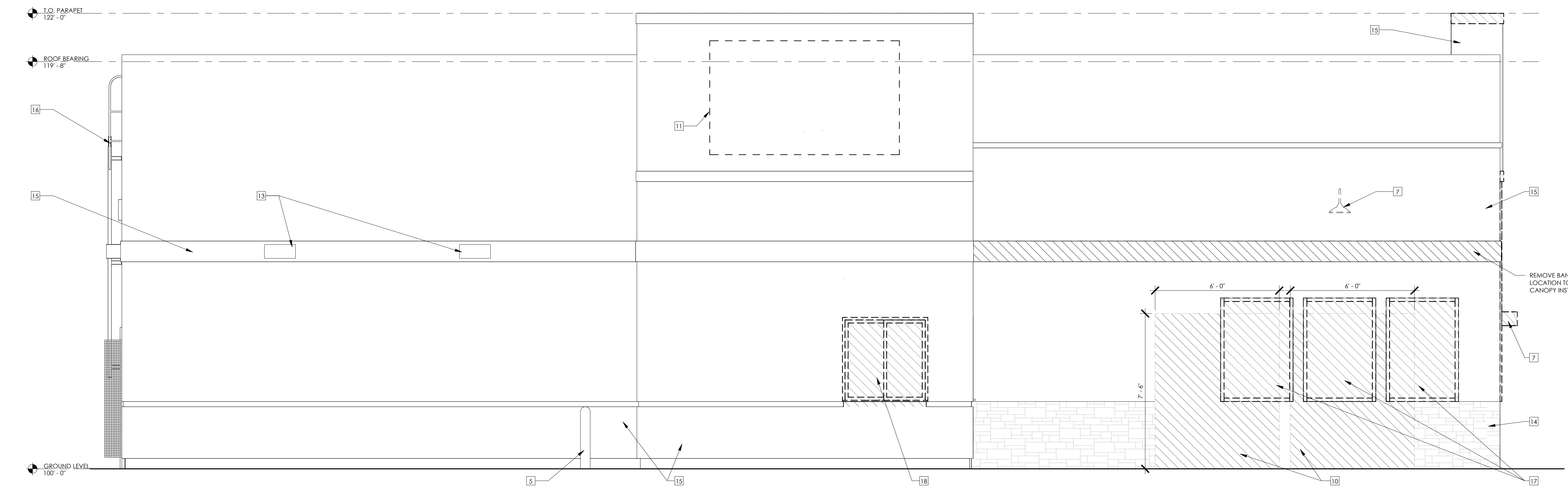
DATE: AUGUST 15, 2024



1 EXTERIOR ELEVATION - RIGHT SIDE  
3/8" = 1'-0"

| DEMOLITION KEYNOTES |  |
|---------------------|--|
| TAG NO.             | DESCRIPTION  |
| 1                   | REMOVE AND DISCARD EXISTING DOOR.  |
| 2                   | REMOVE AND DISCARD SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN PLACE.  |
| 3                   | REMOVE AND DISCARD EXISTING WALLS.   |
| 4                   | REMOVE AND DISCARD EXISTING FIXTURE.   |
| 5                   | EXISTING BOLLARD TO REMAIN. PROTECT AS REQUIRED.   |
| 6                   | LOCK AND REMOVE HARDWARE. PRIVACY FILM TO BE APPLIED TO GLAZING.   |
| 7                   | REMOVE AND DISCARD EXISTING LIGHT FIXTURE. CAP EXISTING ELECTRICAL JUNCTION BOXES AS NEEDED AND PAINT TO MATCH ADJACENT WALL.  |
| 8                   | REMOVE AND DISCARD EXISTING FINISH ON PARAPET PORTION TO EXISTING STUD/SHEATHING TO ALLOW FOR NEW CONSTRUCTION. REFER TO STRUCTURAL FOR ADDITIONAL SUPPORT REQUIRED. |
| 9                   | REMOVE AND DISCARD EXISTING CANOPY AND TIE RODS. PATCH AND REPAIR WALL BEHIND.   |
| 10                  | REMOVE AND DISCARD PORTION OF EXISTING WALL TO ALLOW FOR CONSTRUCTION OF NEW WINDOW OPENING AS SHOWN ON A1.1 AND A2.1  |
| 11                  | REMOVE AND DISCARD EXISTING WALL SIGNAGE   |
| 12                  | REMOVE AND DISCARD EXISTING CO2 TANK AND ASSOCIATED STRUCTURES   |
| 13                  | EXISTING EXTERIOR LIGHT FIXTURE TO REMAIN  |
| 14                  | EXISTING STONE VENEER TO REMAIN. REFER TO STONE VENEER NOTE  |
| 15                  | EXISTING STUCCO TO REMAIN. CLEAN, PATCH AND REPAIR AS NEEDED.  |
| 16                  | EXISTING LADDER TO REMAIN  |
| 17                  | REMOVE AND DISCARD EXISTING WINDOW   |
| 18                  | REMOVE AND DISCARD EXISTING SLIDING DRIVE THRU WINDOW. NEW STOREFRONT WINDOW TO BE INSTALLED IN EXISTING OPENING.  |

**STONE VENEER NOTE:**  
STONE VENEER EXISTING TO REMAIN. ANY LOCATIONS WHERE STONE IS TO BE REMOVED, IT IS TO BE USED TO REPAIR ANY FAILING LOCATIONS THAT ARE TO REMAIN. CONTRACTOR TO CHECK AND ENSURE ANY LOOSE STONES ARE SECURED.



2 EXTERIOR ELEVATION - LEFT SIDE  
3/8" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2

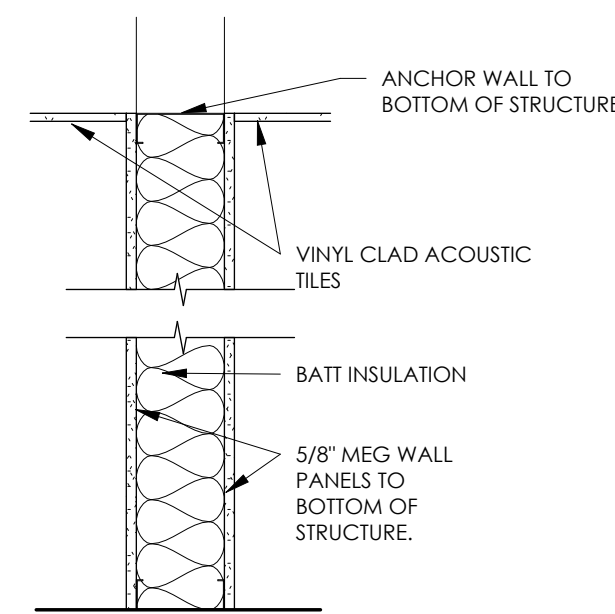
REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**AD1.3**  
ARCHITECTURAL DEMOLITION

DATE: AUGUST 15, 2024

**PARTITION TYPES**



**P1** USES 3-1/2\"/>

**ROOM FINISH SCHEDULE**

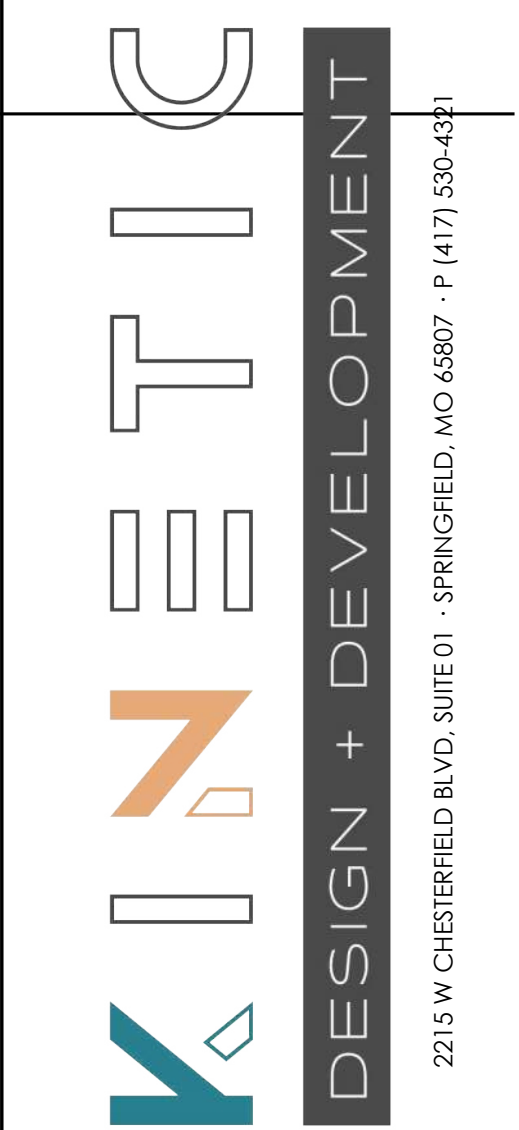
| RM NO. | RM NAME          | FLR | BASE | WALLS |      |     |      | CLG | CLG HGT |
|--------|------------------|-----|------|-------|------|-----|------|-----|---------|
|        |                  |     |      | TOP   | RT   | BOT | LT   |     |         |
| 101    | DINING ROOM      | F2  | B1   | W1/2  | W1/2 | W1  | W1/2 | C1  | VERIFY  |
| 102    | SERVICE AREA     | F1  | B1   | W1    | W1   | W1  | W1   | C1  | VERIFY  |
| 103    | BACK OF HOUSE    | F2  | B2   | W3    | W3   | W3  | W3   | C1  | VERIFY  |
| 104    | STORAGE          | F2  | B2   | W3    | W3   | W3  | W3   | C1  | VERIFY  |
| 105    | ELECTRICAL       | F2  | B2   | W3    | W3   | W3  | W3   | C1  | VERIFY  |
| 106    | COOLER           | F2  | B2   | W3    | W3   | W3  | W3   | C3  | VERIFY  |
| 107    | COOLER           | F2  | B2   | W3    | W3   | W3  | W3   | C3  | VERIFY  |
| 108    | MEN'S RESTROOM   | F2  | B2   | W3    | W3   | W3  | W3   | C2  | VERIFY  |
| 109    | WOMEN'S RESTROOM | F2  | B2   | W3    | W3   | W3  | W3   | C2  | VERIFY  |
| 110    | OFFICE           | F2  | B2   | W3    | W3   | W3  | W3   | C2  | VERIFY  |
| 111    | CORRIDOR         | F2  | B2   | W3    | W3   | W3  | W3   | C1  | VERIFY  |

**FINISH LEGEND:**

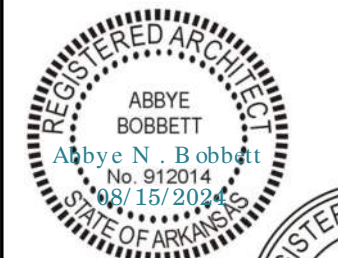
| FLOORS                      | BASE               | WALLS                     | CEILING                        |
|-----------------------------|--------------------|---------------------------|--------------------------------|
| F1 PROTECT-ALL VINYL        | B1 METAL COVE BASE | W1 MEG WALL PANELS        | C1 VINYL CLAD ACOUSTICAL TILES |
| F2 EXISTING FLOOR TO REMAIN | B2 NONE            | W2 ALUM STOREFRONT SYSTEM | C2 GYPSUM BOARD                |
|                             |                    | W3 EXPOSED STRUCTURE      | C3 EXISTING CEILING TO REMAIN  |

**NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE LANDLORDS CRITERIA PRIOR TO CONSTRUCTION. FAILURE TO ACCOUNT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM FROM ANY RESPONSIBILITY.
- CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

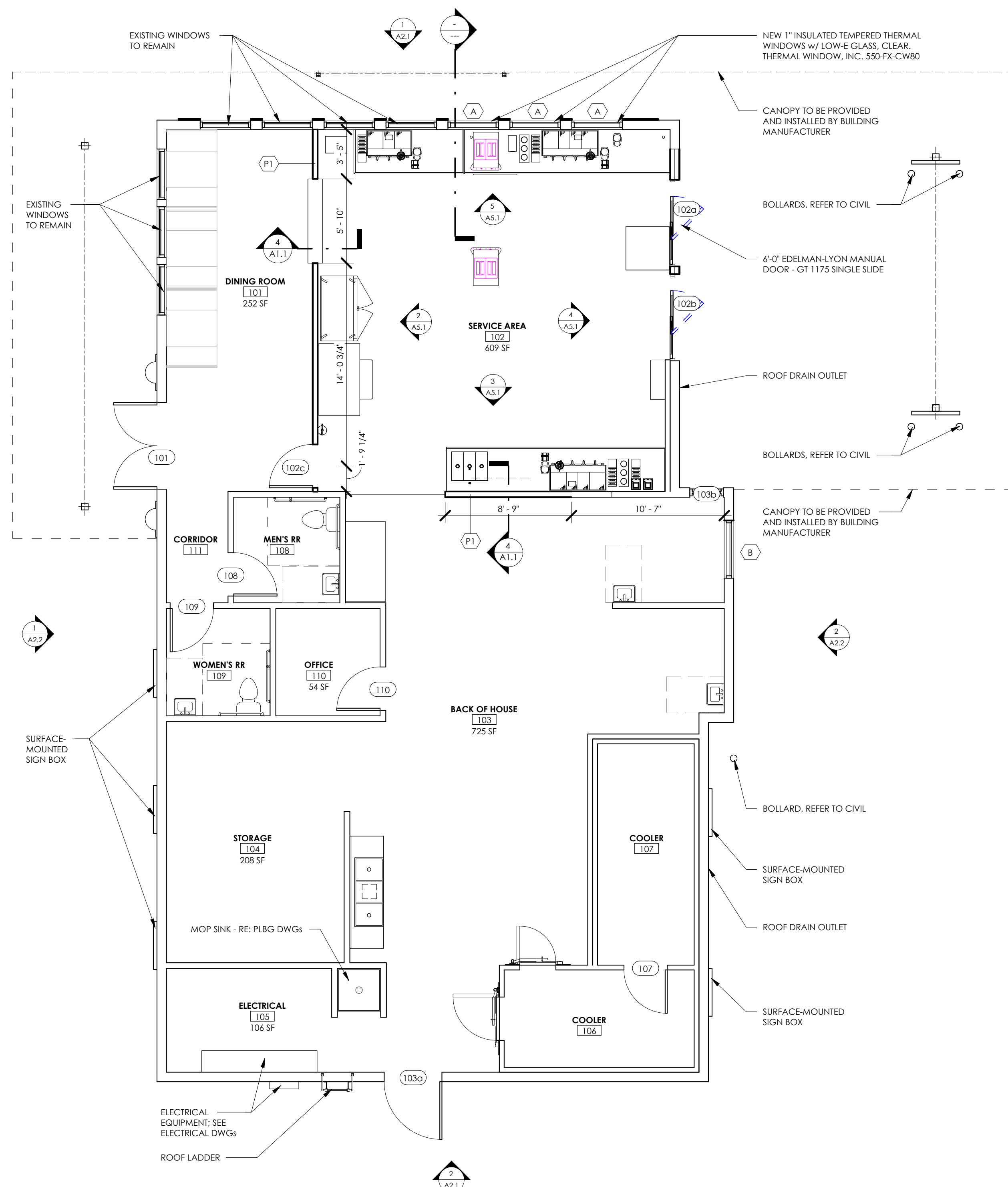


FIRM LICENSE NO. 24353

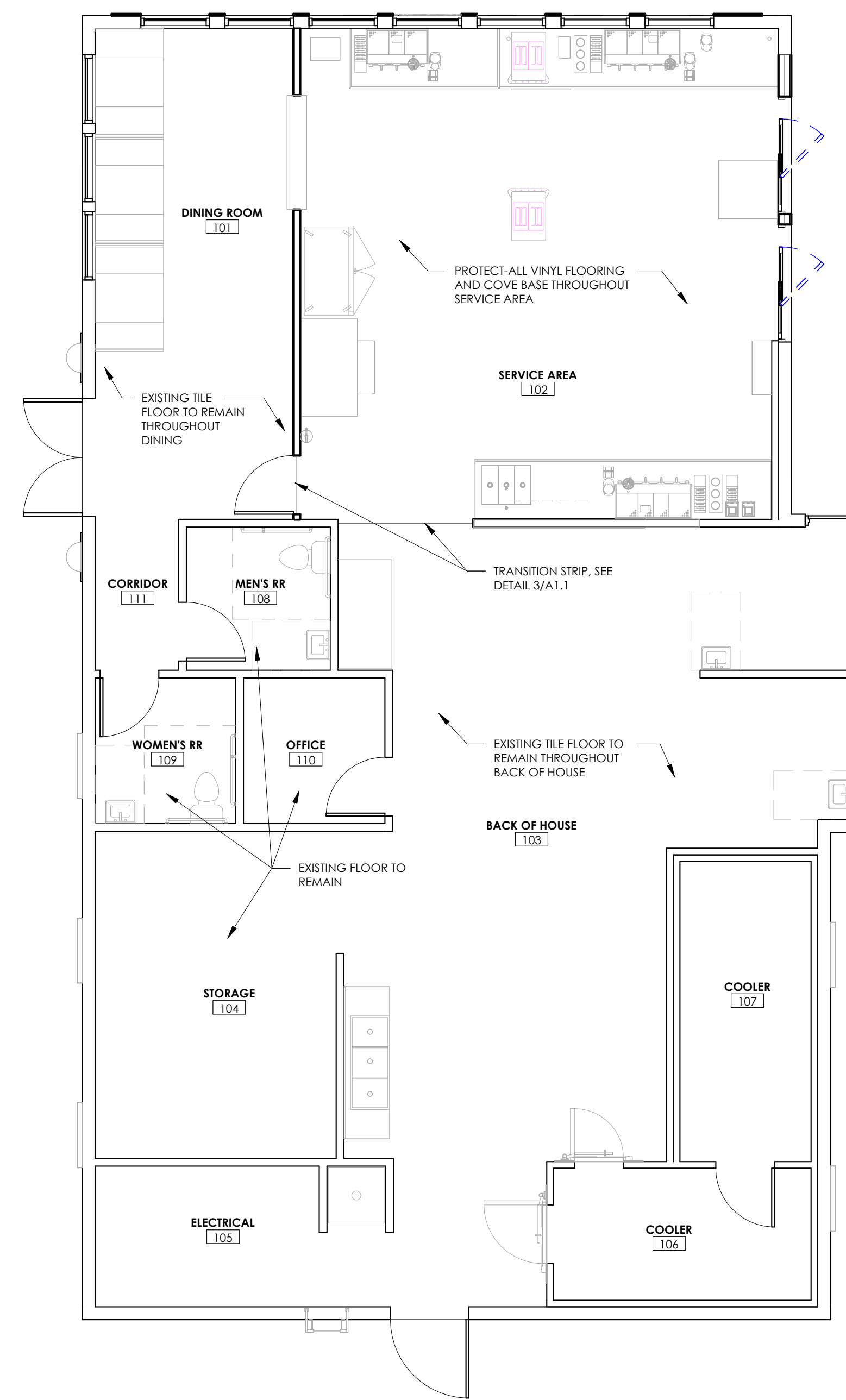


ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

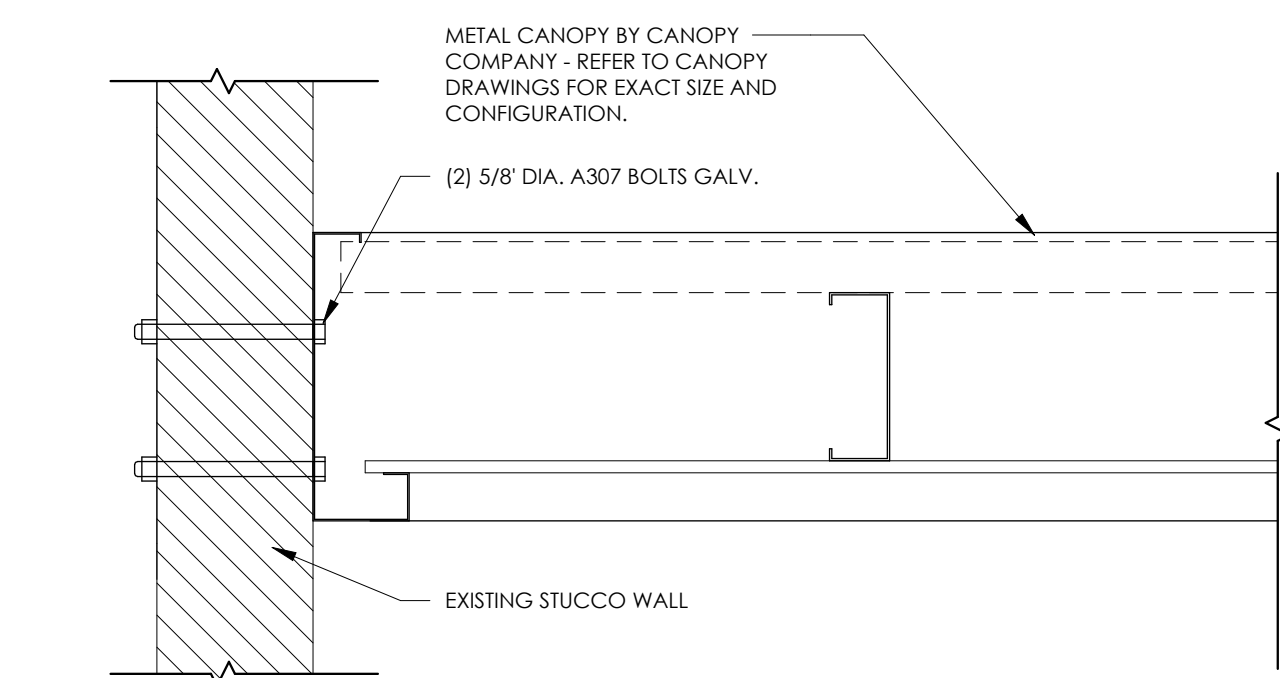
PROJECT NUMBER: 24198 78BA2  
REVISION:



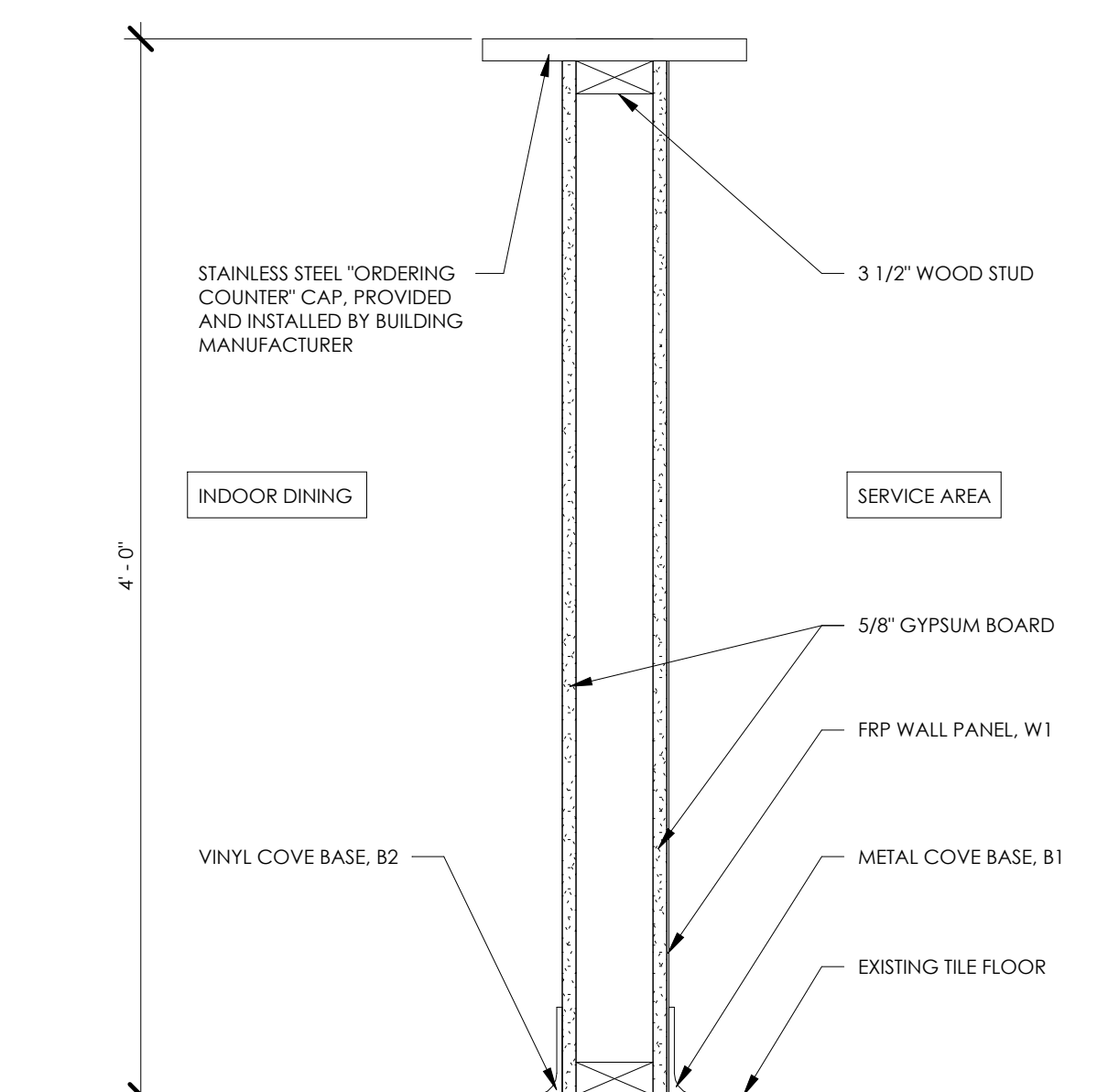
**1** GROUND LEVEL  
3/16" = 1'-0"



**2** FLOOR FINISH PLAN  
3/16" = 1'-0"



**3** DETAIL - CANOPY CONNECTION DETAIL  
1 1/2" = 1'-0"



**4** STAINLESS STEEL LEDGE DETAIL  
1 1/2" = 1'-0"

7 BREW COFFEE  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**A1.1**  
FLOOR PLANS

DATE: AUGUST 15, 2024

## EGRESS LEGEND

PATH OF EGRESS TRAVELED: 

SPACE OCCUPANCY:

|           |   |
|-----------|---|
| ROOM NAME | ROOM NAME AND NUMBER  |
| # # # SF  | ROOM AREA, SQUARE FOOTAGE                                       |
| FUNCTION  | USE GROUP PER IBC SECTION 3                                     |
| 000 OCC.  | OCCUPANCY: AREA OF SPACE/AREA ALLOWANCES PER IBC TABLE 1004.1.2 |

DOOR EXIT CAPACITY:

|                              |  |
|------------------------------|--|
| EXIT TYPE (DOOR, STAIR, ETC) | EXIT TYPE (DOOR, STAIR, ETC)   |
| DOOR EXIT                    | NUMBER OF OCCUPANTS USING THE EXIT.  |
| 000 OCC.                     | 00' REQ'D.   |
| 00' PROVIDED                 | EGRESS WIDTH REQUIRED FOR NUMBER OF OCCUPANTS USING THE EXIT PER IBC SECTION 1005. |
|                              | EGRESS WIDTH PROVIDED.   |

## EGRESS LOADING INFORMATION

OCCUPANCY LOADING CALCULATIONS PER IBC 2021: TABLE 1004.1.2

BUSINESS: 150 S.F. PER OCCUPANT  
STORAGE: 300 S.F. PER OCCUPANT  
ASSEMBLY: 15 S.F. PER OCCUPANT

| #   | ROOM          | OCCUPANCY | CALCULATION   | OCCUPANTS |
|-----|---------------|-----------|---------------|-----------|
| 101 | DINING ROOM   | ASSEMBLY  | 252 SF/15 SF  | 17        |
| 102 | SERVICE AREA  | BUSINESS  | 609 SF/150 SF | 5         |
| 103 | BACK OF HOUSE | BUSINESS  | 725 SF/150 SF | 5         |
| 104 | STORAGE       | STORAGE   | 208 SF/300 SF | 1         |
| 105 | ELECTRICAL    | STORAGE   | 106 SF/300 SF | 1         |
| 106 | COOLER        | STORAGE   | 89 SF/300 SF  | 1         |
| 107 | COOLER        | STORAGE   | 103 SF/300 SF | 1         |
| 110 | OFFICE        | BUSINESS  | 54 SF/150 SF  | 1         |
|     |               |           |               | 32        |

EXIT CAPACITY:  
EGRESS WIDTH REQUIRED: 32 OCCUPANTS X 0.2' PER OCCUPANT REQUIRED = 6.4'  
EGRESS WIDTH PROVIDED: 36'  
EGRESS WIDTH OF 0.2' PER OCCUPANT USED FOR DOORS PER IBC TABLE 1005.

NUMBER OF EXITS REQUIRED:  
(1) EXIT REQUIRED FOR PER STORY FOR LESS THAN 49 OCCUPANTS PER IBC TABLE 1006.2.1.  
(2) EXIT PROVIDED.

MAXIMUM TRAVEL DISTANCE:  
200'-0" PER IBC TABLE 1017.2  
ACTUAL MAX TRAVEL DISTANCE TO EXIT: 38'-0"

DEAD END CORRIDOR:  
20'-0" MAX LENGTH OF DEAD END CORRIDOR PER IBC SECTION 1018

## RESTROOM LOADING

OCCUPANCY:  
32 OCCUPANTS

RESTROOM FIXTURES REQUIRED/PROVIDED - USE GROUP: BUSINESS

TOILET COUNT: = 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50

LAVATORY COUNT: = 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

TUB/ SHOWERS: = NOT REQUIRED

DRINKING FOUNTAINS: = 1 PER 100

OTHER: = 1 SERVICE SINK

PLUMBING FIXTURE COUNT PER IBC TABLE 2902.1

TOILET COUNT:  
WATER CLOSETS REQUIRED: 32 OCCUPANTS / 25 = 2 WATER CLOSET REQUIRED  
WATER CLOSETS PROVIDED: = 2 WATER CLOSETS PROVIDED

LAVATORY COUNT:  
SINKS REQUIRED: 32 OCCUPANTS / 40 = 1 REQUIRED  
SINKS PROVIDED: = 2 PROVIDED

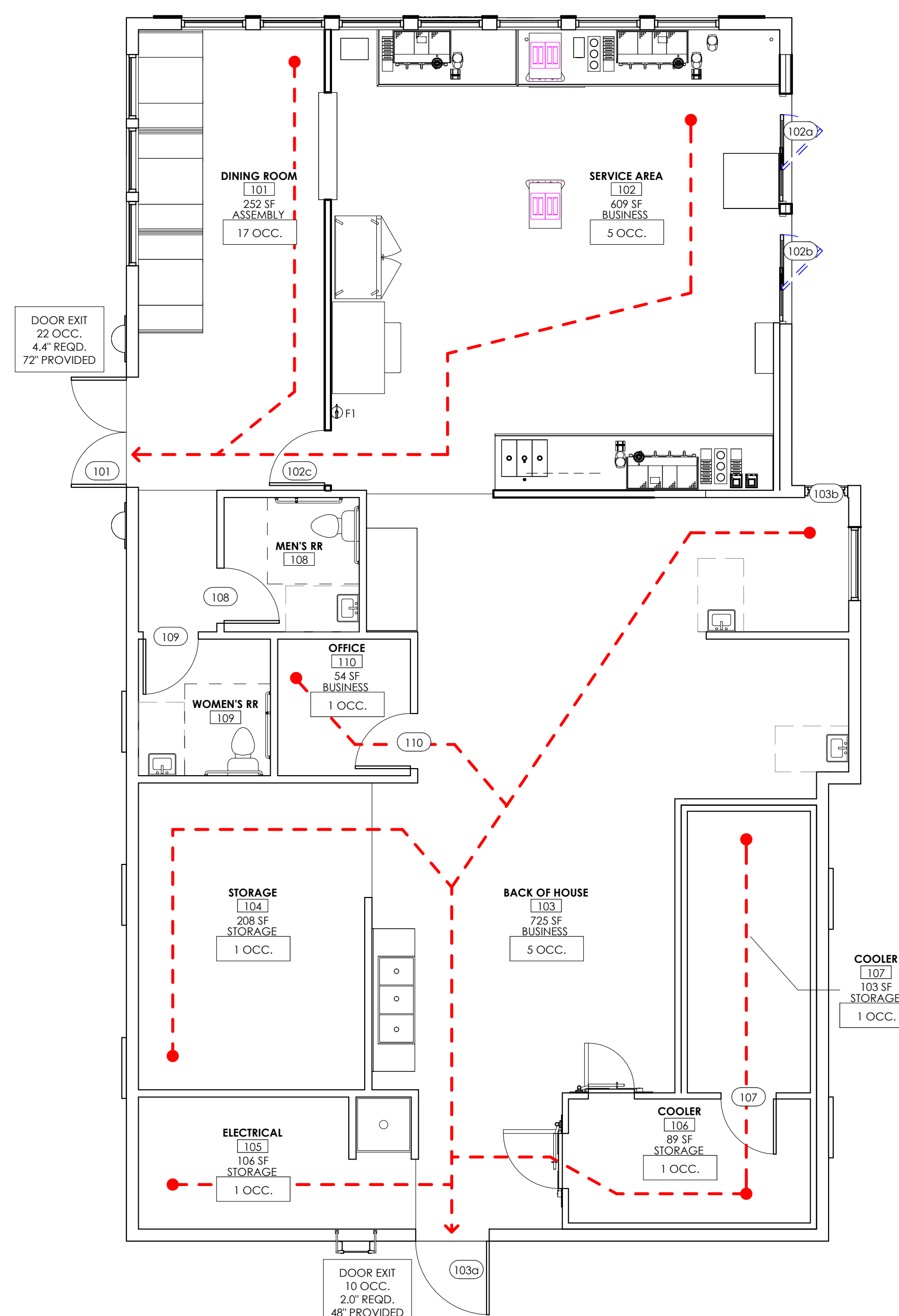
DRINKING FOUNTAIN COUNT:  
DRINKING FOUNTAINS REQUIRED: 32 OCCUPANTS / 100 = 1 REQUIRED  
DRINKING FOUNTAIN PROVIDED: = WATER WILL BE PROVIDED FOR FREE UPON REQUEST.

SERVICE SINK COUNT:  
SERVICE SINKS REQUIRED: = 1 REQUIRED  
SERVICE SINK PROVIDED: = 1 PROVIDED

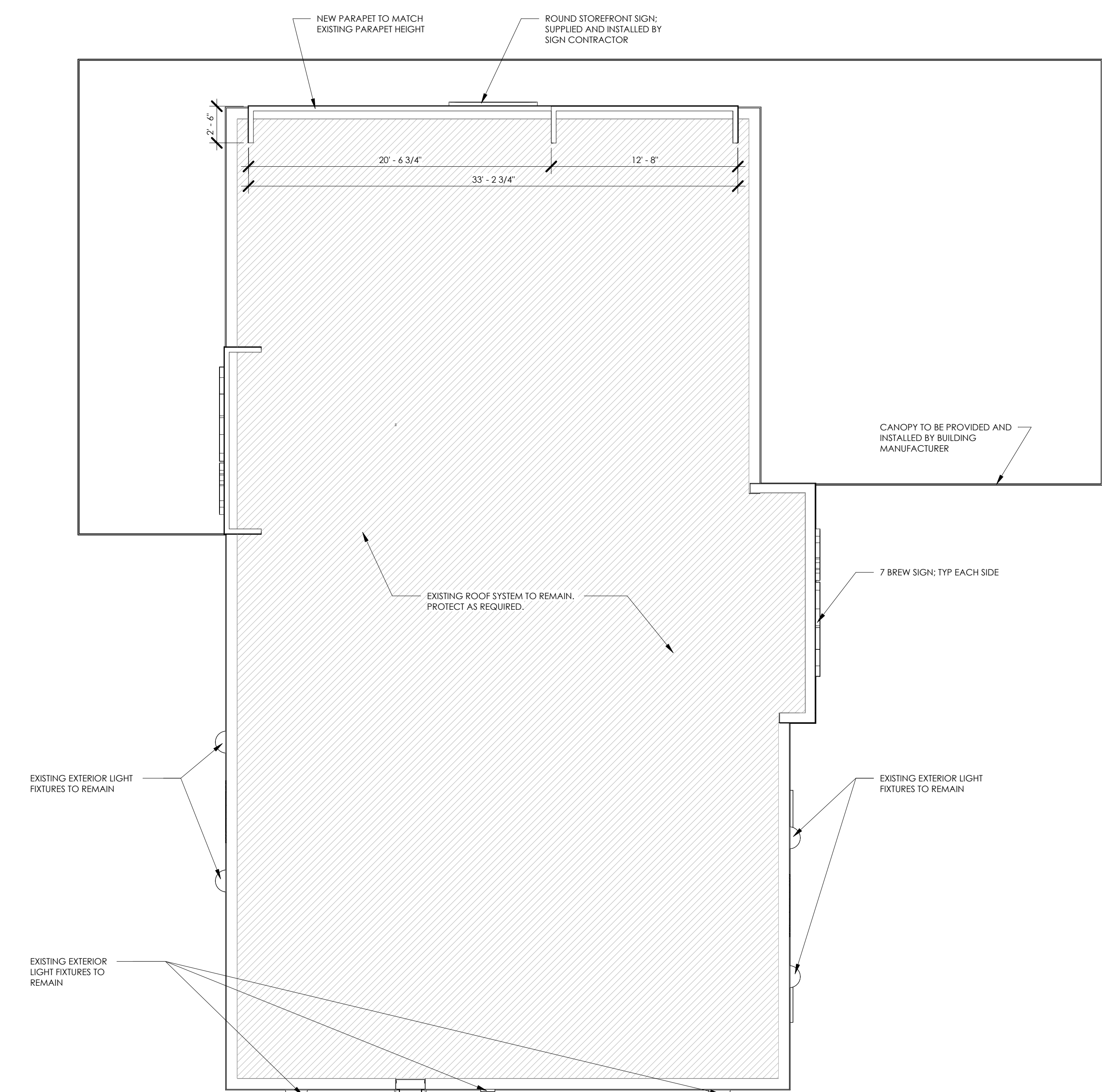
## FIRE EXTINGUISHER NOTES

F1 10 LBS. ABC FIRE EXTINGUISHER ON WALL MOUNTED BRACKET. MOUNT HANDLE @ 4'-0".

75'-0" RADIUS FROM FIRE EXTINGUISHER @ F1 (NOT SHOWN, ENCOMPASSES ENTIRE BUILDING)

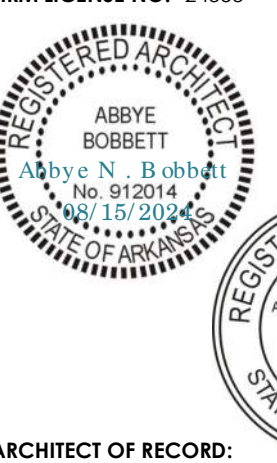


1 EGRESS PLAN  
3/16" = 1'-0"



2 ROOF PLAN  
3/16" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

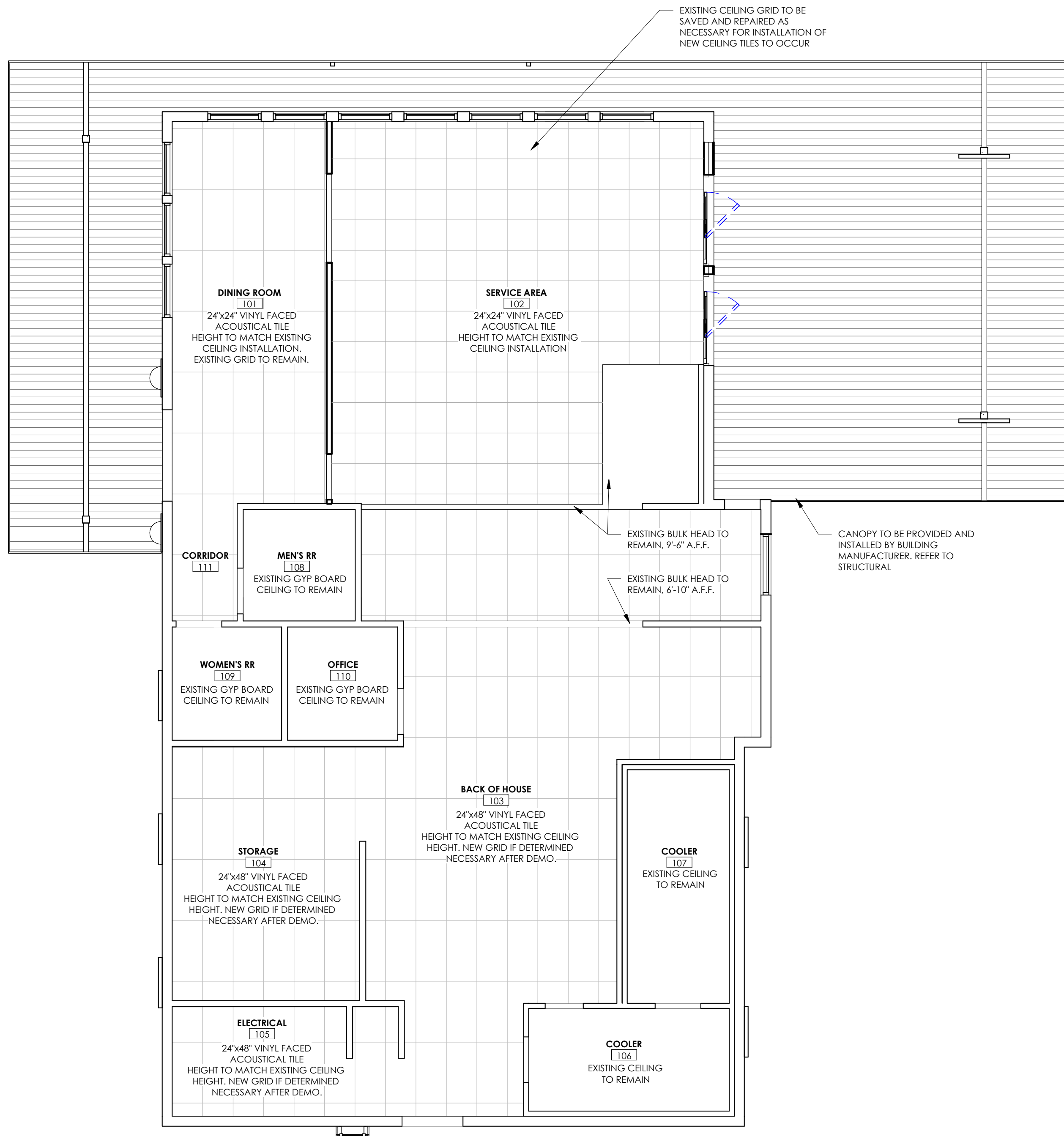
PROJECT NUMBER: 24198 78BA2

REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**A1.2**  
ROOF PLAN / EGRESS PLAN

DATE: AUGUST 15, 2024

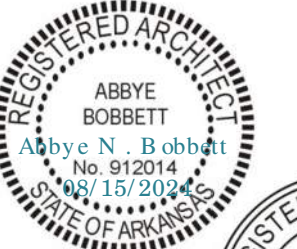


| TAG NO. | DESCRIPTION   |
|---------|---|
| 1       | DATA RACK - INSTALLED IN FIELD BY IT PROVIDER   |
| 2       | PANIC BUTTON, TYP OF (3) MOUNTED 44" A.F.F. - INSTALLED IN FIELD BY SECURITY PROVIDER   |
| 3       | THERMOSTAT - INSTALLED IN FACTORY   |
| 4       | SPEAKERS - INSTALLED IN FIELD BY IT PROVIDER  |
| 5       | SECURITY CAMERA - INSTALLED IN FIELD BY SECURITY PROVIDER   |
| 6       | VOLUME CONTROLLER, MOUNTED UNDER ALARM PANEL - INSTALLED IN FIELD BY IT PROVIDER  |
| 7       | SECURITY KEY PAD ALARM PANEL - INSTALLED IN FIELD BY SECURITY PROVIDER  |
| 8       | WIRELESS ACCESS POINT, CEILING MOUNTED - INSTALLED IN FIELD BY IT PROVIDER.   |
| 9       | TV DROP MOUNT FOR SECURITY MONITOR - INSTALLED IN FIELD BY IT PROVIDER.   |
| 10      | SAMSUNG DIGITAL DISPLAYS - TV'S INSTALLED IN FIELD BY IT PROVIDER - CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY |
| 11      | CEILING MOUNTED SECURITY CAMERA EXISTING AND TO BE RE-INSTALLED AFTER NEW CEILING IS INSTALLED.                                       |

1 RCP - GROUND LEVEL  
3/16" = 1'-0"

2 SYSTEMS PLAN  
3/16" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2  
REVISION:

7 BREW COFFEE  
BRYANT, AR #2

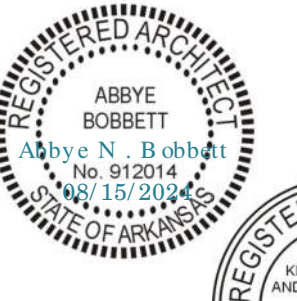
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

A1.3

REFLECTED CEILING PLANS

DATE: AUGUST 15, 2024

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBYE BOBBETT  
LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2  
REVISION:

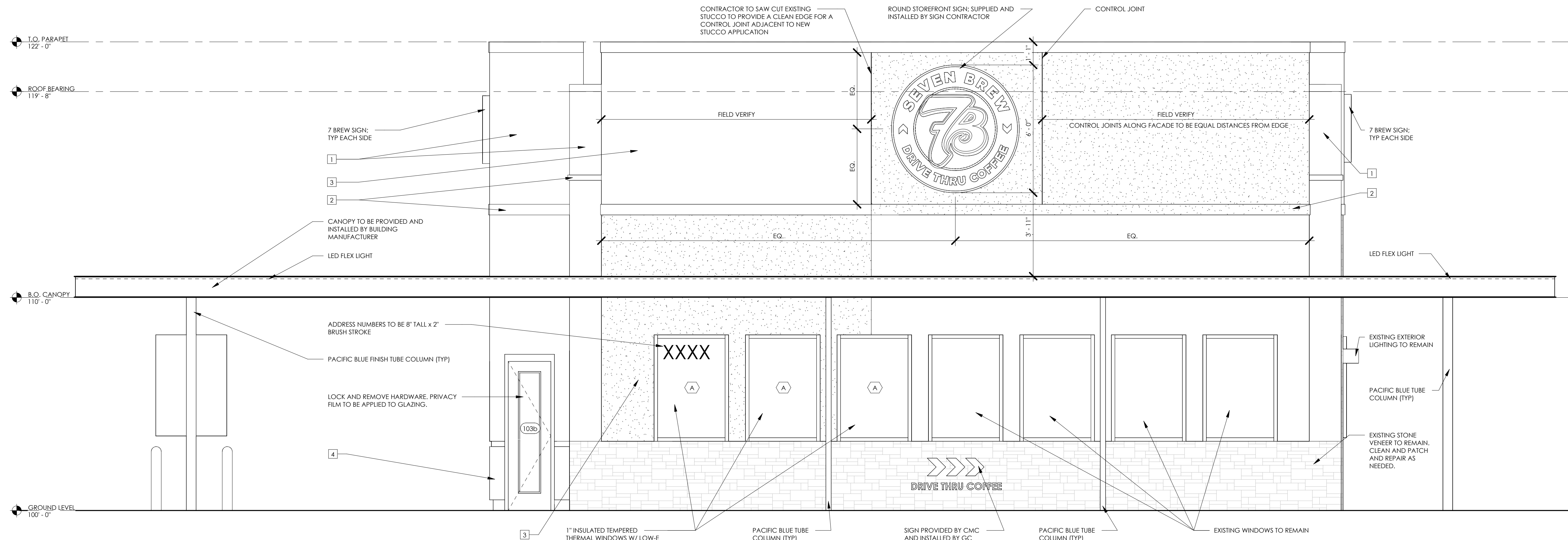
**7 BREW COFFEE**  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

# A2.1

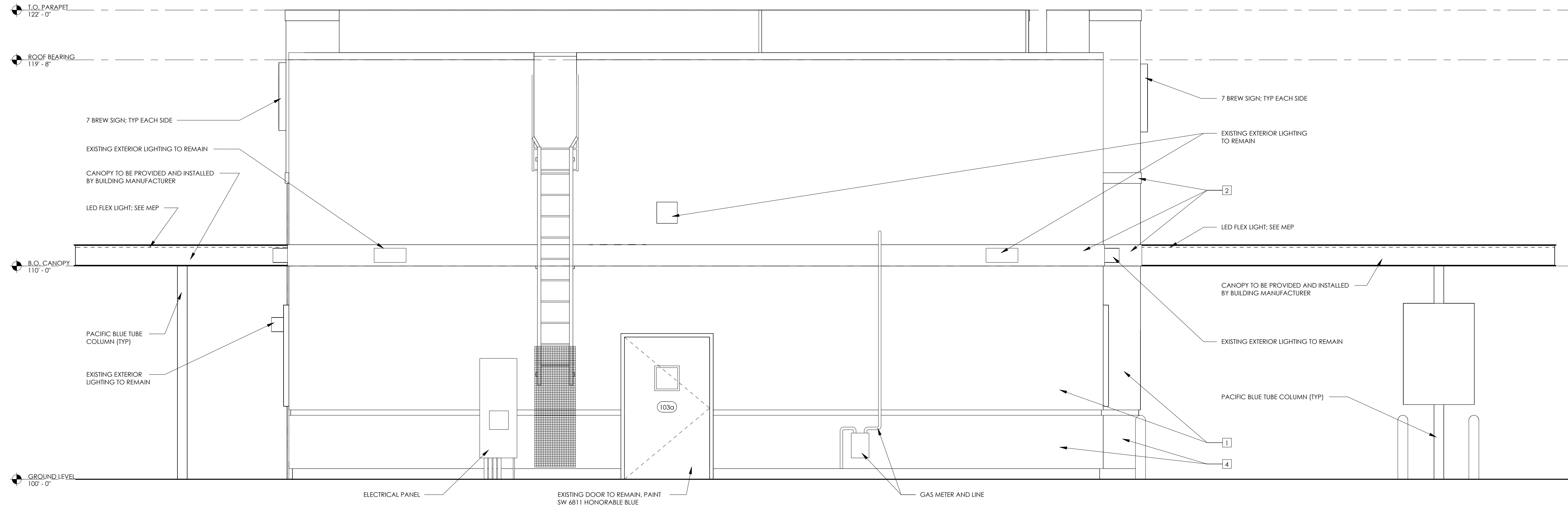
EXTERIOR ELEVATIONS

DATE: AUGUST 15, 2024

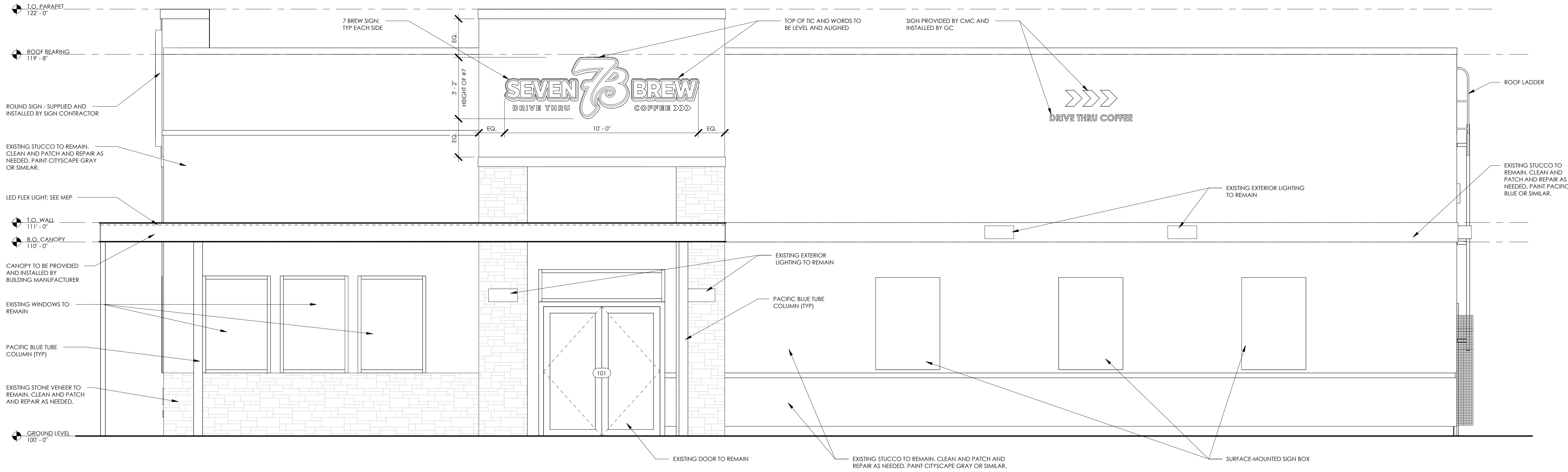
| TAG NO. | DESCRIPTION  |
|---------|--|
| 1       | CLEAN, PATCH AND REPAIR EXISTING STUCCO. PAINT STUCCO TO BE EQUAL TO SW 7067 CITYSCAPE. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.                                      |
| 2       | CLEAN, PATCH AND REPAIR EXISTING STUCCO ACCENT BANDING. REFER TO A4.1/4. PAINT STUCCO TO BE EQUAL TO SW 6811 HONORABLE BLUE. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE. |
| 3       | NEW STUCCO TO BE INSTALLED TO REPLACE REMOVED STONE FINISH. REFER TO A4.1/2. COLOR TO BE EQUAL TO SW 7067 CITYSCAPE, PROFILE / FINISH DEPTH TO MATCH EXISTING ADJACENT FINISH.   |
| 4       | CLEAN, PATCH AND REPAIR EXISTING STUCCO. PAINT STUCCO TO BE EQUAL TO SW 7674 REPERFCORN. ANY COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.                                     |



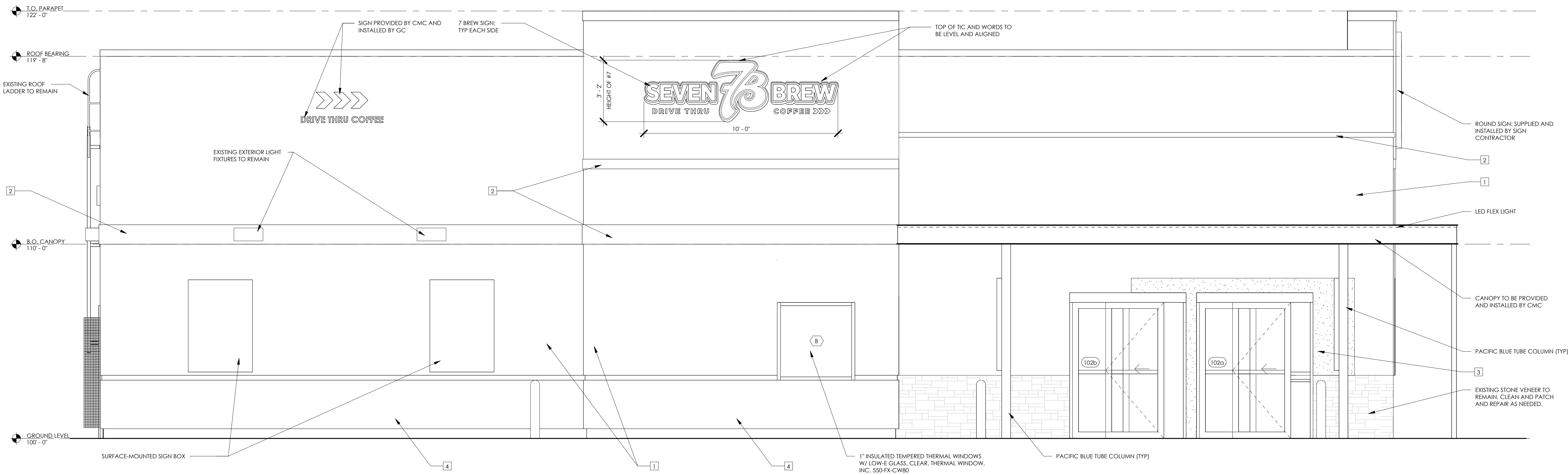
**1 EXTERIOR ELEVATION - FRONT**  
3/8" = 1'-0"



**2 EXTERIOR ELEVATION - BACK**  
3/8" = 1'-0"

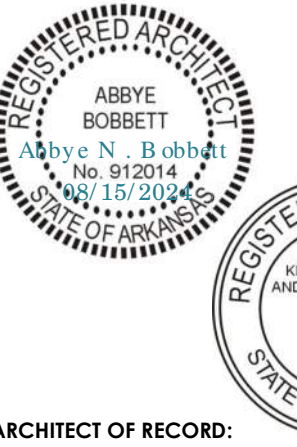


1 EXTERIOR ELEVATION - RIGHT SIDE  
3/8" = 1'-0"



2 EXTERIOR ELEVATION - LEFT SIDE  
3/8" = 1'-0"

FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:  
NAME: ABBY BOBBETT  
LICENSE NO. 77051

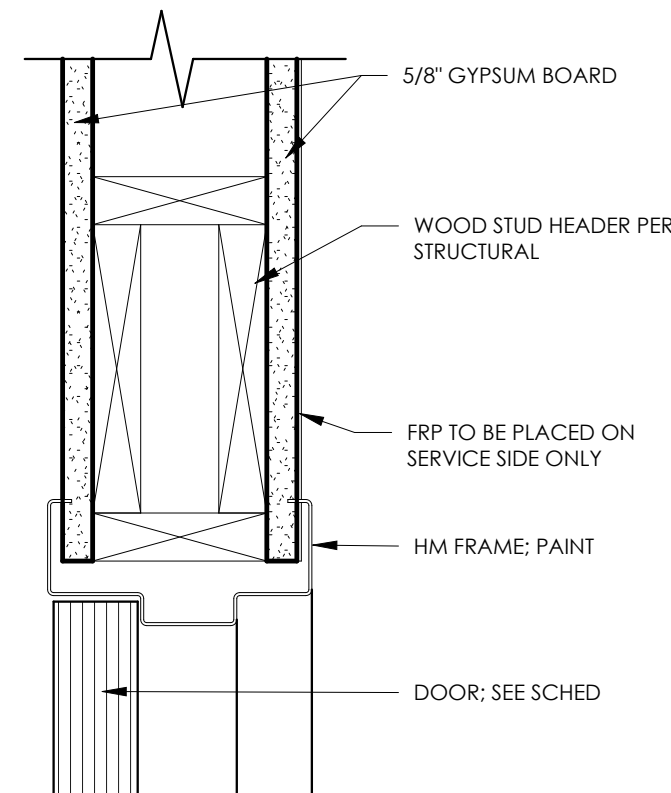
PROJECT NUMBER: 24198 78BA2  
REVISION:

7 BREW COFFEE  
BRYANT, AR #2  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

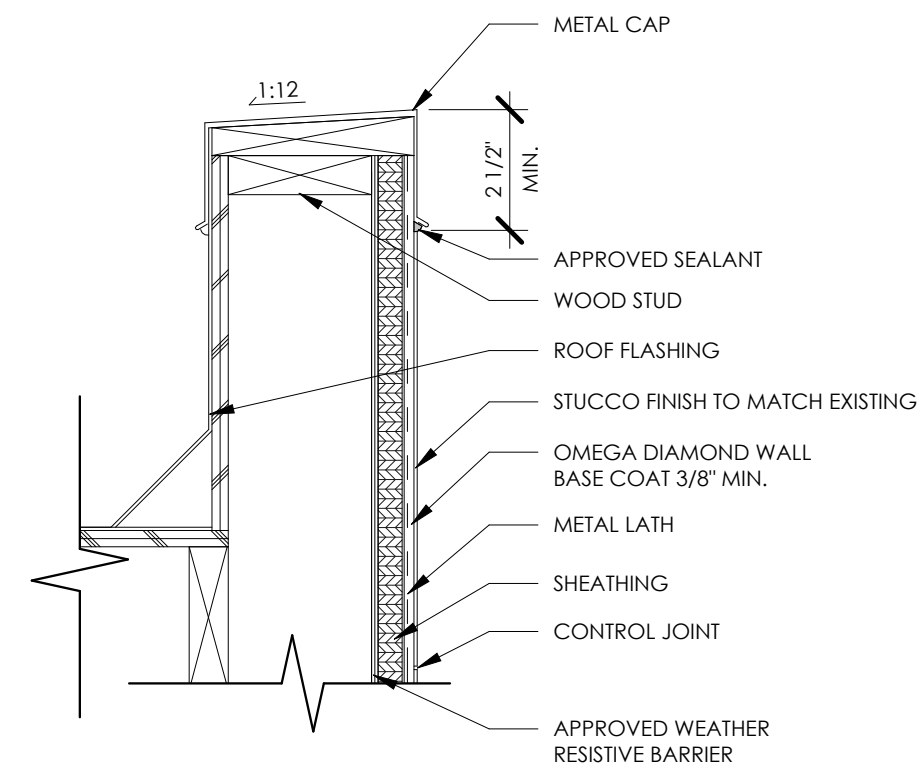
A2.2  
EXTERIOR ELEVATIONS

DATE: AUGUST 15, 2024

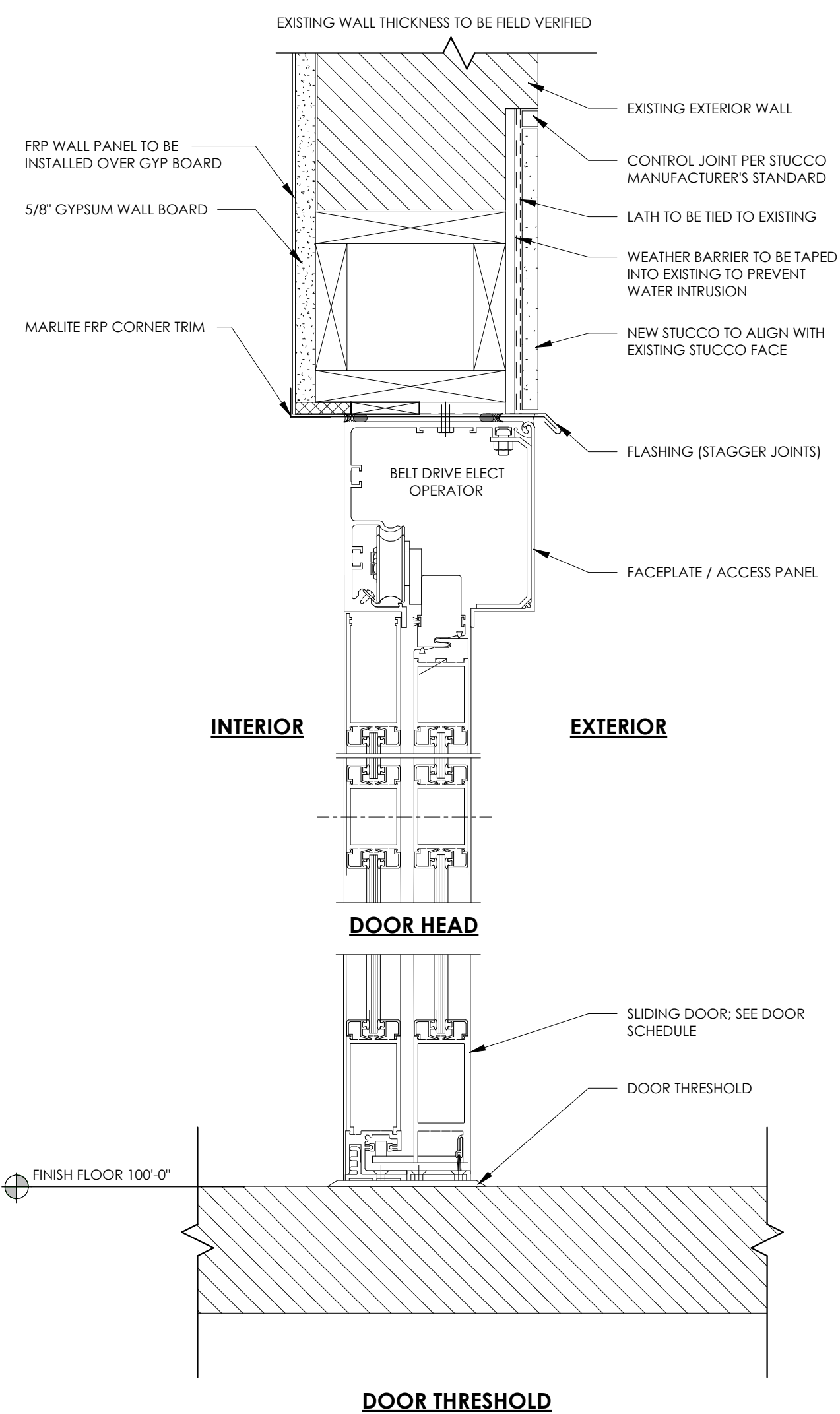




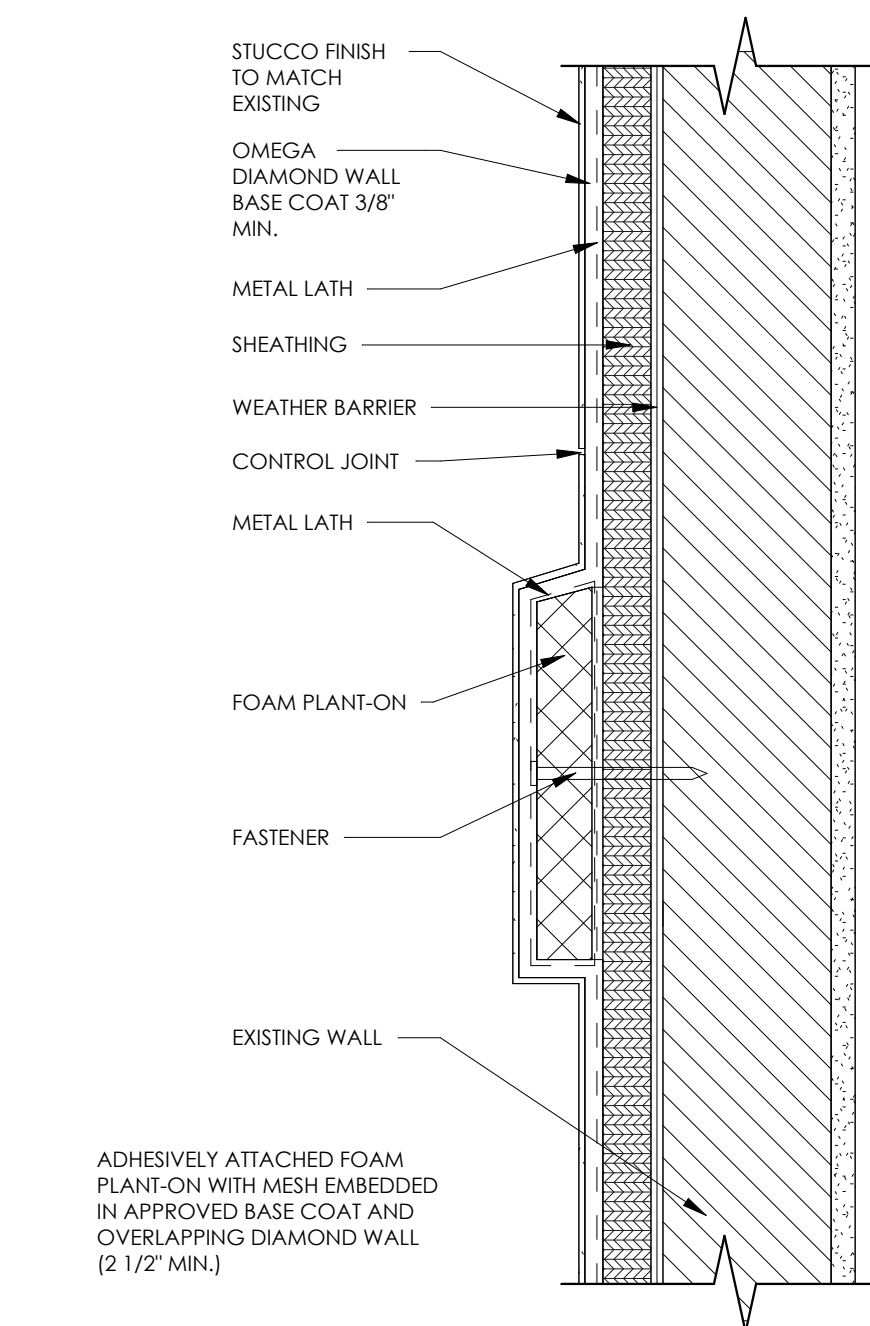
1 DOOR HEAD @ HM FRAME  
3" = 1'-0"



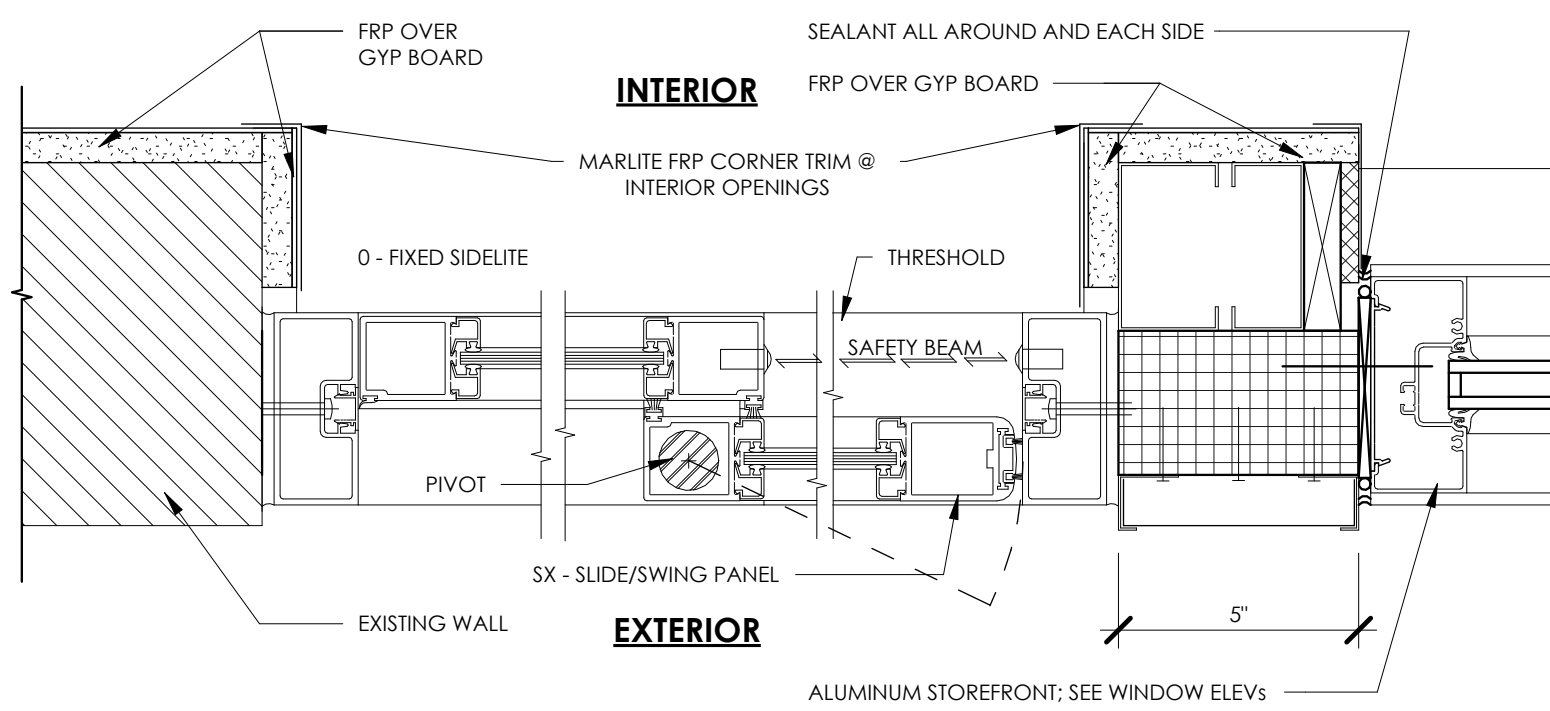
2 PARAPET DETAIL  
3" = 1'-0"



3 SLIDING DOOR HEAD/THRESHOLD  
3" = 1'-0"



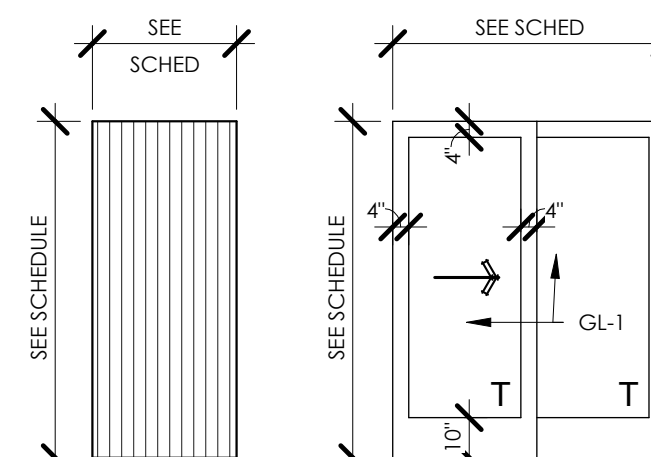
4 TYPICAL FOAM PLANT-ONS  
3" = 1'-0"



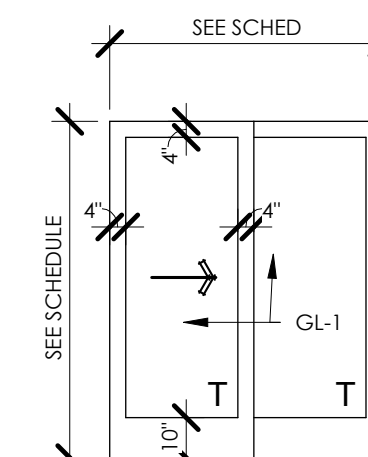
5 SLIDING DOOR JAMB  
3" = 1'-0"

| DOOR SCHEDULE |               |             |      |          |       |          |         |            |              |
|---------------|---------------|-------------|------|----------|-------|----------|---------|------------|--------------|
| DOOR NUMBER   | ROOM          | SIZE        | DOOR |          | FRAME |          | DETAILS |            | HARDWARE SET |
|               |               |             | TYPE | MATERIAL | TYPE  | MATERIAL | HEAD    | JAMB       |              |
| 101           | DINING ROOM   | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 102a          | SERVICE AREA  | 6'-0"x7'-6" | D2   | ALUM     | F2    | ALUM     | 3/A4.2  | 3/A4.1     | 2            |
| 102b          | SERVICE AREA  | 6'-0"x7'-6" | D2   | ALUM     | F2    | ALUM     | 3/A4.1  | 3/A4.1     | 2            |
| 102c          | DINING ROOM   | 3'-0"x6'-8" | D1   | HM       | F1    | HM       | 1/A4.1  | 1/A4.1 SIM | 1            |
| 103a          | BACK OF HOUSE | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 103b          | BACK OF HOUSE | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 107           | COOLER        | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 108           | MEN'S RR      | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 109           | WOMEN'S RR    | EX          | EX   |          | EX    |          | EX      |            | EX           |
| 110           | OFFICE        | EX          | EX   |          | EX    |          | EX      |            | EX           |

**DOOR ELEVATIONS**

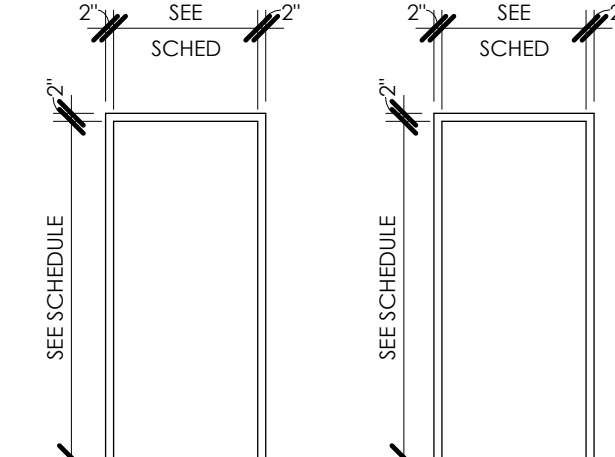


D1  
HOLLOW METAL OR INSULATED HM (IHM)

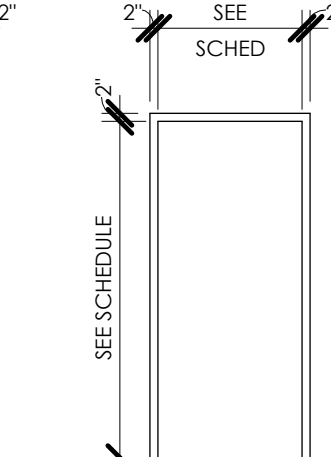


D2  
SLIDING ALUMINUM & GLASS

**FRAME ELEVATIONS**



F1  
HOLLOW METAL FRAME



F2  
ALUMINUM FRAME

**DOOR SCHEDULE NOTES:**

- REFER TO DOOR SCHEDULE FOR HARDWARE SETS
- PAINT INTERIOR DOORS AND FRAMES SHERWIN WILLIAMS HONORABLE BLUE (SW6811), LOW SHEEN
- REFER TO CODE COMPLIANCE DOOR NOTES (BELOW) FOR ADDITIONAL REQUIREMENTS.

**CODE COMPLIANCE DOOR NOTES:**

ALL EXIT DOORS SHALL CONFORM TO THE FOLLOWING PROVISIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE STATE OF ARKANSAS ACCESSIBILITY CODE:

- THE EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE BUILDING IS OCCUPIED.
- ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" TO 48" A.F.F. AND SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.
- DOOR LEADING TO UNisex TOILET ROOM SHALL BE IDENTIFIED WITH A 12" DIAMETER CIRCLE WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER. SIGN/SYMBOL SHALL BE MOUNTED ON THE WALL, ON THE LATCH SIDE OF THE DOOR AND 60" A.F.F. AND NO MORE THAN 8" FROM THE EDGE OF THE DOOR TO THE EDGE OF THE SIGN.

**GENERAL NOTES**

ALL GLAZING FOR EXTERIOR DOOR OR WINDOW FRAMES SHALL BE INSULATED  
ALL GLAZING FOR INTERIOR DOOR OR WINDOW FRAMES SHALL BE UNINSULATED, SINGLE PANE

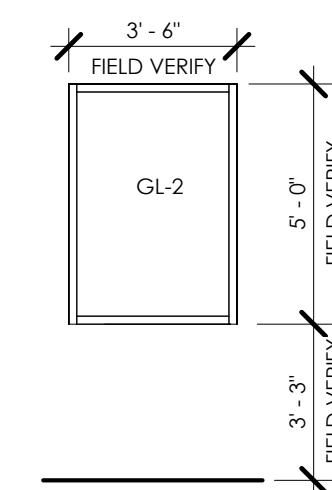
**DOOR & FRAME FINISH LEGEND**

- AL = ALUM DOOR OR FRAME
- HM = HOLLOW METAL DOOR OR FRAME
- F1 = PAINTED
- F2 = PREFINISHED; CLEAN & PROTECT

**GLAZING SCHEDULE**

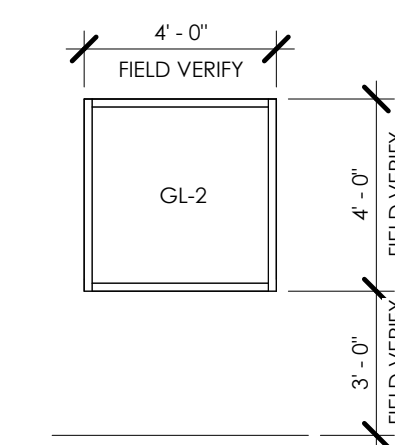
- GL-1 1" INSULATED SAFETY GLASS, CLEAR
- GL-2 1" INSULATED TEMPERED GLASS, CLEAR

**WINDOW ELEVATIONS**



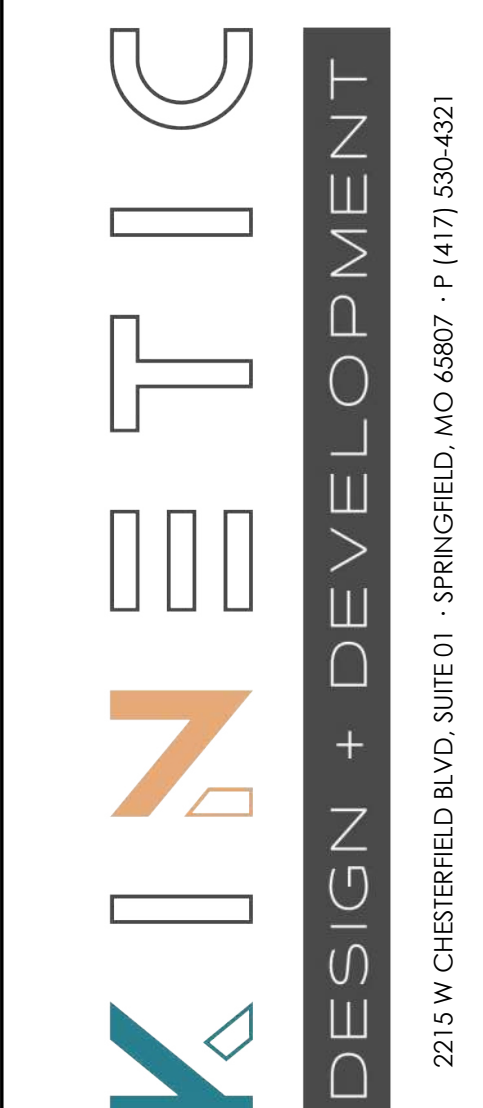
A  
ALUMINUM STOREFRONT

FIELD VERIFY ADJACENT WINDOW SIZE. DESIGN INTENT IS FOR THESE TO MATCH EXISTING WINDOWS ON THIS FACADE.

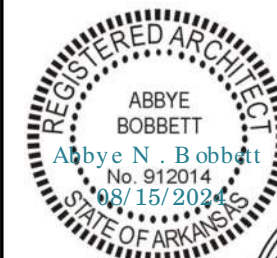


B  
ALUMINUM STOREFRONT

FIELD VERIFY EXISTING WINDOW OPENING



FIRM LICENSE NO. 24353



ARCHITECT OF RECORD:

NAME: ABBYE BOBBETT  
LICENSE NO. 77051

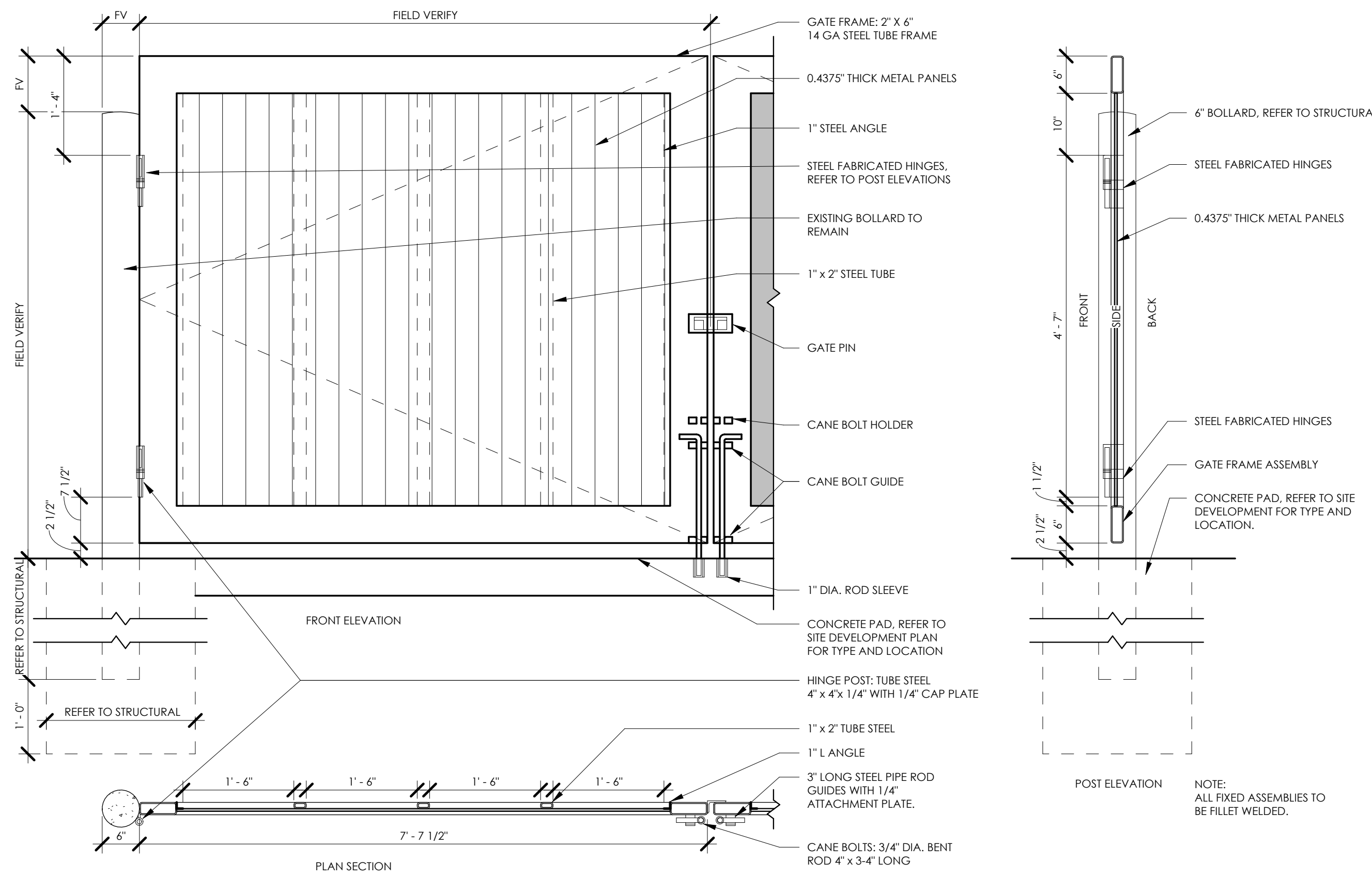
PROJECT NUMBER: 24198 78BA2

REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
2006 N REYNOLDS ROAD  
BRYANT, AR 72022

**A4.1**  
DOORS AND WINDOWS

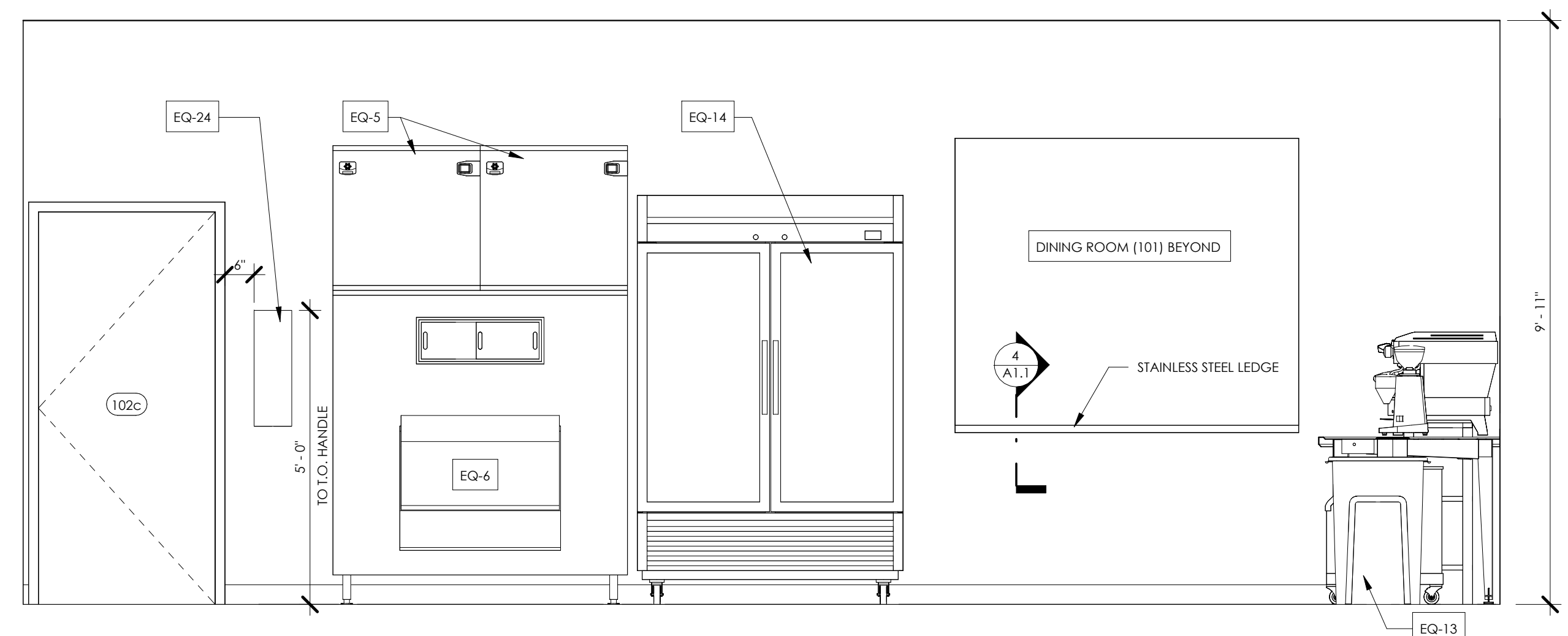
DATE: AUGUST 15, 2024



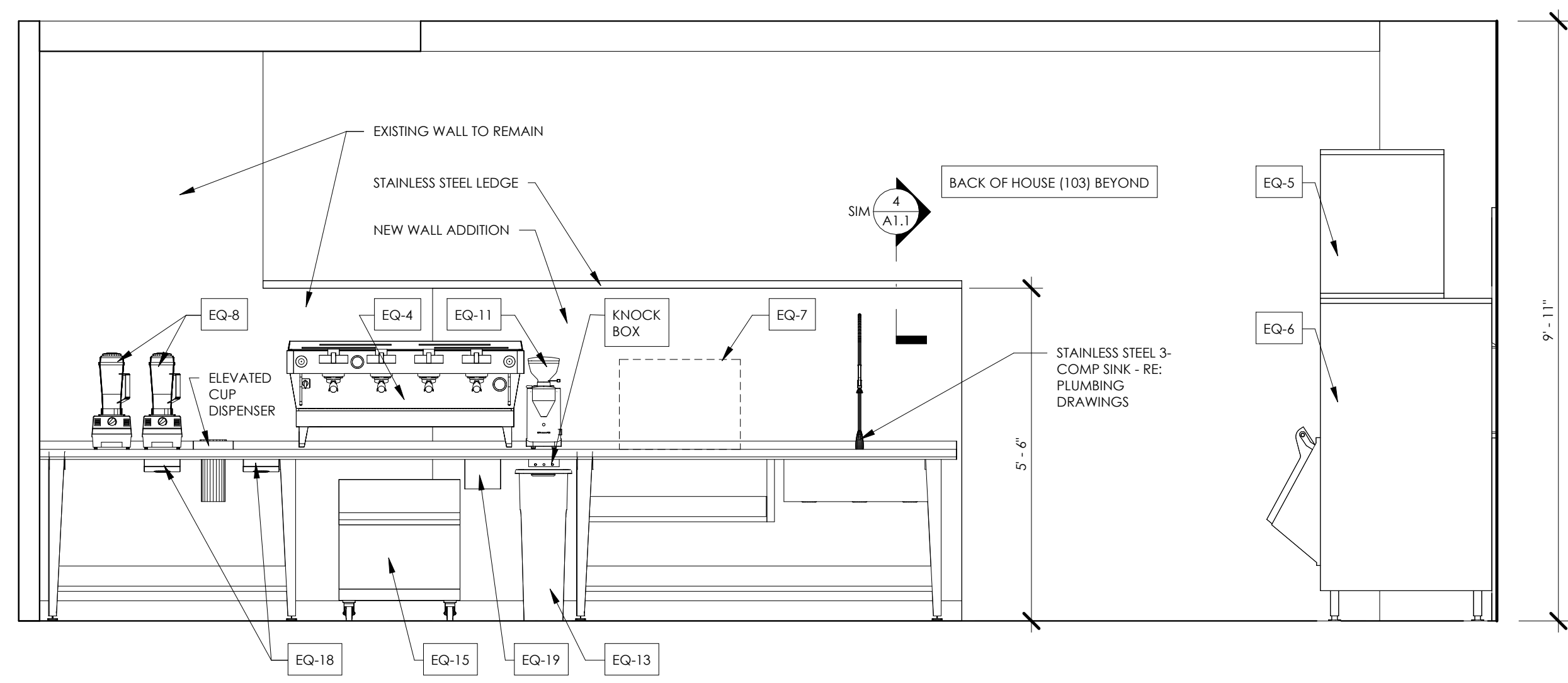
**TRASH ENCLOSURE NOTES:**  
 EXISTING TRASH ENCLOSURE TO REMAIN. CLEAN, PATCH, AND REPAIR AS NEEDED.  
 PAINT INTERIOR AND EXTERIOR OF ENCLOSURE SW 7067 CITYSCAPE.  
 NEW GATE PROVIDED AND INSTALLED BY CMC. CLEAN, PATCH AND REPAIR EXISTING BOLLARDS. SW 6811 PAINT HONORABLE BLUE.

| PAINT SPECIFICATIONS   |  |  |
|------------------------|--|--|
| METAL DOORS AND FRAMES | SEMI GLOSS FINISH<br>PRIMER:<br>1ST COAT:<br>2ND COAT: | PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES<br>PRO INDUSTRIAL ACRYLIC SEMI-GLOSS, B66-650 SERIES<br>PRO INDUSTRIAL ACRYLIC SEMI-GLOSS, B66-650 SERIES   |
| STUCCO                 | SATIN FINISH<br>PRIMER:<br>1ST COAT:<br>2ND COAT:      | LOXON CONCRETE & MASONRY PRIMER SEALER, A24W8300<br>A-100 EXTERIOR LATEX SATIN, A82 SERIES<br>A-100 EXTERIOR LATEX SATIN, A82 SERIES   |
| CMU                    | SATIN FINISH<br>PRIMER:<br>1ST COAT:<br>2ND COAT:      | LOXON BLOCK SURFACER, A24W200<br>A-100 EXTERIOR LATEX SATIN, A82 SERIES<br>A-100 EXTERIOR LATEX SATIN, A82 SERIES  |
| BOLLARDS (CAST IRON)   | GLOSS FINISH<br>PRIMER:<br>1ST COAT:<br>2ND COAT:      | PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES<br>PRO INDUSTRIAL WATERBASED ACRYLON 100 POLYURETHANE GLOSS, B65-720 SERIES<br>PRO INDUSTRIAL WATERBASED ACRYLON 100 POLYURETHANE GLOSS, B65-720 SERIES |
| INTERIOR GYPSUM        | EG-SHEL FINISH<br>PRIMER:<br>1ST COAT:<br>2ND COAT:    | PROMAR 200 ZERO VOC LATEX PRIMER, B28W2600<br>PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B26-2600 SERIES<br>PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B26-2600 SERIES   |

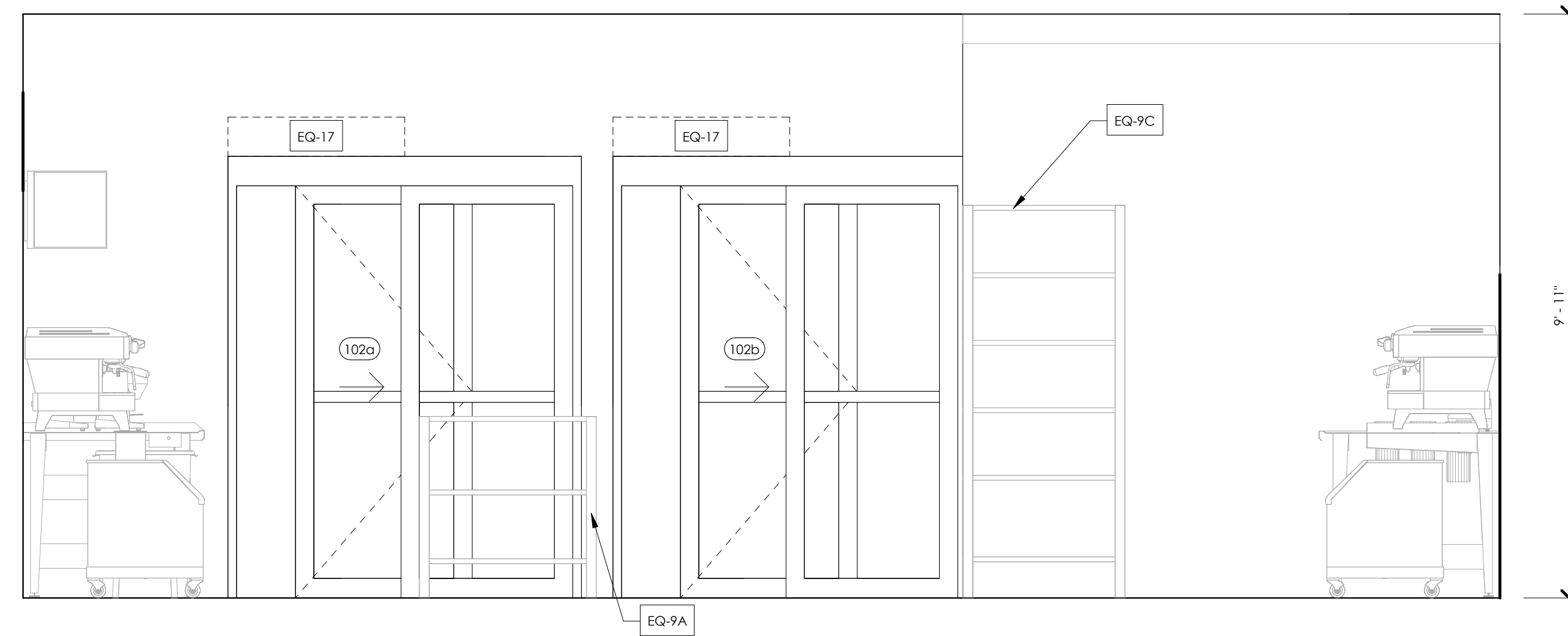
1 TRASH ENCLOSURE GATE DETAILS  
 3/4" = 1'-0"



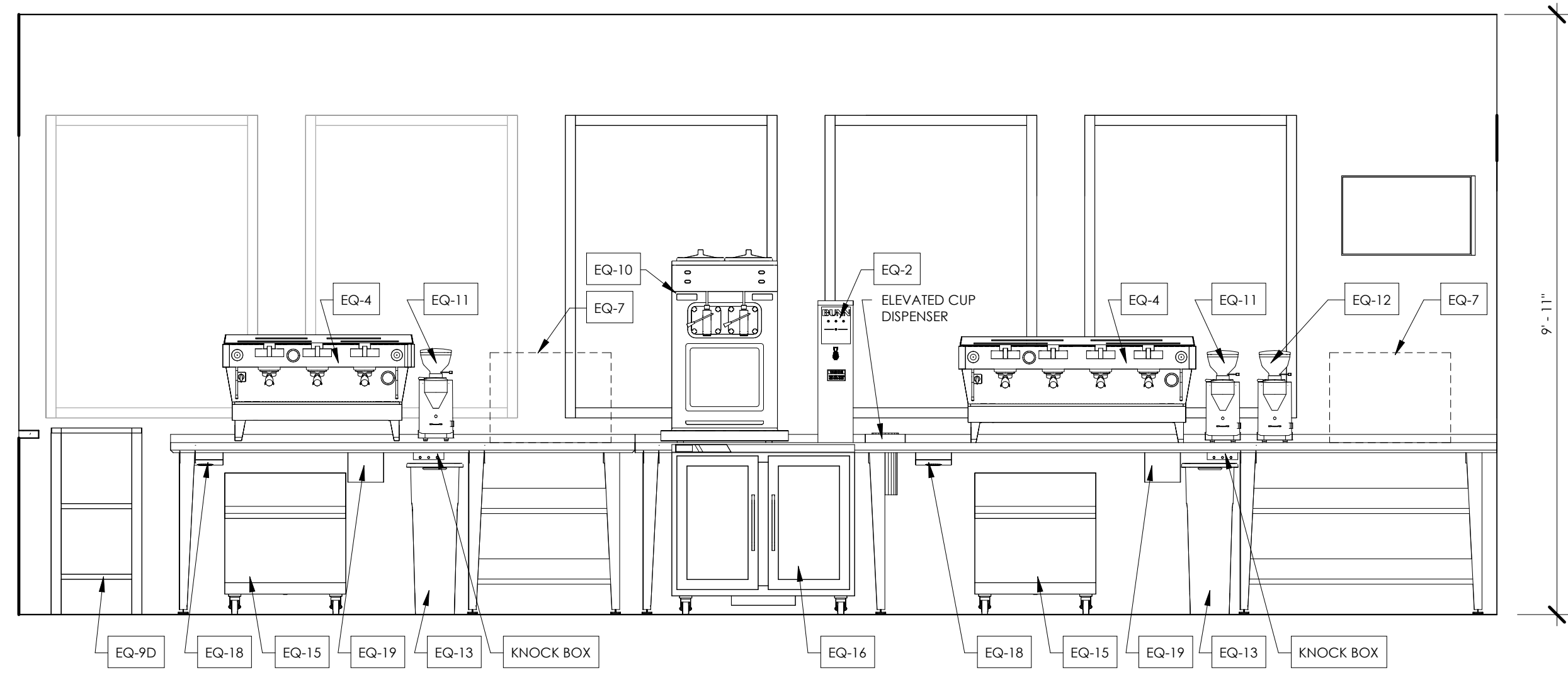
2 INTERIOR ELEVATION  
 1/2" = 1'-0"



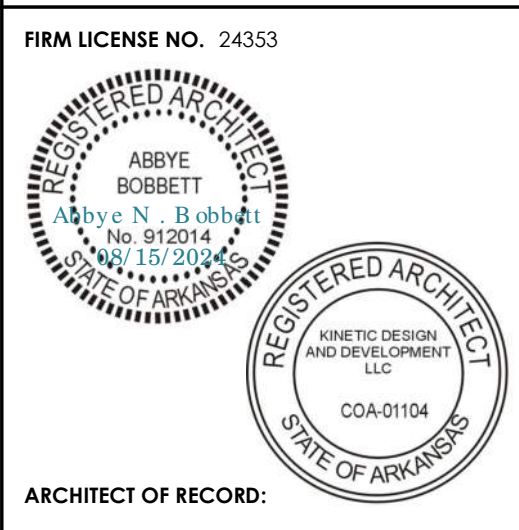
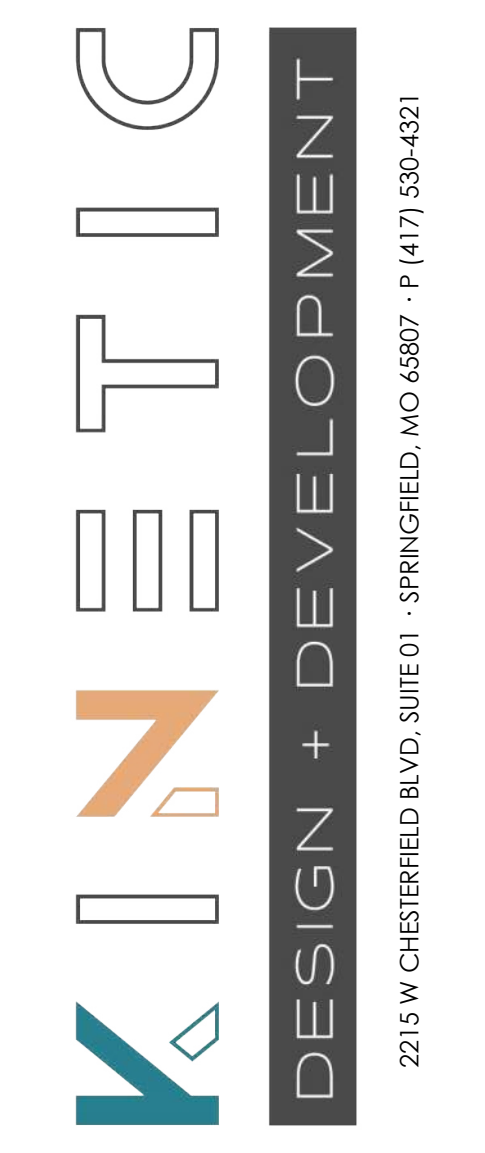
3 INTERIOR ELEVATION  
 1/2" = 1'-0"



4 INTERIOR ELEVATION  
 1/2" = 1'-0"



5 INTERIOR ELEVATION  
 1/2" = 1'-0"



ARCHITECT OF RECORD:  
 NAME: ABBYE BOBBETT  
 LICENSE NO. 77051

PROJECT NUMBER: 24198 78BA2  
 REVISION:

7 BREW COFFEE  
**BRYANT, AR #2**  
 2006 N REYNOLDS ROAD  
 BRYANT, AR 72022

**A5.1**  
 INTERIOR ELEVATIONS

DATE: AUGUST 15, 2024

**GENERAL NOTES:**

- UTILITY ROUTINGS ARE DIAGRAMMATIC. ADJUST EXACT ROUTING TO ACCOMMODATE FIELD CONDITIONS. REFER TO CIVIL AND PUBLIC IMPROVEMENT PLANS FOR NEW SEWER, WATER AND STORMWATER PIPING.
- REFER TO CIVIL AND PUBLIC IMPROVEMENT PLANS FOR LOCATION AND COORDINATION OF ALL EASEMENTS.
- REVIEW ALL CIVIL AND PUBLIC IMPROVEMENT PLANS AND COORDINATE ALL WORK WITH DIFFERENT DISCIPLINES. REVIEW AND OBTAIN APPROVAL FROM THE CITY OF JOHNSTOWN UTILITY COMPANIES PRIOR TO PERFORMING ANY UTILITY WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS. PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR DIMENSIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TEMPORARY TELEPHONE, ELECTRICAL AND WATER SERVICES REQUIRED DURING CONSTRUCTION, AND SHALL PAY ALL ASSOCIATED COSTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH TELECOMMUNICATIONS AND CABLE TELEVISION SERVICE PROVIDERS TO FACILITATE AND SCHEDULE INSTALLATION OF SERVICES. CONTRACTOR SHALL COORDINATE WITH OWNER FOR SERVICE PROVIDER CONTACT. THE OWNER SHALL BE RESPONSIBLE FOR ALL COSTS, CHARGES, FEES, ETC. INCURRED BY SERVICE PROVIDERS. PROVIDE ALL MATERIALS AS REQUIRED BY LOCAL AUTHORITIES FOR SERVICE INSTALLATION. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- ALL SITE ELECTRICAL INSTALLATIONS AND CONSTRUCTION SHALL BE PER THE MOST RECENT EDITIONS OF THE NATIONAL ELECTRIC SAFETY CODE (NEC) AND THE NATIONAL ELECTRIC CODE (NEC) STANDARDS AND SPECIFICATIONS.
- COORDINATE ALL TRANSFORMER LOCATIONS WITH OTHER UTILITIES INDICATED ON CIVIL PLANS.
- REFER TO CIVIL PLANS FOR ALL SITE SANITARY SEWER WORK.



08-15-24

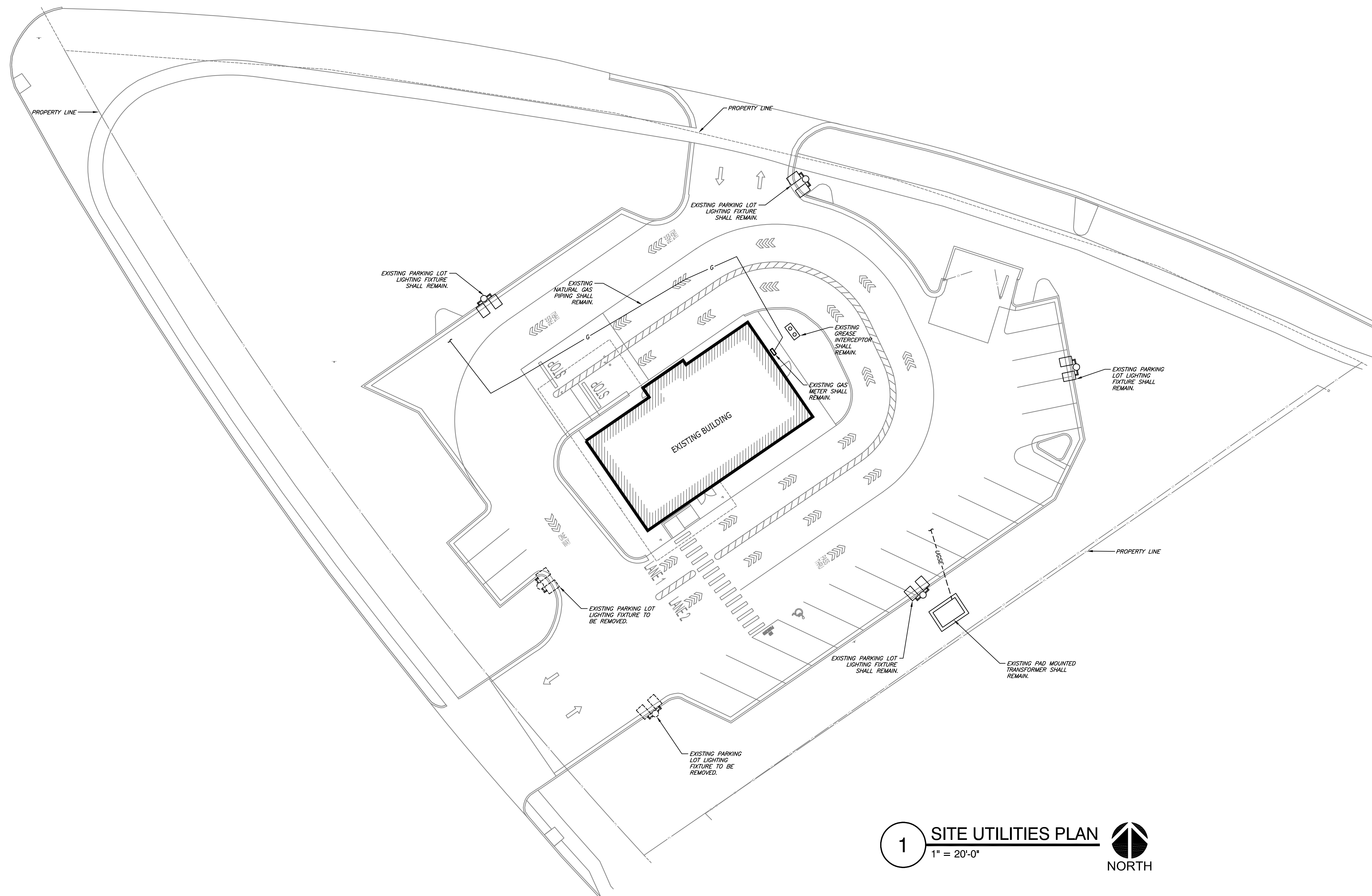
ENGINEER OF RECORD:

NAME: RYAN JONES

LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA

REVISION:



**SITE UTILITIES SYMBOLS:**

|                  |                                |
|------------------|--------------------------------|
| — OHE —          | OVERHEAD ELECTRIC              |
| - - - UOPE - - - | UNDERGROUND PRIMARY ELECTRIC   |
| - - - UOSE - - - | UNDERGROUND SECONDARY ELECTRIC |
| · · · UGT · · ·  | UNDERGROUND TELECOMMUNICATIONS |
| - · - UGC - · -  | UNDERGROUND CABLE TV           |

**1 SITE UTILITIES PLAN**  
1" = 20'-0"  
NORTH

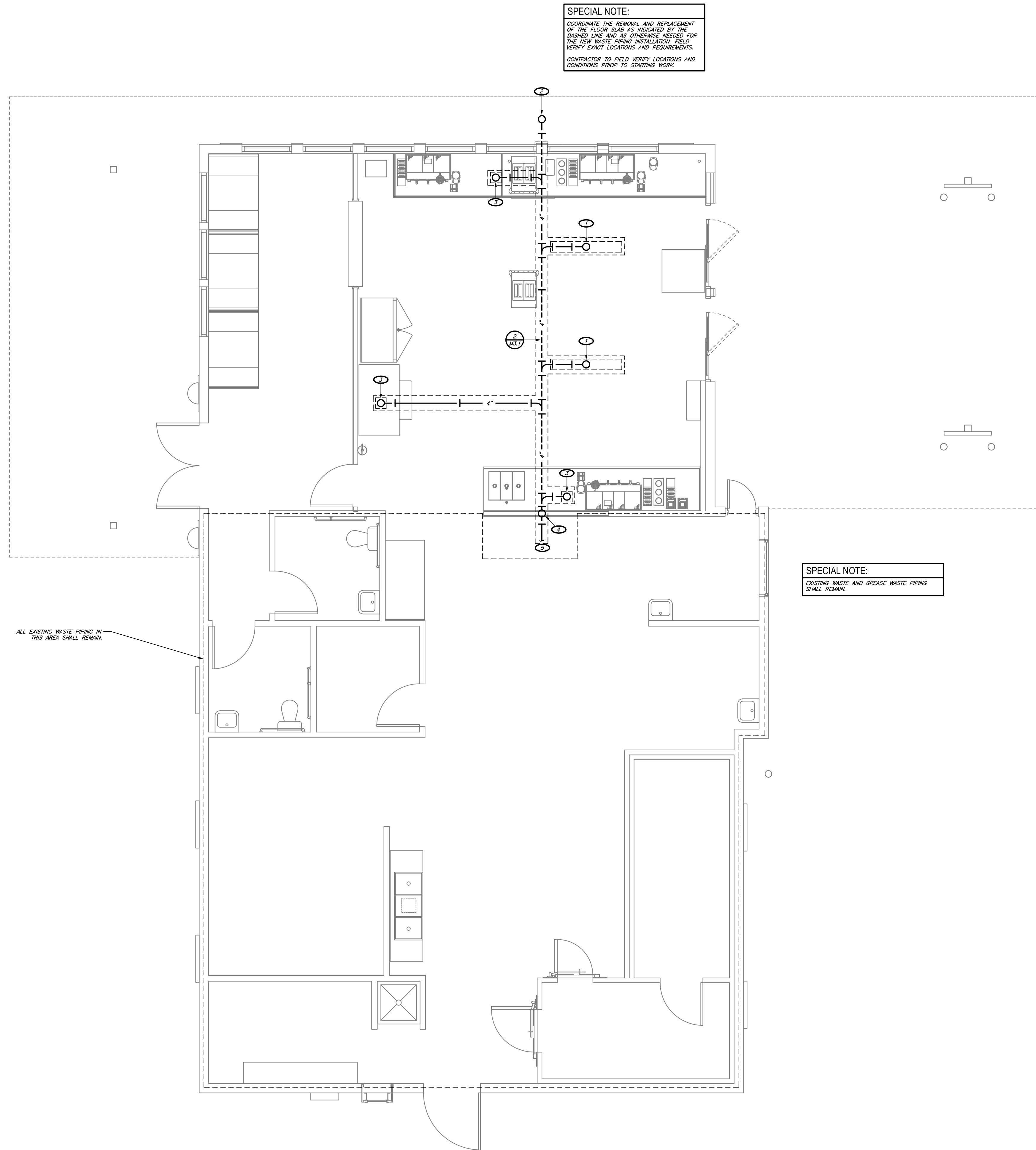
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Engineering | Energy | Innovation  
2225 West Chesterfield Boulevard, Suite 200, Springfield, MO 65807  
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Arkansas State Certificate of Authority #800094966

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2006 N REYNOLDS RD  
BRYANT, AR 72022

**SU1.1**  
SITE UTILITIES PLAN

DATE: AUGUST 15, 2024



**SPECIAL NOTE:**  
 COORDINATE THE REMOVAL AND REPLACEMENT OF THE FLOOR SLAB AS INDICATED BY THE DASHED LINE AND AS OTHERWISE NEEDED FOR THE NEW WASTE PIPING INSTALLATION. FIELD VERIFY EXACT LOCATIONS AND REQUIREMENTS. CONTRACTOR TO FIELD VERIFY LOCATIONS AND CONDITIONS PRIOR TO STARTING WORK.

**SPECIAL NOTE:**  
 EXISTING WASTE AND GREASE WASTE PIPING SHALL REMAIN.

ALL EXISTING WASTE PIPING IN THIS AREA SHALL REMAIN.

**1** UNDERSLAB PLUMBING PLAN  
 1/4" = 1'-0"  
 NORTH

**KEYNOTES:**

- ① 4" TRAPPED GREASE WASTE UP TO TRENCH DRAIN.
- ② 4" GREASE WASTE UP TO FINISH GRADE CLEANOUT.
- ③ 4" TRAPPED GREASE WASTE UP TO FLOOR SINK.
- ④ 3" VENT UP.
- ⑤ CONNECT NEW 4" GREASE WASTE TO EXISTING 4" (OR LARGER) GREASE WASTE IN THIS AREA. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. MODIFY/EXTEND PIPING AS REQUIRED.



ENGINEER OF RECORD:  
 NAME: RYAN JONES  
 LICENSE NO. PE-16638

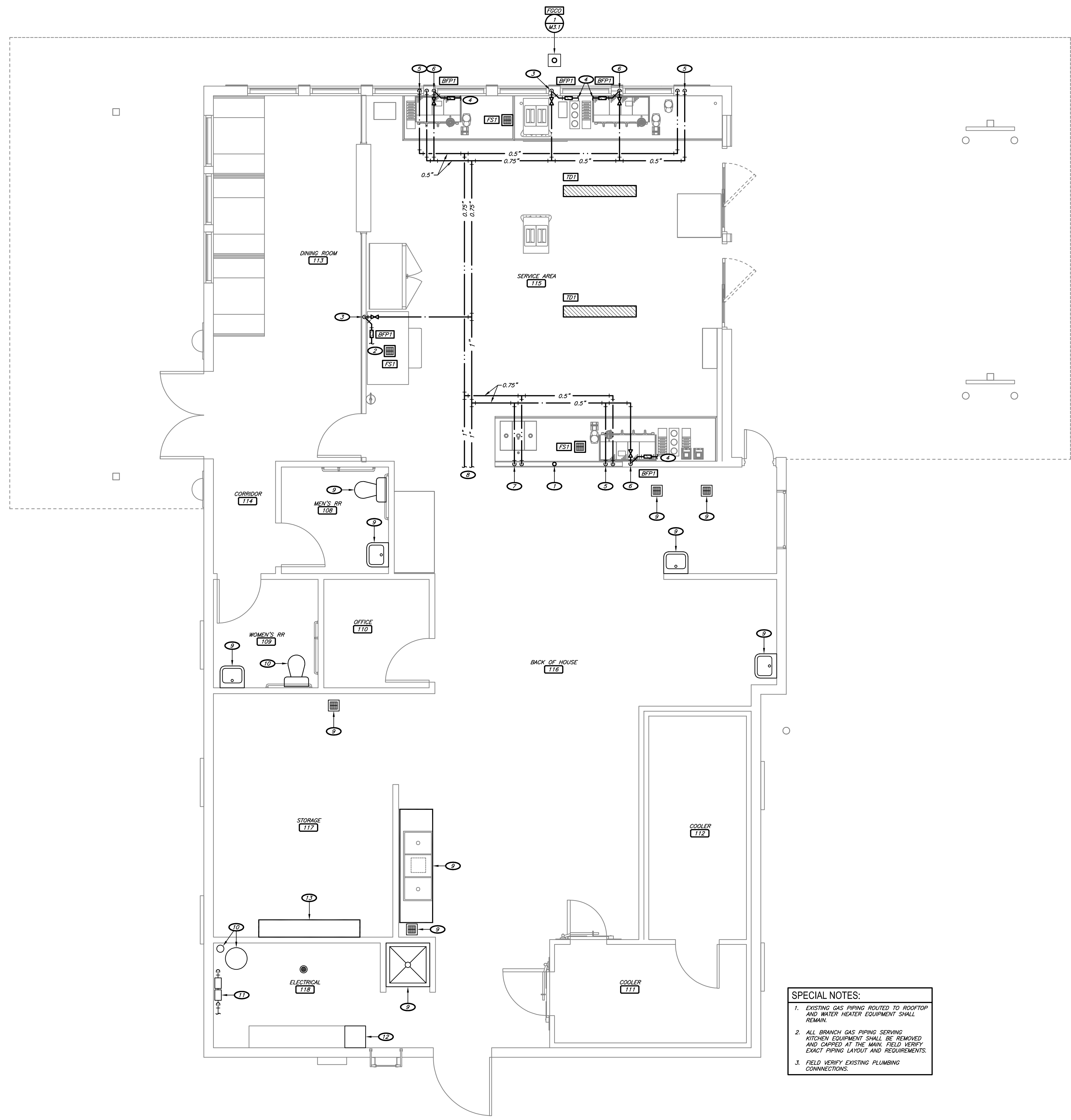
PROJECT NUMBER: 24045 7BBA  
 REVISION:

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**M1.1**  
 UNDERSLAB PLUMBING PLAN  
 DATE: AUGUST 15, 2024



**SPECIAL NOTES:**

- EXISTING GAS PIPING ROUTED TO ROOFTOP AND WATER HEATER EQUIPMENT SHALL REMAIN.
- ALL BRANCH GAS PIPING SERVING KITCHEN EQUIPMENT SHALL BE REMOVED AND CAPPED AT THE MAIN. FIELD VERIFY EXACT PIPING LAYOUT AND REQUIREMENTS.
- FIELD VERIFY EXISTING PLUMBING CONNECTIONS.

**1** GROUND LEVEL PLUMBING PLAN  
1/4" = 1'-0"  
NORTH

**KEYNOTES:**

- 3" VENT DOWN. CONTINUE 3" VENT UP THROUGH ROOF.
- PROVIDE 0.5" FILTERED WATER WITH SHUT-OFF VALVE TO ICE MAKER WITH BACKFLOW PREVENTER. PROVIDE 0.75" INDIRECT DRAIN FROM ICE-MAKER TO FLOOR SINK AS REQUIRED.
- 0.5" FILTERED WATER DOWN.
- CONNECT FILTERED WATER PIPING TO KITCHEN EQUIPMENT. PROVIDE BACKFLOW PREVENTER AS REQUIRED.
- 0.5" HOT AND FILTERED COLD WATER DOWN. CAP BELOW COUNTER FOR OWNER PROVIDED EQUIPMENT.
- 0.5" FILTERED WATER DOWN TO ESPRESSO MACHINE. PROVIDE SHUT-OFF VALVE AND BACKFLOW PREVENTER PRIOR TO CONNECTION TO ESPRESSO MACHINE.
- 0.5" HOT AND COLD WATER DOWN TO SINK. TERMINATE WASTE PIPING AT ADJACENT FLOOR SINK.
- CONNECT TO EXISTING 1" (OR LARGER) HOT AND 1" (OR LARGER) FILTERED COLD WATER IN THIS AREA. FIELD VERIFY EXISTING LOCATION AND REQUIREMENTS. MODIFY/EXTEND PIPING AS NECESSARY.
- EXISTING PLUMBING FIXTURE SHALL REMAIN.
- EXISTING WATER HEATER AND THERMAL EXPANSION TANK SHALL REMAIN.
- EXISTING BACKFLOW PREVENTER ASSEMBLY SHALL REMAIN.
- EXISTING GAS RESET EQUIPMENT TO BE ABANDONED IN PLACE.
- CONTRACTOR TO FIELD VERIFY CONDITION OF EXISTING WATER FILTRATION SYSTEM AND COORDINATE REPLACEMENT SCOPE WITH OWNER.



08-15-24  
ENGINEER OF RECORD,  
NAME: RYAN JONES  
LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA  
REVISION:

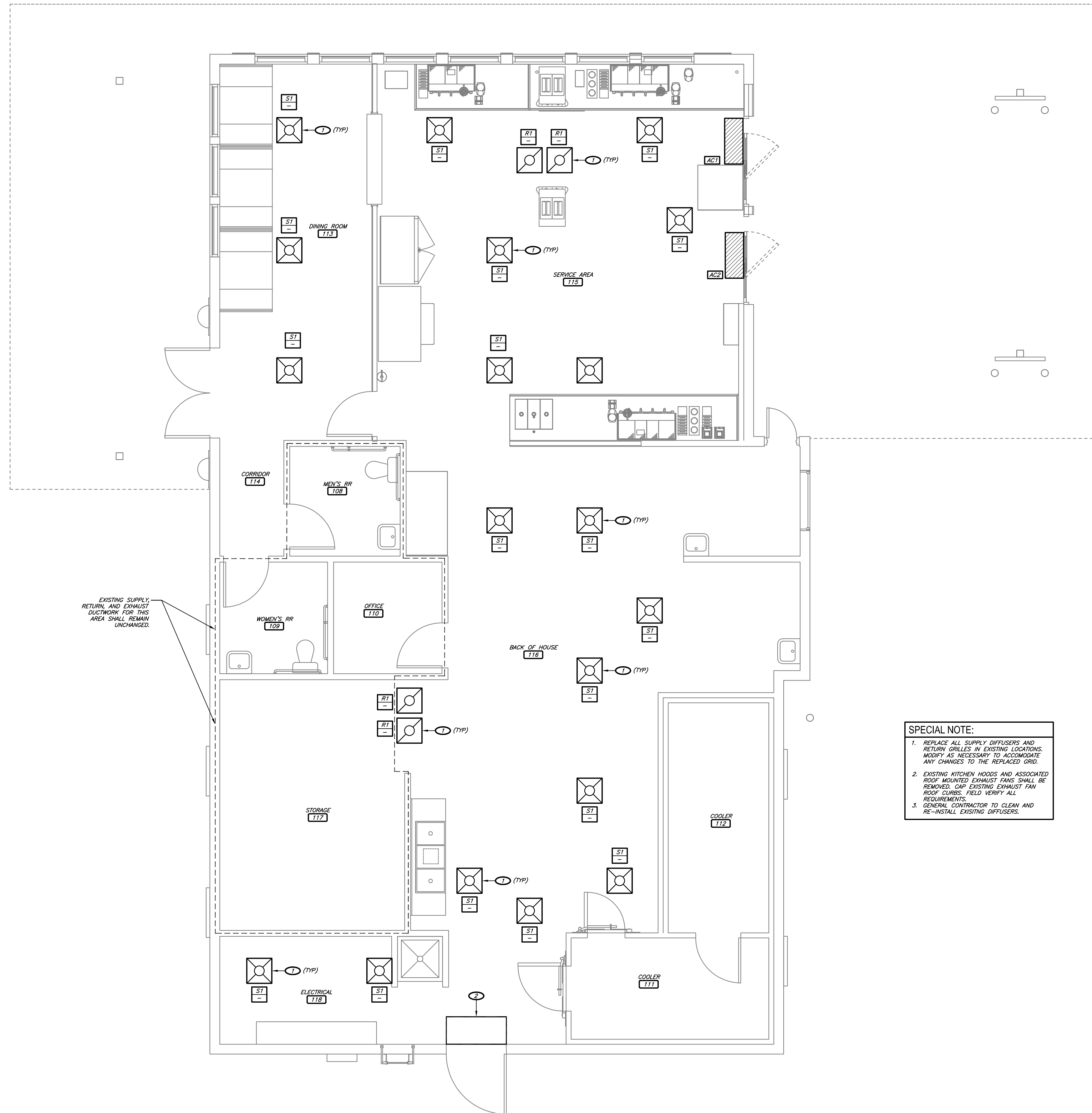
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**M1.2**  
PLUMBING PLAN

DATE: AUGUST 15, 2024



**SPECIAL NOTE:**

1. REPLACE ALL SUPPLY DIFFUSERS AND RETURN GRILLES IN EXISTING LOCATIONS. MODIFY AS NECESSARY TO ACCOMMODATE ANY CHANGES TO THE REPLACED GRID.
2. EXISTING KITCHEN HOODS AND ASSOCIATED ROOF MOUNTED EXHAUST FANS SHALL BE REMOVED. CAP EXISTING EXHAUST FAN ROOF CURBS. FIELD VERIFY ALL REQUIREMENTS.
3. GENERAL CONTRACTOR TO CLEAN AND RE-INSTALL EXISTING DIFFUSERS.

**KEYNOTES:**

1. REPLACE EXISTING DIFFUSER/GRILLE WITH NEW. FIELD VERIFY SIZE AND REQUIREMENTS.
2. EXISTING AIR CURTAIN TO REMAIN.



08-15-24  
 ENGINEER OF RECORD:  
 NAME: RYAN JONES  
 LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA  
 REVISION:

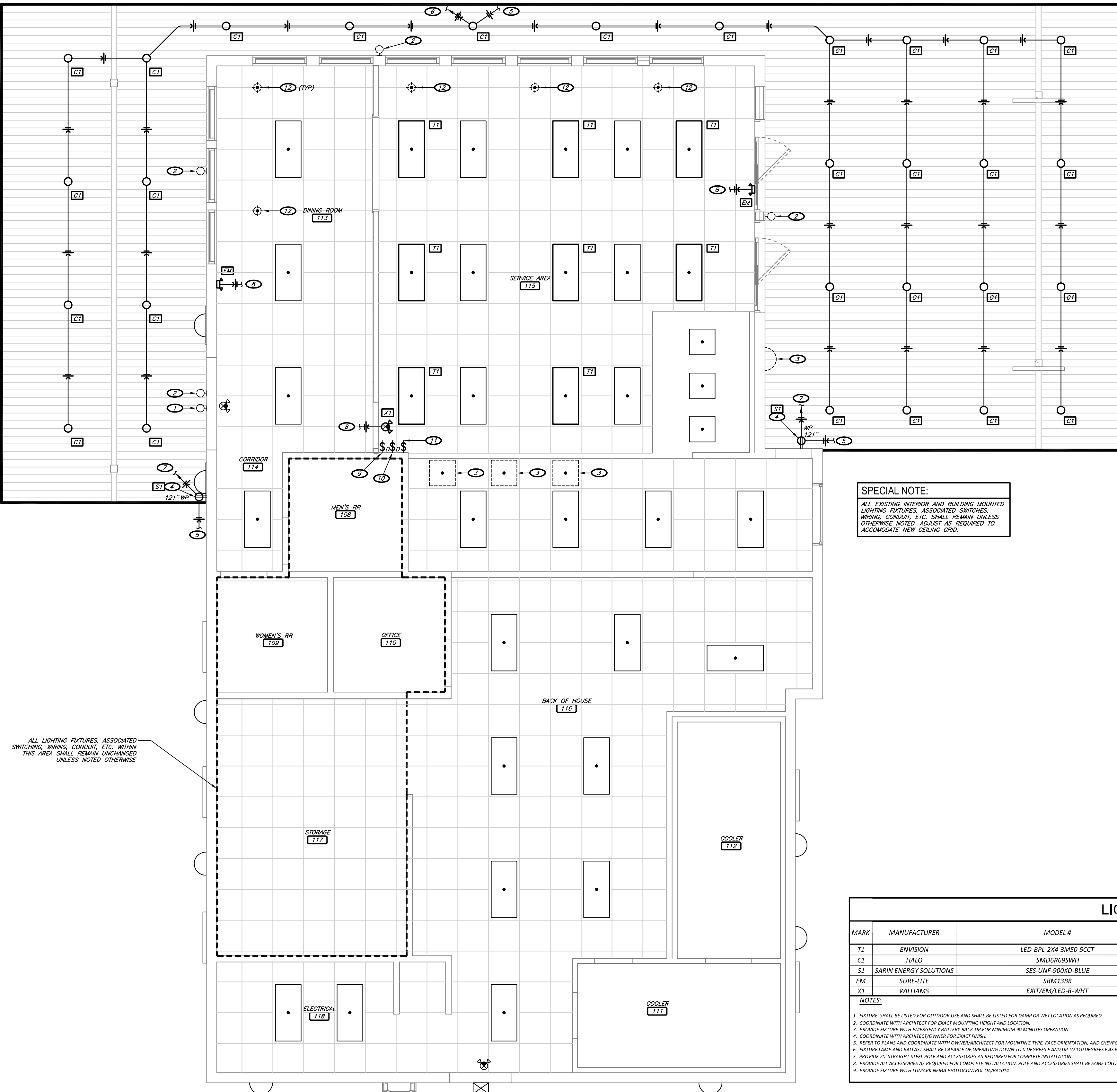
7 BREW COFFEE  
 BRYANT, AR #2  
 2006 N REYNOLDS RD  
 BRYANT, AR 72022

1  
 GROUND LEVEL  
 HVAC PLAN  
 1/4" = 1'-0"  
 NORTH

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**M2.1**  
 HVAC PLAN  
 DATE: AUGUST 15, 2024





**SPECIAL NOTE:**  
 ALL EXISTING INTERIOR AND BUILDING MOUNTED LIGHTING FIXTURES, ASSOCIATED SWITCHES, WIRING, CONDUIT, ETC. SHALL REMAIN UNLESS OTHERWISE NOTED. ADJUST AS REQUIRED TO ACCOMMODATE NEW CEILING GRID.

ALL LIGHTING FIXTURES, ASSOCIATED SWITCHING, WIRING, CONDUIT, ETC. WITHIN THIS AREA SHALL REMAIN UNCHANGED UNLESS NOTED OTHERWISE

| LIGHTING FIXTURE SCHEDULE |                        |                       |        |          |      |              |        |         |                        |         |
|---------------------------|------------------------|-----------------------|--------|----------|------|--------------|--------|---------|------------------------|---------|
| MARK                      | MANUFACTURER           | MODEL #               | FINISH | MOUNTING | TYPE | LAMPS        |        | VOLTAGE | APPROVED MANUFACTURERS | NOTES   |
|                           |                        |                       |        |          |      | CODE         | QTY.   |         |                        |         |
| T1                        | ENVISION               | LED-BFL-2K4-3M50-5CCT | WHITE  | SURFACE  | LED  | WITH FIXTURE | - 50   | 120     | SUBMIT                 | -       |
| C1                        | HALO                   | SMD6R655WH            | WHITE  | SURFACE  | LED  | WITH FIXTURE | - 10   | UNV     | SUBMIT                 | 1,2,4,6 |
| S1                        | SARIN ENERGY SOLUTIONS | SES-UNF-900XD-BLUE    | WHITE  | SURFACE  | LED  | WITH FIXTURE | - 3/FT | UNV     | SUBMIT                 | 1,2,6   |
| EM                        | SURE-LITE              | SRM13BK               | WHITE  | SURFACE  | LED  | WITH FIXTURE | - 10   | UNV     | SUBMIT                 | 3       |
| X1                        | WILLIAMS               | EXIT/EM/LED-R-WHT     | WHITE  | SURFACE  | LED  | WITH FIXTURE | - 10   | 120     | SUBMIT                 | 3       |

**NOTES:**  
 1. FIXTURE SHALL BE LISTED FOR OUTDOOR USE AND SHALL BE LISTED FOR 60AMP OR WET LOCATION AS REQUIRED.  
 2. COORDINATE WITH ARCHITECT FOR EXACT MOUNTING HEIGHT AND LOCATION.  
 3. PROVIDE FIXTURE WITH EMERGENCY BATTERY BACK UP FOR MINIMUM 90 MINUTES OPERATION.  
 4. COORDINATE WITH ARCHITECT/OWNER FOR EXACT FINISH.  
 5. REFER TO PLANS AND COORDINATE WITH OWNER/ARCHITECT FOR MOUNTING TYPE, FACE ORIENTATION, AND CHEVRON DIRECTION AS APPLICABLE.  
 6. FIXTURE LAMP AND BALLAST SHALL BE CAPABLE OF OPERATING DOWN TO 0 DEGREES F AND UP TO 130 DEGREES F AS REQUIRED.  
 7. PROVIDE 3/8" STRAIGHT STEEL POLE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION.  
 8. PROVIDE ALL ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION. POLE AND ACCESSORIES SHALL BE SAME COLOR AS FIXTURE HEAD.  
 9. PROVIDE FIXTURE WITH LUMARK NEMA PHOTOCONTROL DATA SHEET.

**ABBREVIATIONS:**  
 OSHV - OWNER FURNISHED, CONTRACTOR INSTALLED  
 TBD - TO BE DETERMINED

**KEYNOTES:**

- EXISTING EMERGENCY LIGHT ABOVE DOOR SHALL REMAIN.
- REMOVE EXISTING WALL MOUNTED GOOSENECK LIGHTING FIXTURE, ASSOCIATED WIRING, AND CONDUIT ABOVE NEW CANOPY WILL BE INSTALLED. FIELD VERIFY EXACT REQUIREMENTS.
- REMOVE EXISTING LIGHTING FIXTURE, ASSOCIATED CONDUIT, AND CONDUCTORS. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
- PROVIDE RECEPTACLE FOR POWER CONNECTION TO BUILDING LED TAPE LIGHT. REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT LOCATION AND LINEAR FOOTAGE OF FIXTURE. CONNECT POWER TO LED STRIPS PER MANUFACTURER'S INSTRUCTION.
- CIRCUIT TO CORRESPONDING LIGHT SWITCH IN SERVICE 115.
- CIRCUIT TO NEW OR EXISTING SPARE 20-AMP BREAKER IN EXISTING PANELBOARD. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS.
- CIRCUIT TO NEW 30 AMP BREAKER IN EXISTING PANELBOARD. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. CIRCUIT TO INCLUDE BOTH CANOPY TAPE LIGHTING RECEPTACLES.
- CIRCUIT TO NEAREST LIGHTING CIRCUIT IN THIS AREA. FIELD VERIFY EXACT LOCATION AND REQUIREMENTS. ADJUST EXISTING WIRING AS REQUIRED.
- CIRCUIT DIMMER LIGHT SWITCH TO CANOPY TAPE LIGHTING CIRCUIT.
- CIRCUIT DIMMER LIGHT SWITCH TO CANOPY CAN LIGHTING CIRCUIT.
- CIRCUIT LIGHT SWITCH TO BUILDING SIGNAGE LIGHTING CIRCUIT.
- REMOVE EXISTING PENDANT LIGHT FIXTURE, ASSOCIATED CONDUIT AND CONDUCTORS. FIELD VERIFY QUANTITY, REQUIREMENTS, AND LOCATIONS.

**ELECTRICAL SYMBOLS:**

- SIMPLEX RECEPTACLE, 2P, 3W, 20A, 125V
- <sub>14-30</sub> SIMPLEX RECEPTACLE, NEMA CONFIGURATION AS INDICATED
- <sub>14-30</sub> DUPLEX RECEPTACLE, 2P, 3W, 20A, 125V
- <sub>42"</sub> DUPLEX RECEPTACLE, MOUNTED 42" ABOVE FINISHED FLOOR
- <sub>4C</sub> DUPLEX RECEPTACLE, MOUNTED 6" ABOVE COUNTERTOP BACKSPASH
- <sub>GF</sub> DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER
- <sub>WP</sub> DUPLEX RECEPTACLE, WEATHERPROOF
- <sub>DB</sub> DOUBLE DUPLEX RECEPTACLE WITH COMMON FACEPLATE
- ▲ TELECOMMUNICATIONS OUTLET, ROUGH-IN JUNCTION BOX OR PLASTER RING ONLY. MAY BE USED FOR VOICE, DATA, FAX, MODEM, OR ANY COMBINATION THEREOF. CABLE, COVER PLATE & JACKS PROVIDED BY OTHERS.
- <sub>TV</sub> CABLE TV OUTLET, ROUGH-IN JUNCTION BOX OR PLASTER RING ONLY. CABLE, COVER PLATE & JACKS PROVIDED BY OTHERS.
- ⊗ EXIT LIGHT, WALL MOUNTED / CEILING MOUNTED
- ⊕ EMERGENCY LIGHT
- ⊕<sub>EM</sub> EXIT/EMERGENCY LIGHT
- ⊕<sub>LED</sub> LED LIGHT FIXTURE
- ⊕<sub>NIGHT</sub> NIGHT LIGHT FIXTURE
- ⊕<sub>LS</sub> LIGHT SWITCH
- ⊕<sub>3-WAY</sub> 3-WAY LIGHT SWITCH
- ⊕<sub>DM</sub> DIMMER LIGHT SWITCH
- ⊕<sub>OS</sub> OCCUPANCY SENSOR LIGHT SWITCH
- ⊕<sub>OS</sub> CEILING MOUNTED OCCUPANCY SENSOR
- ⊕<sub>JB</sub> JUNCTION BOX
- ⊕<sub>LP</sub> LIGHTING & POWER PANELBOARD
- ⊕<sub>CON</sub> CONDUIT CONCEALED IN CEILING OR WALL
- ⊕<sub>CG</sub> CONDUIT BELOW GRADE
- ⊕<sub>HR</sub> HOME RUN: TICK MARKS INDICATE NUMBER OF WIRES, ARROWS INDICATE NUMBER OF CIRCUITS
- ⊕<sub>GW</sub> GROUND WIRE
- ⊕<sub>FP</sub> FEEDER PER SCHEDULE
- ⊕<sub>DIS</sub> DISCONNECT SWITCH
- ⊕<sub>DD</sub> DUCT MOUNTED SMOKE DETECTOR

**GENERAL ELECTRICAL NOTES:**

- GENERAL:**
- GENERAL ELECTRICAL NOTES APPLY TO ALL ELECTRICAL SHEETS.
  - CJD ENGINEERING LLC, BEING THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS RESERVES THE RIGHT OF FINAL INTERPRETATION AS TO THEIR INTENT AND MEANING. ANY ADDITIONAL WORK OR COSTS RESULTING FROM THE CONTRACTOR'S OWN INTERPRETATION AS TO THE INTENT OR MEANING WITHOUT CONSULTATION WITH CJD ENGINEERING LLC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO OWNER OR A/E.
  - THE INTENT OF THE WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS IS TO PROVIDE A FULLY FUNCTIONING SYSTEM IN COMPLETE WORKING ORDER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR SUPPLIERS TO INCLUDE ALL ACCESSORIES, COMPONENTS, PARTS, ETC. THAT MAY NOT BE INDICATED ON THESE CONSTRUCTION DOCUMENTS TO PROVIDE BUILDING CODE COMPLIANT SYSTEMS AND EQUIPMENT THAT OPERATE SATISFACTORILY AS DESIGNED AND INTENDED.
  - ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES, THE 2017 NATIONAL ELECTRICAL CODE, AND ALL LOCAL CODES AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
  - THE CONTRACTOR SHALL INCLUDE ALL PERMIT AND INSPECTION FEES IN BID.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS.
  - PLANS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO CIVIL, STRUCTURAL AND ARCHITECTURAL DRAWINGS AND EXISTING CONDITIONS FOR DIMENSIONS. FIELD VERIFY ALL DIMENSIONS.
  - EQUIPMENT AND CONDUIT/CONDUCTOR LAYOUTS ARE DIAGRAMMATIC. FIELD COORDINATE EXACT LOCATIONS AND ROUTINGS WITH STRUCTURE, PIPING, DUCTWORK, LIGHT FIXTURES, ETC. FINAL RESULT SHALL BE EQUIVALENT TO THAT INDICATED ON DRAWINGS.
  - COORDINATE CLOSELY WITH ALL OTHER TRADES TO EXPEDITE CONSTRUCTION AND AVOID INTERFERENCES AND CONFLICTS. BEFORE ANY PIPING, DUCTWORK, CONDUIT, ETC. IS INSTALLED, IT SHALL BE COORDINATED CAREFULLY BETWEEN ALL TRADES.
  - MAINTAIN ALL CLEARANCES REQUIRED BY ELECTRICAL EQUIPMENT. COORDINATE WITH PLUMBING, HVAC AND SPRINKLER CONTRACTORS TO MAINTAIN ALL CLEARANCES REQUIRED FOR EQUIPMENT. DO NOT ROUTE PIPING, DUCTWORK, ETC. ABOVE ELECTRICAL PANELS.
  - DRAWINGS REPRESENT FINAL RESULT. REMOVE, RELOCATE, MODIFY EXISTING EQUIPMENT, DUCTWORK, PIPING, ETC. AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS AND EXACT REQUIREMENTS.
  - COORDINATE INFORMATION OUTLET, RECEPTACLE, AND OTHER DEVICE LOCATIONS WITH OWNER AND WITH MILLWORK AND WITH OTHER TRADES PRIOR TO ROUGH-IN.
  - INFORMATION OUTLET (DATA AND TELEPHONE) DEVICES, WALL PLATES, AND ASSOCIATED WIRING SHALL BE SUPPLIED AND INSTALLED BY OTHERS UNDER A SEPARATE CONTRACT WITH THE OWNER.
  - THE CONTRACTOR SHALL PROVIDE ELECTRONIC SHOP DRAWINGS/SUBMITTALS OF ALL FIXTURES AND EQUIPMENT FURNISHED UNDER THIS CONTRACT.
  - IF CONTRACTOR WISHES TO INCORPORATE PRODUCTS OTHER THAN THOSE NAMED IN SPECIFICATIONS IN HIS BID OR PRODUCTS BY MANUFACTURERS OTHER THAN THOSE LISTED AS APPROVED MANUFACTURERS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW AND APPROVAL OF PROPOSED SUBSTITUTIONS TO CJD ENGINEERING LLC NOT LESS THAN FIVE WORKING DAYS PRIOR TO BID DATE. APPROVAL OR ACCEPTANCE OF PROPOSED SUBSTITUTION OF MANUFACTURERS OR ITEMS IS FOR THE PURPOSES OF BIDDING ONLY AND DOES NOT RELIEVE THE PROPOSED SUBSTITUTION FROM SUBMITTAL/SHOP DRAWING REVIEW AND DOES NOT CONSTITUTE PRIOR APPROVAL OF PROPOSED SUBSTITUTIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF LARGER WIRING, CONDUIT, ENCLOSURES, CONTROL AND OVERCURRENT PROTECTIVE DEVICES, ETC. RESULTING FROM SUBSTITUTION OF EQUIPMENT OTHER THAN THAT WHICH WAS THE BASIS OF DESIGN AT NO COST TO OWNER OR A/E.
  - THE CONTRACTOR SHALL GUARANTEE ALL EQUIPMENT, ACCESSORIES, AND MATERIAL FURNISHED BY HIM FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE AGAINST ALL DEFECTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COSTS TO CUT, PATCH AND REPAIR EXISTING FLOOR AND CEILING CONSTRUCTION AS REQUIRED TO INSTALL NEW FIXTURES, CONDUIT, WIRING, ETC. ARE INCLUDED IN THE BID PRICE.
- PRODUCTS:**
- LIGHT SWITCHES SHALL BE EQUIVALENT TO HUBBELL 1220 SERIES, 20-AMP, 120/277-VOLT, IN COLOR SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
  - DUPLEX RECEPTACLES SHALL BE EQUIVALENT TO HUBBELL 5300 SERIES, 20A, 125V, NEMA CONFIGURATION 5-20R, IN COLOR SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
  - ALL RECEPTACLES THROUGHOUT SHALL BE TAMPER-RESISTANT TYPE, TO COMPLY WITH I.E.C.
  - ELECTRICAL DEVICE WALL PLATES SHALL BE HIGH IMPACT NYLON PLASTIC IN COLOR AS SELECTED BY THE ARCHITECT/INTERIOR DESIGNER.
  - FEEDER AND BRANCH CIRCUIT WIRING SHALL BE COPPER, 60KV WITH THIN/THIN INSULATION. BRANCH CIRCUIT WIRING SHALL BE #12 AWG MINIMUM HOMERUNS FOR BRANCH CIRCUITS OVER 75 FEET LONG SHALL BE #10 AWG; OVER 100 FEET LONG, #8 AWG UNLESS OTHERWISE NOTED.
  - EQUIVALENT WIRING DEVICES BY BRYANT, COOPER, HUBBELL, LEVITON, OR AS APPROVED BY OWNER.
  - EQUIVALENT PANELBOARDS, LIGHTING CONTACTORS AND DISCONNECT SWITCHES BY CUTLER HAMMER, GENERAL ELECTRIC, SIEMENS, SQUARE D, OR AS APPROVED BY OWNER.
- EXECUTION:**
- PROVIDE ALL ACCESSORIES, COMPONENTS, ETC. REQUIRED FOR COMPLETE INSTALLATION OF SPECIFIED EQUIPMENT.
  - PROVIDE UNISTRUTS AND ACCESSORIES AS REQUIRED FOR SUPPORT OF PIPING, EQUIPMENT, ETC.
  - COORDINATE LIGHTING AND CEILING DEVICE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS.
  - ALL WIRING SHALL BE INSTALLED IN EMT CONDUIT AND SHALL BE CONCEALED UNLESS OTHERWISE NOTED. PVC CONDUIT WILL BE ALLOWED BELOW SLAB ALL TRANSITIONS FROM PVC TO STEEL CONDUIT SHALL BE MADE BELOW GRADE. MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER BRANCH CIRCUITS ABOVE GRADE SHALL BE 1/2" MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER BRANCH CIRCUITS BELOW GRADE SHALL BE 3/4". CONTRACTOR SHALL HAVE THE OPTION TO USE METALLIC CLAD (M/C) CABLE FOR CONCEALED BRANCH CIRCUIT WIRING.
  - MINIMUM CONDUIT SIZE FOR INFORMATION OUTLETS SHALL BE 3/4". CONDUIT STUDS SHALL BE TERMINATED WITH INSULATING BUSHINGS.
  - ALL LIGHTING AND POWER CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR.
  - ALL RECEPTACLES, TELECOMMUNICATIONS OUTLETS, AND TELEVISION OUTLETS SHALL BE INSTALLED AT 18" AFF TO CENTER UNLESS NOTED OTHERWISE. ALL SWITCHES SHALL BE INSTALLED AT 48" AFF TO CENTER UNLESS NOTED OTHERWISE.
  - PROVIDE TYPED CIRCUIT DIRECTORIES FOR ALL PANELBOARDS. DIRECTORY INFORMATION SHALL INCLUDE CIRCUIT NUMBER AND EQUIPMENT SERVED.
  - INSTALL ALL ROOF EQUIPMENT, PIPE, AND CONDUIT SUPPORTS, CURBS AND PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROOFING SYSTEM MANUFACTURER.
  - SUPPORT CONDUIT ON ROOF WITH PREMANUFACTURED PIPING SUPPORT EQUIVALENT TO B-LINE C-SERIES. FIELD FABRICATED SUPPORTS CONSISTING OF LUMBER, ETC. ARE NOT ACCEPTABLE.
  - PROVIDE FACTORY FABRICATED PIPE CURB ASSEMBLIES FOR MULTIPLE CONDUIT AND PIPING PENETRATIONS THROUGH THE ROOF. PIPE CURB ASSEMBLIES SHALL BE FACTORY FABRICATED, 8" TALL (MINIMUM) GALVANIZED STEEL ROOF CURBS WITH INTERNAL BASE PLATE, 1 LB DENSITY INSULATION, WOOD WALLBOARD, CLAD THERMOPLASTIC COVER, FASTENING SCREWS, AND GRADUATED STEP BOOTS WITH STAINLESS STEEL CLAMPS AS MANUFACTURED BY PATE, LEVITON OR APPROVED EQUIVALENT. PROVIDE FIRE SEAL ASSEMBLIES FOR INDIVIDUAL CONDUIT OR PIPE PENETRATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH ROOFING MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
  - PROVIDE SLEEVES AT CONDUIT PENETRATIONS OF EXTERIOR OR FOUNDATION WALLS. SEAL PENETRATIONS WEATHERTIGHT.
  - SEAL ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AS NECESSARY TO RESTORE FIRE-RESISTANCE RATING OF ASSEMBLY. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR RATED MATERIALS, FIRESTOPPING MATERIALS AND REQUIREMENTS.
  - CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO SPECIAL EQUIPMENT. PROVIDE ADAPTERS, FITTINGS, ETC. FOR ALL EQUIPMENT AS REQUIRED. COORDINATE SPECIAL REQUIREMENTS WITH EQUIPMENT SUPPLIERS. REFER TO SPECIAL EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
  - ELECTRICAL CONTRACTOR SHALL PROVIDE ROUGH-IN FOR THERMOSTATS AND SENSORS. PROVIDE SINGLE-GANG BOX WITH 0.75" CONDUIT TO ABOVE ACCESSIBLE CEILING OR TO ASSOCIATED EQUIPMENT. THERMOSTATS, SENSORS, AND WIRING SHALL BE PROVIDED BY MECHANICAL CONTRACTOR. REFER TO HVAC PLANS FOR THERMOSTAT AND CONTROL LOCATIONS.



ENGINEER OF RECORD:  
 NAME: RYAN JONES  
 LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA  
 REVISION:

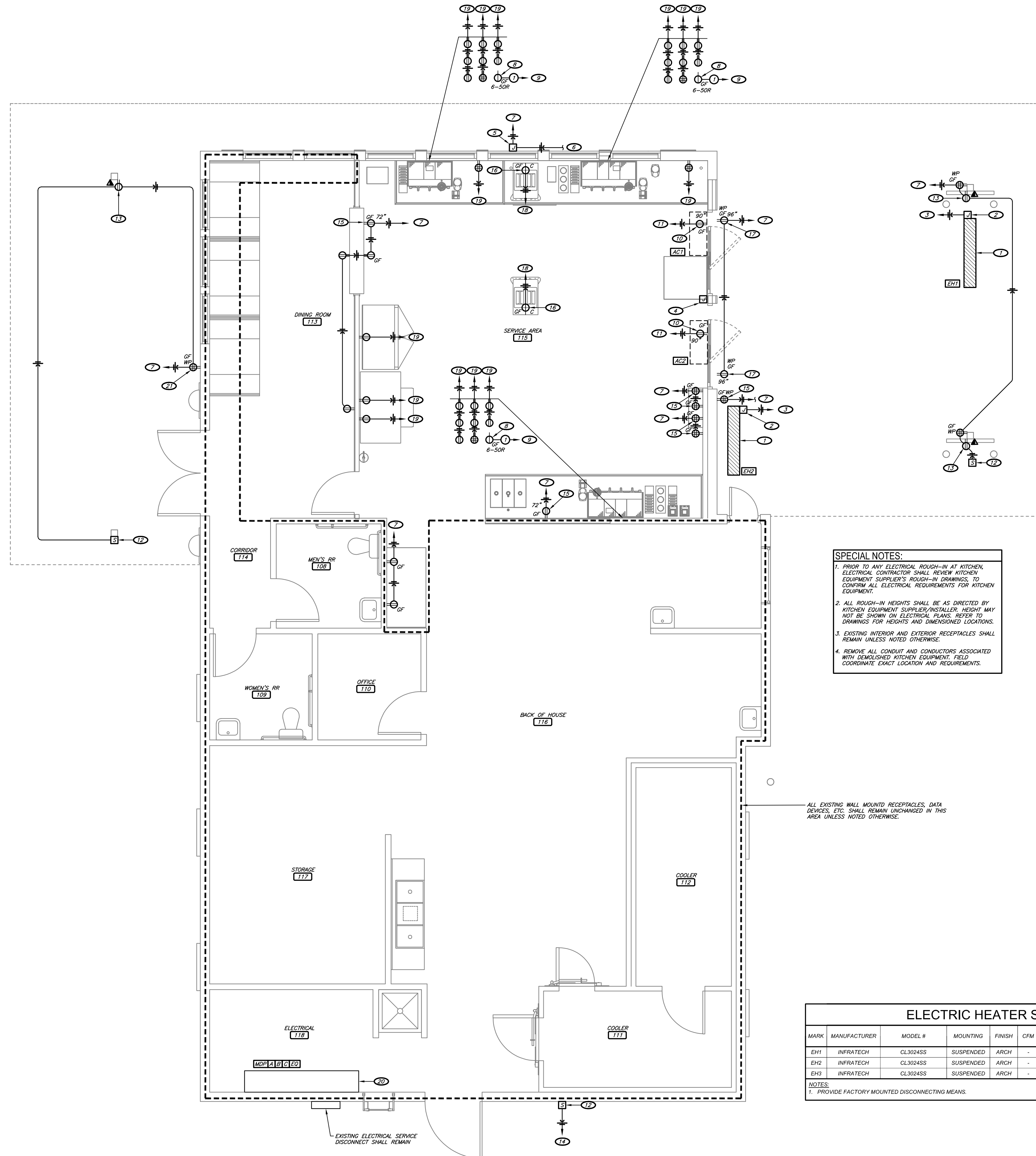
7 BREW COFFEE  
 BRYANT, AR #2  
 2006 N REYNOLDS RD  
 BRYANT, AR 72022



**E1.1**  
 LIGHTING PLAN

DATE: AUGUST 15, 2024





**SPECIAL NOTES:**

1. PRIOR TO ANY ELECTRICAL ROUGH-IN AT KITCHEN, ELECTRICAL CONTRACTOR SHALL REVIEW KITCHEN EQUIPMENT SUPPLIER'S ROUGH-IN DRAWINGS, TO CONFIRM ALL ELECTRICAL REQUIREMENTS FOR KITCHEN EQUIPMENT.
2. ALL ROUGH-IN HEIGHTS SHALL BE AS DIRECTED BY KITCHEN EQUIPMENT SUPPLIER/INSTALLER. HEIGHT MAY NOT BE SHOWN ON ELECTRICAL PLANS, REFER TO DRAWINGS FOR HEIGHTS AND DIMENSIONED LOCATIONS.
3. EXISTING INTERIOR AND EXTERIOR RECEPTACLES SHALL REMAIN UNLESS NOTED OTHERWISE.
4. REMOVE ALL CONDUIT AND CONDUCTORS ASSOCIATED WITH DEMOLISHED KITCHEN EQUIPMENT. FIELD COORDINATE EXACT LOCATION AND REQUIREMENTS.

ALL EXISTING WALL MOUNTED RECEPTACLES, DATA DEVICES, ETC. SHALL REMAIN UNCHANGED IN THIS AREA UNLESS NOTED OTHERWISE.

| ELECTRIC HEATER SCHEDULE |              |          |           |        |     |                 |                |      |      |       |
|--------------------------|--------------|----------|-----------|--------|-----|-----------------|----------------|------|------|-------|
| MARK                     | MANUFACTURER | MODEL #  | MOUNTING  | FINISH | CFM | HEATING (WATTS) | VOLTAGE/ PHASE | MCA  | MOCP | NOTES |
| EH1                      | INFRATECH    | CL3024SS | SUSPENDED | ARCH   | -   | 3000            | 240V           | 12.5 | 20   | 1     |
| EH2                      | INFRATECH    | CL3024SS | SUSPENDED | ARCH   | -   | 3000            | 240V           | 12.5 | 20   | 1     |
| EH3                      | INFRATECH    | CL3024SS | SUSPENDED | ARCH   | -   | 3000            | 240V           | 12.5 | 20   | 1     |

NOTES:  
1. PROVIDE FACTORY MOUNTED DISCONNECTING MEANS.

**KEYNOTES:**

1. ELECTRIC HEATER. COORDINATE MOUNTING HEIGHT WITH OWNER.
2. POWER CONNECTION FOR ELECTRIC HEATER. COORDINATE INSTALLATION HEIGHT WITH OWNER.
3. CIRCUIT TO NEW OR UNUSED 20-AMP, 2-POLE HACR BREAKER IN EXISTING PANELBOARD.
4. PROVIDE JUNCTION BOX FOR OUTDOOR HEATER CONTROLS 6" ABOVE SLIDING GLASS DOOR. COORDINATE ROUGH-IN AND WIRING REQUIREMENTS WITH OWNER.
5. PROVIDE WEATHER PROOF JUNCTION BOX AND TGGLE SWITCH LOCATED ON SIGN IN CONCEALED LOCATION FOR EXTERIOR SIGNAGE PER IEC. COORDINATE EXACT LOCATION OF JUNCTION BOX WITH THE SIGNAGE PROVIDER PRIOR TO INSTALLATION. CONTRACTOR SHALL PULL ALL WIRING TO THE JUNCTION BOXES AND MAKE FINAL CONNECTIONS. COORDINATE ALL REQUIREMENTS WITH THE SIGNAGE PROVIDER.
6. CIRCUIT TO CORRESPONDING LIGHT SWITCH IN SERVICE 115. REFER TO 1/1.1 FOR LOCATIONS OF LIGHT SWITCHES.
7. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP BREAKER IN EXISTING PANELBOARD.
8. RECEPTACLE FOR ESPRESSO MACHINE. PROVIDE CORD AND PLUG CONNECTION.
9. CIRCUIT TO NEW OR UNUSED EXISTING 50-AMP, 2-POLE GFCI BREAKER IN EXISTING PANELBOARD.
10. POWER CONNECTION FOR AIR CURTAIN. COORDINATE ROUGH-IN, WIRING REQUIREMENTS, AND MOUNTING HEIGHT WITH OWNER.
11. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP HACR BREAKER IN EXISTING PANELBOARD.
12. POWER CONNECTION FOR EXTERIOR SPEAKER. COORDINATE LOCATION AND POWER REQUIREMENTS WITH EQUIPMENT PROVIDER.
13. PROVIDE RECEPTACLE AND DATA OUTLET FOR TV. COORDINATE/VERIFY EXACT LOCATION, MOUNTING HEIGHT, AND REQUIREMENTS OF TELEVISION AND RECEPTACLE WITH OWNER PRIOR TO ROUGH-IN.
14. CIRCUIT TO NEAREST RECEPTACLE CIRCUIT IN THIS AREA. FIELD VERIFY EXISTING LOCATION AND REQUIREMENTS.
15. RECEPTACLE FOR IPAD. COORDINATE INSTALLATION HEIGHT AND LOCATION WITH OWNER.
16. COORDINATE LOCATION AND RECEPTACLE TYPE WITH EQUIPMENT PROVIDER.
17. RECEPTACLE FOR EXTERIOR FAN. COORDINATE INSTALLATION HEIGHT AND LOCATION WITH OWNER.
18. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP, 2-POLE GFCI BREAKER IN EXISTING PANELBOARD.
19. CIRCUIT TO NEW OR UNUSED EXISTING 20-AMP, GFCI BREAKER IN EXISTING PANELBOARD.
20. EXISTING 800-AMP, 120/208-VOLT, 3PHASE ELECTRICAL EQUIPMENT AND PANELBOARDS SHALL REMAIN.
21. COORDINATE RECEPTACLE LOCATION WITH OWNER.

**CONDUIT & CONDUCTOR SCHEDULE:**

1. (2) #8 AND (1) #10 GROUND IN 0.75" CONDUIT



ENGINEER OF RECORD,  
NAME: RYAN JONES  
LICENSE NO. PE-16638

PROJECT NUMBER: 24045 7BBA  
REVISION:

7 BREW COFFEE  
BRYANT, AR #2  
2006 N REYNOLDS RD  
BRYANT, AR 72022



## REGULAR / A-FRAME 24'-0" WIDE CARPORT STYLE BUILDINGS

### DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, AISI 100, ASCE 7-10, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

### DESIGN CRITERIA

|                             |   |
|-----------------------------|---|
| PREVAILING CODE:            | AFFC 2012 (IBC 2012)                                  |
| USE GROUP:                  | U (CARPORTS, BARNS)                                   |
| RISK CATEGORY:              | I   |
| 1. DEAD LOAD (D)            | D = 4 PSF   |
| 2. ROOF LIVE/SNOW LOAD (Lr) | Lr = 20 - 61 PSF<br>(AS PER SNOW LOAD<br>SEE TABLE 4) |
| 3. SNOW LOAD (S)            |   |
| GROUND SNOW LOAD            | P <sub>g</sub> = 20 - 90 PSF                          |
| IMPORTANCE FACTOR           | I <sub>s</sub> = 0.8                                  |
| THERMAL FACTOR              | C <sub>t</sub> = 1.2                                  |
| EXPOSURE FACTOR             | C <sub>e</sub> = 1.0                                  |
| ROOF SLOPE FACTOR           | C <sub>s</sub> = 1.0                                  |
| 4. WIND LOAD (W)            |   |
| BASIC WIND SPEED            | V <sub>ULT</sub> = 105 - 180 MPH                      |
| EXPOSURE                    | C   |
| 5. SEISMIC LOAD (E)         |   |
| DESIGN CATEGORY             | D   |
| IMPORTANCE FACTOR           | I <sub>e</sub> = 1.00                                 |

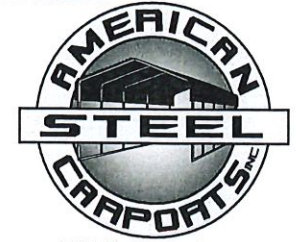
### LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

### DRAWING INDEX

|                           |       |              |
|---------------------------|-------|--------------|
| COVER SHEET               | ----- | 1            |
| SCHEDULES & MEMBER -      |       |              |
| SECTIONS                  | ----- | 2            |
| FRAME SECTIONS & DETAILS  | ----- | 3-A, 3-B     |
| SPACING SCHEDULES -       |       |              |
| & ENCLOSURE NOTES         | ----- | 4            |
| PURLIN & GIRT SCHEDULES   | ----- | 5            |
| SHEATHING OPTIONS         | ----- | 6            |
| SIDE WALL FRAMING         |       |              |
| & OPENINGS                | ----- | 7-A, 7-B     |
| END WALL FRAMING          |       |              |
| & OPENINGS                | ----- | 8-A, 8-B     |
| CORNER BRACING DETAILS    | ----- | 9            |
| OPTIONAL LEAN-TO ADDITION | ----- | 10           |
| FOUNDATION OPTIONS        | ----- | 11-A TO 11-D |

MANUFACTURED BY:



457 N. Broadway,  
Joshua, TX 76058  
1-866-730-9865

ENGINEERED BY:



**A&A ENGINEERING**  
CIVIL • STRUCTURAL  
6086 Renaissance Place, Toledo, OH 43623  
Tel. 419-292-1983 • Fax. 419-292-0955  
www.aa-engineers.com

### DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

### LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.  
- DRAWINGS VALID UP TO DATE OF EXPIRATION.

SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023

### CUSTOMER INFORMATION

OWNER:  
ADDRESS:

### DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

### BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

FRAME TYPE:  A-FRAME

REGULAR

FULL

PARTIAL

OPEN

### CERTIFICATION VALIDITY NOTICE

DATE OF PLANS  
EXPIRATION: **01-18-2024**

CERTIFICATION ON THESE DRAWINGS IS  
VALID FOR ONE YEAR FROM DATE OF ISSUE

TABLE 2.1: MEMBER PROPERTIES

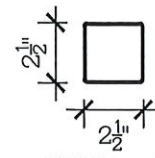
| NO. | LABEL                         | PROPERTY   | DETAIL NO. |
|-----|-------------------------------|--|------------|
| 1   | COLUMN POST                   | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 2   | ROOF BEAM                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 3   | BASE RAIL                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 4   | PEAK BRACE                    | 2.5" X 2.5" 14GA CHANNEL   | 4          |
| 5   | KNEE BRACES                   | 2.5" X 1.5" 14GA CHANNEL   | 4          |
| 6   | CONNECTOR SLEEVE              | 2.25" X 2.25" X 12GA TUBE  | 2          |
| 7   | BASE ANGLE                    | 2" X 2" X 3" LG. 3/16" ANGLE   | 10         |
| 8   | PURLIN                        | 4.25" X 1.5" X 14GA / 18GA HAT CHANNEL                               | 5          |
| 9   | GIRT                          | 4.25" X 1.5" X 14GA / 18GA HAT CHANNEL                               | 5          |
| 9A  | OPT. END WALL GIRT            | 2.5" X 1.5" 14GA CHANNEL   | 1          |
| 10  | SHEATHING                     | 29 GA CORRUGATED SHEET   | 8          |
| 11  | END WALL POST                 | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 12  | DOOR POST                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 13  | SINGLE HEADER                 | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 14  | DOUBLE HEADER                 | DBL. 2.5" X 2.5" X 14GA TUBE   | 1          |
| 15  | SERVICE DOOR / WINDOW FRAMING | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 16  | ANGLE BRACKET                 | 2" X 2" X 2" LG. 14GA ANGLE  | 7          |
| 17  | STRAIGHT BRACKET              | 2" X 2" X 4" LG. 14GA PLATE  | 6          |
| 18  | PB SUPPORT                    | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 19  | DIAGONAL BRACE                | 2" X 2" X 14 GA TUBE   | 3          |
| 20  | GABLE BRACE                   | 2" X 2" X 14 GA TUBE   | 3          |
| 21  | DB BRACKET                    | 2.25" X 2.25" X 6" LG. 14GA ANGLE                                    | 9          |
| 22  | TRUSS SPACER                  | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 23  | ALL FASTENERS                 | #12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER |            |

TABLE 2.2: SHEATHING FASTENER SCHEDULE

| LOCATION | CORNER PANELS | SIDE LAPS | EDGE LAPS  | ELSEWHERE |
|----------|---------------|-----------|------------|-----------|
| SPACING  | 9" C/C        | MIN. 1    | 4 1/2" C/C | 9" C/C    |

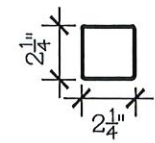
FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

\*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.



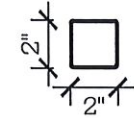
THICKNESS = 14GA

2.5" X 2.5" 14GA TUBE ①  
SCALE: NTS



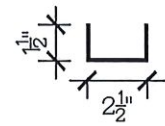
THICKNESS = 12GA

2.25" X 2.25" 12GA TUBE ②  
SCALE: NTS



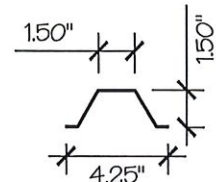
THICKNESS = 14GA

2" X 2" 14GA TUBE ③  
SCALE: NTS



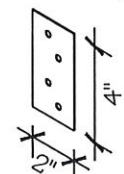
THICKNESS = 14GA

2.5" X 1.5" 14GA CHANNEL ④  
SCALE: NTS



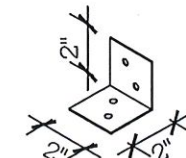
THICKNESS = 14GA / 18GA

4.25" X 1.5" X 14GA / 18GA HAT CHANNEL ⑤  
SCALE: NTS



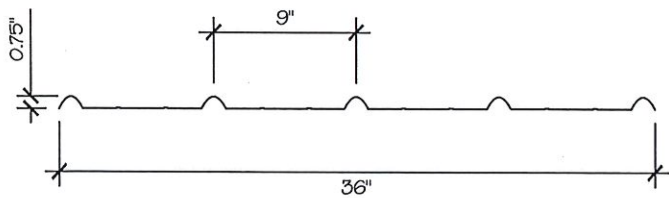
THICKNESS = 14GA

STRAIGHT BRACKET ⑥  
SCALE: NTS



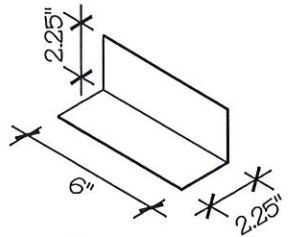
THICKNESS = 14GA

ANGLE BRACKET ⑦  
SCALE: NTS



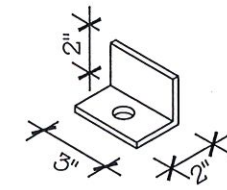
THICKNESS = 29GA

29 GA CORRUGATED SHEATHING ⑧  
SCALE: NTS



THICKNESS = 14GA

DB BRACKET ⑨  
SCALE: NTS



THICKNESS = 3/16"

BASE ANGLE ⑩  
SCALE: NTS

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SCHEDULES &  
MEMBER SECTIONS

SHEET NO.: 2 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

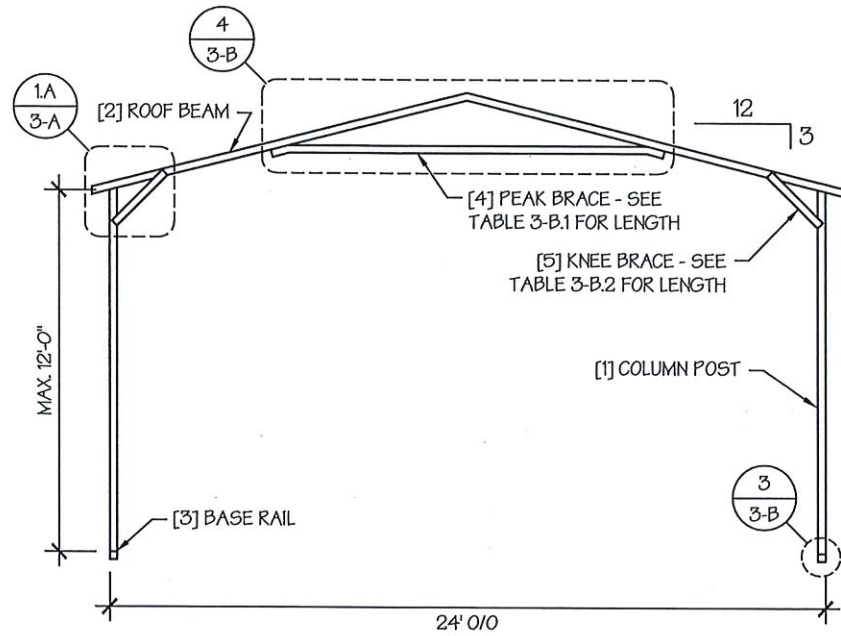
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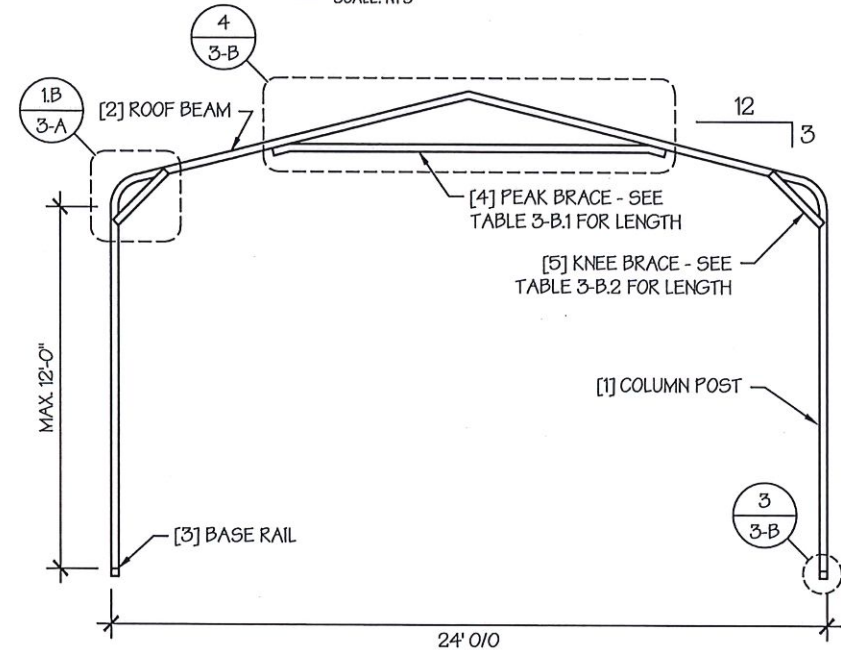


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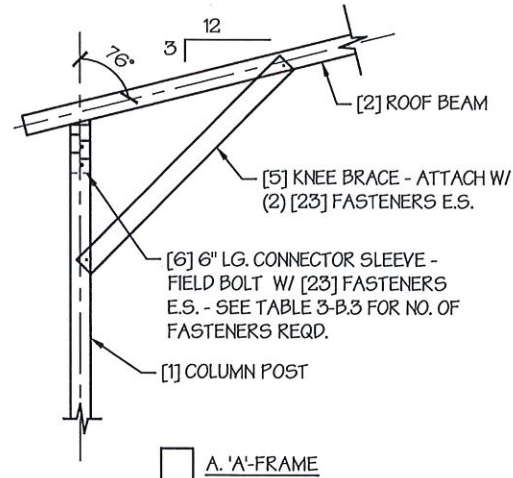
DATE SIGNED: 01-18-2023



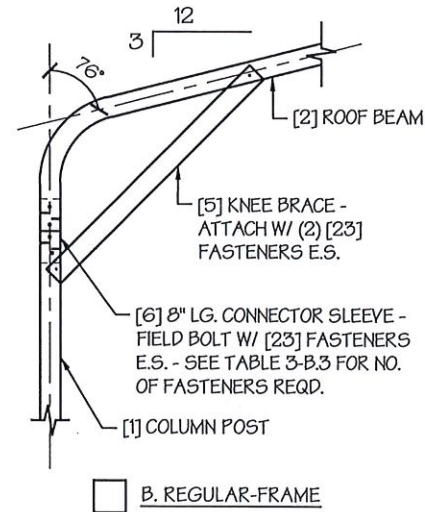
TYP. A-FRAME SECTION  
SCALE: NTS



TYP. REGULAR FRAME SECTION  
SCALE: NTS



A. 'A'-FRAME



B. REGULAR-FRAME

EAVE DETAIL  
SCALE: NTS 1

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

**FRAME SECTIONS &  
DETAILS**

SHEET NO.: 3-A / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

**LEGAL INFORMATION**

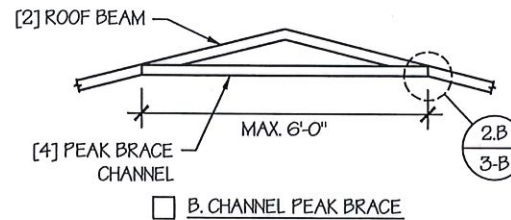
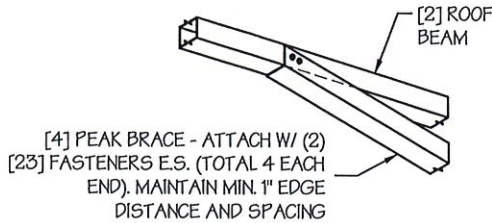
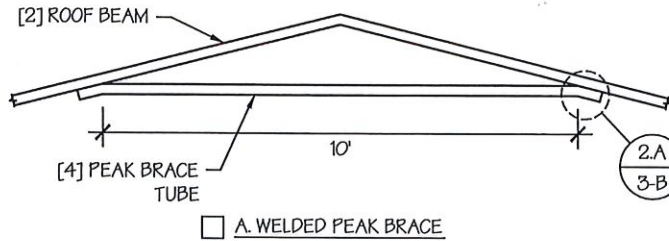
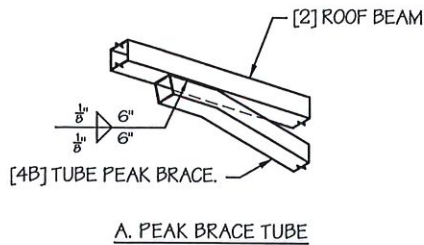
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PEAK BRACE DETAILS 4  
SCALE: NTS

B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2  
SCALE: NTS

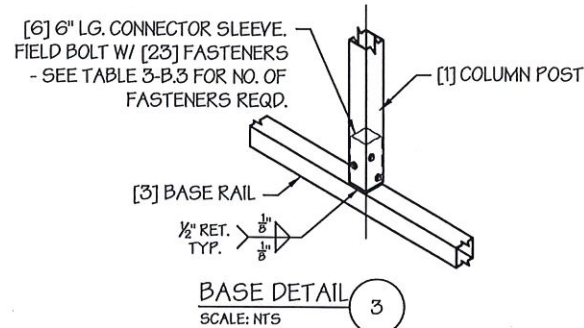


TABLE 3-B.1: PEAK BRACE SCHEDULE

| GROUND SNOW / ROOF LIVE LOAD (PSF) | WIND SPEED |            |
|------------------------------------|------------|------------|
|                                    | 105 TO 130 | 140 TO 180 |
| 30 / 20                            | 6'         | 10'        |
| 35 / 25 TO 90 / 61                 | 10'        | 10'        |

TABLE 3-B.2: KNEE BRACE SCHEDULE

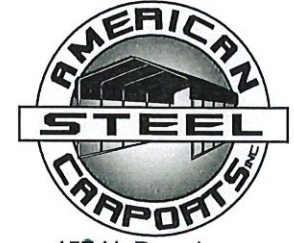
| EAVE HEIGHT | KNEE BRACE LENGTH |
|-------------|-------------------|
| UP TO 8'    | 24"               |
| 9' TO 12'   | 36"               |

TABLE 3-B.3 FASTENER SCHEDULE

| WIND SPEED (MPH) | NO. OF FASTENERS |
|------------------|------------------|
| 105 TO 125       | 4                |
| 130 TO 155       | 6                |
| 160 TO 180       | 8                |

NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

DRAWN BY: A.W. DATE: 1/22/21

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TABLE 4: FRAME SPACING CHART / SCHEDULE

| GROUND SNOW / ROOF LIVE LOAD (PSF) | ■ ENCLOSED BUILDINGS |       |       |       |       |       |       | ■ OPEN BUILDINGS |       |       |       |       |       |      |
|------------------------------------|----------------------|-------|-------|-------|-------|-------|-------|------------------|-------|-------|-------|-------|-------|------|
|                                    | WIND SPEED (MPH)     |       |       |       |       |       |       | WIND SPEED (MPH) |       |       |       |       |       |      |
|                                    | □105                 | □115  | □130  | □140  | □155  | □165  | □180  | □105             | □115  | □130  | □140  | □155  | □165  | □180 |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 42    | 42    | 36    | 48               | 48    | 48    | 42    | 36    | 30    | 24   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42    | 42    | 36    | 42               | 42    | 42    | 42    | 36    | 30    | 24   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/42 | 40/42 | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 24   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 24   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 18    | 18    | 18    | 18    | 18   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 48    | 42/48 | 42    | 54               | 54    | 48/54 | 42/54 | 36/48 | 36    | 30   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42/48 | 42/48 | 42    | 42               | 42    | 42    | 42    | 36/42 | 36    | 30   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/48 | 40/48 | 40/42 | 36               | 36    | 36    | 36    | 36    | 36    | 30   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 30   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 48    | 42/48 | 42    | 60               | 54/60 | 48/60 | 42/54 | 36/48 | 36/42 | 36   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42/48 | 42/48 | 42    | 48               | 48    | 42/48 | 42/48 | 36/48 | 36/42 | 36   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/48 | 40/48 | 40/42 | 40/42            | 40/42 | 40/42 | 40/42 | 36/42 | 36    | 36   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 36               | 36    | 36    | 36    | 36    | 36    | 30   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 30               | 30    | 30    | 30    | 30    | 30    | 30   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |

EAVE HEIGHT = 10'-0" TO 12'-0"

EAVE HEIGHT = 7'-0" TO 9'-0"

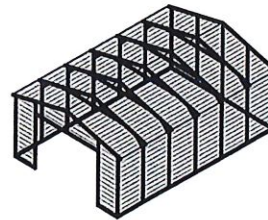
EAVE HEIGHT = UP TO 6'-0"

NOTES:

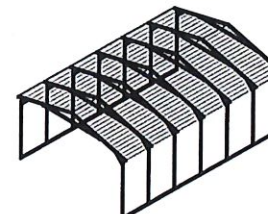
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

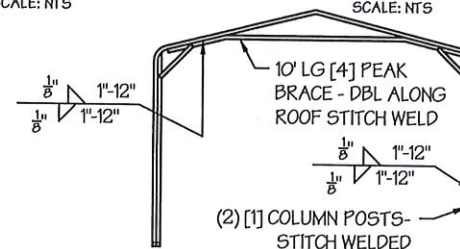
1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.



TYP. ENCLOSED BUILDING  
SCALE: NTS



TYP. OPEN BUILDING  
SCALE: NTS



TYP. OPEN END WALL ON 3 SIDE ENCLOSED BUILDING  
SCALE: NTS

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SPACING SCHEDULES  
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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TABLE 5.1: PURLIN SPACING SCHEDULE

| GROUND SNOW / ROOF LIVE LOAD (PSF) | 14GA. HAT CHANNEL PURLIN |     |     |     |     |     |     |
|------------------------------------|--------------------------|-----|-----|-----|-----|-----|-----|
|                                    | WIND SPEED (MPH)         |     |     |     |     |     |     |
|                                    | 105                      | 115 | 130 | 140 | 155 | 165 | 180 |
| 30/20                              | 54                       | 48  | 42  | 36  | 30  | 24  | 24  |
| 40/27                              | 42                       | 42  | 42  | 36  | 30  | 24  | 24  |
| 50/34                              | 40                       | 40  | 40  | 36  | 30  | 24  | 24  |
| 60/41                              | 36                       | 36  | 36  | 36  | 30  | 24  | 24  |
| 70/47                              | 32                       | 32  | 32  | 32  | 30  | 24  | 24  |
| 80/54                              | 30                       | 30  | 30  | 30  | 30  | 24  | 24  |
| 90/61                              | 24                       | 24  | 24  | 24  | 24  | 24  | 24  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 30  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 30  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 30  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 30  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 30  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 30  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 36  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 36  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 36  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 36  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 36  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 36  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 36  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 36  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |

FRAME SPACING: 3'-0" OR LOWER  
 FRAME SPACING: 3'-6"  
 FRAME SPACING: 4'-0"  
 FRAME SPACING: 4'-6"  
 FRAME SPACING: 5'-0"

- NOTES:
- PURLIN SPACING UNITS ARE IN INCHES.
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

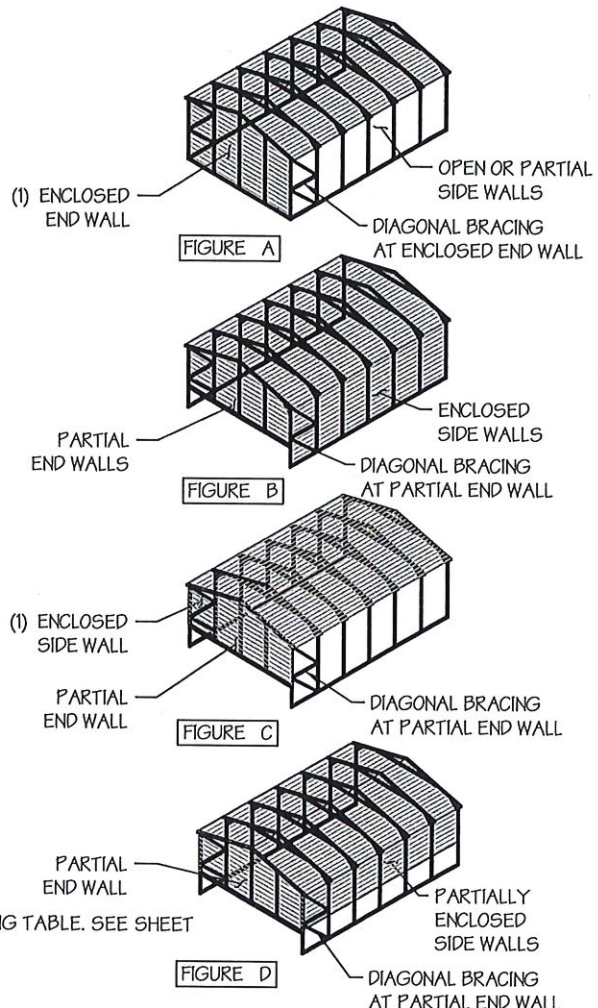
IRREGULAR BUILDING NOTES:

- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

| FRAME SPACING  | WIND SPEED (MPH) |     |     |     |     |     |     |
|----------------|------------------|-----|-----|-----|-----|-----|-----|
|                | 105              | 115 | 130 | 140 | 155 | 165 | 180 |
| 5'-0"          | 60               | 48  | 36  | 30  | 24  | 24  | 18  |
| 4'-6"          | 60               | 60  | 48  | 42  | 36  | 30  | 24  |
| 4'-0"          | 60               | 60  | 54  | 54  | 42  | 36  | 30  |
| 3'-6"          | 60               | 60  | 54  | 54  | 48  | 42  | 42  |
| 2'-0" TO 3'-0" | 60               | 60  | 54  | 54  | 48  | 42  | 42  |

- NOTES:
- GIRT SPACING UNITS ARE IN INCHES.
  - THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



MANUFACTURED BY:

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 6036 Renaissance Place, Toledo, OH 43623  
 Tel. 419-292-1983 • Fax. 419-292-0965  
 www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE: PURLIN & GIRT SPACING SCHEDULES

SHEET NO.: 5 / 11

DRAWN BY: A.W. DATE: 1/22/21

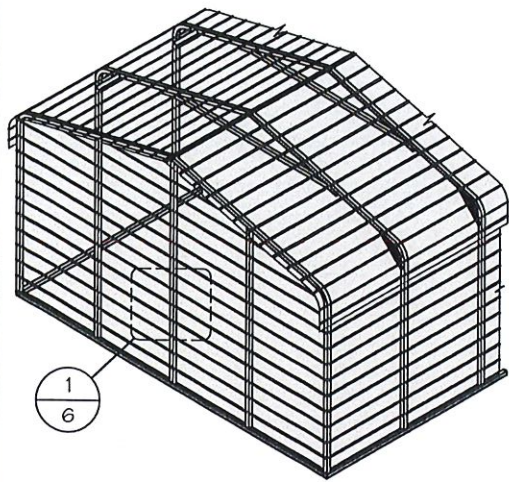
CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

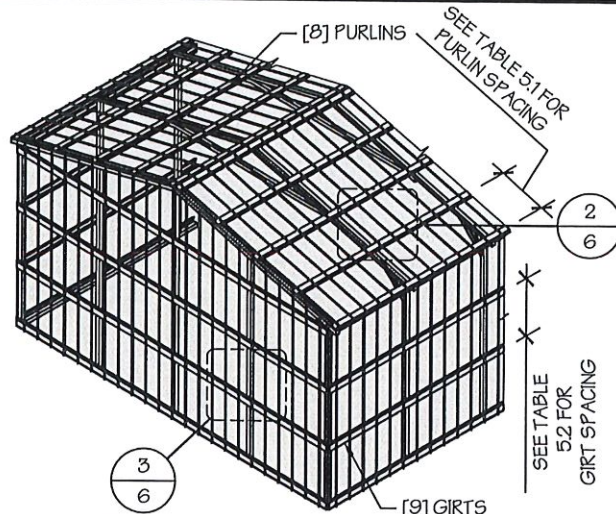
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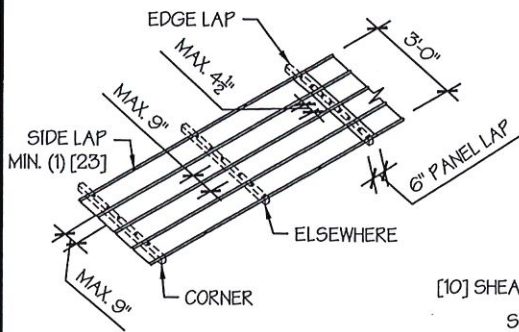
TYP. HORIZONTAL SHEATHING  
SCALE: NTS



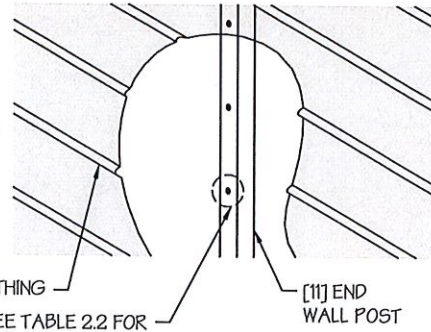
TYP. VERTICAL SHEATHING  
SCALE: NTS

**GENERAL SHEATHING NOTES:**

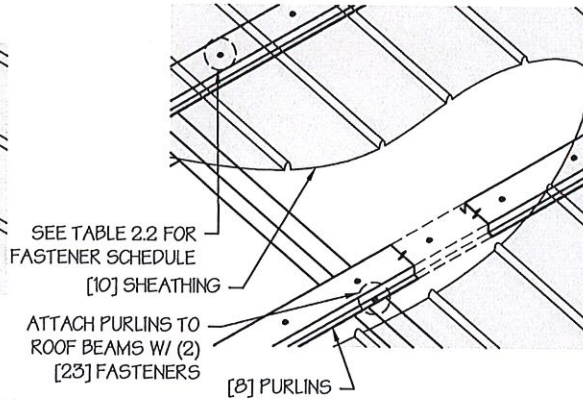
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



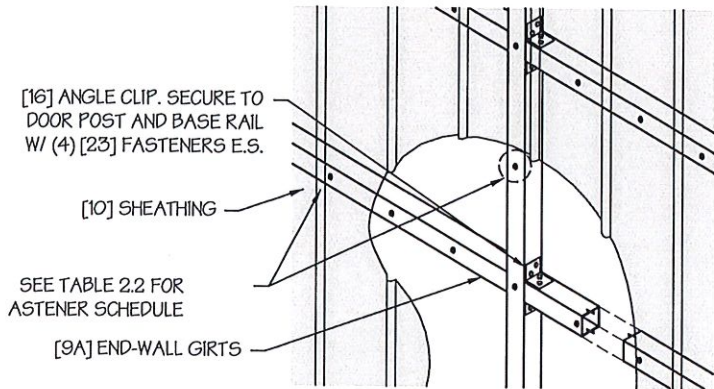
TYP. SHEATHING FASTENER SCHEDULE  
SCALE: NTS



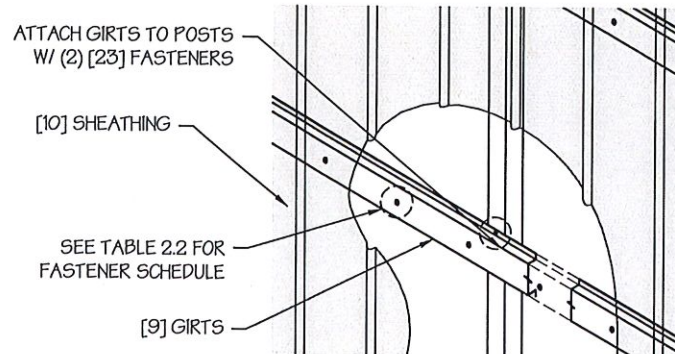
TYP. HORIZONTAL SHEATHING DETAIL  
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL  
SCALE: NTS



WALL VERTICAL SHEATHING - TUBE DETAIL  
SCALE: NTS



WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL  
SCALE: NTS

MANUFACTURED BY:



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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS  
LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE:

**SHEATHING OPTIONS & DETAILS**

SHEET NO.: 6 / 11  
DRAWN BY: A.W. DATE: 1/22/21  
CHECKED BY: OAA DATE: 1/22/21

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS  
LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE:

**END WALL FRAMING**

SHEET NO.: 8-A / 11  
DRAWN BY: A.W. DATE: 1/22/21  
CHECKED BY: OAA DATE: 1/22/21

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SEAL:



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DATE SIGNED: **01-18-2023**

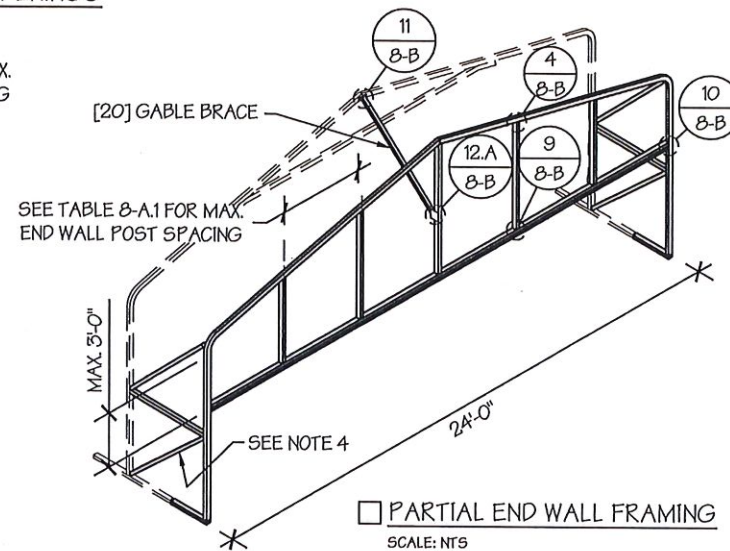
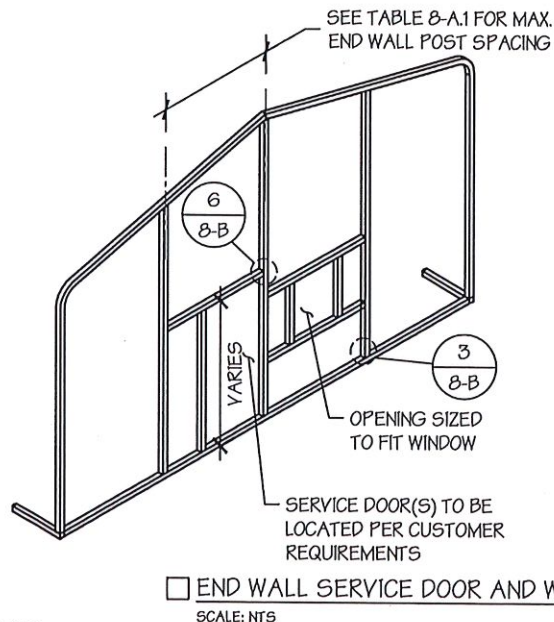
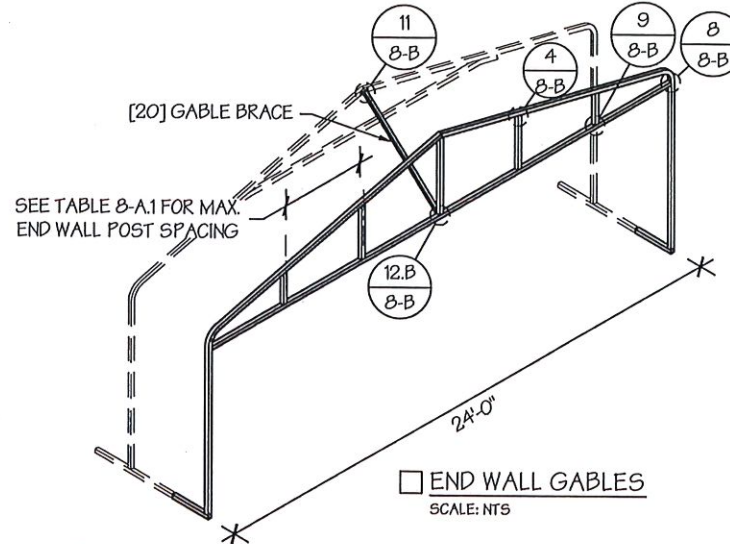
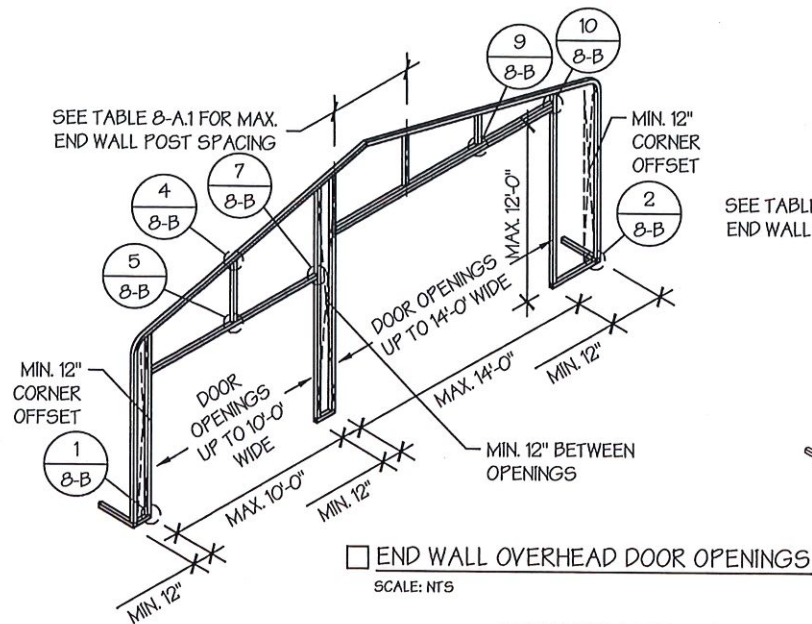
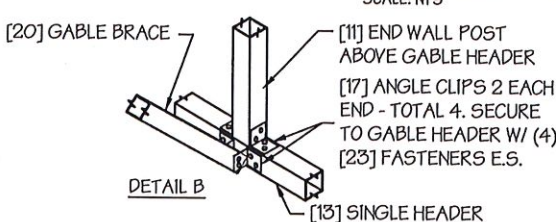
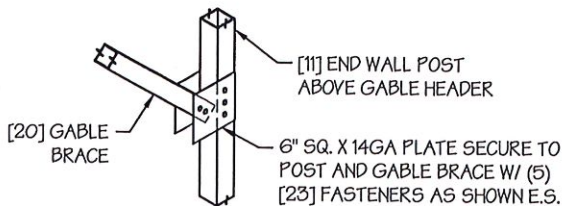
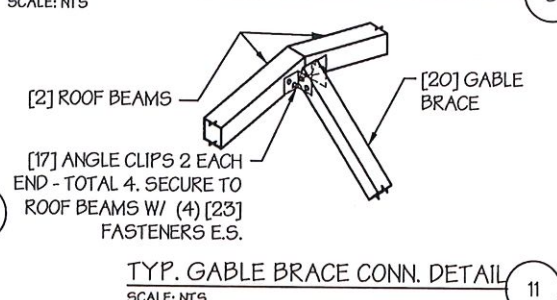
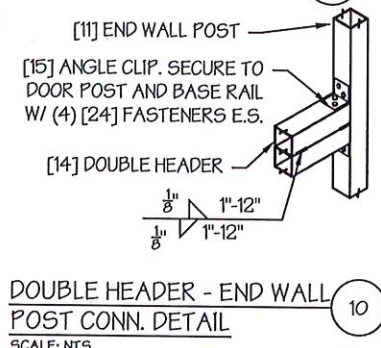
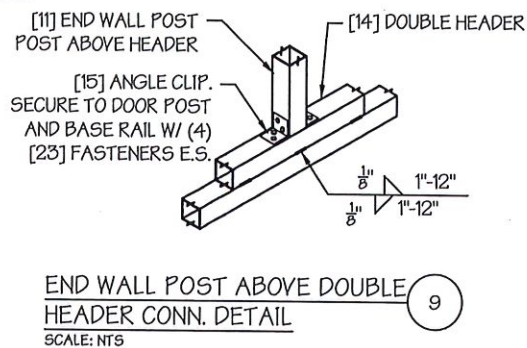
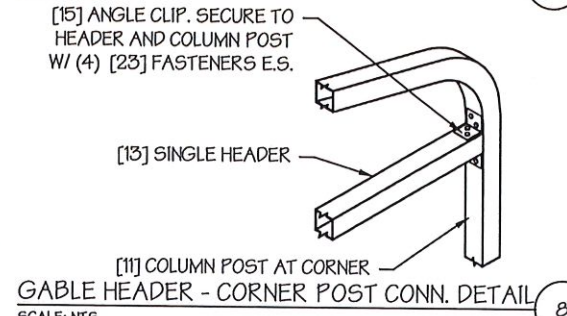
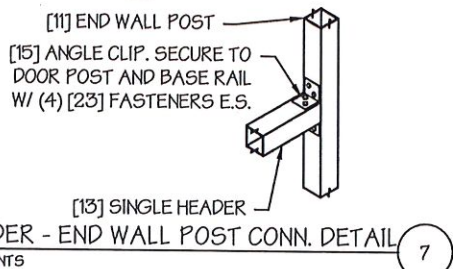
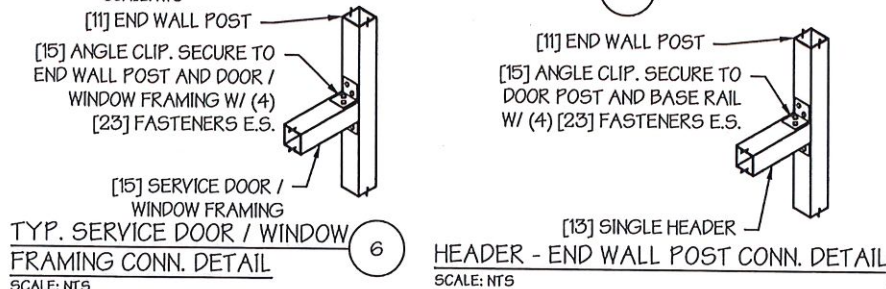
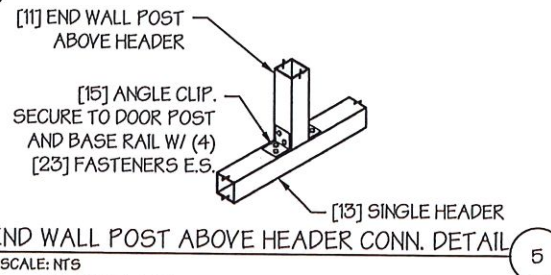
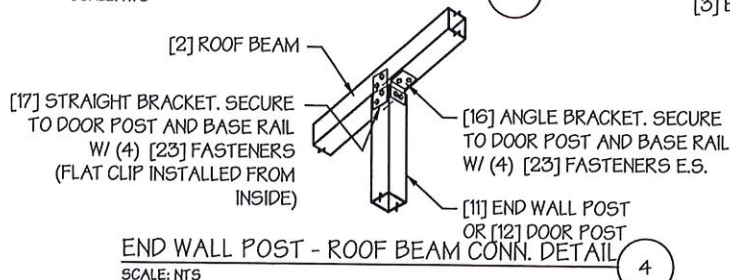
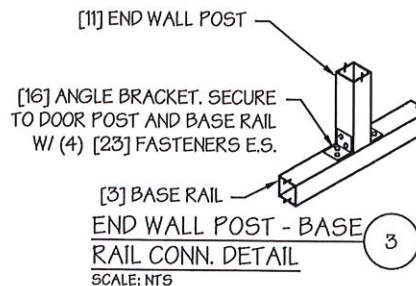
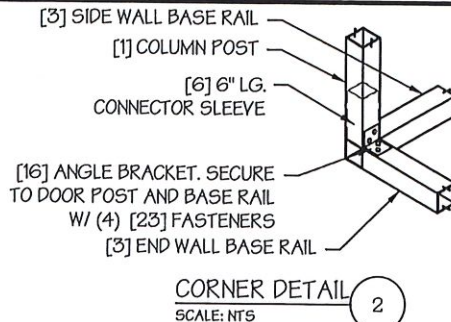
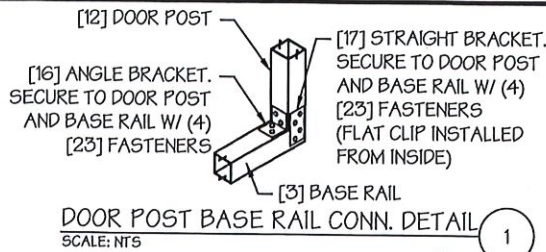


TABLE 8-A.1: END WALL POST SPACING SCHEDULE

| WIND SPEED (MPH)                   | EAVE HEIGHT |          |            |
|------------------------------------|-------------|----------|------------|
|                                    | UP TO 7'    | 8' TO 9' | 10' TO 12' |
| <input type="checkbox"/> 105       | 5'          | 5'       | 5'         |
| <input type="checkbox"/> 115       | 5'          | 5'       | 4.5'       |
| <input type="checkbox"/> 130       | 4.5'        | 4.5'     | 4'         |
| <input type="checkbox"/> 140       | 4.5'        | 4.5'     | 3'         |
| <input type="checkbox"/> 155       | 4'          | 4'       | 2.5'       |
| <input type="checkbox"/> 165 - 180 | 3.5'        | 3'       | 2'         |

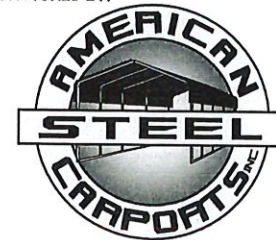
**END WALL FRAMING NOTES:**

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.



**GABLE BRACE - END WALL CONN. DETAIL**  
SCALE: NTS

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

**END WALL FRAMING  
DETAILS**

SHEET NO.: 8-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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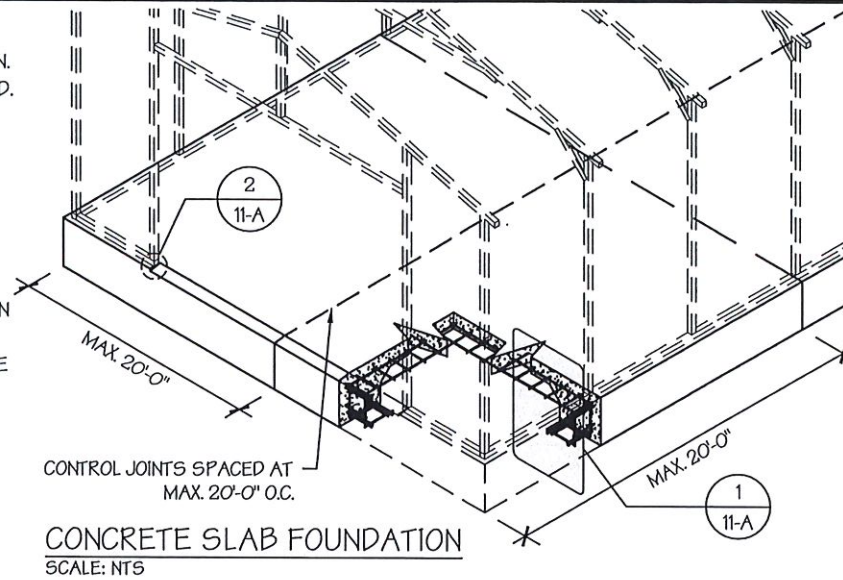


STAMP EXPIRY: 12-31-2024

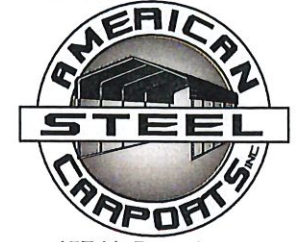
DATE SIGNED: 01-18-2023

**CONCRETE SLAB FOUNDATION NOTES:**

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU C CAN BE USED.
- CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNERS OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL. IN LOCATIONS REQUIRING TWO ANCHORS DUE TO WIND, ONE ANCHOR IS TO BE ON EACH SIDE OF THE COLUMN POST.
- ANCHORS IN CLOSE PROXIMITY TO EACH OTHER MUST HAVE A MIN. 4" SPACING.
- MIN. NUMBER OF CONCRETE ANCHORS PER POST SHALL BE AS SHOWN IN TABLE 11-A.2.
- THE SIZE OF THE SLAB SHALL BE THE SIZE (WIDTH AND LENGTH) OF THE BUILDING PLUS 5 1/2" FOR 14GA MATERIAL AND 5 3/4" FOR 12GA MATERIAL.
- DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.



MANUFACTURED BY:



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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FOUNDATION OPTION 1:  
CONCRETE SLAB

SHEET NO.: 11-A / 11

DRAWN BY: AW DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

**LEGAL INFORMATION**

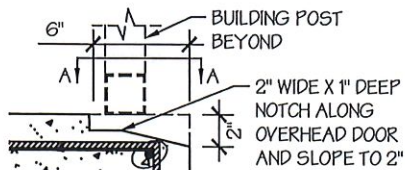
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DATE SIGNED: 01-18-2023



**OVERHEAD DOOR NOTCH DETAIL**

SCALE: NTS

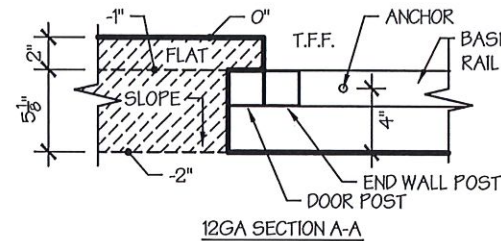
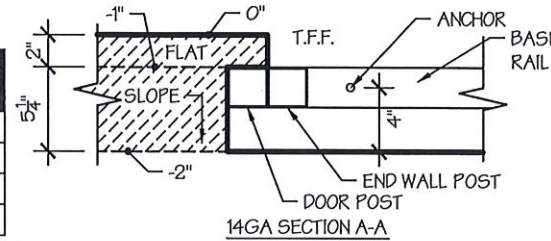
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**TABLE 11-A.2: CONCRETE SLAB ANCHOR SCHEDULE**

| ENCLOSURE | WIND SPEED (MPH) | ANCHOR SIZE/NUMBER |
|-----------|------------------|--------------------|
| ENCLOSED  | □ 105 TO 135     | (1) 1/2" Ø X 7"    |
|           | □ 136 TO 180     | (2) 1/2" Ø X 7"    |
| OPEN      | □ 105 TO 135     | (1) 1/2" Ø X 7"    |
|           | □ 136 TO 180     | (2) 1/2" Ø X 7"    |

**NOTES:**

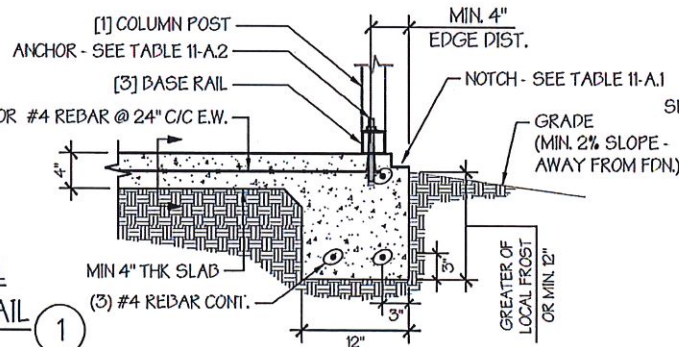
- ANCHORS ARE TO BE CONCRETE WEDGE OR EXPANSION ANCHORS.
- MIN. EMBEDMENT DEPTH TO BE 2 7/8".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.



**TABLE 11-A.1: NOTCH WIDTH**

| HORIZONTAL/OPEN |        | VERTICAL |        |
|-----------------|--------|----------|--------|
| □ 14GA          | □ 12GA | □ 14GA   | □ 12GA |
| 2 3/4"          | 2 7/8" | 1 3/4"   | 1 7/8" |

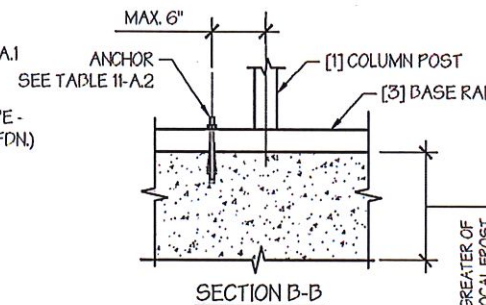
NOTE: DEPTH IS TO BE 1 1/2"



**NOTCH EDGE DETAIL**  
**EDGE OFFSET DETAIL**

SCALE: NTS

1





## REGULAR / A-FRAME 24'-0" WIDE CARPORT STYLE BUILDINGS

### DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, AISI 100, ASCE 7-10, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

### DESIGN CRITERIA

|                             |   |
|-----------------------------|---|
| PREVAILING CODE:            | AFFC 2012 (IBC 2012)                                  |
| USE GROUP:                  | U (CARPORTS, BARNS)                                   |
| RISK CATEGORY:              | I   |
| 1. DEAD LOAD (D)            | D = 4 PSF   |
| 2. ROOF LIVE/SNOW LOAD (Lr) | Lr = 20 - 61 PSF<br>(AS PER SNOW LOAD<br>SEE TABLE 4) |
| 3. SNOW LOAD (S)            |   |
| GROUND SNOW LOAD            | P <sub>g</sub> = 20 - 90 PSF                          |
| IMPORTANCE FACTOR           | I <sub>s</sub> = 0.8                                  |
| THERMAL FACTOR              | C <sub>t</sub> = 1.2                                  |
| EXPOSURE FACTOR             | C <sub>e</sub> = 1.0                                  |
| ROOF SLOPE FACTOR           | C <sub>s</sub> = 1.0                                  |
| 4. WIND LOAD (W)            |   |
| BASIC WIND SPEED            | V <sub>ULT</sub> = 105 - 180 MPH                      |
| EXPOSURE                    | C   |
| 5. SEISMIC LOAD (E)         |   |
| DESIGN CATEGORY             | D   |
| IMPORTANCE FACTOR           | I <sub>e</sub> = 1.00                                 |

### LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

### DRAWING INDEX

|                           |       |              |
|---------------------------|-------|--------------|
| COVER SHEET               | ----- | 1            |
| SCHEDULES & MEMBER -      |       |              |
| SECTIONS                  | ----- | 2            |
| FRAME SECTIONS & DETAILS  | ----- | 3-A, 3-B     |
| SPACING SCHEDULES -       |       |              |
| & ENCLOSURE NOTES         | ----- | 4            |
| PURLIN & GIRT SCHEDULES   | ----- | 5            |
| SHEATHING OPTIONS         | ----- | 6            |
| SIDE WALL FRAMING         |       |              |
| & OPENINGS                | ----- | 7-A, 7-B     |
| END WALL FRAMING          |       |              |
| & OPENINGS                | ----- | 8-A, 8-B     |
| CORNER BRACING DETAILS    | ----- | 9            |
| OPTIONAL LEAN-TO ADDITION | ----- | 10           |
| FOUNDATION OPTIONS        | ----- | 11-A TO 11-D |

MANUFACTURED BY:



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### DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

### LEGAL INFORMATION

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SEAL:



STAMP EXPIRY: 12-31-2024

DATE SIGNED: 01-18-2023

### CUSTOMER INFORMATION

OWNER:  
ADDRESS:

### DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

### BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

FRAME TYPE:  A-FRAME

REGULAR

FULL

PARTIAL

OPEN

### CERTIFICATION VALIDITY NOTICE

DATE OF PLANS  
EXPIRATION: **01-18-2024**

CERTIFICATION ON THESE DRAWINGS IS  
VALID FOR ONE YEAR FROM DATE OF ISSUE

TABLE 2.1: MEMBER PROPERTIES

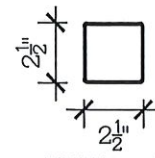
| NO. | LABEL                         | PROPERTY   | DETAIL NO. |
|-----|-------------------------------|--|------------|
| 1   | COLUMN POST                   | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 2   | ROOF BEAM                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 3   | BASE RAIL                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 4   | PEAK BRACE                    | 2.5" X 2.5" 14GA CHANNEL   | 4          |
| 5   | KNEE BRACES                   | 2.5" X 1.5" 14GA CHANNEL   | 4          |
| 6   | CONNECTOR SLEEVE              | 2.25" X 2.25" X 12GA TUBE  | 2          |
| 7   | BASE ANGLE                    | 2" X 2" X 3" LG. 3/16" ANGLE   | 10         |
| 8   | PURLIN                        | 4.25" X 1.5" X 14GA / 18GA HAT CHANNEL                               | 5          |
| 9   | GIRT                          | 4.25" X 1.5" X 14GA / 18GA HAT CHANNEL                               | 5          |
| 9A  | OPT. END WALL GIRT            | 2.5" X 1.5" 14GA CHANNEL   | 1          |
| 10  | SHEATHING                     | 29 GA CORRUGATED SHEET   | 8          |
| 11  | END WALL POST                 | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 12  | DOOR POST                     | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 13  | SINGLE HEADER                 | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 14  | DOUBLE HEADER                 | DBL. 2.5" X 2.5" X 14GA TUBE   | 1          |
| 15  | SERVICE DOOR / WINDOW FRAMING | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 16  | ANGLE BRACKET                 | 2" X 2" X 2" LG. 14GA ANGLE  | 7          |
| 17  | STRAIGHT BRACKET              | 2" X 2" X 4" LG. 14GA PLATE  | 6          |
| 18  | PB SUPPORT                    | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 19  | DIAGONAL BRACE                | 2" X 2" X 14 GA TUBE   | 3          |
| 20  | GABLE BRACE                   | 2" X 2" X 14 GA TUBE   | 3          |
| 21  | DB BRACKET                    | 2.25" X 2.25" X 6" LG. 14GA ANGLE                                    | 9          |
| 22  | TRUSS SPACER                  | 2.5" X 2.5" X 14GA TUBE  | 1          |
| 23  | ALL FASTENERS                 | #12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER |            |

TABLE 2.2: SHEATHING FASTENER SCHEDULE

| LOCATION | CORNER PANELS | SIDE LAPS | EDGE LAPS  | ELSEWHERE |
|----------|---------------|-----------|------------|-----------|
| SPACING  | 9" C/C        | MIN. 1    | 4 1/2" C/C | 9" C/C    |

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

\*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.

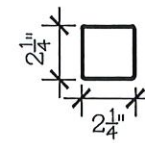


THICKNESS = 14GA

2.5" X 2.5" 14GA TUBE

SCALE: NTS

1

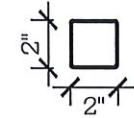


THICKNESS = 12GA

2.25" X 2.25" 12GA TUBE

SCALE: NTS

2

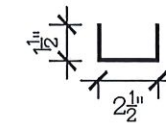


THICKNESS = 14GA

2" X 2" 14GA TUBE

SCALE: NTS

3

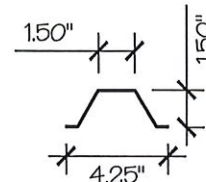


THICKNESS = 14GA

2.5" X 1.5" 14GA CHANNEL

SCALE: NTS

4



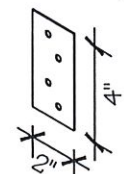
THICKNESS = 14GA / 18GA

4.25" X 1.5" X 14GA / 18GA

HAT CHANNEL

SCALE: NTS

5

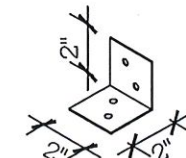


THICKNESS = 14GA

STRAIGHT BRACKET

SCALE: NTS

6

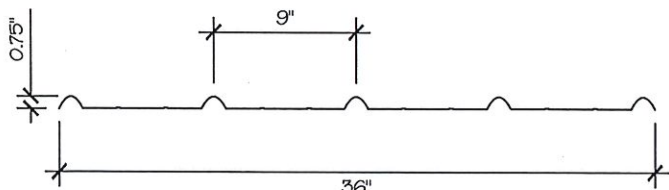


THICKNESS = 14GA

ANGLE BRACKET

SCALE: NTS

7

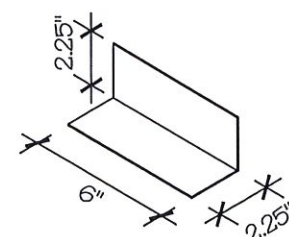


THICKNESS = 29GA

29 GA CORRUGATED SHEATHING

SCALE: NTS

8

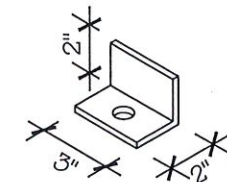


THICKNESS = 14GA

DB BRACKET

SCALE: NTS

9



THICKNESS = 3/16"

BASE ANGLE

SCALE: NTS

10

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SCHEDULES &  
MEMBER SECTIONS

SHEET NO.: 2 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

LEGAL INFORMATION

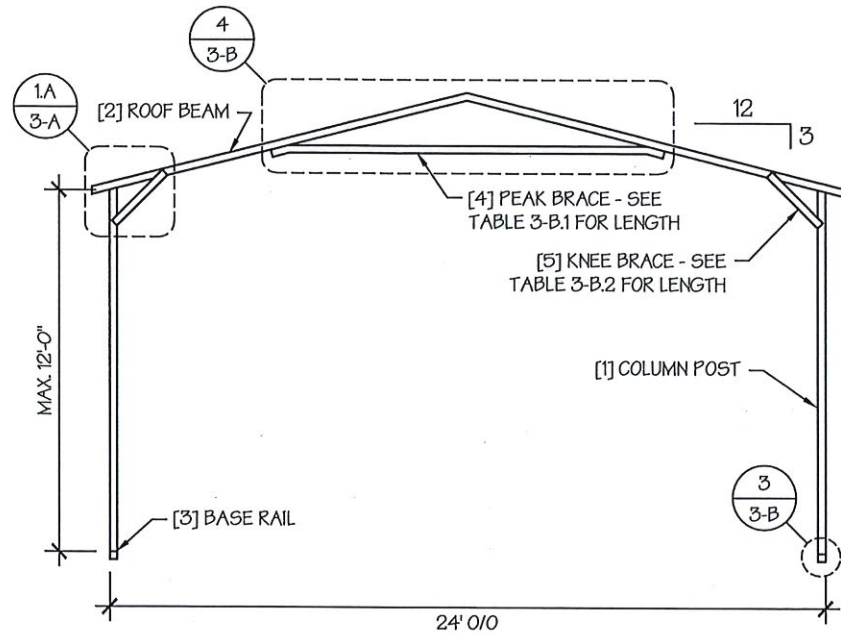
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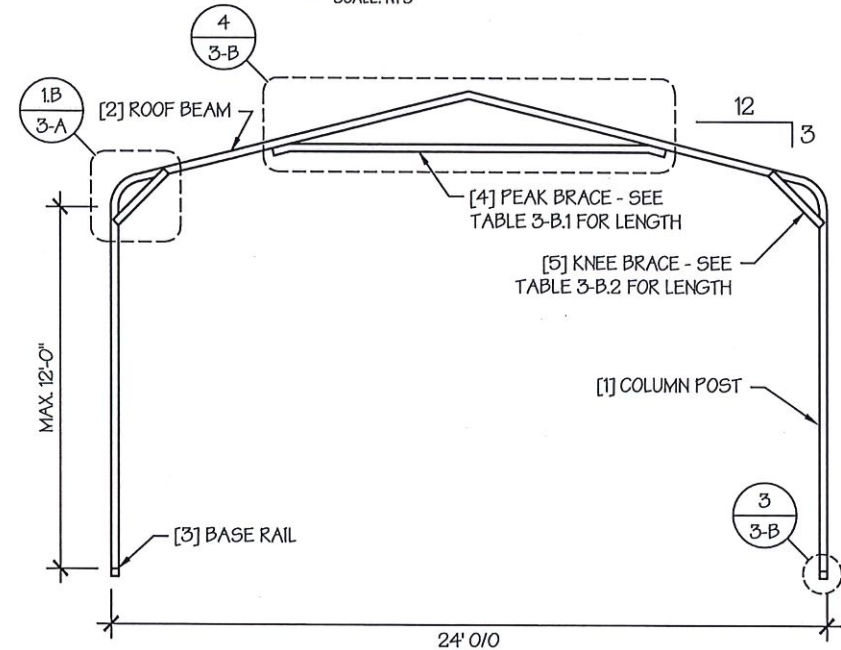


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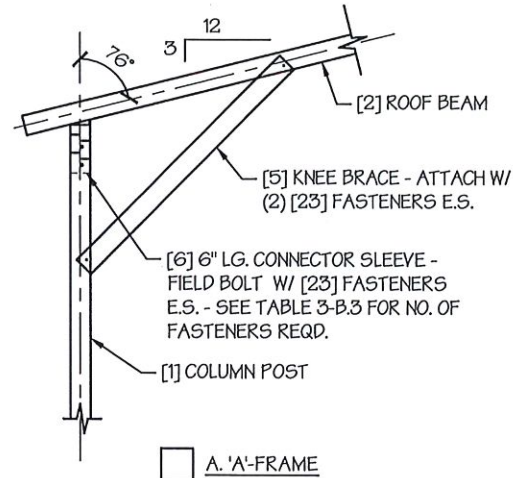
DATE SIGNED: 01-18-2023



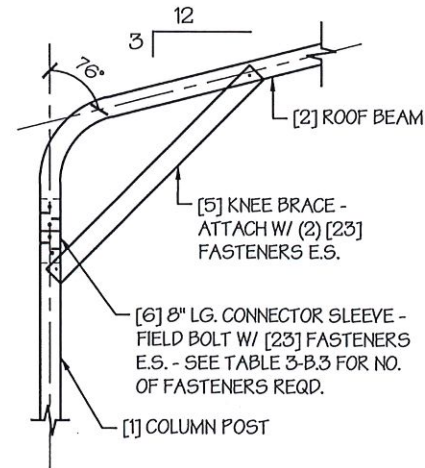
TYP. A-FRAME SECTION  
SCALE: NTS



TYP. REGULAR FRAME SECTION  
SCALE: NTS



A. 'A'-FRAME



B. REGULAR-FRAME

EAVE DETAIL  
SCALE: NTS 1

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

FRAME SECTIONS &  
DETAILS

SHEET NO.: 3-A / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

**LEGAL INFORMATION**

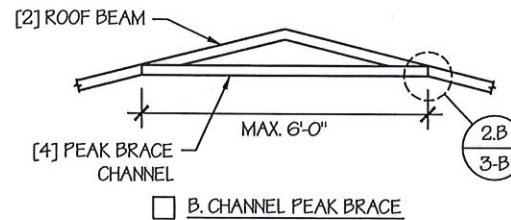
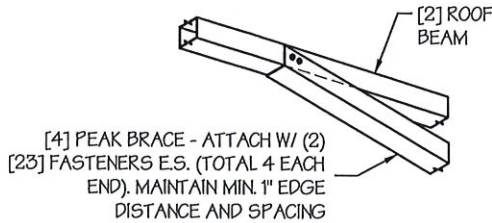
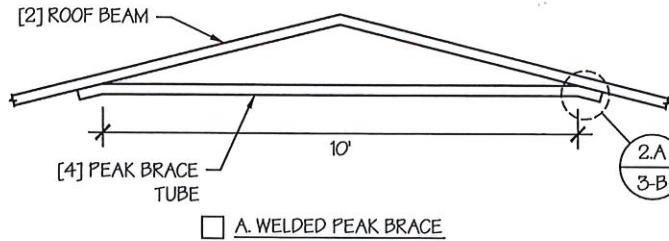
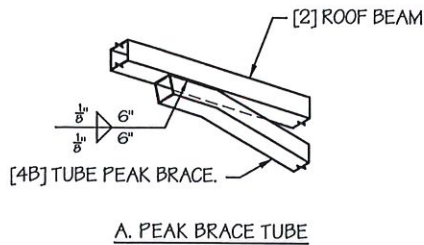
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PEAK BRACE DETAILS 4  
SCALE: NTS

PEAK BRACE CONNECTION DETAILS 2  
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

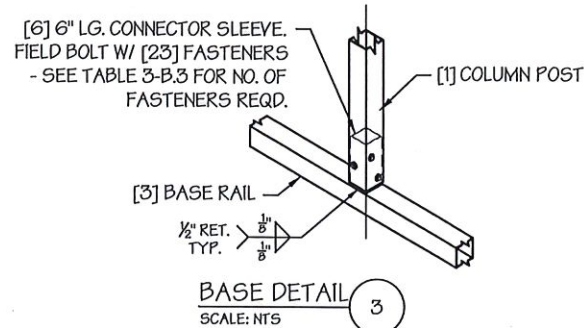
| GROUND SNOW / ROOF LIVE LOAD (PSF) | WIND SPEED |            |
|------------------------------------|------------|------------|
|                                    | 105 TO 130 | 140 TO 180 |
| □ 30 / 20                          | 6'         | 10'        |
| □ 35 / 25 TO 90 / 61               | 10'        | 10'        |

TABLE 3-B.2: KNEE BRACE SCHEDULE

| EAVE HEIGHT | KNEE BRACE LENGTH |
|-------------|-------------------|
| □ UP TO 8'  | 24"               |
| □ 9' TO 12' | 36"               |

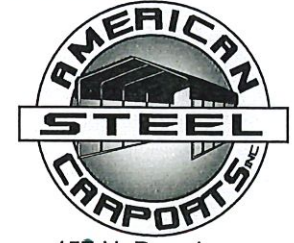
TABLE 3-B.3 FASTENER SCHEDULE

| WIND SPEED (MPH) | NO. OF FASTENERS |
|------------------|------------------|
| □ 105 TO 125     | 4                |
| □ 130 TO 155     | 6                |
| □ 160 TO 180     | 8                |



NOTE: COLUMN POST MAY BE ADJUSTED ±1" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS  
LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11  
DRAWN BY: A.W. DATE: 1/22/21  
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TABLE 4: FRAME SPACING CHART / SCHEDULE

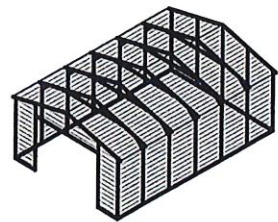
| GROUND SNOW / ROOF LIVE LOAD (PSF) | ■ ENCLOSED BUILDINGS |       |       |       |       |       |       | ■ OPEN BUILDINGS |       |       |       |       |       |      |
|------------------------------------|----------------------|-------|-------|-------|-------|-------|-------|------------------|-------|-------|-------|-------|-------|------|
|                                    | WIND SPEED (MPH)     |       |       |       |       |       |       | WIND SPEED (MPH) |       |       |       |       |       |      |
|                                    | □105                 | □115  | □130  | □140  | □155  | □165  | □180  | □105             | □115  | □130  | □140  | □155  | □165  | □180 |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 42    | 42    | 36    | 48               | 48    | 48    | 42    | 36    | 30    | 24   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42    | 42    | 36    | 42               | 42    | 42    | 42    | 36    | 30    | 24   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/42 | 40/42 | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 24   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 24   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 18    | 18    | 18    | 18    | 18   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 48    | 42/48 | 42    | 54               | 54    | 48/54 | 42/54 | 36/48 | 36    | 30   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42/48 | 42/48 | 42    | 42               | 42    | 42    | 42    | 36/42 | 36    | 30   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/48 | 40/48 | 40/42 | 36               | 36    | 36    | 36    | 36    | 36    | 30   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 30               | 30    | 30    | 30    | 30    | 30    | 30   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |
| □30 / 20                           | 60                   | 60    | 54/60 | 54    | 48    | 42/48 | 42    | 60               | 54/60 | 48/60 | 42/54 | 36/48 | 36/42 | 36   |
| □40 / 27                           | 48/60                | 48/60 | 42/60 | 42/54 | 42/48 | 42/48 | 42    | 48               | 48    | 42/48 | 42/48 | 36/48 | 36/42 | 36   |
| □50 / 34                           | 40/48                | 40/48 | 40/48 | 40/48 | 40/48 | 40/48 | 40/42 | 40/42            | 40/42 | 40/42 | 40/42 | 36/42 | 36    | 36   |
| □60 / 41                           | 36                   | 36    | 36    | 36    | 36    | 36    | 36    | 36               | 36    | 36    | 36    | 36    | 36    | 30   |
| □70 / 47                           | 30                   | 30    | 30    | 30    | 30    | 30    | 30    | 30               | 30    | 30    | 30    | 30    | 30    | 30   |
| □80 / 54                           | 24                   | 24    | 24    | 24    | 24    | 24    | 24    | 24               | 24    | 24    | 24    | 24    | 24    | 24   |
| □90 / 61                           | ---                  | ---   | ---   | ---   | ---   | ---   | ---   | ---              | ---   | ---   | ---   | ---   | ---   | ---  |

NOTES:

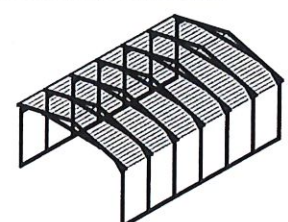
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

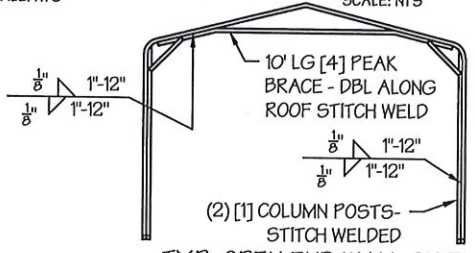
1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.



TYP. ENCLOSED BUILDING  
SCALE: NTS



TYP. OPEN BUILDING  
SCALE: NTS

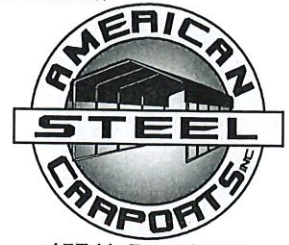


TYP. OPEN END WALL ON 3 SIDE ENCLOSED BUILDING  
SCALE: NTS

GENERAL NOTES:

1. THE MAX. BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.

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DRAWING INFORMATION

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

SPACING SCHEDULES  
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

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TABLE 5.1: PURLIN SPACING SCHEDULE

| GROUND SNOW / ROOF LIVE LOAD (PSF) | 14GA. HAT CHANNEL PURLIN |     |     |     |     |     |     |
|------------------------------------|--------------------------|-----|-----|-----|-----|-----|-----|
|                                    | WIND SPEED (MPH)         |     |     |     |     |     |     |
|                                    | 105                      | 115 | 130 | 140 | 155 | 165 | 180 |
| 30/20                              | 54                       | 48  | 42  | 36  | 30  | 24  | 24  |
| 40/27                              | 42                       | 42  | 42  | 36  | 30  | 24  | 24  |
| 50/34                              | 40                       | 40  | 40  | 36  | 30  | 24  | 24  |
| 60/41                              | 36                       | 36  | 36  | 36  | 30  | 24  | 24  |
| 70/47                              | 32                       | 32  | 32  | 32  | 30  | 24  | 24  |
| 80/54                              | 30                       | 30  | 30  | 30  | 30  | 24  | 24  |
| 90/61                              | 24                       | 24  | 24  | 24  | 24  | 24  | 24  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 30  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 30  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 30  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 30  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 30  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 30  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 36  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 36  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 36  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 36  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |
| 30/20                              | 54                       | 48  | 42  | 42  | 36  | 36  | 30  |
| 40/27                              | 42                       | 42  | 42  | 42  | 36  | 36  | 30  |
| 50/34                              | 40                       | 40  | 40  | 40  | 36  | 36  | 30  |
| 60/41                              | 36                       | 36  | 36  | 36  | 36  | 36  | 30  |
| 70/47                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 80/54                              | 32                       | 32  | 32  | 32  | 32  | 32  | 30  |
| 90/61                              | 30                       | 30  | 30  | 30  | 30  | 30  | 30  |

FRAME SPACING: 3'-0" OR LOWER  
 FRAME SPACING: 3'-6"  
 FRAME SPACING: 4'-0"  
 FRAME SPACING: 4'-6"  
 FRAME SPACING: 5'-0"

- NOTES:
- PURLIN SPACING UNITS ARE IN INCHES.
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

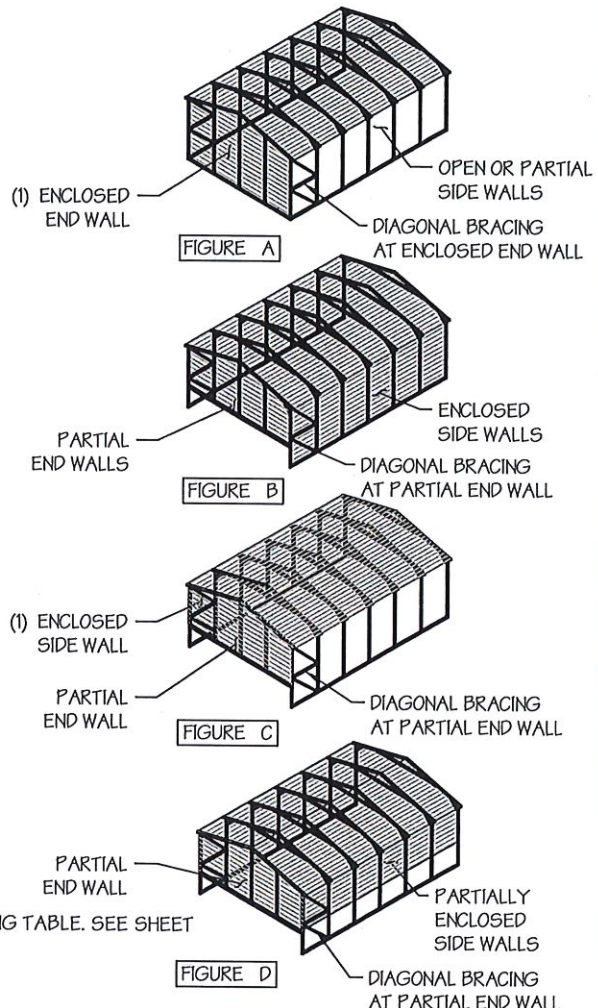
IRREGULAR BUILDING NOTES:

- FIGURES A, B, C & D ON THE RIGHT INDICATE EXAMPLES OF IRREGULAR BUILDINGS.
- FOR IRREGULAR BUILDINGS, FRAME SPACING MUST BE REDUCED BY 6" FROM OPEN BUILDING SPACING TABLE. SEE SHEET 4 FOR OPEN BUILDING TABLE.
- SITE SPECIFICS MAY ALLOW FOR ALTERNATIVE SPACING.
- IRREGULAR BUILDING & BUILDINGS W/ MORE THAN 2 SIDE OPENINGS MUST HAVE A 10' TUBE PEAK BRACE ON ALL FRAMES.

TABLE 5.2: GIRT SPACING SCHEDULE

| FRAME SPACING  | WIND SPEED (MPH) |     |     |     |     |     |     |
|----------------|------------------|-----|-----|-----|-----|-----|-----|
|                | 105              | 115 | 130 | 140 | 155 | 165 | 180 |
| 5'-0"          | 60               | 48  | 36  | 30  | 24  | 24  | 18  |
| 4'-6"          | 60               | 60  | 48  | 42  | 36  | 30  | 24  |
| 4'-0"          | 60               | 60  | 54  | 54  | 42  | 36  | 30  |
| 3'-6"          | 60               | 60  | 54  | 54  | 48  | 42  | 42  |
| 2'-0" TO 3'-0" | 60               | 60  | 54  | 54  | 48  | 42  | 42  |

- NOTES:
- GIRT SPACING UNITS ARE IN INCHES.
  - THIS SCHEDULE IS TO BE USED FOR BOTH 14GA
  - FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.



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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE: PURLIN & GIRT SPACING SCHEDULES

SHEET NO.: 5 / 11

DRAWN BY: A.W. DATE: 1/22/21

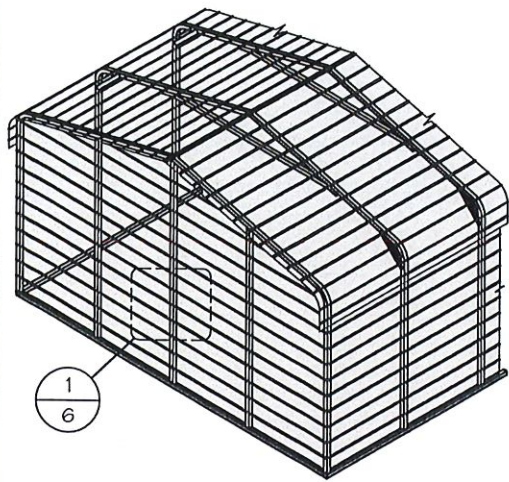
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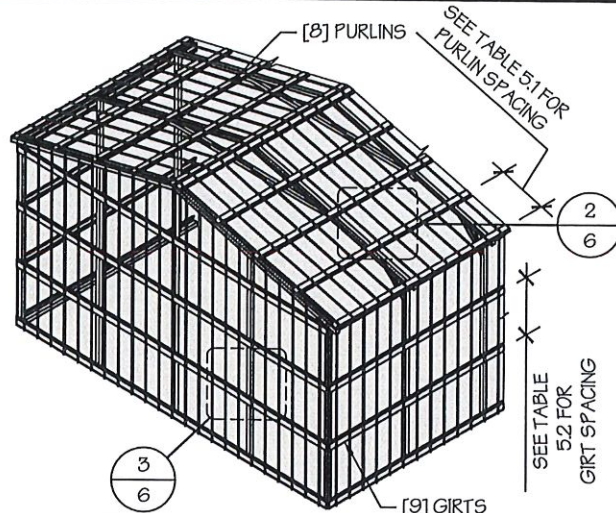
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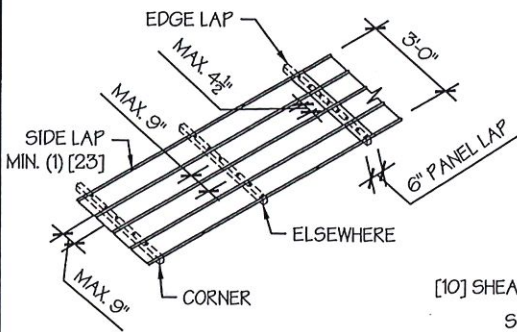
TYP. HORIZONTAL SHEATHING  
SCALE: NTS



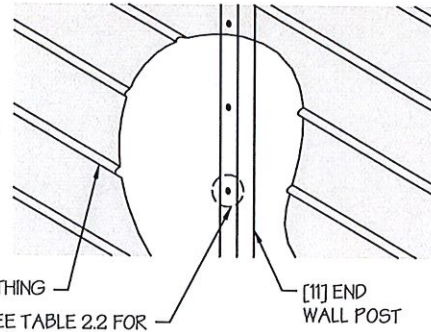
TYP. VERTICAL SHEATHING  
SCALE: NTS

**GENERAL SHEATHING NOTES:**

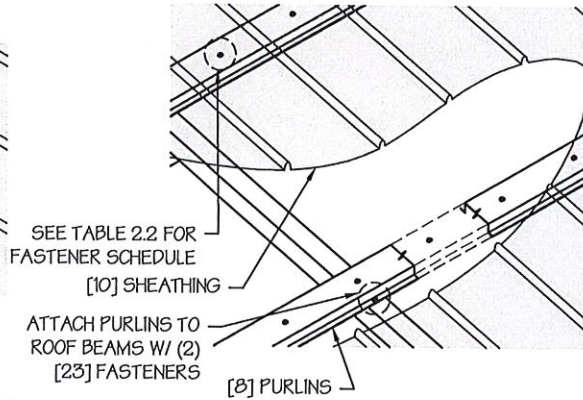
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



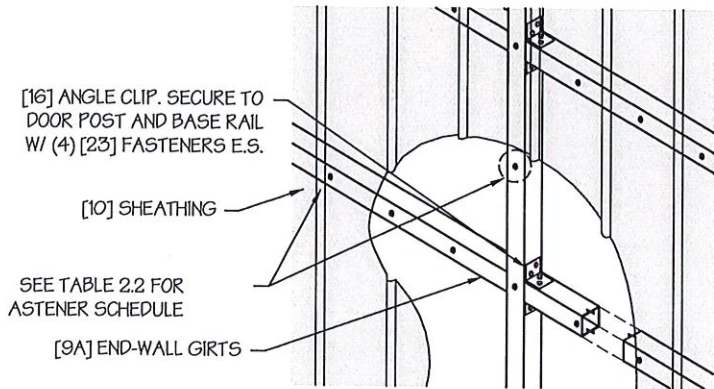
TYP. SHEATHING FASTENER SCHEDULE  
SCALE: NTS



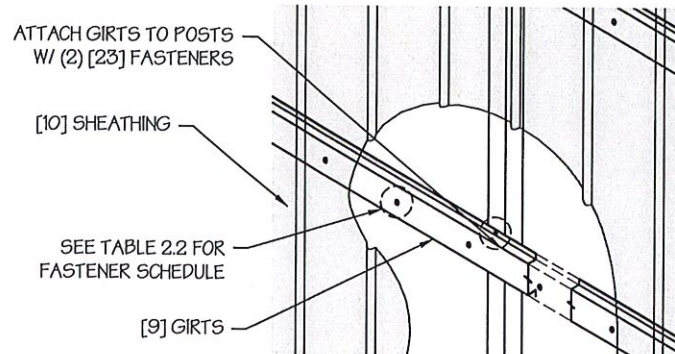
TYP. HORIZONTAL SHEATHING DETAIL  
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL  
SCALE: NTS



WALL VERTICAL SHEATHING - TUBE DETAIL  
SCALE: NTS



WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL  
SCALE: NTS

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS  
LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE:

**SHEATHING OPTIONS & DETAILS**

SHEET NO.: 6 / 11  
DRAWN BY: A.W. DATE: 1/22/21  
CHECKED BY: OAA DATE: 1/22/21

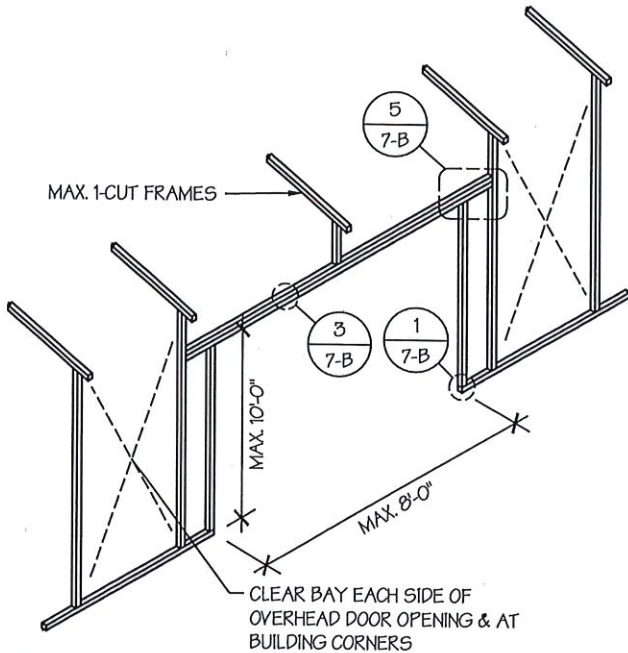
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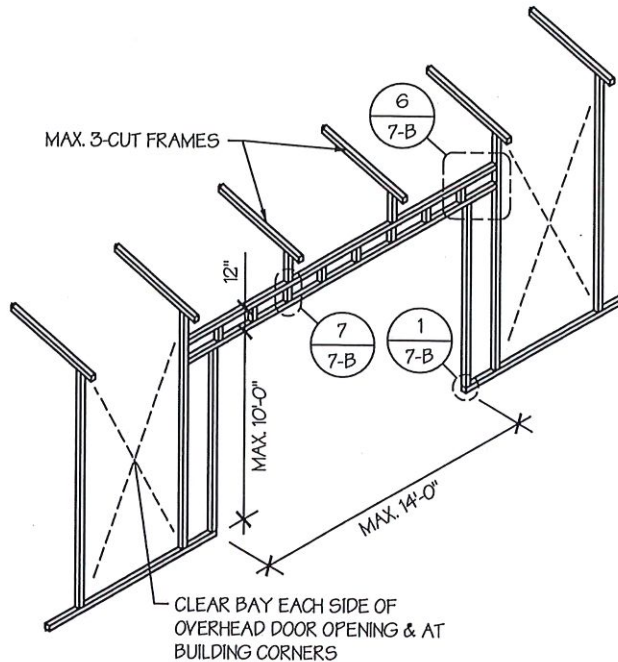


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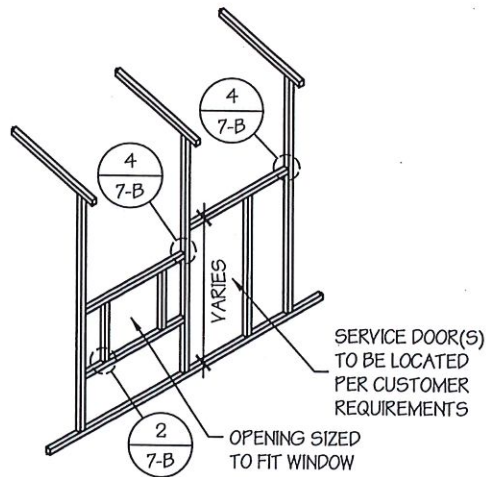
SIDE WALL OVERHEAD DOOR OPENINGS

SCALE: NTS



SIDE WALL OVERHEAD DOOR OPENINGS WITH TRUSS STYLE HEADER

SCALE: NTS



SIDE WALL SERVICE DOOR / WINDOW OPENINGS

SCALE: NTS

SIDE WALL FRAMING NOTES:

1. TRUSS-STYLE HEADERS ARE REQUIRED FOR WHERE THE GROUND SNOW LOAD IS 40 PSF OR GREATER.
2. DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
3. MAX. HEIGHT OF SIDE WALL OVERHEAD DOOR OPENINGS IS 2 FT LESS THAN THE EAVE HEIGHT.
4. OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
5. MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
6. MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
7. SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

**SIDE WALL FRAMING  
& OPENINGS**

SHEET NO.: 7-A / 11

DRAWN BY: A.W. DATE: 1/22/21

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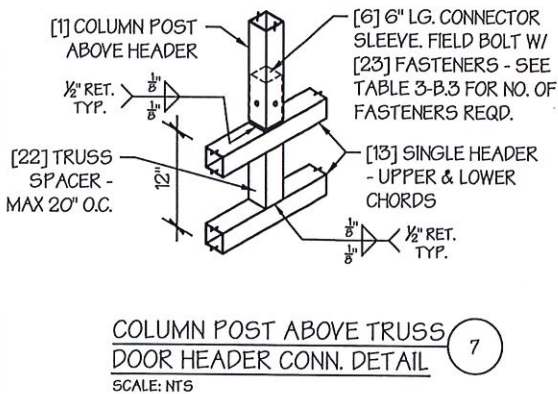
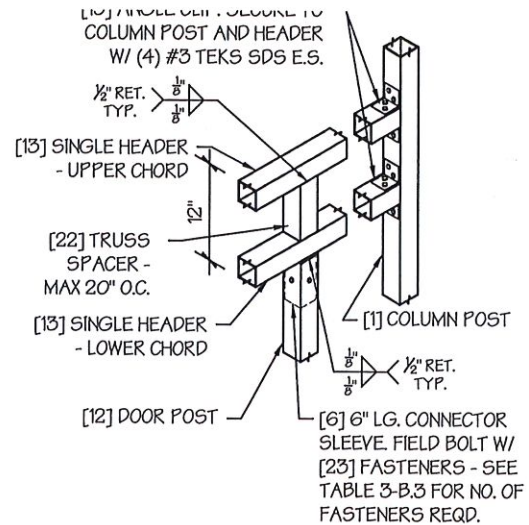
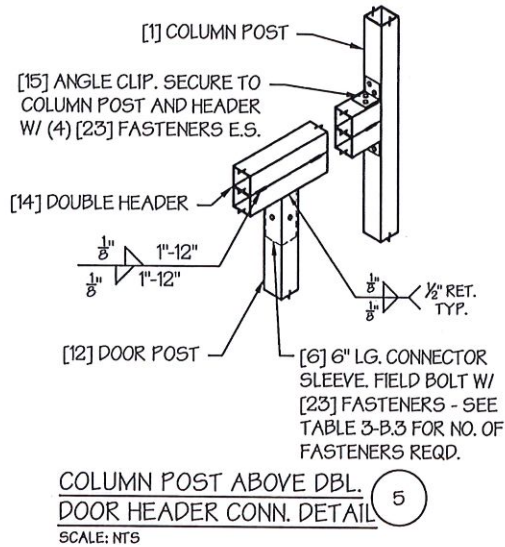
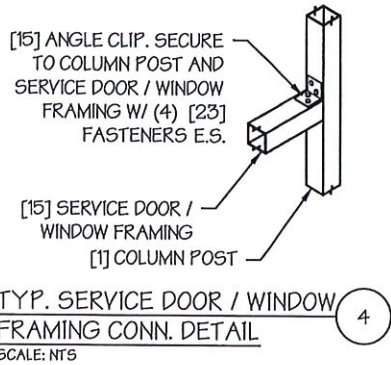
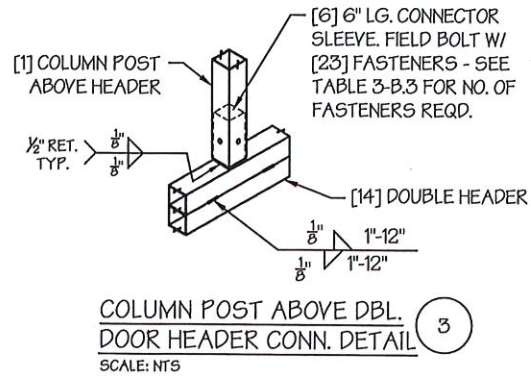
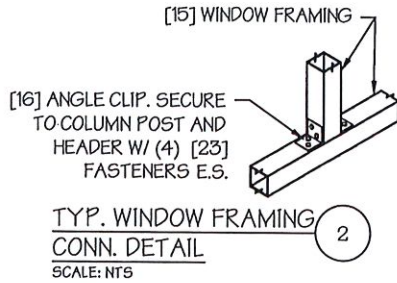
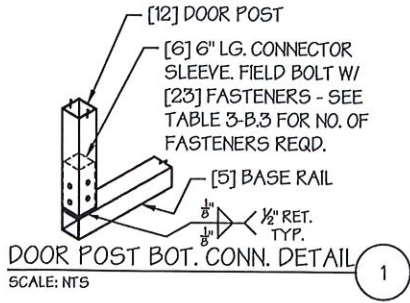
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LOCATION: STATE OF ARKANSAS

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SHEET TITLE:

**SIDE WALL FRAMING  
DETAILS**

SHEET NO.: 7-B / 11

DRAWN BY: A.W. DATE: 1/22/21

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LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE:

**END WALL FRAMING**

SHEET NO.: 8-A / 11  
DRAWN BY: A.W. DATE: 1/22/21  
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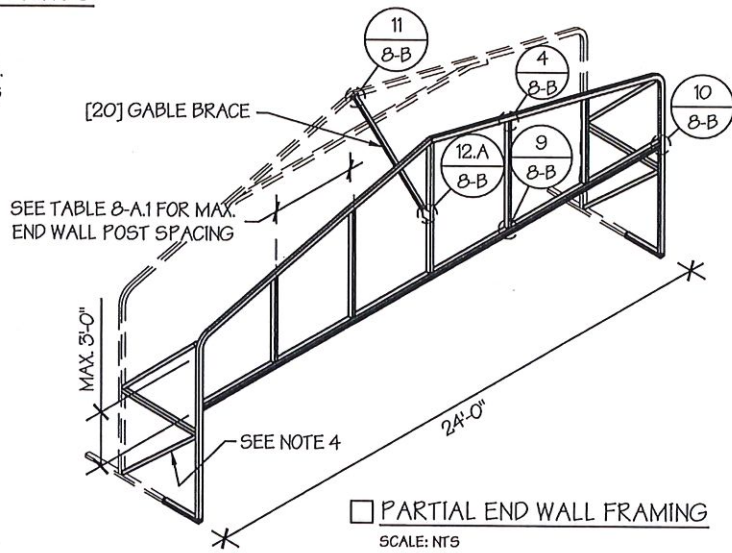
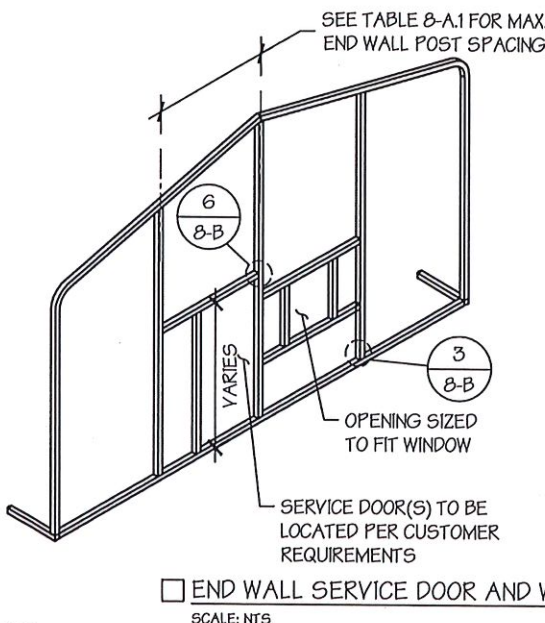
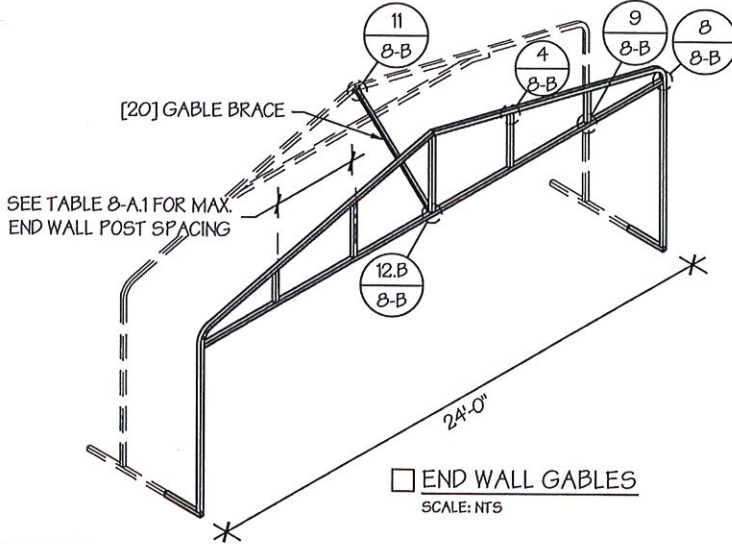
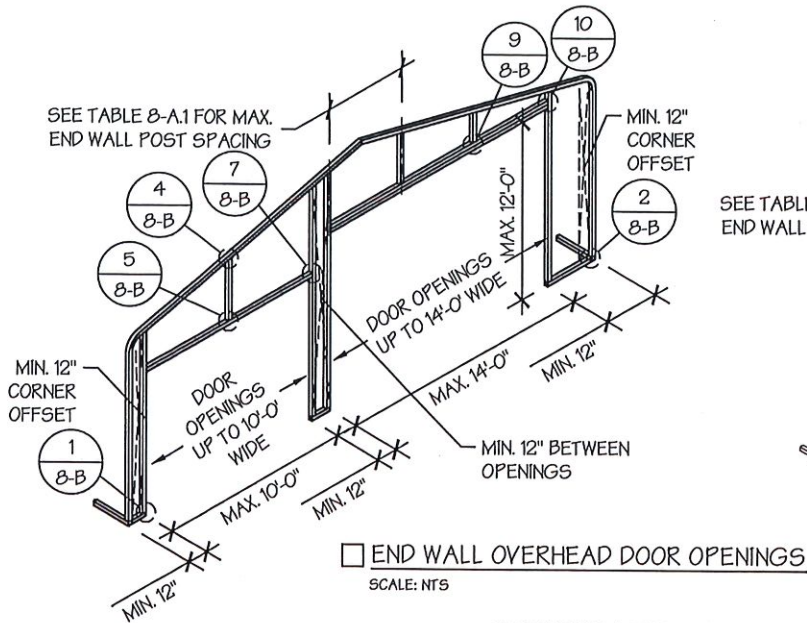
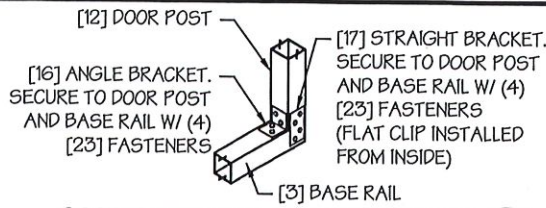


TABLE 8-A.1: END WALL POST SPACING SCHEDULE

| WIND SPEED (MPH)                   | EAVE HEIGHT |          |            |
|------------------------------------|-------------|----------|------------|
|                                    | UP TO 7'    | 8' TO 9' | 10' TO 12' |
| <input type="checkbox"/> 105       | 5'          | 5'       | 5'         |
| <input type="checkbox"/> 115       | 5'          | 5'       | 4.5'       |
| <input type="checkbox"/> 130       | 4.5'        | 4.5'     | 4'         |
| <input type="checkbox"/> 140       | 4.5'        | 4.5'     | 3'         |
| <input type="checkbox"/> 155       | 4'          | 4'       | 2.5'       |
| <input type="checkbox"/> 165 - 180 | 3.5'        | 3'       | 2'         |

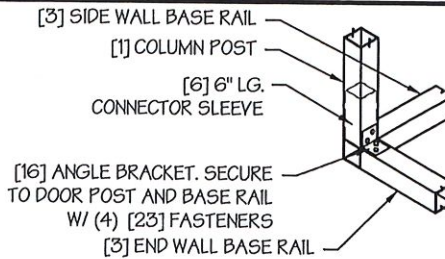
**END WALL FRAMING NOTES:**

- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MIN. 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
- DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.



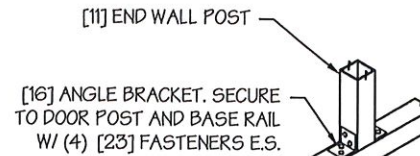
**DOOR POST BASE RAIL CONN. DETAIL**  
SCALE: NTS

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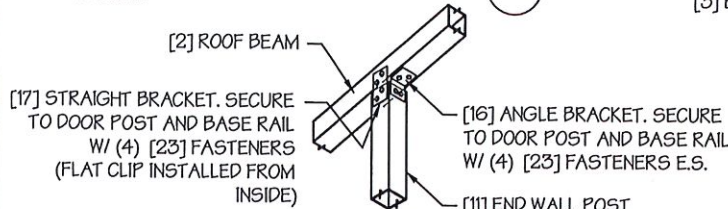
**CORNER DETAIL**  
SCALE: NTS

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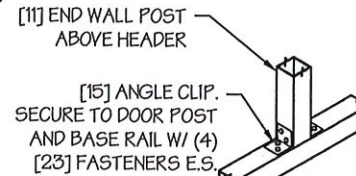
**END WALL POST - BASE RAIL CONN. DETAIL**  
SCALE: NTS

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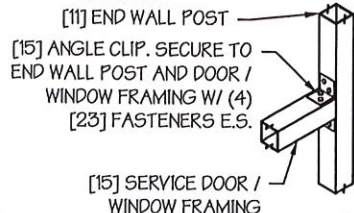
**END WALL POST - ROOF BEAM CONN. DETAIL**  
SCALE: NTS

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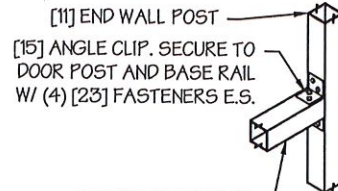
**END WALL POST ABOVE HEADER CONN. DETAIL**  
SCALE: NTS

5



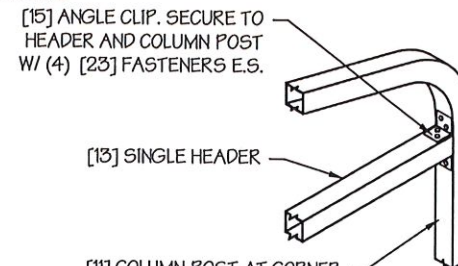
**TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL**  
SCALE: NTS

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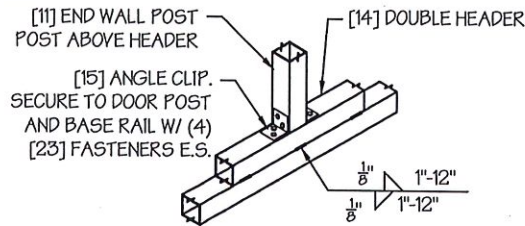
**HEADER - END WALL POST CONN. DETAIL**  
SCALE: NTS

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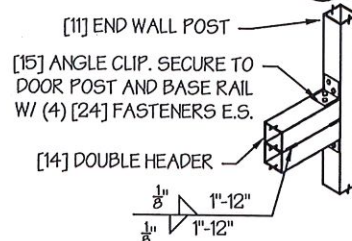
**GABLE HEADER - CORNER POST CONN. DETAIL**  
SCALE: NTS

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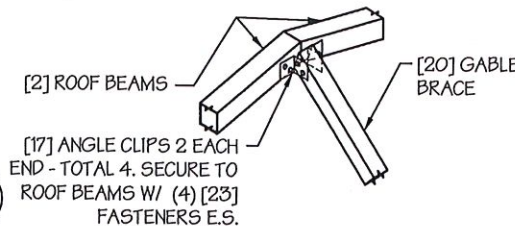
**END WALL POST ABOVE DOUBLE HEADER CONN. DETAIL**  
SCALE: NTS

9



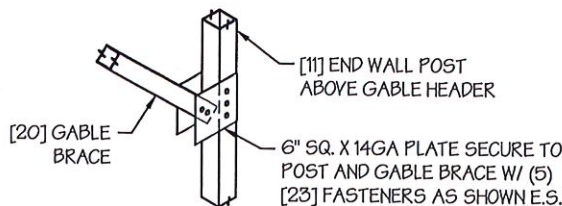
**DOUBLE HEADER - END WALL POST CONN. DETAIL**  
SCALE: NTS

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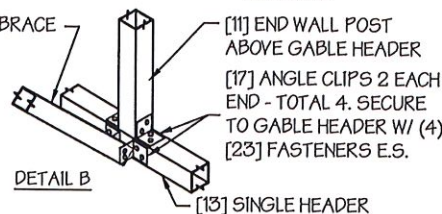
**TYP. GABLE BRACE CONN. DETAIL**  
SCALE: NTS

11



**DETAIL A**

**GABLE BRACE - END WALL CONN. DETAIL**  
SCALE: NTS



**DETAIL B**

12

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS

LOCATION: STATE OF ARKANSAS

PROJECT NO.: 033-23-0101

SHEET TITLE:

**END WALL FRAMING  
DETAILS**

SHEET NO.: 8-B / 11

DRAWN BY: A.W. DATE: 1/22/21

CHECKED BY: OAA DATE: 1/22/21

**LEGAL INFORMATION**

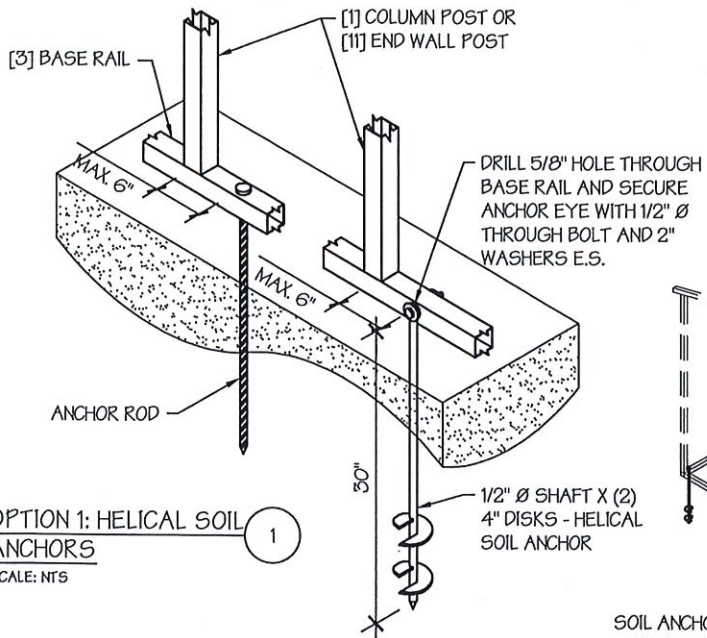
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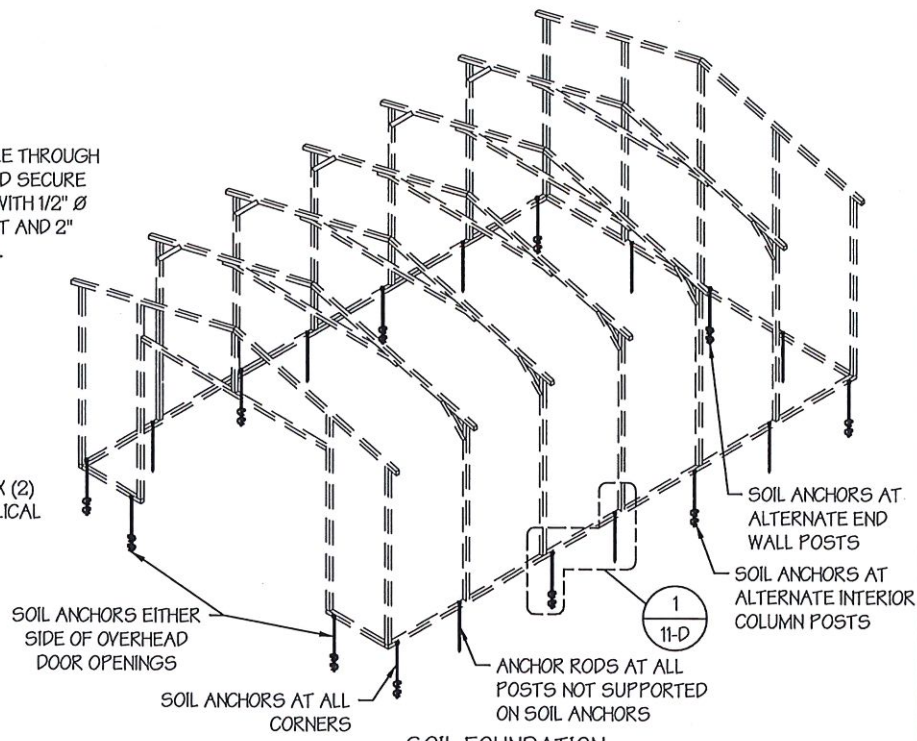


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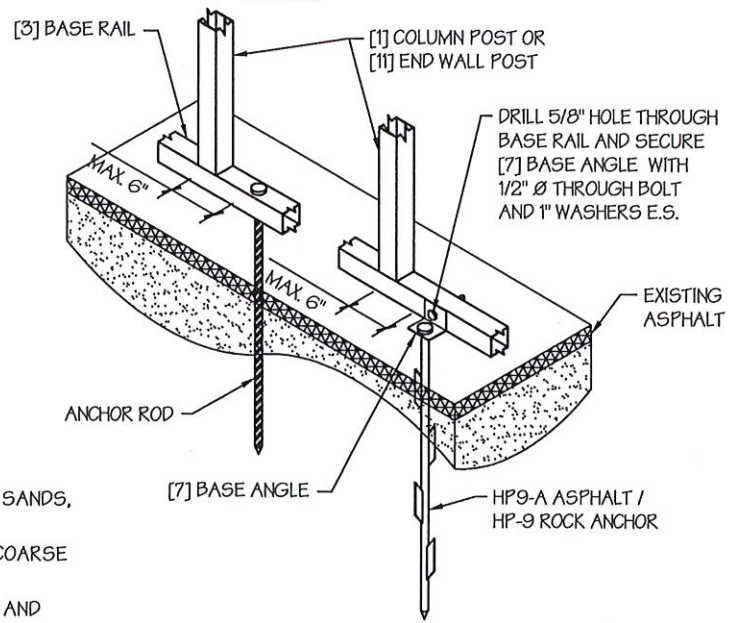
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**OPTION 1: HELICAL SOIL ANCHORS**  
SCALE: NTS



**OPTION 2: ROCK / ASPHALT ANCHORS**  
SCALE: NTS



**OPTION 2: ROCK / ASPHALT ANCHORS**  
SCALE: NTS

**SOIL FOUNDATION NOTES:**

- DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
- SOIL ANCHORS (HELICAL OR ROCK/ASPHALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
- HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
- ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

**SOIL CLASSIFICATIONS:**

| SOIL CLASS | DESCRIPTION  |
|------------|--|
| 2          | SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/COBBLES, PRELOADED SILTS, CLAYS AND CORAL. |
| 3          | SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.   |
| 4          | LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.   |

"FROM HUD "MODEL MANUFACTURED HOME INSTALLATION STANDARDS"

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**DRAWING INFORMATION**

PROJECT: 24'-0" WIDE BUILDINGS  
LOCATION: STATE OF ARKANSAS  
PROJECT NO.: 033-23-0101  
SHEET TITLE: FOUNDATION OPTION 4: SOIL ANCHORS  
SHEET NO.: 11-D / 11  
DRAWN BY: A.W. DATE: 1/22/21  
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CME Post

175FT

Building

21814

40ft

Frontage Road

Hwy 70E

1-30

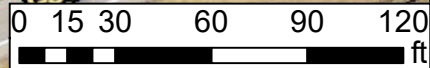
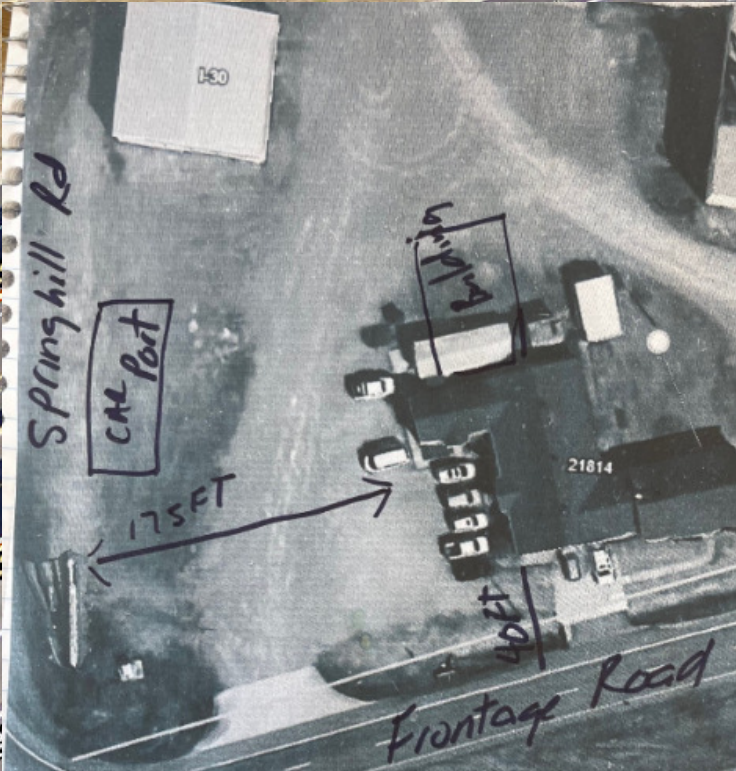
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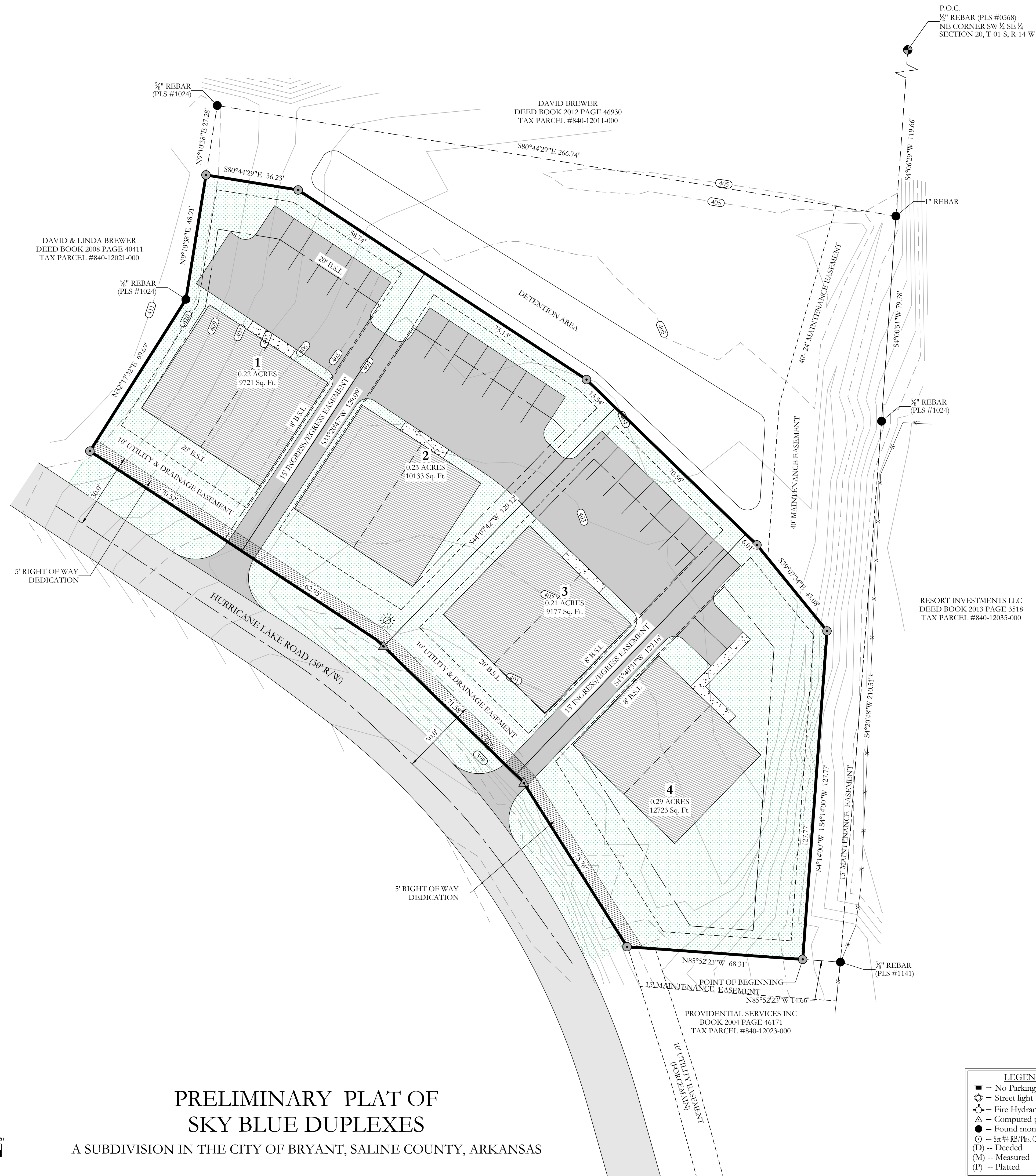
67





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P.O.C.  
1/2" REBAR (PLS #0568)  
NE CORNER SW 1/4 SE 1/4  
SECTION 20, T-01-S, R-14-W

RESORT INVESTMENTS LLC  
DEED BOOK 2013 PAGE 3518  
TAX PARCEL #840-12035-000

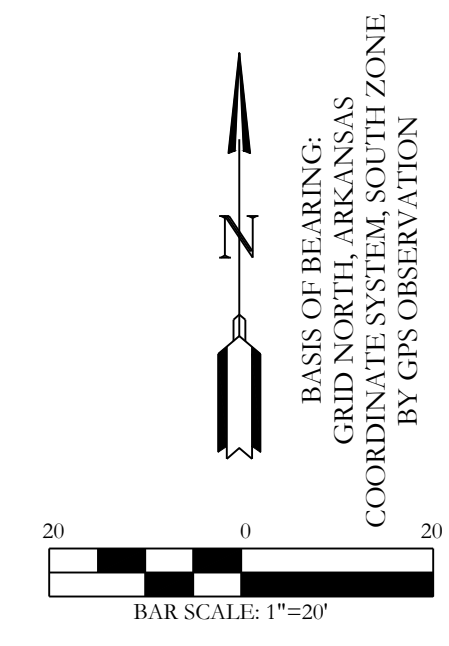
PROVIDENTIAL SERVICES INC  
BOOK 2004 PAGE 46171  
TAX PARCEL #840-12023-000

5' RIGHT OF WAY  
DEDICATION

5' RIGHT OF WAY  
DEDICATION

# PRELIMINARY PLAT OF SKY BLUE DUPLEXES

A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

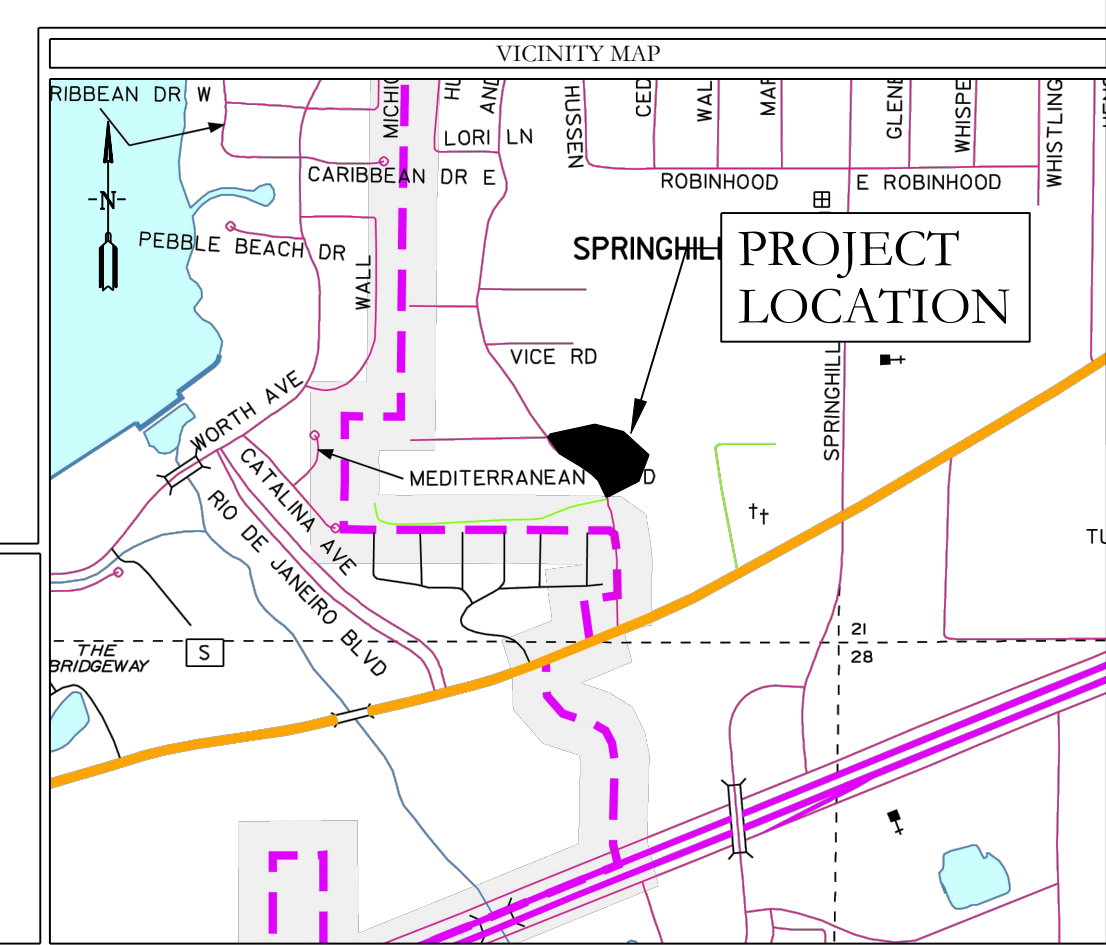


### AS-SURVEYED DESCRIPTION:

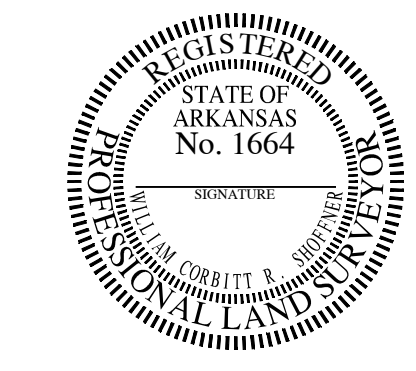

PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW 1/4 SE 1/4) OF SECTION 20, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SW 1/4 SE 1/4 OF SECTION 20; THENCE S04°06'29"W, A DISTANCE OF 119.66 FEET; THENCE S04°06'51"W, A DISTANCE OF 79.78 FEET; THENCE S04°20'48"W, A DISTANCE OF 210.51 FEET; THENCE N85°52'23"W, A DISTANCE OF 68.31 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF HURRICANE LAKE ROAD THE FOLLOWING COURSES:  
N32°14'50"W, A DISTANCE OF 75.76 FEET; THENCE N45°50'42"W, A DISTANCE OF 78.70 FEET; THENCE N56°37'37"W, A DISTANCE OF 133.47 FEET; THENCE LEAVING SAID RIGHT OF WAY, N32°17'32"E, A DISTANCE OF 64.60 FEET; THENCE N09°10'38"E, A DISTANCE OF 48.91 FEET; THENCE S80°44'29"E, A DISTANCE OF 36.23 FEET; THENCE S56°39'13"E, A DISTANCE OF 133.87 FEET; THENCE S45°52'18"E, A DISTANCE OF 92.11 FEET; THENCE S39°07'34"E, A DISTANCE OF 43.08 FEET; THENCE S04°14'00"W A DISTANCE OF 127.77 TO THE POINT OF BEGINNING, CONTAINING 41,754 SQUARE FEET, OR 0.96 ACRES, MORE OR LESS.

### NOTE:

TRACT A WILL BE UTILIZED AS DRAINAGE AND UTILITY EASEMENTS MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.  
NO FENCES SHALL BE CONSTRUCTED IN THE DRAINAGE EASEMENT WHERE OPEN DITCHES ARE CONSTRUCTED.



- LEGEND**
- - No Parking Sign
  - - Street light
  - ⊙ - Fire Hydrant
  - △ - Computed point
  - - Found monument
  - - Set #1 RB/Plat, Cap (SIP)
  - (D) - Deeded
  - (M) - Measured
  - (P) - Platted

| CERTIFICATIONS:  |  |  |
|--|--|--|
| <b>OWNER:</b>  | <b>DEVELOPER:</b>  |  |
| Name: SKY BLUE, LLC  | Name: SKY BLUE, LLC  |  |
| Address: 3621 INDEPENDENCE DRIVE<br>BRYANT, AR 72022   | Address: 3621 INDEPENDENCE DRIVE<br>BRYANT, AR 72022   |  |
| <b>CERTIFICATE OF OWNER:</b>   |  |  |
| We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.  |  |  |
| Date of Execution _____  | Name: _____  |  |
| Source of Title: D.R. BOOK 2015 PAGE 7766  |  |  |
| <b>CERTIFICATE OF PROPERTY OWNERSHIP:</b>  |  |  |
| I, _____, hereby certify that the deed records in the office of Circuit Clerk and Ex-Officio recorder of Saline County, Arkansas, reflect that _____ is the record title owner of real property more particularly described herein on plat.  |  |  |
| Dated: _____<br>Certified Title Insurance Agent or Abstractor  |  |  |
| <b>CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:</b>  |  |  |
| I, William Corbett R. Shoffner, hereby certify that this proposed preliminary plat correctly represents a survey completed by me or under my supervision on _____, 20____, that the boundary lines show hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located. |  |  |
| Date of Execution _____  | William Corbett R. Shoffner<br>Registered Professional<br>Land Surveyor No. 1664 Arkansas            |  |
| <b>CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:</b>  |  |  |
| I, Kazi Islam, hereby certify that this plat correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.  |  |  |
| Date of Execution _____  | Kazi Islam<br>Registered Professional<br>Engineer, No. 20876 Arkansas                                |  |
| <b>CERTIFICATE OF PRELIMINARY PLAT APPROVAL:</b>   |  |  |
| Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.  |  |  |
| Date of Execution _____  | NAME, CHAIRMAN<br>BRYANT PLANNING COMMISSION   |  |
|    |  |  |
| By affixing my seal and signature, I Kazi Islam PE No. 20876, hereby certify that this drawing correctly depicts a survey compiled under my supervision.   |  |  |
| NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.  |  |  |
| No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0305; Dated: 06/05/2020.  |  |  |
| PROPERTY SPECIFICATIONS:   |  |  |
| OWNER: SKY BLUE, LLC<br>3601 INDEPENDENCE DRIVE<br>BRYANT, AR 72022  | AVERAGE LOT SIZE: 0.19 ACRES (8,437 SQ. FT.)<br>MINIMUM LOT SIZE: 7,209 SQ. FT.<br>NUMBER OF LOTS: 4 | SOURCE OF WATER: WATER USERS<br>SOURCE OF SEWER: CITY OF BRYANT<br>SOURCE OF ELECTRIC: INTERGY<br>BUILDING SETBACKS:<br>FRONT: 20' OR AS SHOWN<br>REAR: 5' OR AS SHOWN<br>SIDE: 8' OR AS SHOWN |
| DEVELOPER/ SURVIDOR: SKY BLUE, LLC<br>3601 INDEPENDENCE DRIVE<br>BRYANT, AR 72022  | ENGINEERS: HOPE CONSULTING INC<br>117 S. MARKET STREET<br>BENTON, AR 72015                           | UTILITY & DRAINAGE EASEMENTS:<br>FRONT: 10' OR AS SHOWN<br>REAR: 5' OR AS SHOWN<br>SIDE: 5' OR AS SHOWN  |
| NAME OF SUBDIVISION: SKY BLUE DUPLEXES<br>INSTRUMENT # 2015-7766   | VICINITY MAP   |  |
| ZONING: R-X  | FOR USE AND BENEFIT OF:<br>SKY BLUE, LLC   |  |
| PRELIMINARY PLAT<br>SKY BLUE DUPLEXES  |  |  |
| A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS   |  |  |
| DATE: 08/23/2024   | C.A.D. BY: BJOHNSON  | DRAWING NUMBER:  |
| REVISED:   | CHECKED BY:  | 19-0066  |
| SHEET: C-1.0   | SCALE: 1"=20'  |  |
| 500  | 01S  | 14W  |
| 0  | 20   | 230  |
| 62   | 1807   |  |

# HOPE

## CONSULTING

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### ENGINEERS - SURVEYORS

September 12, 2024

Colton Leonard  
City of Bryant  
210 Southwest Third St.,  
Bryant, AR 72022


RE: Request for Modification from Code and Request for CUP (Parcel #:840-12022-000)

Dear Mr. Leonard,

We are proposing duplexes on the 4 lots of this proposed subdivision. I am also requesting a modification from the Walk Bike Drive Code for no curb improvements on this proposed development. We are also asking for a waiver on sidewalks and half-street improvements.

It is our goal to be included on the October 14, 2024 Planning Commission agenda.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.  
Sincerely,



Jonathan Hope  
Jonathan Hope  
Hope Consulting, Inc.

129 N. Main St. Benton, Arkansas 72015  
501-315-2626  
[www.hopeconsulting.com](http://www.hopeconsulting.com)



**City of Bryant, Arkansas**  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 7-24-24

**Applicant or Designee:**

Name Jonathan Hope

Address 129 N. Main St. Benton, AR

Phone 501-860-0467

Email Address: jonathan@hopeconsulting.com

**Project Location:**

Property Address Hurricane Lake Rd.

Parcel Number 840-12022-000

Zoning Classification R-X

**Property Owner (If different from Applicant):**

Name Sky Blue, LLC.

Phone 501-912-2752

Address 3621 Independence Dr. Bryant, AR 72022

Email Address tj.bessent@sbcglobal.net

**Additional Information:**

Legal Description (Attach description if necessary)

Attached

Description of Conditional Use Request (Attach any necessary drawings or images)

Requesting approval of construction of Duplexes as allowed in zoning R-X

Proposed/Current Use of Property Duplexes

# Application Checklist

## Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
  - Additional information that may be requested by the administrative official due to unique conditions of the site.

**Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.**

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

### **READ CAREFULLY BEFORE SIGNING**

I Jonathan Hope, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.

AS SURVEYED DESCRIPTION FOR PARCEL #840-12022-000  
PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW 1/4 SE 1/4)  
OF SECTION 20, TOWNSHIP 01 SOUTH, RANGE 14 WEST, SALINE COUNTY,  
ARKANSAS; MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE  
NORTHEAST CORNER OF SAID SW 1/4 SE 1/4 OF SECTION 20; THENCE S04°06'29"W, A  
DISTANCE OF 119.66 FEET ; THENCE S04°00'51"W, A DISTANCE OF 79.78 FEET;  
THENCE S04°20'48"W, A DISTANCE OF 210.51 FEET; THENCE N85°52'23"W, A  
DISTANCE OF 14.66 FEET TO THE POINT OF BEGINNING; THENCE N85°52'23"W, A  
DISTANCE OF 68.31 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF  
HURRICANE LAKE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE OF  
HURRICANE LAKE ROAD THE FOLLOWING COURSES:  
N32°14'50"W, A DISTANCE OF 75.76 FEET; THENCE  
N45°50'42"W, A DISTANCE OF 78.70 FEET; THENCE  
N56°37'37"W, A DISTANCE OF 133.47 FEET; THENCE LEAVING SAID RIGHT OF WAY,  
N32°17'32"E, A DISTANCE OF 64.69 FEET; THENCE N09°10'38"E, A DISTANCE OF 48.91  
FEET; THENCE S80°44'29"E, A DISTANCE OF 36.23 FEET;  
THENCE S56°39'13"E, A DISTANCE OF 133.87 FEET; THENCE S45°52'18"E, A DISTANCE  
OF 92.11 FEET; THENCE S39°07'34"E, A DISTANCE OF 43.08 FEET; THENCE  
S04°14'00"W A DISTANCE OF 127.77 TO THE POINT OF BEGINNING. CONTAINING  
41,754 SQUARE FEET, OR 0.96 ACRES, MORE OR LESS.

# HOPE

## CONSULTING

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### ENGINEERS - SURVEYORS

July 26, 2024

Colton Leonard  
City of Bryant  
210 Southwest Third St.,  
Bryant, AR 72022


RE: Request for Modification from Code and Request for CUP (Parcel #:840-12022-000)

Dear Mr. Leonard,

I am requesting a modification from the Walk Bike Drive Code for no curb improvements on this proposed development. We are proposing duplexes on this property and the majority of the property will be driveways. Adding curb to this development would be only in between driveways which would be minimal on this project.

It is our goal to be included on the August 12, 2024 Planning Commission agenda.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.  
Sincerely,



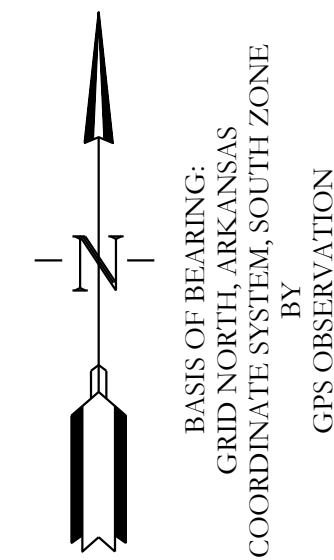
Jonathan Hope  
Hope Consulting, Inc.

129 N. Main St. Benton, Arkansas 72015  
501-315-2626  
[www.hopeconsulting.com](http://www.hopeconsulting.com)

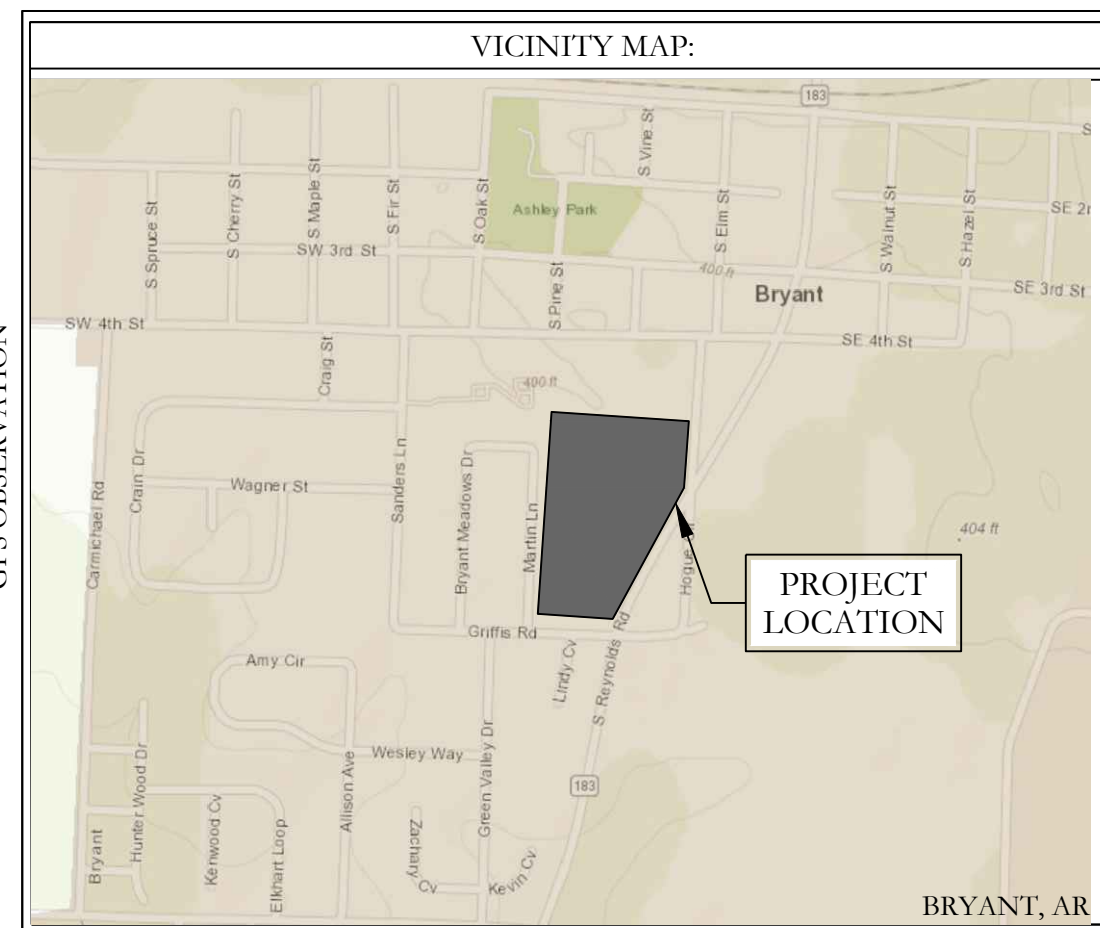
# CONSTRUCTION PLANS

## FIRST SOUTHERN BAPTIST CHURCH OF BRYANT

### 604 S REYNOLDS ROAD, BRYANT, SALINE COUNTY, ARKANSAS



BASIS OF BEARING:  
GRID NORTH, ARKANSAS  
COORDINATE SYSTEM, SOUTH ZONE  
BY  
GPS OBSERVATION



## PREPARED BY:

**HOPE**  
**CONSULTING**  
**ENGINEERS - SURVEYORS**

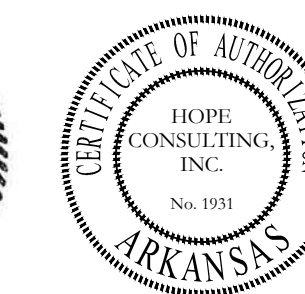
129 N. Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
[www.hopeconsulting.com](http://www.hopeconsulting.com)

#### DRAWING INDEX

| SHEET NO. | TITLE                           |
|-----------|---------------------------------|
|           | BOUNDARY & TOPO SURVEY          |
| C-1.0     | SITE PLAN                       |
| C-2.0     | UTILITY PLAN                    |
| C-3.0     | SEWER PLAN & PROFILE            |
| C-4.0     | GRADING PLAN                    |
| C-5.0     | STORM DRAINAGE PLAN AND PROFILE |
| C-6.0     | RETENTION PLAN                  |
| C-7.0     | LANDSCAPE PLAN                  |
| C-8.0     | EROSION CONTROL PLAN            |
| C-9.0     | DEMOLITION PLAN                 |

|  |  |
|--|--|
| <b>OWNER:</b><br>Name: <u>Peter Cunningham</u><br>Address: <u>604 S Reynolds Rd, Bryant, Arkansas 72022</u><br>Email & <u>peter@fsbcbryant.org</u><br>Phone: <u>501-847-3014</u> | <b>DEVELOPER:</b><br>Name: <u>Peter Cunningham</u><br>Address: <u>604 S Reynolds Rd, Bryant, Arkansas 72022</u><br>Email & <u>peter@fsbcbryant.org</u><br>Phone: <u>501-847-3014</u> |
|--|--|

CIVIL ENGINEER  
HOPE CONSULTING INC  
129 N. MAIN STREET  
BENTON, AR 72015



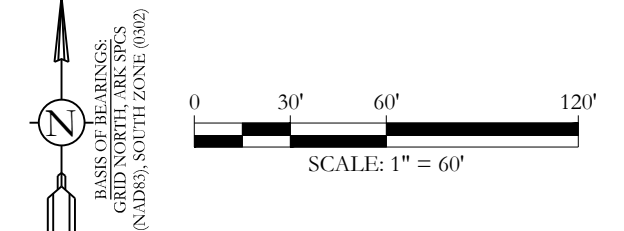
**HOPE CONSULTING ENGINEERS - SURVEYORS** 129 N. Main Street,  
Benton, Arkansas 72015  
PH. (501)315-2626  
FAX (501) 315-0024  
[www.hopeconsulting.com](http://www.hopeconsulting.com)

FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**

**FSCB EXPANSION & REMODEL PHASE-1  
COVER SHEET**  
604 S REYNOLDS ROAD,  
BRYANT, SALINE COUNTY, ARKANSAS

|                |             |                      |
|----------------|-------------|----------------------|
| DATE: 9/4/2024 | C.A.D. BY:  | DRAWING NUMBER:      |
| REVISED:       | CHECKED BY: | <b>24-0260</b>       |
| SHEET:         | SCALE:      |                      |
| 500            | 01S         | 14W 0 34 310 62 1664 |





**REFERENCE DOCUMENTS CITED**  
 RECORDED SURVEY PLATS BY:  
 JOHN C. WILLIAMS (PS 1091), FOR MURPHY, DATED 10/5/2000  
 KERRY D. LANE (PS 1141), FOR W. GRAY, DATED 8/12/2013  
 FINAL PLAT OF BRYANT MEADOWS SUBD., PHASE 3, AS RECORDED IN BOOK 337, PAGE 452  
 JOHN A. LANE (PS 1740), FOR B. GRAY, DATED 3/18/2014  
 PLAT OF FISCHER'S SUBDIVISION, AS RECORDED IN BOOK 35, PAGE 400

**SURVEY DETAILS AND NOTES:**  
 OWNER OF RECORD: FIRST SOUTHERN BAPTIST CHURCH  
 PHYSICAL ADDRESS: 604 S. REYNOLDS RD., BRYANT, AR  
 COUNTY PARCEL TAX ID: 840-15972-003, 840-15972-000, 840-15973-000

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

THIS SURVEY IS BASED ON PUBLIC RECORDS AND/OR TITLE INVESTIGATIONS FURNISHED BY THIRD PARTIES. NO INDEPENDENT SEARCH OR INVESTIGATION HAS BEEN MADE BY THIS FIRM FOR ANY RECORDS, PUBLIC OR PRIVATE. LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY. HOWEVER OTHER RECORDS, IF ANY, COULD FURTHER AFFECT THIS SURVEY. NO STATEMENT OR GUARANTEES OF OWNERSHIP, RIGHTS, OR OTHER INTERESTS ARE MADE BY THIS SURVEYOR.

**RECORD PROPERTY DESCRIPTION**  
 SALINE COUNTY INSTRUMENT 2000-055449

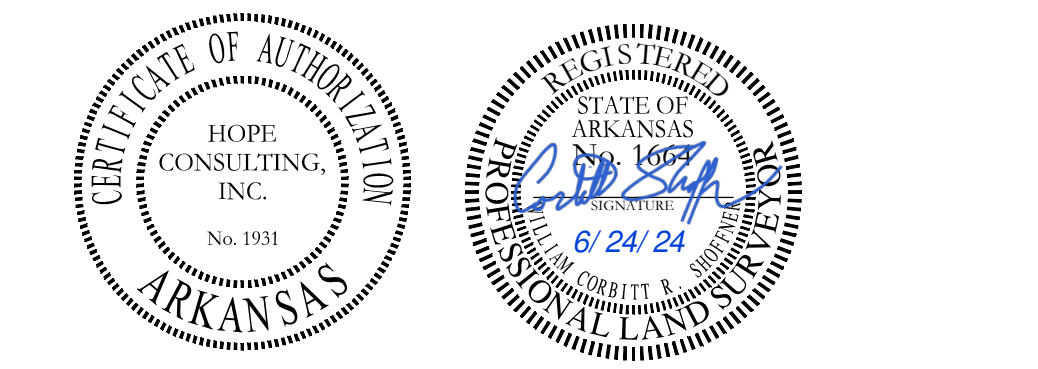
ALL THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A 5/8 INCH REBAR ACCEPTED AS BEING THE SOUTHWEST CORNER OF SAID NE1/4 OF THE SW 1/4, SECTION 34, THENCE NORTH 89 DEG. 35 MIN. 27 SEC. EAST, ALONG THE SOUTH LINE THEREOF, 451.2 FEET TO A COTTON PICKER SPINDLE IN THE CENTERLINE OF GRIFFIS ROAD AND BEING THE POINT OF BEGINNING OF LANDS HEREIN DESCRIBED; THENCE SOUTH 89 DEG. 32 MIN. 03 SEC. EAST, ALONG THE CENTERLINE OF GRIFFIS ROAD AND THE SOUTH LINE OF SAID NE 1/4 OF THE SW 1/4, 313.90 FEET TO A RAILROAD SPIKE; THENCE SOUTH 89 DEG. 30 MIN. 25 SEC. EAST, ALONG THE CENTERLINE OF GRIFFIS ROAD AND THE SOUTH LINE OF SAID NE 1/4 OF THE SW 1/4, 197.38 FEET TO A COTTON PICKER SPINDLE IN THE WEST RIGHT OF WAY LINE OF ARKANSAS STATE HIGHWAY NO. 183; THENCE ALONG SAID STATE HIGHWAY RIGHT OF WAY LINE AND A CURVE TO THE RIGHT HAVING A RADIUS OF 1472.40 FEET FOR A CHORD OF NORTH 22 DEG. 36 MIN. 45 SEC. EAST 359.84 FEET TO A REBAR; THENCE NORTH 60 DEG. 22 MIN. 07 SEC. WEST, ALONG SAID STATE HIGHWAY RIGHT OF WAY LINE, 2000 FEET TO A REBAR; THENCE NORTH 29 DEG. 37 MIN. 53 SEC. EAST, ALONG SAID STATE HIGHWAY RIGHT OF WAY LINE, 477.50 FEET TO A REBAR IN THE EAST LINE OF SAID NE 1/4 OF THE SW 1/4; THENCE NORTH 02 DEG. 45 MIN. 15 SEC. EAST, ALONG EAST LINE OF SAID NE 1/4 OF THE SW 1/4, 288.55 FEET TO A RAILROAD SPIKE IN THE CENTERLINE OF ELM STREET AND THE SOUTHEAST CORNER OF LAND CONVEYED TO CITY OF BRYANT, ARKANSAS IN WARRANTY DEED DATED JUNE 15, 1961 AND FILED IN SALINE COUNTY DEED RECORD BOOK 103 AT PAGE 119 SAID POINT BEING LOCATED SOUTH 02 DEG. 46 MIN. 30 SEC. WEST 206.59 FEET FROM THE NORTHEAST CORNER OF SAID NE 1/4 OF SW 1/4, SECTION 34; THENCE LEAVING SAID ELM STREET, SOUTH 89 DEG. 35 MIN. 32 SEC. WEST 130.05 FEET TO A REBAR AND THE SOUTHWEST CORNER OF SAID LAND CONVEYED TO CITY OF BRYANT; THENCE NORTH 02 DEG. 48 MIN. 12 SEC. EAST 111.00 FEET TO A REBAR AND THE NORTHWEST CORNER OF SAID LAND CONVEYED TO CITY OF BRYANT; THENCE SOUTH 89 DEG. 34 MIN. 12 SEC. WEST, ALONG THE SOUTH LINE OF LAND GRANTED TO T. W. COLLE, JR. IN DEED OF CONFIRMATION AND QUIETING OF TITLE DATED OCTOBER 31, 1968 AND FILED IN SALINE COUNTY DEED RECORD BOOK 135 AT PAGE 888, 15.10 FEET; THENCE SOUTH 02 DEG. 48 MIN. 12 SEC. WEST, ALONG THE EAST LINE OF LAND CONVEYED TO T. W. COLLE, JR. AND MARY COLLE, HUSBAND AND WIFE, IN WARRANTY DEED DATED JULY 29, 1974 AND FILED IN SALINE COUNTY DEED RECORD BOOK 182 AT PAGE 164, 111.50 FEET; THENCE SOUTH 89 DEG. 34 MIN. 17 SEC. WEST, ALONG THE SOUTH LINE OF LANDS CONVEYED TO T. W. COLLE, JR. AND MARY COLLE, HUSBAND AND WIFE, IN SAID DEED BOOK 182 AT PAGE 164, 185.00 FEET; THENCE NORTH 02 DEG. 48 MIN. 12 SEC. EAST, ALONG THE WEST LINE OF SAID LANDS CONVEYED IN DEED BOOK 182 AT PAGE 164, 112.98 FEET; THENCE SOUTH 89 DEG. 34 MIN. 17 SEC. WEST, ALONG THE SOUTH LINE OF LANDS CONVEYED TO ROBERT LEE NOWLIN IN WARRANTY DEED DATED MARCH 16, 1971 AND FILED IN SALINE COUNTY DEED RECORD BOOK 146 AT PAGE 487 AND AS CONVEYED TO ROBERT LEE NOWLIN AND MARIE NELL NOWLIN, HUSBAND AND WIFE, IN CORRECTION WARRANTY DEED DATED SEPTEMBER 19, 1974 AND FILED IN SALINE COUNTY DEED RECORD BOOK 194 AT PAGE 104, 187.62 FEET; THENCE NORTH 00 DEG. 25 MIN. 43 SEC. WEST, ALONG THE WEST LINE OF LANDS CONVEYED TO SAID ROBERT LEE NOWLIN AND MARIE NELL NOWLIN, HUSBAND AND WIFE, 16.50 FEET TO THE SOUTHEAST CORNER OF LOT 6, FISCHER'S SUBDIVISION; THENCE SOUTH 89 DEG. 34 MIN. 17 SEC. WEST, ALONG THE SOUTH LINE OF SAID FISCHER'S SUBDIVISION, 436.00 FEET TO THE SOUTHWEST CORNER OF LOT 2, FISCHER'S SUBDIVISION; THENCE SOUTH 01 DEG. 25 MIN. 43 SEC. EAST, ALONG THE EAST LINE OF LAND CONVEYED TO PAUL AND ALISA GATTIN AND ALISA ANN GATTIN, HUSBAND AND WIFE, IN WARRANTY DEED DATED JANUARY 14, 1986 AND FILED IN SALINE COUNTY DEED RECORD BOOK 279 AT PAGE 512, 19.00 FEET; THENCE SOUTH 89 DEG. 34 MIN. 17 SEC. WEST, ALONG THE SOUTH LINE OF LAND CONVEYED TO SAID PAUL AND ALISA GATTIN AND ALISA ANN GATTIN, HUSBAND AND WIFE, 57.20 FEET; THENCE NORTH 00 DEG. 25 MIN. 43 SEC. WEST, ALONG THE WEST LINE OF LAND CONVEYED TO SAID PAUL, DOUGLAS GATTIN AND ALISA ANN GATTIN, HUSBAND AND WIFE, 19.00 FEET TO THE SOUTHWEST CORNER OF LOT 1, FISCHER'S SUBDIVISION; THENCE SOUTH 89 DEG. 35 MIN. 22 SEC. WEST, ALONG THE SOUTH LINE OF LAND CONVEYED TO JOHN L. JACKSON AND ROBIN A. JACKSON, HUSBAND AND WIFE, IN WARRANTY DEED DATED JULY 3, 1986 AND FILED IN SALINE COUNTY DEED RECORD BOOK 284 AT PAGE 118, 269.38 FEET TO A COTTON PICKER SPINDLE IN THE CENTERLINE OF SANDERS ROAD AND THE WEST LINE OF SAID NE 1/4 OF THE SW 1/4 SAID POINT BEING LOCATED SOUTH 01 DEG. 24 MIN. 00 SEC. WEST 166.5 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE SOUTH 01 DEG. 24 MIN. 00 SEC. WEST, ALONG THE CENTERLINE OF SANDERS ROAD AND THE WEST LINE OF SAID NE 1/4 OF SW 1/4, 334.54 FEET TO A COTTON PICKER SPINDLE; THENCE LEAVING SAID ROAD, SOUTH 88 DEG. 26 MIN. 35 SEC. EAST, ALONG THE NORTH LINE OF LAND CONVEYED TO SENIOR HOUSING SERVICES OF BRYANT, INC. IN WARRANTY DEED DATED JULY 11, 1988 AND FILED IN SALINE COUNTY DEED RECORD BOOK 308 AT PAGE 550, 606.92 FEET TO A REBAR; THENCE SOUTH 01 DEG. 29 MIN. 25 SEC. WEST, ALONG THE EAST LINE OF LAND CONVEYED TO SAID SENIOR HOUSING SERVICES OF BRYANT, INC., 150.00 FEET TO A REBAR; THENCE SOUTH 89 DEG. 34 MIN. 34 SEC. WEST, ALONG THE SOUTH LINE OF LAND CONVEYED TO SAID SENIOR HOUSING SERVICES OF BRYANT, INC., 152.99 FEET TO A REBAR; THENCE SOUTH 01 DEG. 33 MIN. 04 SEC. WEST, ALONG THE EAST LINE OF LANDS CONVEYED TO CORNERSTONE DEVELOPMENT CO. IN WARRANTY DEED DATED SEPTEMBER 6, 1989 AND FILED IN SALINE COUNTY DEED RECORD BOOK 322 AT PAGE 285, 877.01 FEET TO THE POINT OF BEGINNING, CONTAINING 18.462 ACRES, MORE OR LESS, SUBJECT TO A 30 FOOT ROAD RIGHT OF WAY FOR GRIFFIS ROAD, SUBJECT TO A 20 FOOT ROAD RIGHT OF WAY FOR ELM STREET, SUBJECT TO A 30 FOOT ROAD RIGHT OF WAY FOR SANDERS ROAD, SUBJECT TO A WATER LINE EASEMENT TRaversing THE NORTHERN PORTION OF LANDS DESCRIBED HEREIN ABOVE, SUBJECT TO A GAS LINE EASEMENT TRaversing SUBJECT PROPERTY.

LESS AND EXCEPT: THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF THE NE 1/4 OF SW 1/4, THENCE NORTH 02 DEG. 45 MIN. 10 SEC. EAST (ASTRONOMIC) 982.11 FEET TO THE POINT OF BEGINNING, CONTAINING 18.462 ACRES, MORE OR LESS, THEREOF; THENCE SOUTH 89 DEG. 01 MIN. 06 SEC. EAST 452.81 FEET TO THE NORTHEAST CORNER OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 322 AT PAGE 285, SAID POINT BEING THE POINT OF BEGINNING OF LAND HEREIN DESCRIBED; THENCE CONTINUE SOUTH 89 DEG. 01 MIN. 06 SEC. EAST 294.31 FEET; THENCE SOUTH 01 DEG. 41 MIN. 45 SEC. WEST 986.72 FEET TO THE SOUTH LINE OF SAID NE 1/4 OF SW 1/4; THENCE NORTH 88 DEG. 43 MIN. 48 SEC. WEST, ALONG SAID SOUTH LINE, 313.90 FEET TO THE SOUTHEAST CORNER OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 322 AT PAGE 285; THENCE NORTH 02 DEG. 50 MIN. 15 SEC. EAST 984.37 FEET, ALONG THE EAST LINE OF LANDS DESCRIBED IN SAID DEED, TO THE POINT OF BEGINNING.

ALSO, LESS AND EXCEPT THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT THAT IS 185.5 FEET SOUTH OF THE NORTHEAST CORNER OF SAID NE 1/4 OF SW 1/4 AND RUN THENCE WEST FOR 130 FEET FOR THE POINT OF BEGINNING OF LAND HEREIN DESCRIBED; RUN THENCE WEST FOR 135 FEET; THENCE SOUTH 111.5 FEET; THENCE EAST 15 FEET; THENCE NORTH 111.5 FEET TO THE POINT OF BEGINNING.

**PROPERTY DESCRIPTION FROM SURVEY**  
 ALL THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 SOUTH, RANGE 14 WEST, CITY OF BRYANT, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE NORTHEAST CORNER OF SAID NE1/4, SW1/4 OF SECTION 34; THENCE ALONG THE EAST LINE THEREOF, SOUTH 02°24'31" WEST A DISTANCE OF 296.57 FEET TO THE POINT OF BEGINNING, A RAILROAD SPIKE IN ELM STREET;

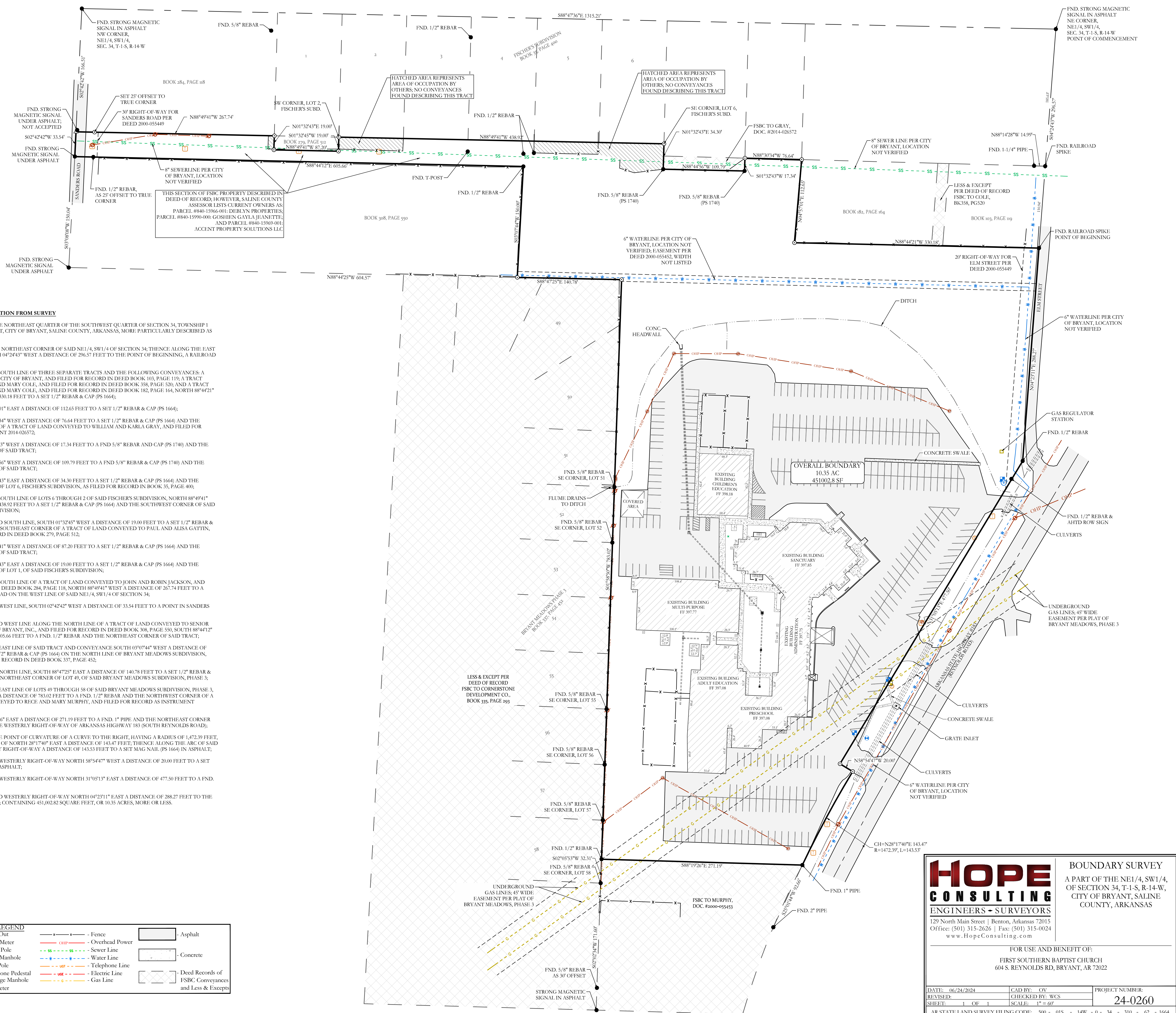
THENCE ALONG THE SOUTH LINE OF THREE SEPARATE TRACTS AND THE FOLLOWING CONVEYANCES: A TRACT CONVEYED TO CITY OF BRYANT, AND FILED FOR RECORD IN DEED BOOK 103, PAGE 119; A TRACT CONVEYED TO T.W. AND MARY COLLE, AND FILED FOR RECORD IN DEED BOOK 358, PAGE 526; AND A TRACT CONVEYED TO T.W. AND MARY COLLE, AND FILED FOR RECORD IN DEED BOOK 182, PAGE 164, NORTH 88°44'21" WEST A DISTANCE OF 330.18 FEET TO A SET 1/2" REBAR & CAP (PS 1664);  
 THENCE NORTH 04°57'01" EAST A DISTANCE OF 112.65 FEET TO A SET 1/2" REBAR & CAP (PS 1664);  
 THENCE NORTH 88°30'34" WEST A DISTANCE OF 76.64 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE NORTHEAST CORNER OF A TRACT OF LAND CONVEYED TO WILLIAM AND KARLA GRAY, AND FILED FOR RECORD AS INSTRUMENT 2014-026572;  
 THENCE SOUTH 01°32'43" WEST A DISTANCE OF 17.34 FEET TO A FND 5/8" REBAR AND CAP (PS 1740) AND THE SOUTHEAST CORNER OF SAID TRACT;  
 THENCE NORTH 88°44'56" WEST A DISTANCE OF 109.79 FEET TO A FND 5/8" REBAR & CAP (PS 1740) AND THE SOUTHWEST CORNER OF SAID TRACT;  
 THENCE NORTH 01°32'43" EAST A DISTANCE OF 34.30 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE SOUTHEAST CORNER OF SAID TRACT;  
 THENCE ALONG THE SOUTH LINE OF LOTS 6 THROUGH 2 OF SAID FISCHER'S SUBDIVISION, NORTH 88°49'41" WEST A DISTANCE OF 438.92 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE SOUTHWEST CORNER OF SAID LOT 2, FISCHER'S SUBDIVISION;  
 THENCE LEAVING SAID SOUTH LINE, SOUTH 01°32'45" WEST A DISTANCE OF 19.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO PAUL AND ALISA GATTIN, AND FILED FOR RECORD IN DEED BOOK 279, PAGE 512;  
 THENCE NORTH 88°49'41" WEST A DISTANCE OF 87.20 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE SOUTHWEST CORNER OF SAID TRACT;  
 THENCE NORTH 01°32'43" EAST A DISTANCE OF 19.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE SOUTHWEST CORNER OF LOT 1, OF SAID FISCHER'S SUBDIVISION;  
 THENCE ALONG THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO JOHN AND ROBIN JACKSON, AND FILED FOR RECORD IN DEED BOOK 284, PAGE 118, NORTH 88°49'41" WEST A DISTANCE OF 267.34 FEET TO A POINT IN SANDERS ROAD ON THE WEST LINE OF SAID NE1/4, SW1/4 OF SECTION 34;  
 THENCE ALONG SAID WEST LINE, SOUTH 02°42'42" WEST A DISTANCE OF 335.4 FEET TO A POINT IN SANDERS ROAD;  
 THENCE LEAVING SAID WEST LINE, ALONG THE NORTH LINE OF A TRACT OF LAND CONVEYED TO SENIOR HOUSING SERVICES OF BRYANT, INC., AND FILED FOR RECORD IN DEED BOOK 308, PAGE 550, SOUTH 88°44'21" EAST A DISTANCE OF 605.66 FEET TO A FND 1/2" REBAR AND THE NORTHEAST CORNER OF SAID TRACT;  
 THENCE ALONG THE EAST LINE OF SAID TRACT AND CONVEYANCE SOUTH 03°07'44" WEST A DISTANCE OF 150.00 FEET TO A SET 1/2" REBAR & CAP (PS 1664) ON THE NORTH LINE OF BRYANT MEADOWS SUBDIVISION, PHASE 3, AS FILED FOR RECORD IN DEED BOOK 337, PAGE 452;  
 THENCE ALONG SAID NORTH LINE, SOUTH 88°47'25" EAST A DISTANCE OF 140.78 FEET TO A SET 1/2" REBAR & CAP (PS 1664) AND THE NORTHEAST CORNER OF LOT 49, OF SAID BRYANT MEADOWS SUBDIVISION, PHASE 3;  
 THENCE ALONG THE EAST LINE OF LOTS 49 THROUGH 58 OF SAID BRYANT MEADOWS SUBDIVISION, PHASE 3, SOUTH 01°58'50" WEST A DISTANCE OF 783.02 FEET TO A FND 1/2" REBAR AND THE NORTHWEST CORNER OF A TRACT OF LAND CONVEYED TO REBE AND MARY MURPHY, AND FILED FOR RECORD AS INSTRUMENT 2000-055453;  
 THENCE SOUTH 88°19'26" EAST A DISTANCE OF 271.19 FEET TO A FND 1" PIPE AND THE NORTHEAST CORNER OF SAID TRACT ON THE WESTERLY RIGHT-OF-WAY OF ARKANSAS HIGHWAY 183 (SOUTH REYNOLDS ROAD);  
 SAID POINT BEING THE POINT OF CURVATURE OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 1472.39 FEET, AND CHORD BEARING OF NORTH 28°17'40" EAST A DISTANCE OF 143.47 FEET; THENCE ALONG THE ARC OF SAID CURVE AND WESTERLY RIGHT-OF-WAY A DISTANCE OF 143.53 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT;  
 THENCE ALONG SAID WESTERLY RIGHT-OF-WAY NORTH 58°54'47" WEST A DISTANCE OF 20.00 FEET TO A SET MAG NAIL (PS 1664) IN ASPHALT;  
 THENCE ALONG SAID WESTERLY RIGHT-OF-WAY NORTH 31°05'13" EAST A DISTANCE OF 477.50 FEET TO A FND 1/2" REBAR;  
 THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY NORTH 04°23'11" EAST A DISTANCE OF 288.27 FEET TO THE POINT OF BEGINNING; CONTAINING 451,002.82 SQUARE FEET, OR 10.35 ACRES, MORE OR LESS.



**FLOOD ZONE INFORMATION**  
 NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP LISTED BELOW:  
 PANEL # 05125C080E - DATED: 06/05/2020

**LEGEND**

|                                 |                        |                     |   |
|---------------------------------|------------------------|---------------------|---|
| ● - PLSS Aliquot Corner         | ○ - Clean Out          | --- - Fence         | ▭ - Asphalt   |
| ● - Fnd. Corner Monument        | ○ - Water Meter        | --- - Sewer         | ▭ - Concrete  |
| ● - Set 1/2" Rebar/Cap (1664)   | ○ - Power Pole         | --- - Telephone     | ▭ - Deed Records of FSCB Conveyances and Less & Excepts |
| △ - Computed Point              | ○ - Sewer Manhole      | --- - Electric Line |   |
| (M) - As Measured               | ○ - Light Pole         | --- - Gas Line      |   |
| (P) - Per Deed or Plat Records  | ○ - Telephone Pedestal |                     |   |
| ESMT - Easement                 | ○ - Drainage Manhole   |                     |   |
| B.S.L. - Building Setback Lines | ○ - Gas Meter          |                     |   |



**HOPE CONSULTING ENGINEERS - SURVEYORS**  
 129 North Main Street | Benton, Arkansas 72015  
 Office: (501) 315-2626 | Fax: (501) 315-0024  
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**BOUNDARY SURVEY**  
 A PART OF THE NE1/4, SW1/4, OF SECTION 34, T-1-S, R-14-W, CITY OF BRYANT, SALINE COUNTY, ARKANSAS

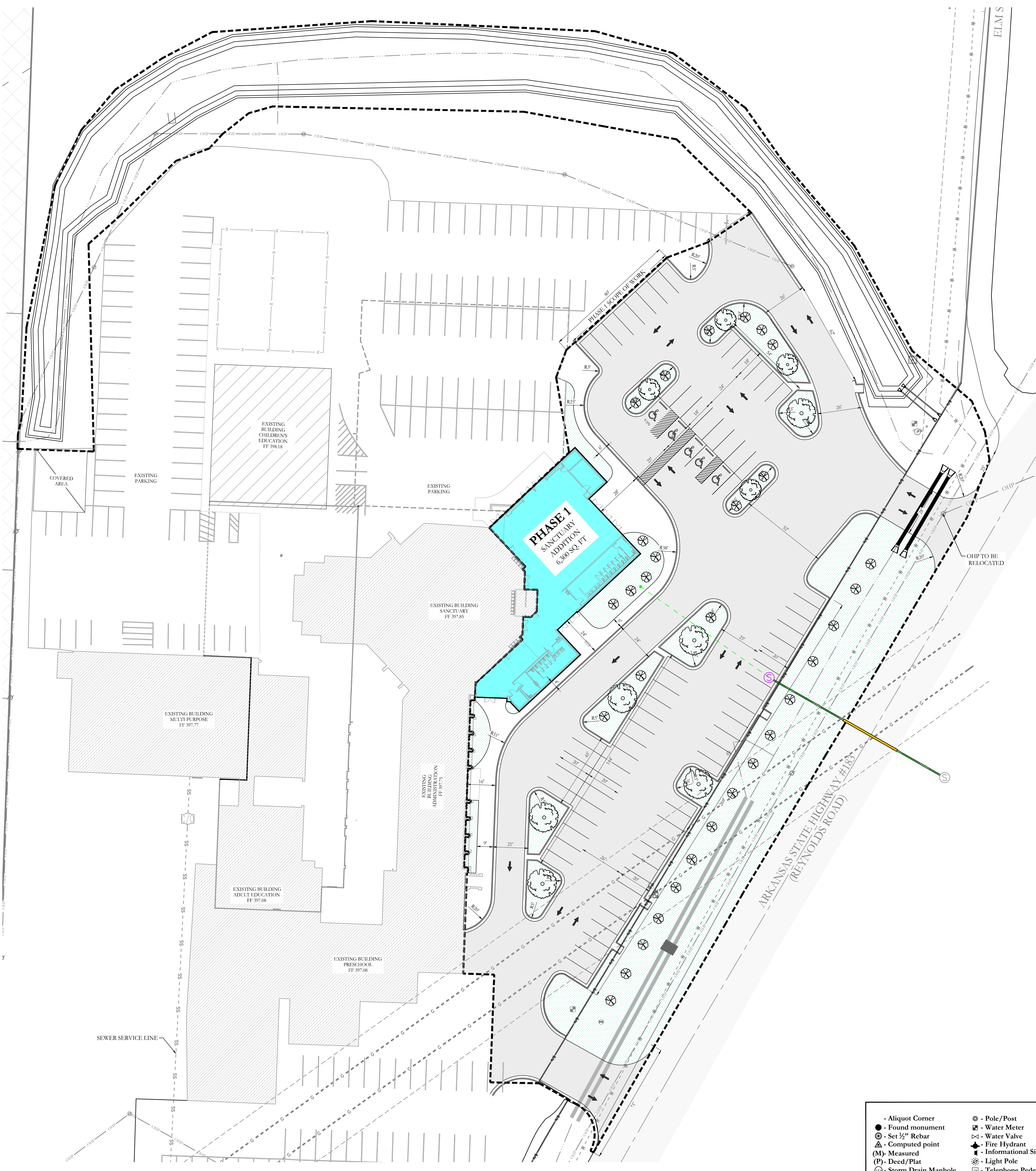
FOR USE AND BENEFIT OF:  
 FIRST SOUTHERN BAPTIST CHURCH  
 604 S. REYNOLDS RD., BRYANT, AR 72022

DATE: 06/24/2024  
 REVISIONS:  
 SHEET: 1 OF 1

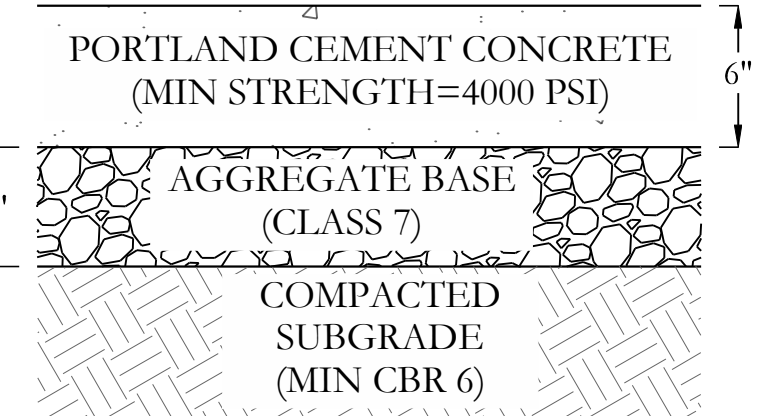
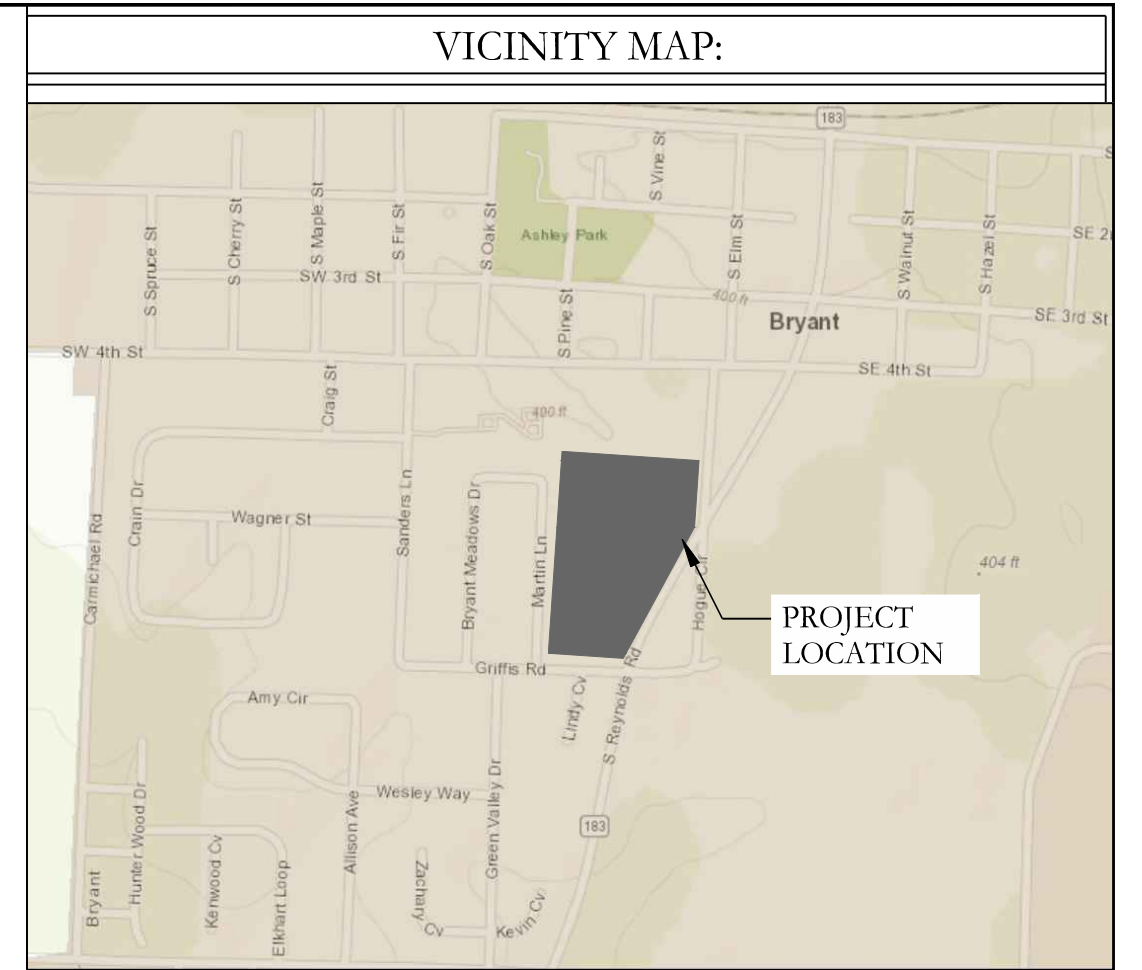
CAD BY: CV  
 CHECKED BY: WCS  
 SCALE: 1" = 60'

PROJECT NUMBER:  
**24-0260**

AR STATE LAND SURVEY FILING CODE: 500 - 01S - 14W - 0 - 34 - 310 - 62 - 1664

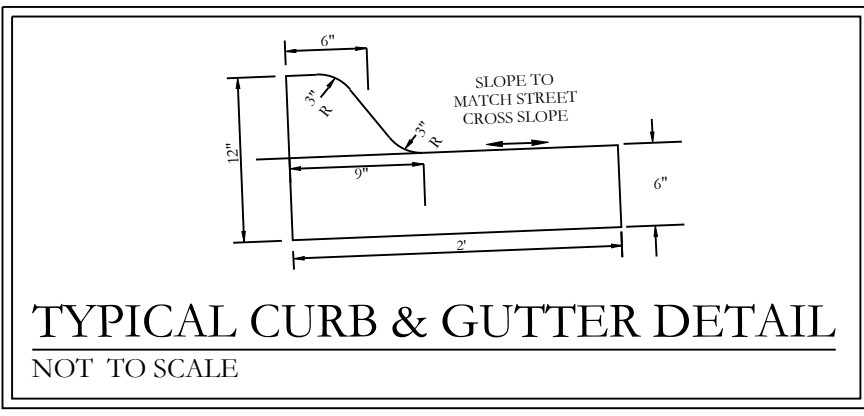
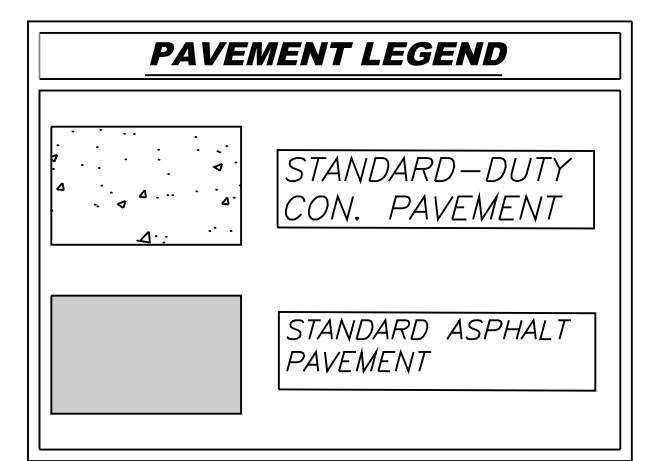
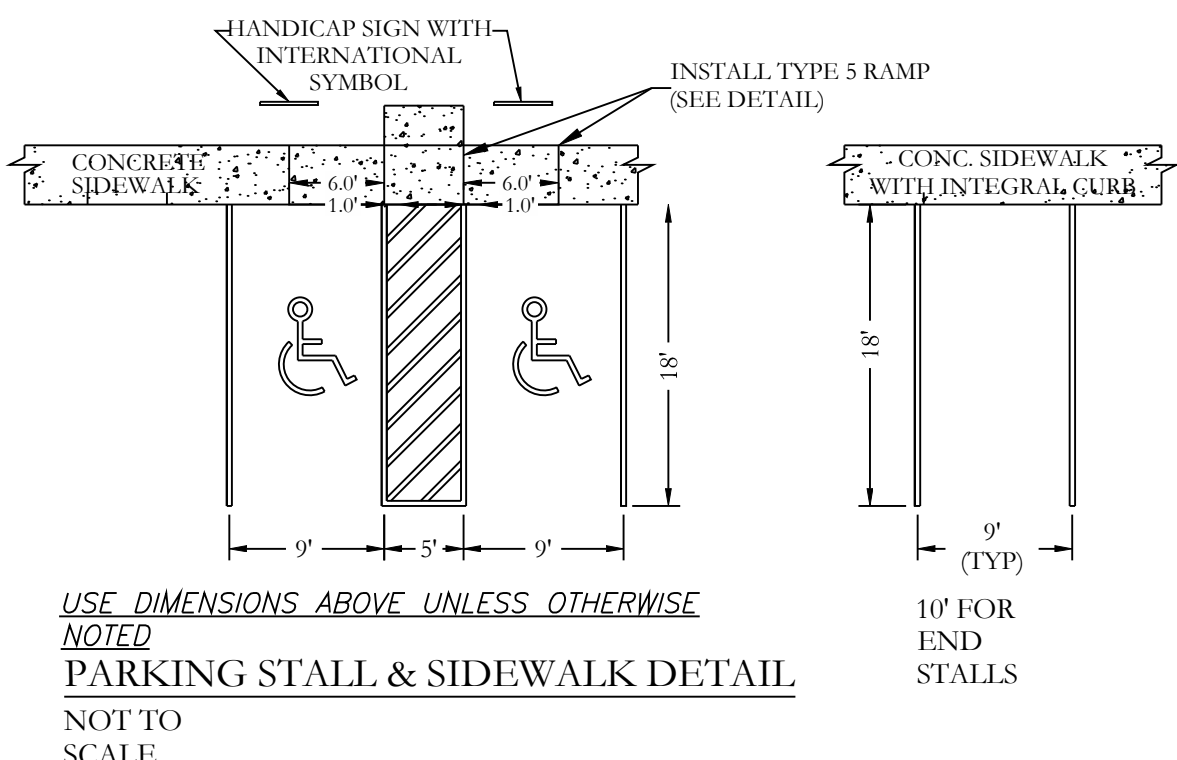
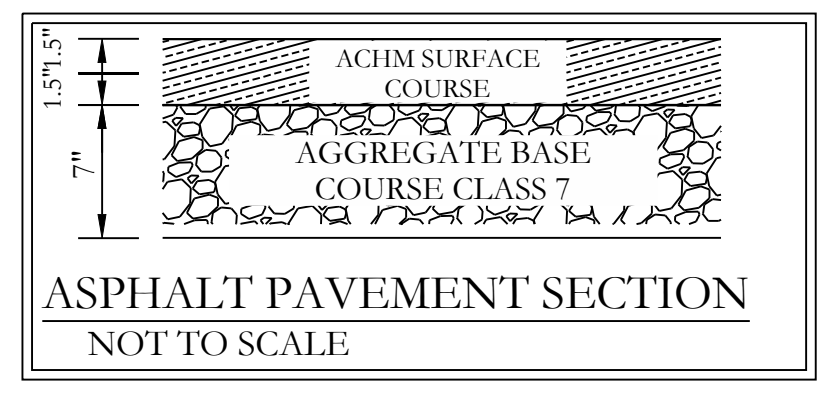


| SITE DATA                    |  |
|------------------------------|--|
| TOTAL SITE AREA              | 7.58 ACRES   |
| TOTAL DEVELOPMENT AREA       | 2.94 ACRES   |
| GROSS BUILDING AREA          | TOTAL BUILDING AREA 6300 SF  |
| ZONING                       | R-2  |
| BUILDING SETBACKS            | FRONT SETBACK LINE: 20'<br>REAR SETBACK LINE: 20'<br>INTERIOR SETBACK LINE: 5'<br>EXTERIOR SETBACK LINE: 15' |
| BUILDING HEIGHTS             | 25'  |
| BUILDING COVERAGE PERCENTAGE | 6300/128066=0.0492=4.92%   |
| PROPOSED LANDSCAPE AREA      | 25772 SF >5% OF 128066 SF  |
| BUSINESS TYPE                | CHURCH   |



**STANDARD CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

| OWNER:   | DEVELOPER:   |
|--|--|
| Name: Peter Cunningham                             | Name: Peter Cunningham                             |
| Address: 604 S Reynolds Rd, Bryant, Arkansas 72022 | Address: 604 S Reynolds Rd, Bryant, Arkansas 72022 |
| Email & peter@fsbcbryant.org                       | Email & peter@fsbcbryant.org                       |
| Phone: 501-847-3014                                | Phone: 501-847-3014                                |



**CIVIL ENGINEER**  
HOPE CONSULTING INC  
129 N. MAIN STREET  
BENTON, AR 72015  
CONTACT: KAZI TAMZIDUL ISLAM  
PHONE: 501-315-2626  
EMAIL: kazi@hopeconsulting.com

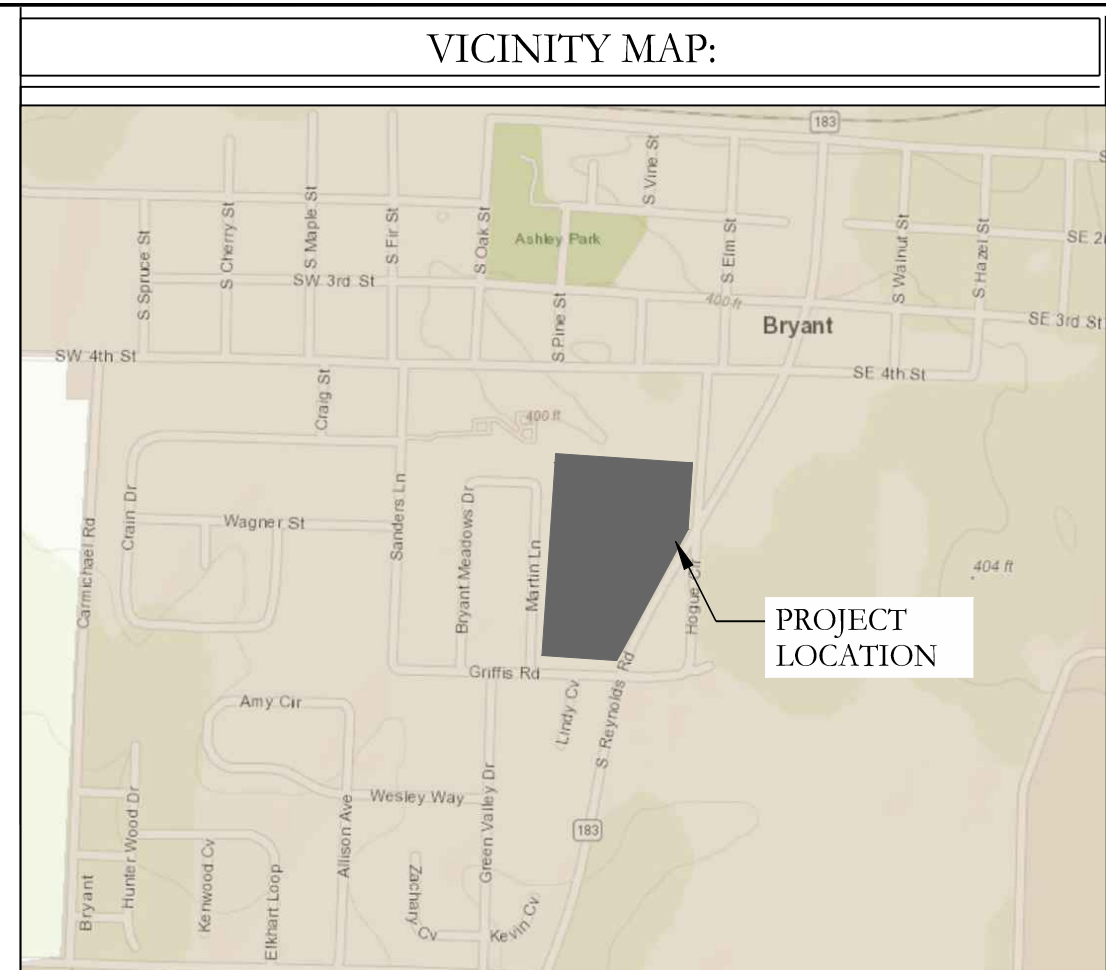
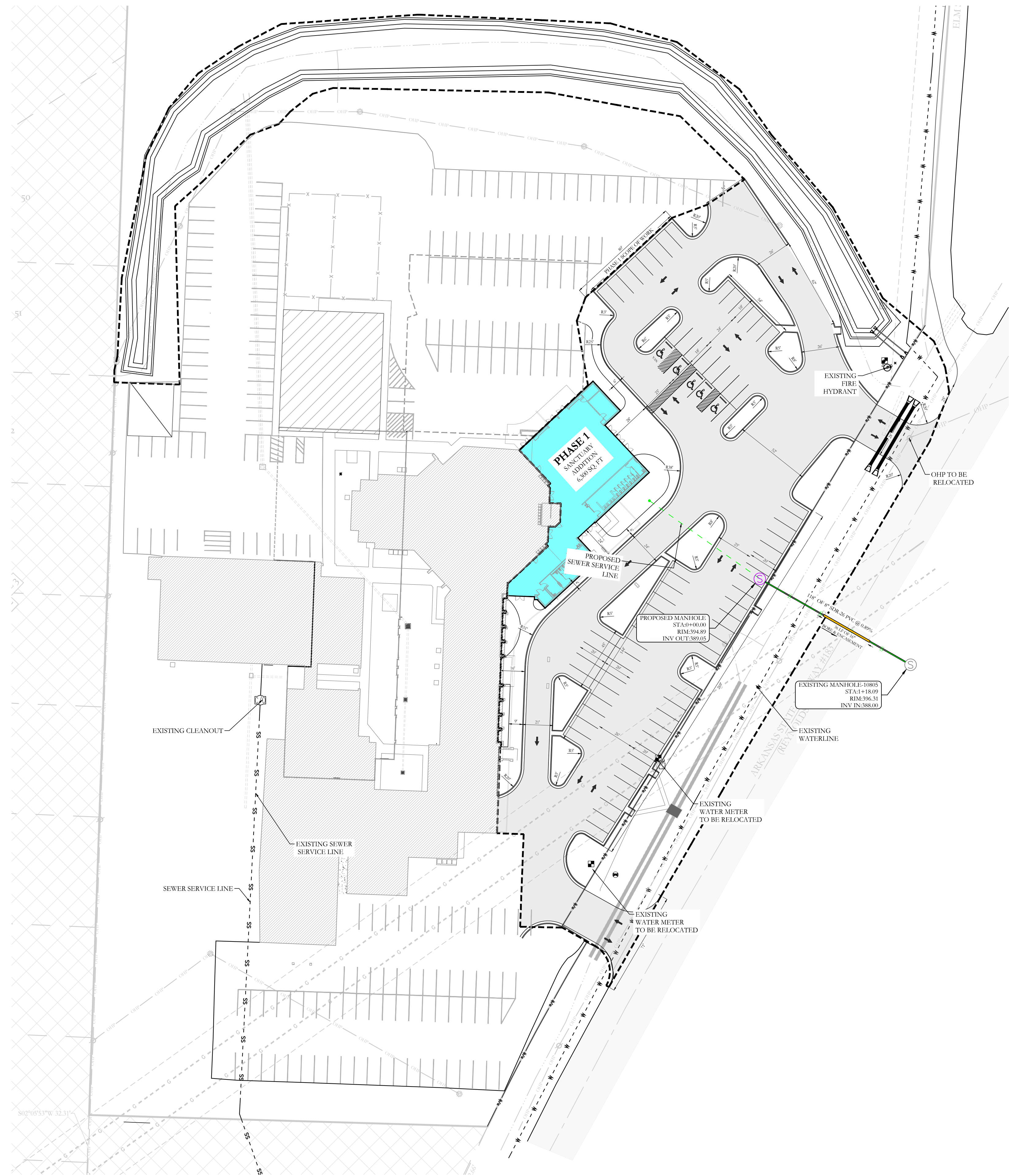
| LEGEND                  |                                   |
|-------------------------|-----------------------------------|
| ● - Aliquot Corner      | ⊙ - Pole/Post                     |
| ⊙ - Found monument      | ⊙ - Water Meter                   |
| ⊙ - Set 1/2" Rebar      | ⊙ - Water Valve                   |
| ⊙ - Computed point      | ⊙ - Fire Hydrant                  |
| (M) - Measured          | ⊙ - Informational Sign            |
| (P) - Deed/Plat         | ⊙ - Light Pole                    |
| ⊙ - Storm Drain Manhole | ⊙ - Telephone Pedestal/Box        |
| ⊙ - Clean Out           | ⊙ - Power Pole                    |
| ⊙ - Power Pole W/Anchor | ⊙ - Overhead Power                |
| ⊙ - Fence               | ⊙ - Sewer Manhole                 |
| ⊙ - 12" Sewer Line      | ⊙ - Landscape Area / Proposed Sod |
| ⊙ - 12" Water Line      |                                   |
| ⊙ - Guy Anchor          |                                   |
| ⊙ - Concrete            |                                   |
| ⊙ - Asphalt             |                                   |
| ⊙ - Gas Line            |                                   |
| ⊙ - Telephone Line      |                                   |

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS

129 N. Main Street,  
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PH. (501) 315-2626  
FAX (501) 315-0024  
www.hopeconsulting.com

| FOR USE AND BENEFIT OF:                                |                     |                 |                  |
|--|---------------------|-----------------|------------------|
| FIRST SOUTHERN BAPTIST CHURCH OF BRYANT                |                     |                 |                  |
| CHURCH EXPANSION PHASE 1                               |                     |                 |                  |
| SITE PLAN  |                     |                 |                  |
| 604 S REYNOLDS ROAD<br>BRYANT, SALINE COUNTY, ARKANSAS |                     |                 |                  |
| DATE: 09-04-2024                                       | C.A.D. BY: BJOHNSON | DRAWING NUMBER: |                  |
| REVISED:   | CHECKED BY:         | 24-0260         |                  |
| SHEET: C-1.0   | SCALE:              |                 |                  |
| 500  | 01S                 | 14W             | 0 34 310 62 1664 |

S:\LAND PROJECTS\2024\COMMERCIAL\2024-09-04\FSBC\EXPANSION AND REPAIR\CIVIL\DWG\24-0260 SITE PLAN-BASE - PHASE 1.DWG

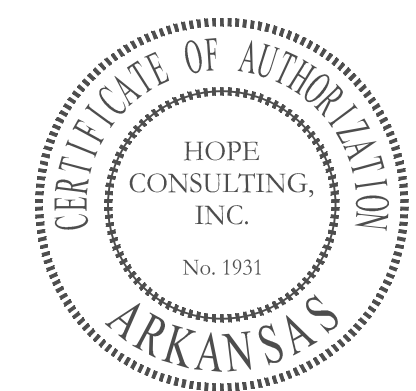
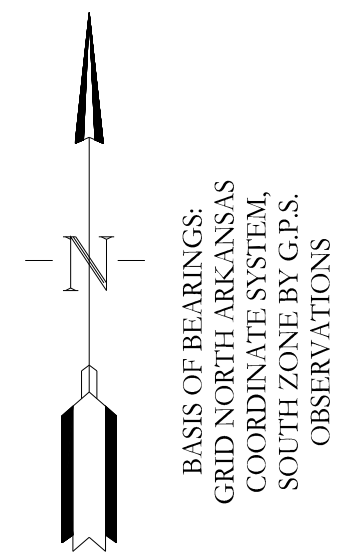


**OWNER:**  
 Name: Peter Cunningham  
 Address: 604 S Reynolds Rd, Bryant, Arkansas 72022  
 Email & peter@fsbcbryant.org  
 Phone: 501-847-3014

**DEVELOPER:**  
 Name: Peter Cunningham  
 Address: 604 S Reynolds Rd, Bryant, Arkansas 72022  
 Email & peter@fsbcbryant.org  
 Phone: 501-847-3014

| LEGEND           |                       |                           |                                      |
|------------------|-----------------------|---------------------------|--------------------------------------|
| ● COMPUTED POINT | ⊕ FIRE HYDRANT        | ⊙ SEWER MANHOLE           | — MISC FENCE LINE                    |
| ● FOUND MONUMENT | ⊗ WATER VALVE         | — SANITARY SEWER LINE     | ▨ GRASS                              |
| — SET 1/2" REBAR | ⊘ POWER POLE          | — OHP OVERHEAD POWER LINE | ▩ CONCRETE                           |
| (M) MEASURED     | ⊡ STORM DRAIN/MANHOLE | — TELEPHONE LINE          | B.S.L. = BUILDING SETBACK LINE       |
| (P) PLAT/DEED    | GM GAS METER          | — 12W 12" WATER LINE      | P.L.S. = PERIMETER LANDSCAPE SETBACK |
| ■ WATER METER    | TB TELEPHONE PEDESTAL | — 8W 8" WATER LINE        |                                      |

**CIVIL ENGINEER**  
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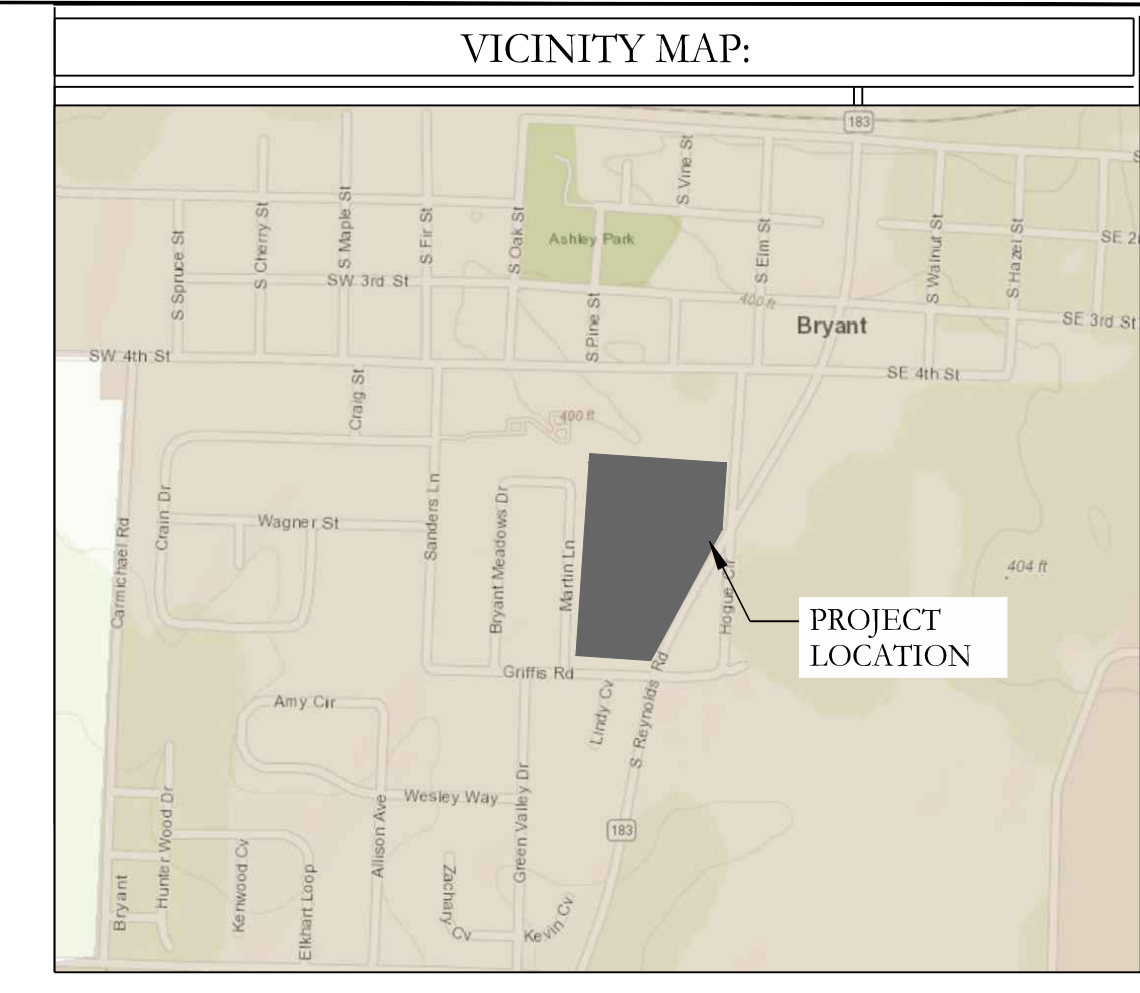
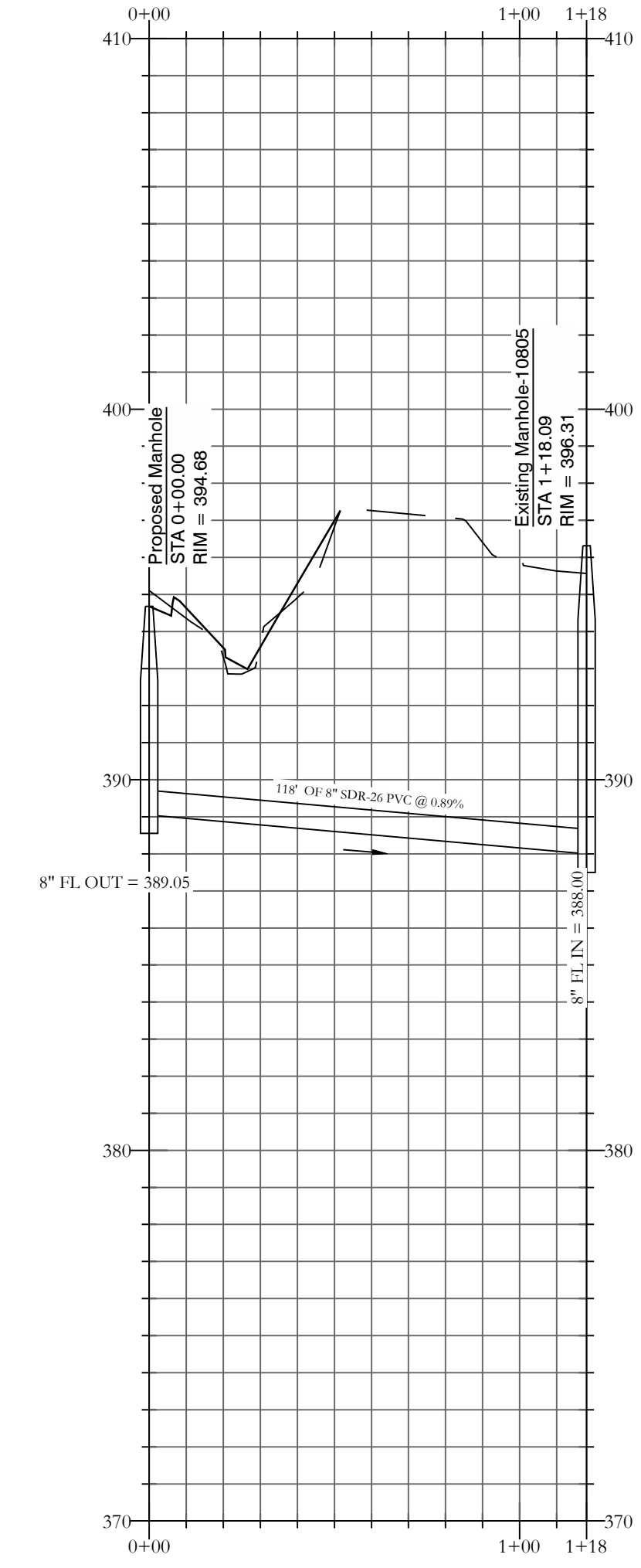
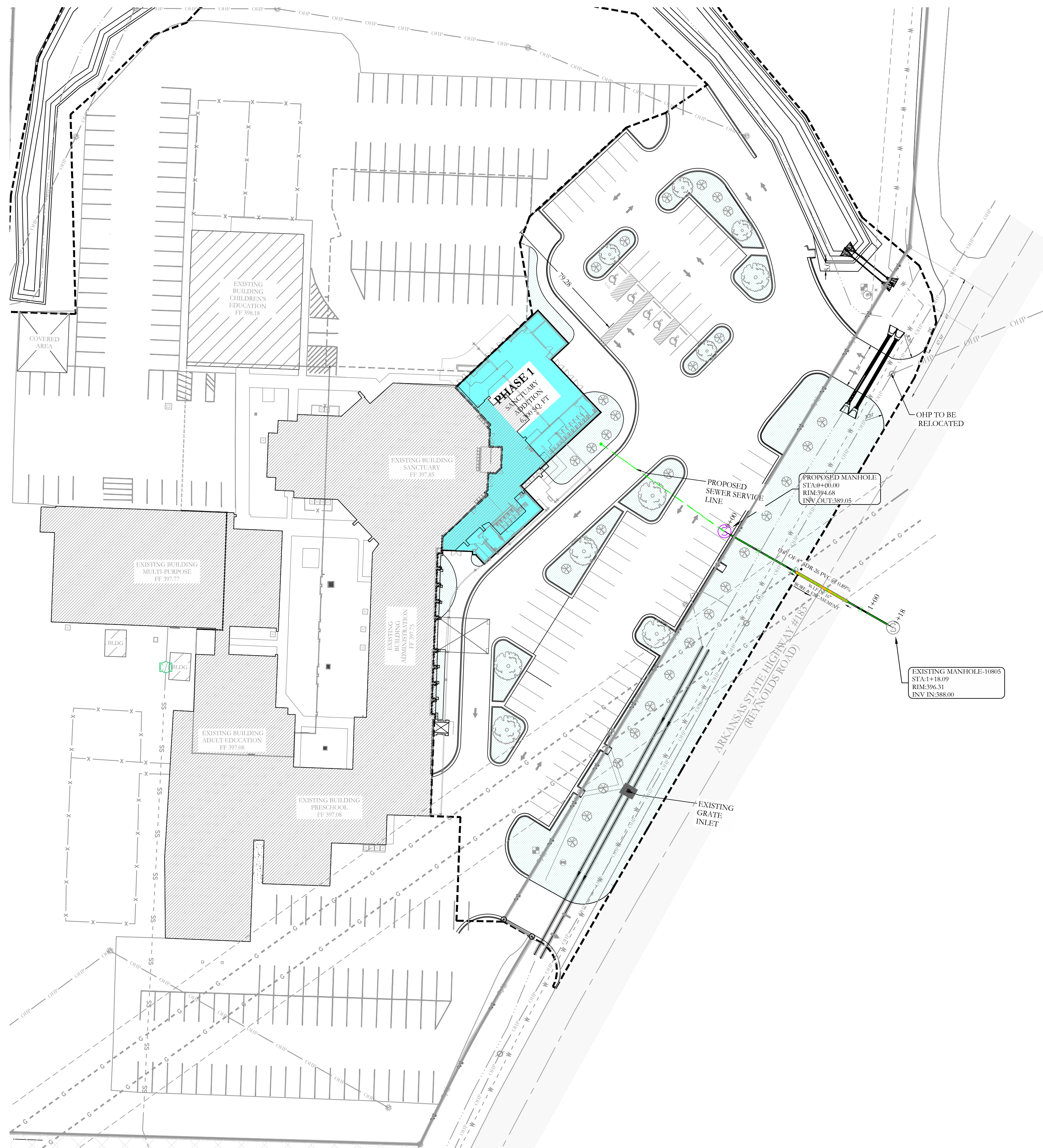
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FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**  
 CHURCH EXPANSION PHASE 1  
 UTILITY PLAN  
 604 S REYNOLDS ROAD  
 BRYANT, SALINE COUNTY, ARKANSAS

|                  |                     |                 |
|------------------|---------------------|-----------------|
| DATE: 09-04-2024 | C.A.D. BY: BJOHNSON | DRAWING NUMBER: |
| REVISED:         | CHECKED BY:         | 24-0260         |
| SHEET: C-2.0     | SCALE:              |                 |

|     |     |     |   |    |     |    |      |
|-----|-----|-----|---|----|-----|----|------|
| 500 | 01S | 14W | 0 | 34 | 310 | 62 | 1664 |
|-----|-----|-----|---|----|-----|----|------|

S:\LAND PROJECTS\2004\COMMERCIAL\2004-24-0260 FSBCB EXPANSION AND REARDOOR CIVIL.DWG:24-0260 SITE PLAN-BASE - PHASE 1.DWG

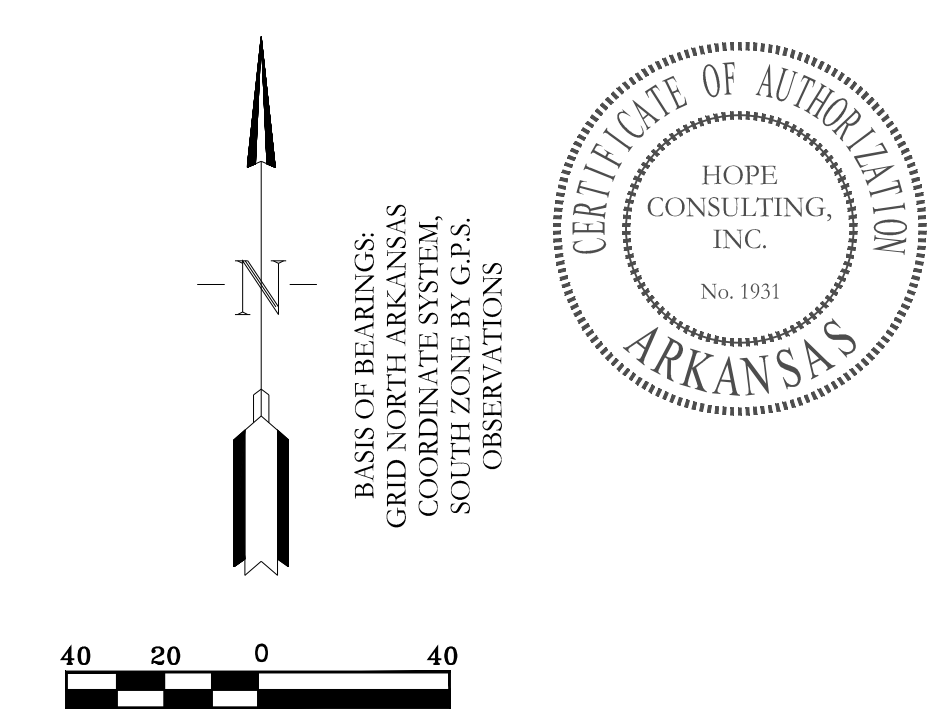


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 Name: Peter Cunningham  
 Address: 604 S Reynolds Rd, Bryant, Arkansas 72022  
 Email & peter@fsbcbryant.org  
 Phone: 501-847-3014

**DEVELOPER:**  
 Name: Peter Cunningham  
 Address: 604 S Reynolds Rd, Bryant, Arkansas 72022  
 Email & peter@fsbcbryant.org  
 Phone: 501-847-3014

| LEGEND |                     |  |                                      |
|--------|---------------------|--|--------------------------------------|
|        | COMPUTED POINT      |  | SEWER MANHOLE                        |
|        | FOUND MONUMENT      |  | SANITARY SEWER LINE                  |
|        | SET 1/2" REBAR      |  | OHP OVERHEAD POWER LINE              |
|        | MEASURED            |  | TELEPHONE LINE                       |
|        | PLAT/DEED           |  | 12" WATER LINE                       |
|        | WATER METER         |  | 8" WATER LINE                        |
|        | FIRE HYDRANT        |  | MISC FENCE LINE                      |
|        | WATER VALVE         |  | GRASS                                |
|        | POWER POLE          |  | CONCRETE                             |
|        | STORM DRAIN/MANHOLE |  | B.S.L. = BUILDING SETBACK LINE       |
|        | GAS METER           |  | P.L.S. = PERIMETER LANDSCAPE SETBACK |
|        | TELEPHONE PEDESTAL  |  |                                      |

**CIVIL ENGINEER**  
 HOPE CONSULTING INC  
 129 N. MAIN STREET  
 BENTON, AR 72015  
 CONTACT: KAZI TAMZIDUL ISLAM  
 PHONE: 501-315-2626  
 EMAIL: kazi@hopeconsulting.com



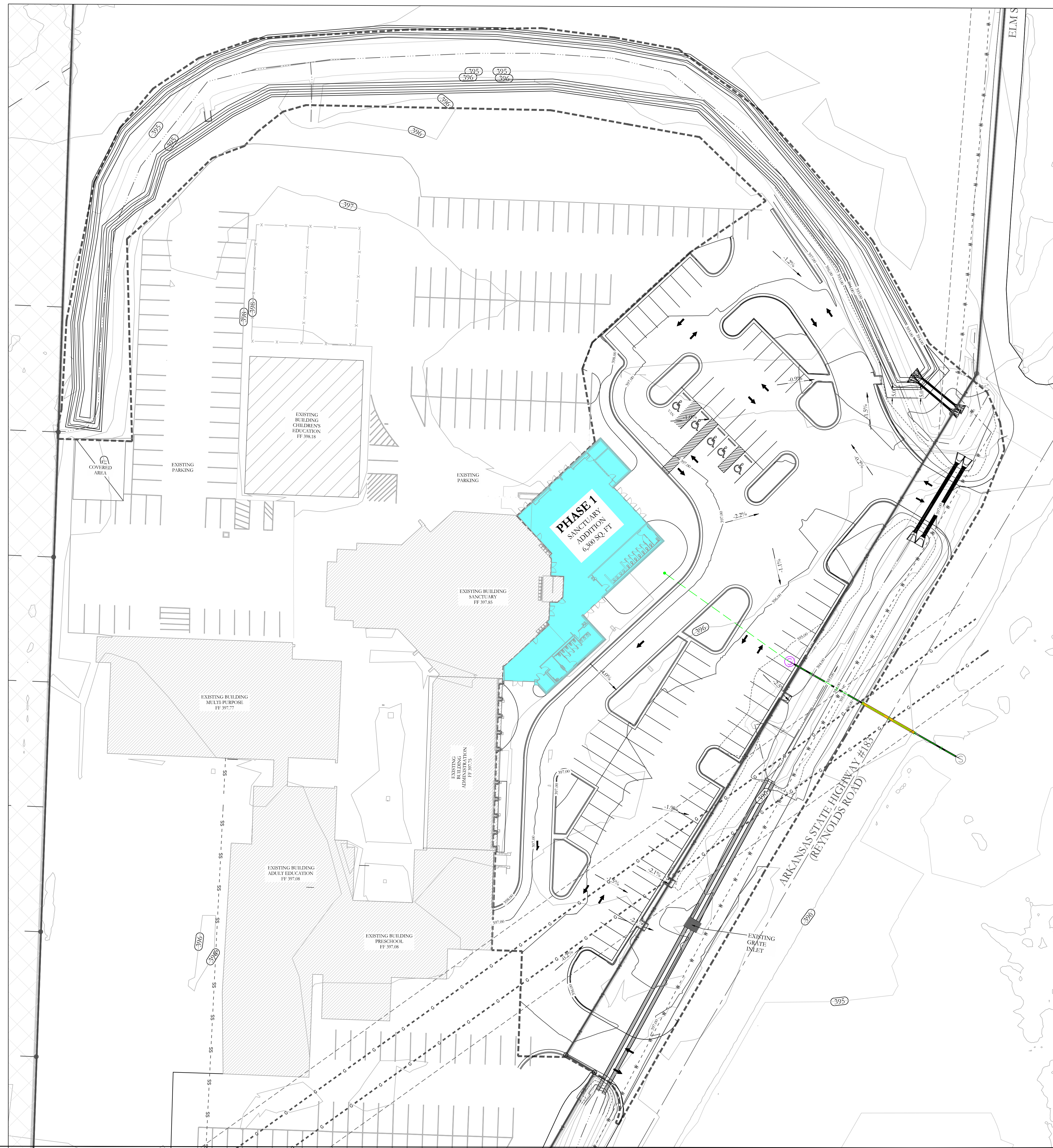
**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS  
 129 N. Main Street, Benton, Arkansas 72015  
 PH. (501) 315-2626  
 FAX (501) 315-0024  
 www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**  
 FSCB EXPANSION & REMODEL PHASE 1  
 SEWER PLAN & PROFILE  
 604 S REYNOLDS ROAD  
 BRYANT, SALINE COUNTY, ARKANSAS

|                  |             |                 |
|------------------|-------------|-----------------|
| DATE: 09-04-2024 | C.A.D. BY:  | DRAWING NUMBER: |
| REVISED:         | CHECKED BY: | 24-0260         |
| SHEET: C-5.0     | SCALE:      |                 |

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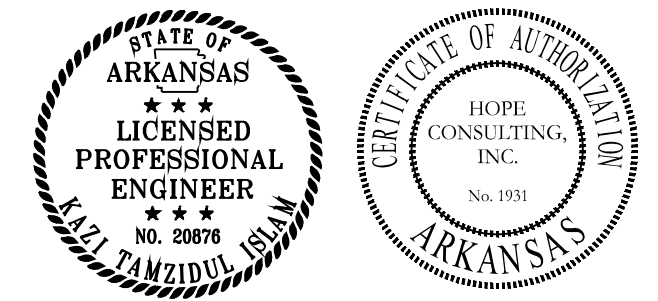
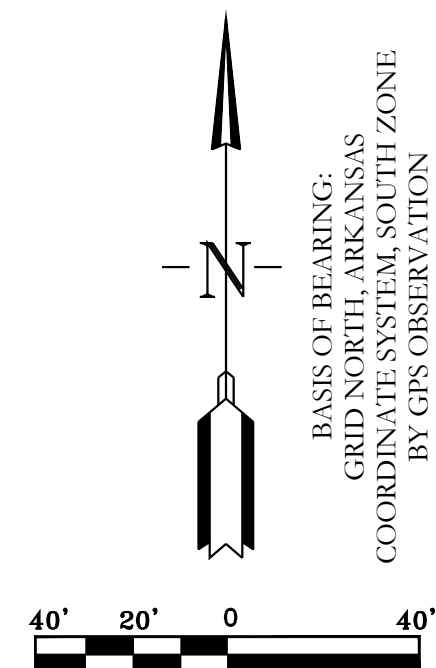


**GRADING PLAN NOTES**

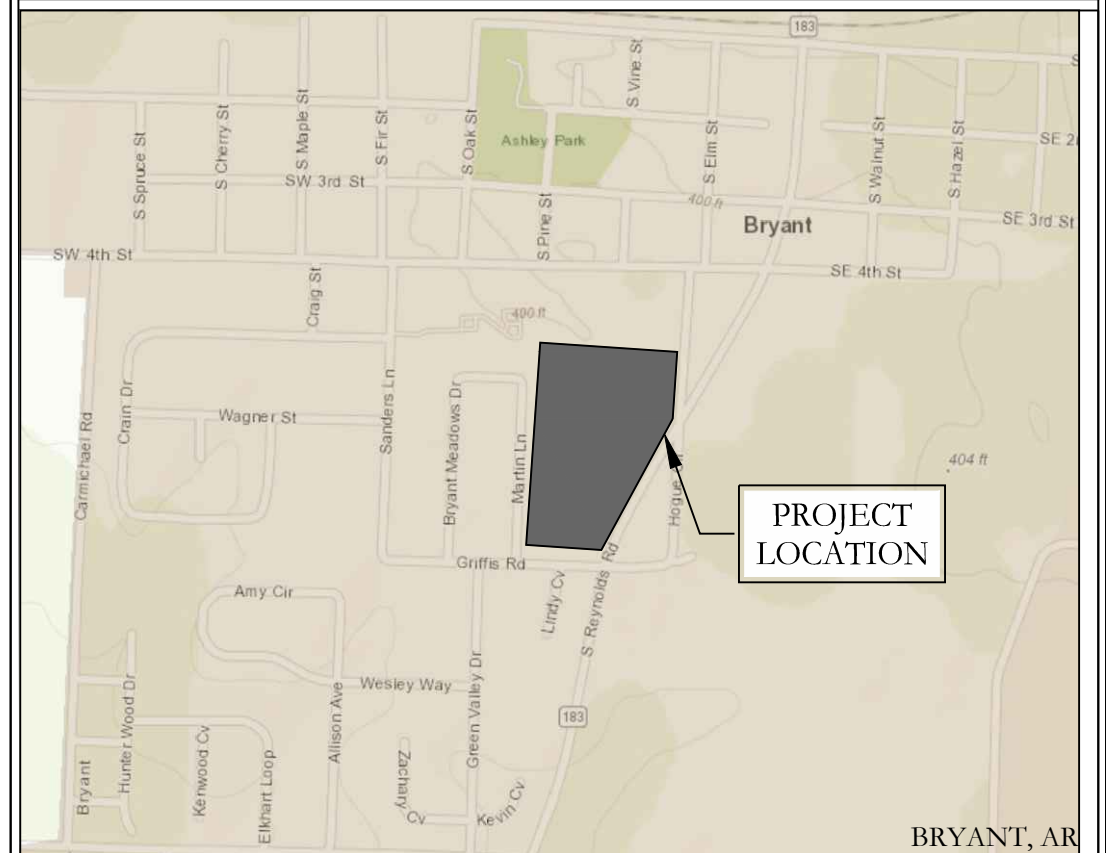
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
- SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS.
- CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR.
- FILL SHALL BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY.
- THE MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN THE RANGE OF 1% BELOW TO 3% ABOVE THE OPTIMUM MOISTURE CONTENT.
- SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
- ALL UNUSABLE SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION.

**LEGEND**

EXISTING CONTOUR LINE      - - - - - 363 - - - - -  
 PROPOSED CONTOUR LINE      ——— 363 ———



**VICINITY MAP:**

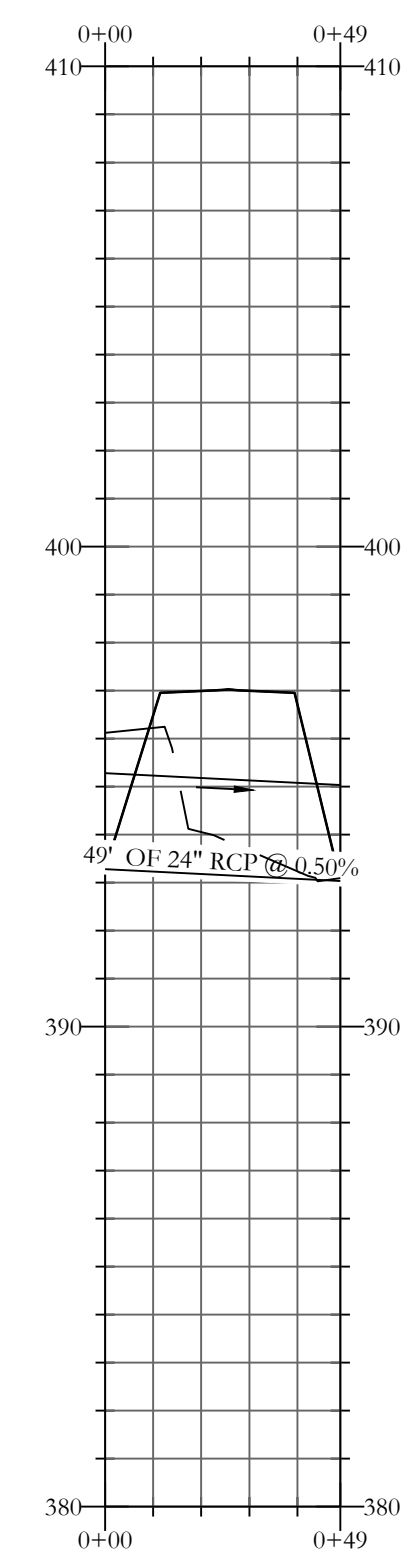
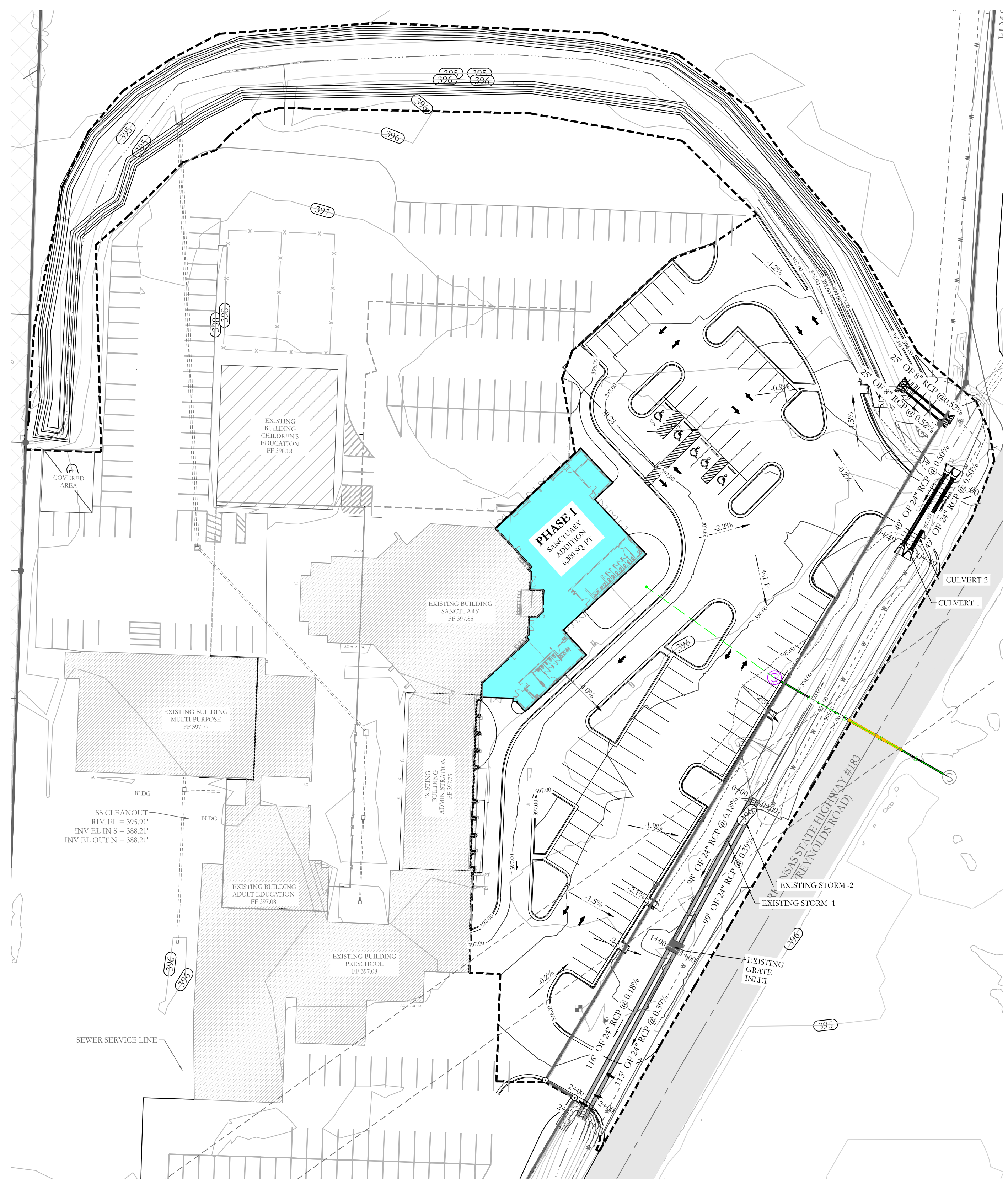


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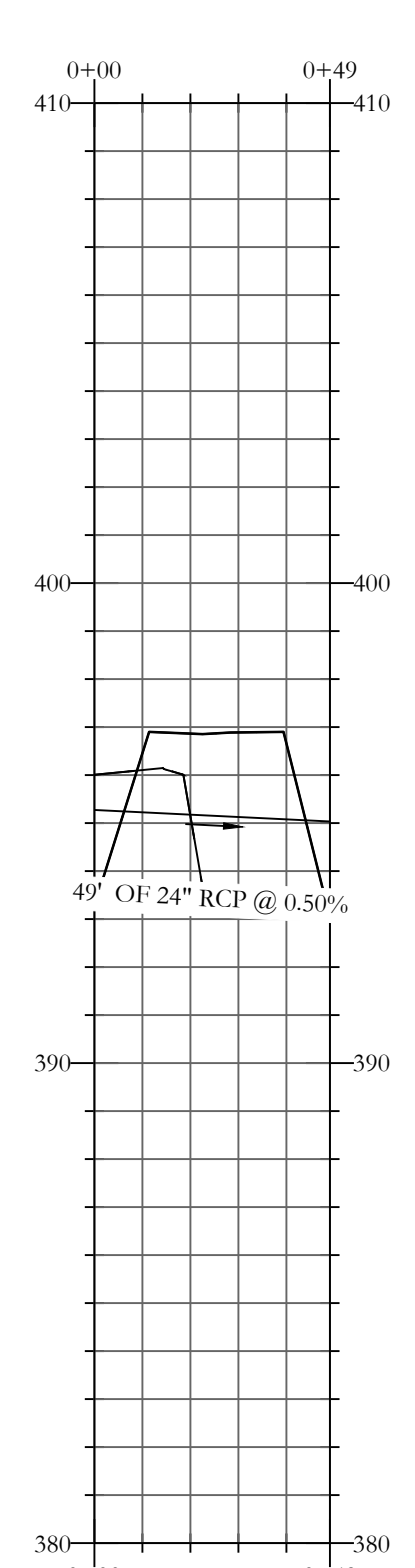
129 N. Main Street,  
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|   |            |             |                  |
|---|------------|-------------|------------------|
| FOR USE AND BENEFIT OF:<br><b>FIRST SOUTHERN BAPTIST CHURCH OF BRYANT</b> |            |             |                  |
| <b>FSCB EXPANSION &amp; REMODEL PHASE 1<br/>GRADING PLAN</b>              |            |             |                  |
| 604 S REYNOLDS ROAD<br>BRYANT, SALINE COUNTY, ARKANSAS                    |            |             |                  |
| DATE:   | 09-04-2024 | C.A.D. BY:  | <b>24-0260</b>   |
| REVISED:  |            | CHECKED BY: |                  |
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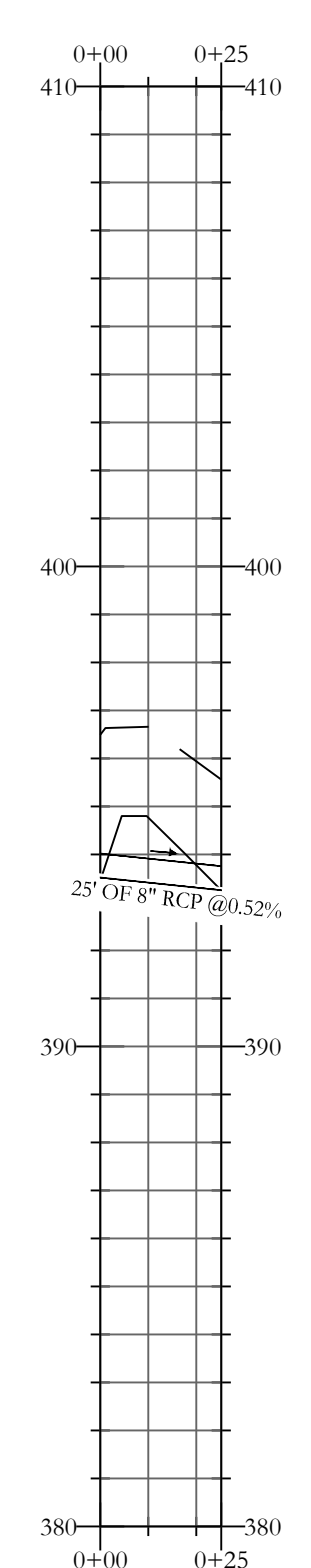
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CULVERT-1 PROFILE

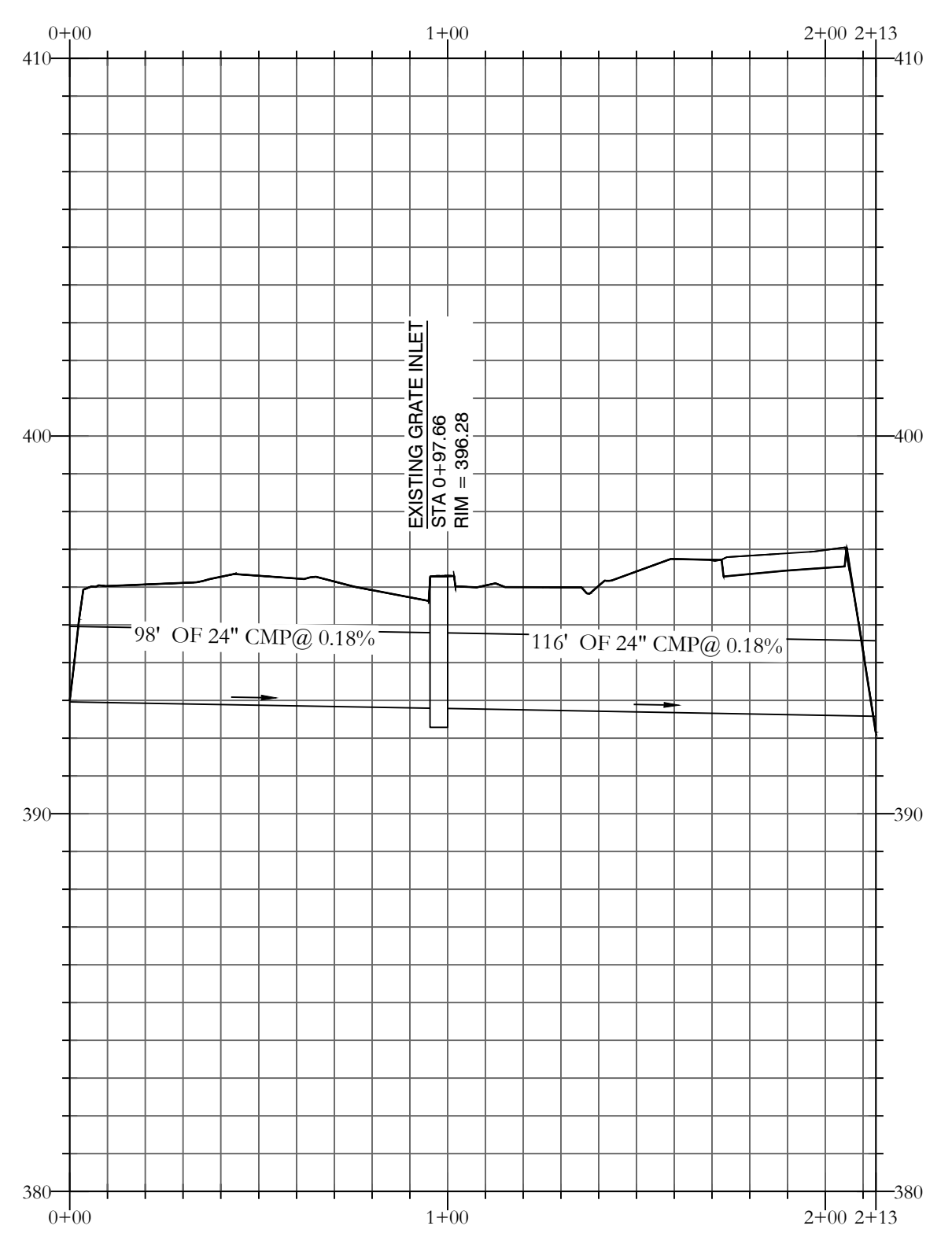


CULVERT-2 PROFILE

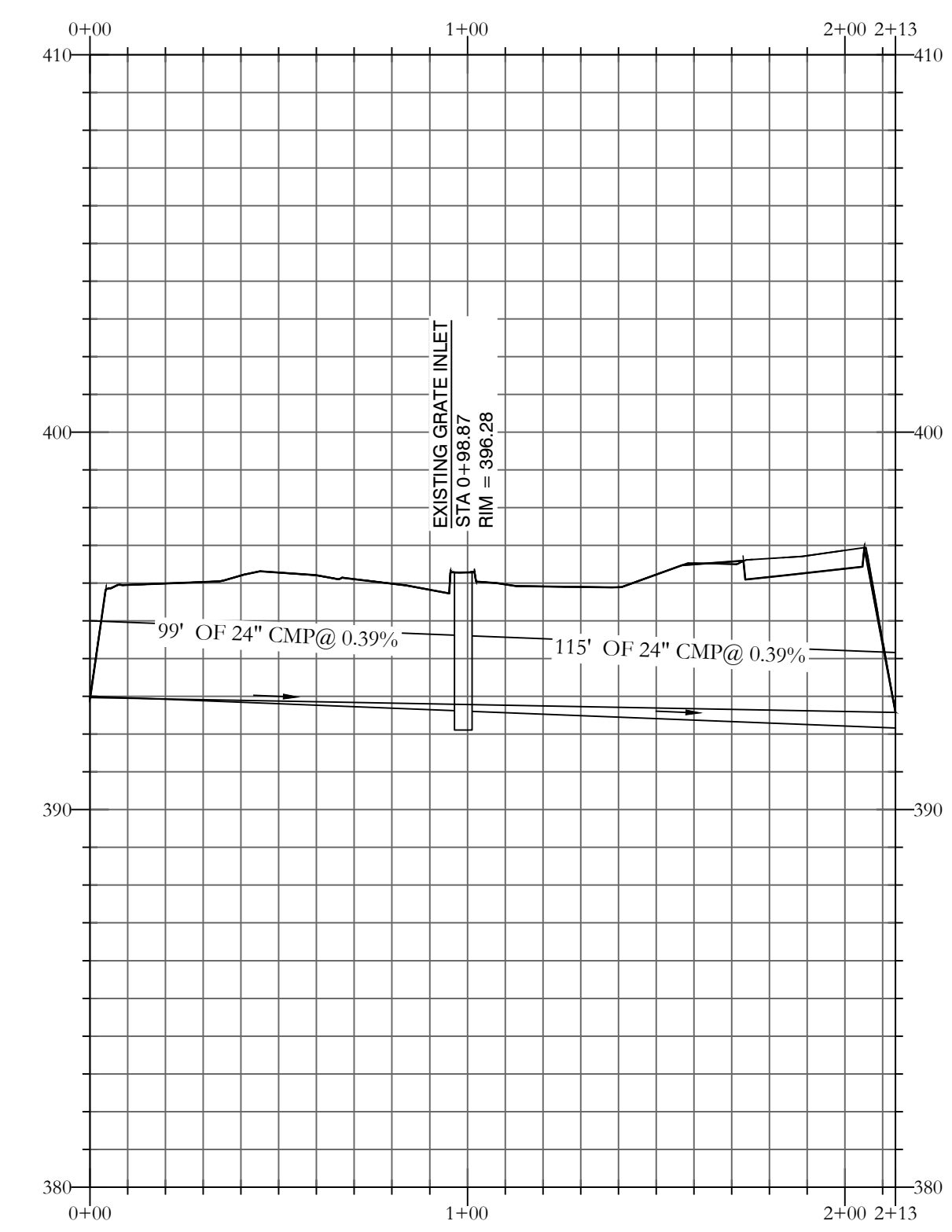


OUTLET PROFILE

EXISTING STORM-1 PROFILE



EXISTING STORM-2 PROFILE



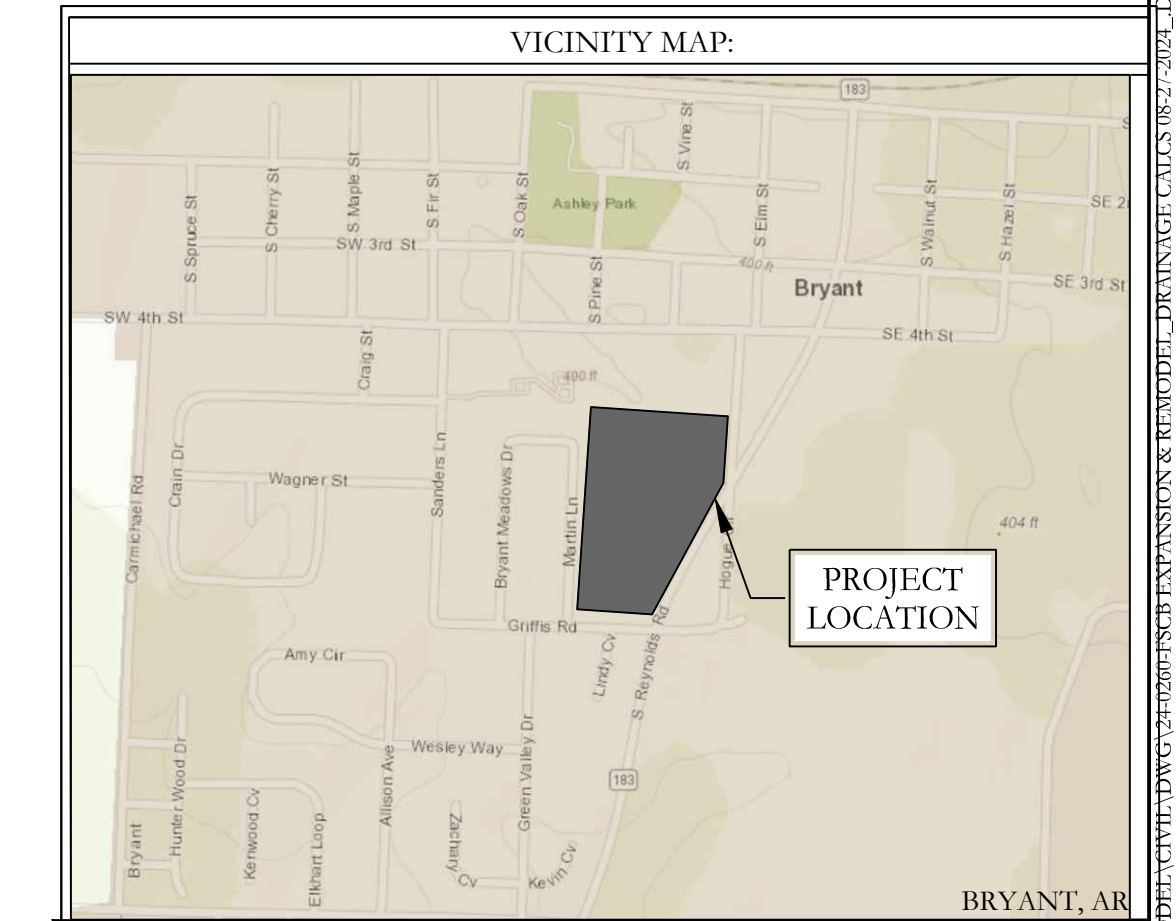
--- HDPE  
 — RCP

NORTH  
 BASIS OF BEARING:  
 GRID NORTH ARKANSAS  
 COORDINATE ZONE  
 BY GPS OBSERVATION

CERTIFICATE OF AUTHORITY  
 HOPE CONSULTING, INC.  
 No. 1933  
 ARKANSAS

STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 14068  
 WILLIAM W. McSODER

0 20 40



**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS

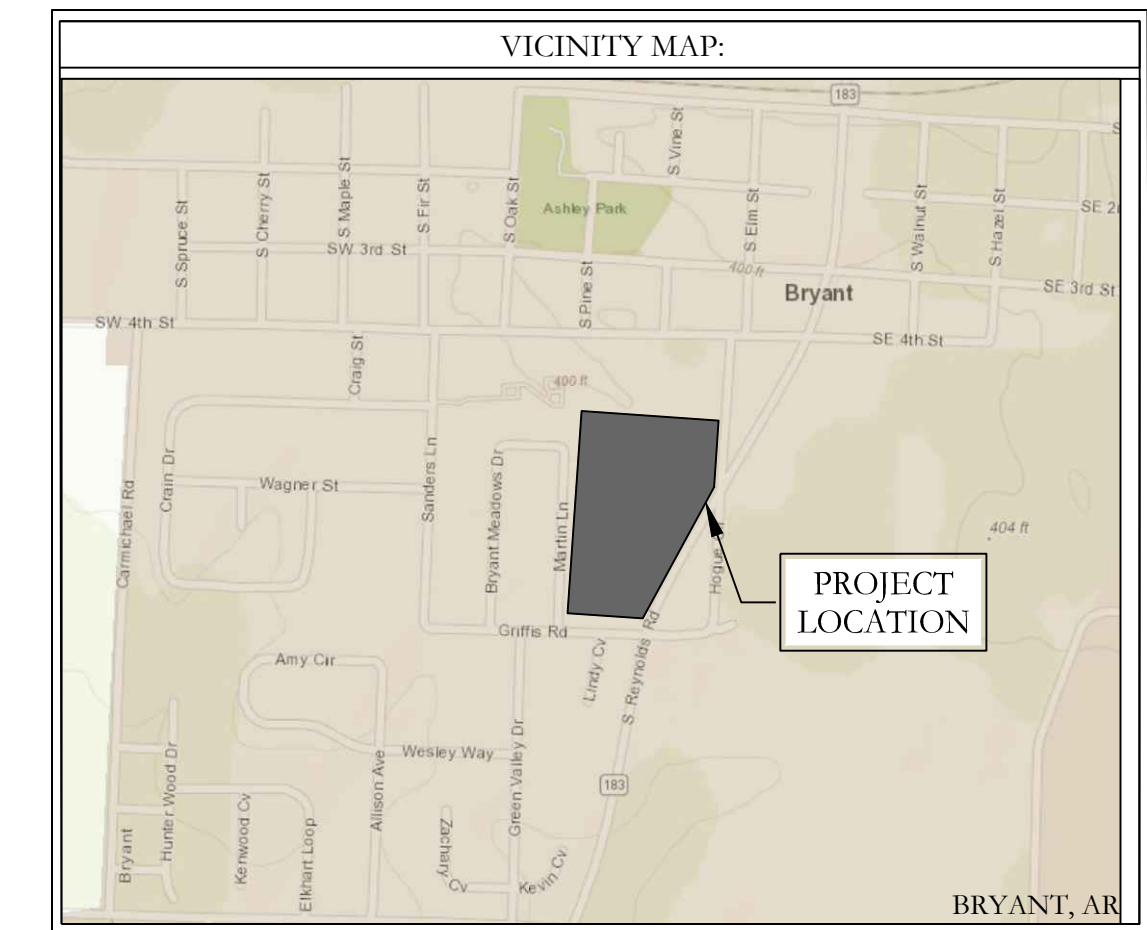
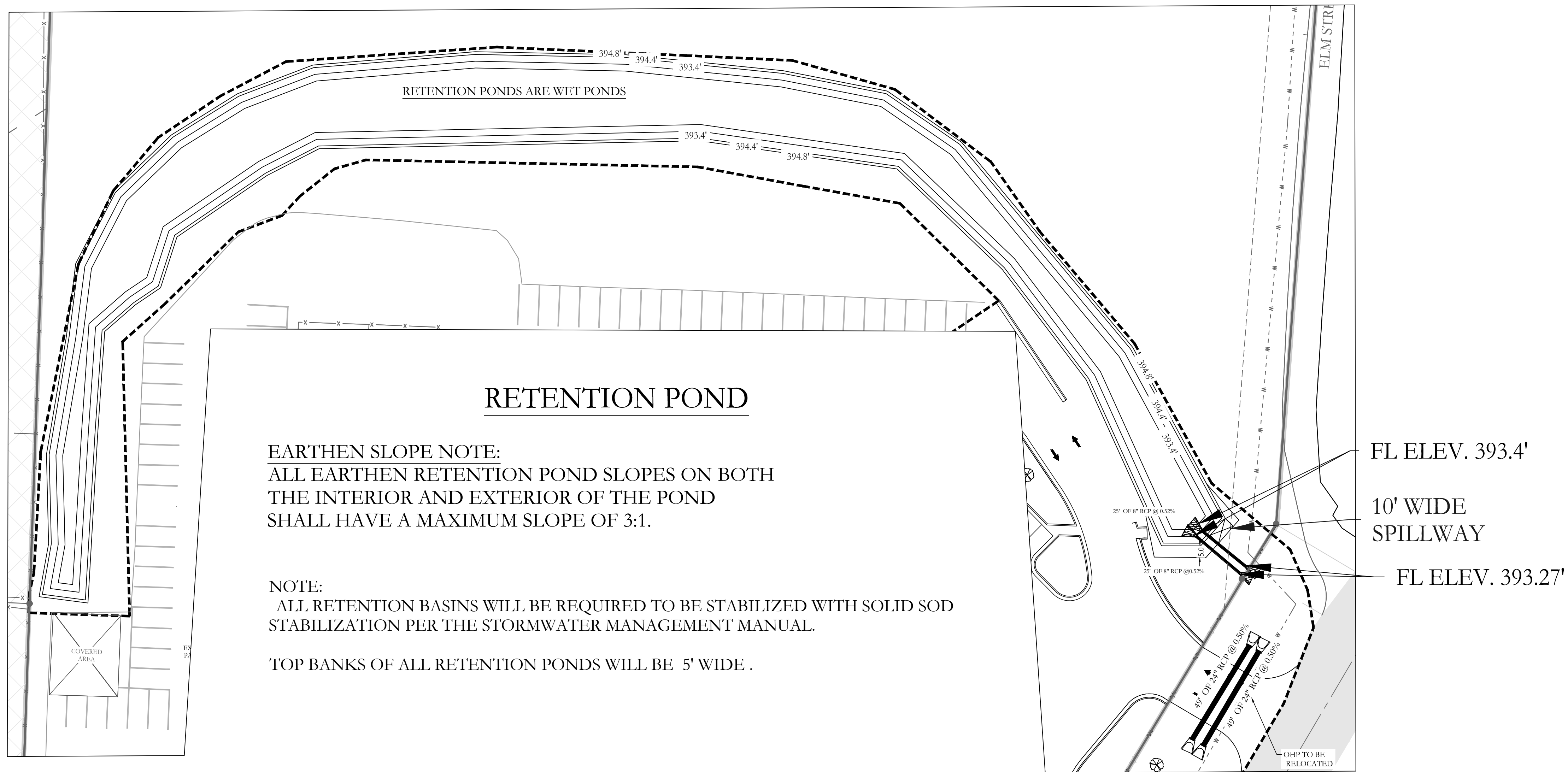
129 N. Main Street,  
 Benton, Arkansas 72015  
 PH. (501)315-2626  
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 www.hopeconsulting.com

FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**

**FSCB EXPANSION & REMODEL PHASE 1**  
 STORM DRAINAGE & PROFILE  
 604 S REYNOLDS ROAD  
 BRYANT, SALINE COUNTY, ARKANSAS

|           |          |             |  |                 |
|-----------|----------|-------------|--|-----------------|
| DATE:     | 9/4/2024 | C.A.D. BY:  |  | DRAWING NUMBER: |
| REVISION: |          | CHECKED BY: |  | 24-0260         |
| SHEET:    | C-5.0    | SCALE:      |  |                 |

500 01S 14W 0 34 310 62 1664



**RETENTION POND**

**EARTHEN SLOPE NOTE:**  
ALL EARTHEN RETENTION POND SLOPES ON BOTH THE INTERIOR AND EXTERIOR OF THE POND SHALL HAVE A MAXIMUM SLOPE OF 3:1.

**NOTE:**  
ALL RETENTION BASINS WILL BE REQUIRED TO BE STABILIZED WITH SOLID SOD STABILIZATION PER THE STORMWATER MANAGEMENT MANUAL.

TOP BANKS OF ALL RETENTION PONDS WILL BE 5' WIDE .

FL ELEV. 393.4'

10' WIDE SPILLWAY

FL ELEV. 393.27'

**DETENTION POND MAINTENANCE PLAN**

**Background**

The Retention ponds are located on the periphery of the subdivision. They are designed to temporarily detain stormwater to meet water quantity criteria before discharging off the property.

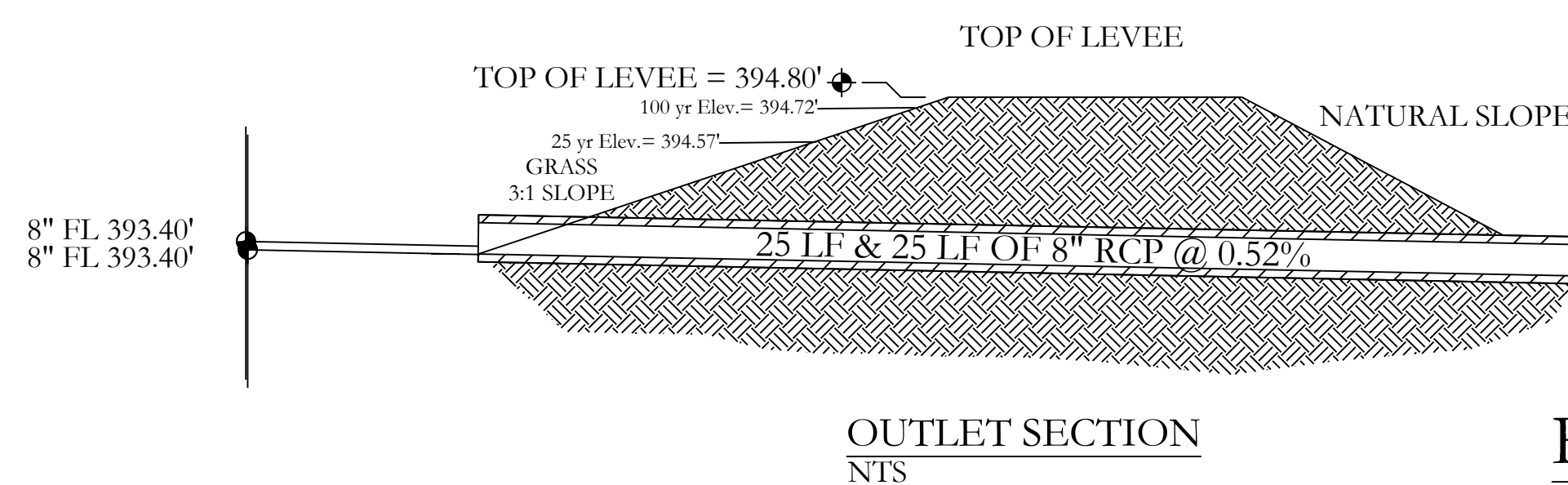
**Routine Maintenance:**

- The property owners association will maintain the drainage easements. Routine maintenance will include but not be limited to:
- Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.
  - The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.
  - Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.
  - Inspect the pond and outlet pipe for non-routine maintenance need.

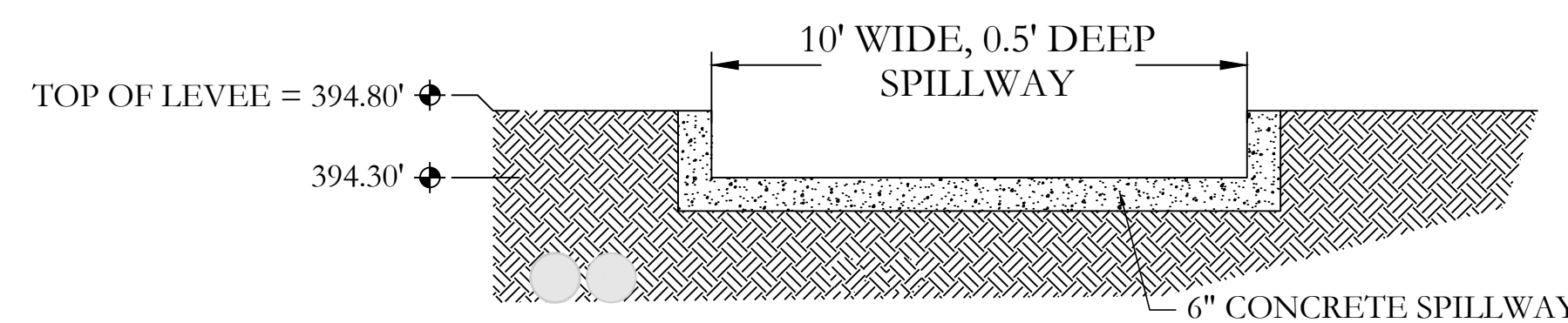
**Periodic or Non-Routine Maintenance**

The routine inspection of the ponds areas and discharge pipes will identify needed repairs and non-routine maintenance. These items may include but not be limited to:

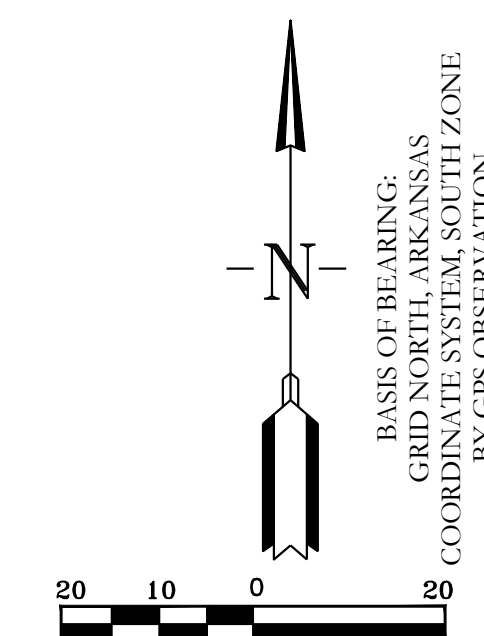
- Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.
- Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
- Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
- Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.



**RETENTION POND**  
NTS



**SPILLWAY END VIEW**  
NTS



|   |          |   |                  |
|---|----------|---|------------------|
| <b>HOPE CONSULTING</b><br>ENGINEERS - SURVEYORS                           |          | 129 N. Main Street,<br>Benton, Arkansas 72015<br>PH. (501) 315-2626<br>FAX (501) 315-0024<br>www.hopeconsulting.com |                  |
| FOR USE AND BENEFIT OF:<br><b>FIRST SOUTHERN BAPTIST CHURCH OF BRYANT</b> |          |   |                  |
| <b>FSCB EXPANSION &amp; REMODEL PHASE 1</b>                               |          |   |                  |
| RETENTION POND<br>604 S REYNOLDS ROAD<br>BRYANT, SALINE COUNTY, ARKANSAS  |          |   |                  |
| DATE:   | 9/4/2024 | C.A.D. BY:  | DRAWING NUMBER:  |
| REVISIONS:  |          | CHECKED BY:   | <b>24-0260</b>   |
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**TREE LEGENDS**

| COMMON NAME:                                    | BOTANICAL NAME:   | QTY.: |
|---|-------------------|-------|
| <b>SHRUBS:</b>                                  |                   |       |
| NANDINA   | NANDINA DOMESTICA | 31    |
| <b>TREES:</b>                                   |                   |       |
| AMERICAN HOLLY TREE                             | ILEX OPACA        | 10    |
| <b>SOD (INCLUDES MULCH BEDS):</b>               |                   |       |
| BERMUDA   |                   |       |
| <b>MULCH BEDS (OPTIONAL) PLANTER/FLOWER BED</b> |                   |       |

**CITY PLATING REQUIREMENTS:**

**SECTION IV: MINIMUM LANDSCAPING CRITERIA**

|   | Residential Subdivision             | C-1                         | C-2                         | PUD |
|---|-------------------------------------|-----------------------------|-----------------------------|-----|
| Trees   | N/A                                 | 1 each 1/3 acre or Fraction | 1 each 1/2 acre or Fraction | X*  |
| Evergreens                                    | N/A                                 | 1/ 2,000 Sq. Ft.            | 1/ 2,000 Sq. Ft.            | X*  |
| Bedding Plants or Ground Cover in Containment | Primary Entrance must be Landscaped | 100 Sq. Ft. Minimum         | 100 Sq. Ft. Minimum         | X*  |
| Lawn (Grass)                                  | N/A                                 | Options                     | Options                     | X*  |
| Open Space Natural or Landscaping             | 100 Sq. Ft./Lot                     | N/A                         | N/A                         | X*  |

\* Landscape design must be approved

- No Planting within 5 feet of a fire hydrant.
- Spacing will be 40' between trees.
- Tree must be a minimum 3" in diameter @ the base and 12'+ tall.
- Existing trees meeting the minimum size can be counted to meet the criteria.
- No trees can be planted within thirty-foot (30') of a property corner or driveway.
- Shrubs along street fight-of-way lines cannot exceed thirty inches (30") in height.
- Separations noted in the zoning regulations must be bermed or screened with landscaping and ground cover or grass.

The following list of shrubs, are those which have been found to be best suited to this area and yet requiring the least amount of maintenance. This list, along with the secondary list, are those shrubs which may be planted in the required landscape area. Additional selective shrubs may be substituted when proven to be hearty in this region.

1. Primary List:
- |                    |                        |
|--------------------|------------------------|
| <b>COMMON NAME</b> | <b>SCIENTIFIC NAME</b> |
| Evergreen Hollies  | Ilex species           |
| Nandina            | Nandina domestica      |
2. Secondary List:
- |                    |                        |
|--------------------|------------------------|
| <b>COMMON NAME</b> | <b>SCIENTIFIC NAME</b> |
| Abelia             | Abelia grandiflora     |
| Boxwood            | Boxus sempervirens     |
| Chinese Photinia   | Photinia serrulata     |
- Note: Secondary listed shrubs require increased maintenance

- D. Grasses
1. The following grasses may be used to comply with this ordinance:
- |               |                       |
|---------------|-----------------------|
| Mayer Z-52    | Zoysia                |
| Bermuda Grass | Bermuda Grass hybrids |
| Centipede     | St. Augustine         |
| Fescue        |                       |
2. The Grasses listed in subsection (1) above are the more commonly used grasses adjacent to vehicular use areas.

- E. Ground Covers
1. The following primary list of ground covers are recommended for use to comply with this ordinance.
- |                    |                              |
|--------------------|------------------------------|
| <b>COMMON NAME</b> | <b>SCIENTIFIC NAME</b>       |
| DwarfNandina       | N. domestica "Harbour Dwarf" |
| Junipers           | Juniperus species            |
| Liriope            | Liriope Muscart              |
| Memorial Rose      | Rosa Wichuralana             |
| Mondo Grass        | Ophiopogon japonicus         |
| Periwinkle         | Vinca minor                  |
| Spreading Euonymus | E. fortunei "Radicans"       |

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| Periwinkle         | Vinca minor                  |
| Spreading Euonymus | E. fortunei "Radicans"       |

2. Secondary List: (This list can be used but must be confined to a bed.)
- |                    |                        |
|--------------------|------------------------|
| <b>COMMON NAME</b> | <b>SCIENTIFIC NAME</b> |
| Carolina Jessamine | Gelsemium sempervirens |
| Dwarf Bamboo       | Arundinaria pygmaea    |
| English Ivy        | Hedera Helix           |
| Honeysuckle        | Lonicera sempervirens  |

**SECTION VI MAINTENANCE**

- A. The developer, his successor and the property owner shall be responsible for regular weeding, irrigating, fertilizing, pruning and other maintenance of all planting on private property of a development. Plant materials which are installed for compliance with this ordinance, both on private property and the public right-of-way, which exhibit evidence of insect pests, disease and/or damage, shall be appropriately treated and dead plant materials shall be replaced.
- B. The owner of land abutting a constructed public right-of-way shall be responsible for the tree planting strip lying between the private property line and the curbline or backslope line and shall be required to regularly weed, mow, prune and maintain plantings in compliance with good horticultural practices.
- C. If the owner of land thus situated as in (2) above, neglects or refuses to maintain the areas as proscribed, after having been given ten (10) days notice in writing to maintain by the City, the owner shall be guilty of a misdemeanor.

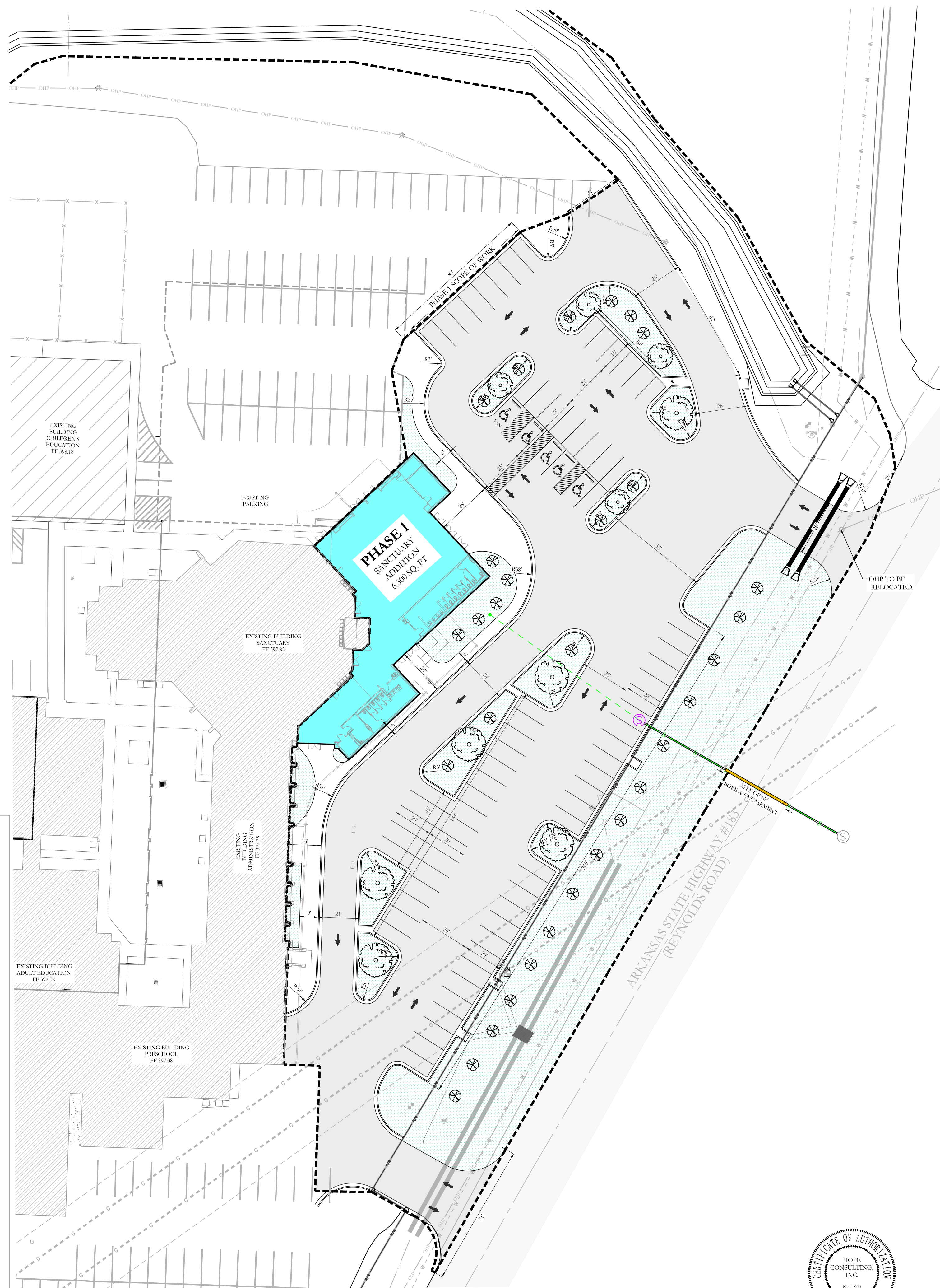
**SECTION VII PLANNING COMMISSION APPROVAL**

The City of Bryant Planning Commission will review and act on all landscaping proposals at the time building plans are submitted and in the case of subdivision at the preliminary plat submittal.

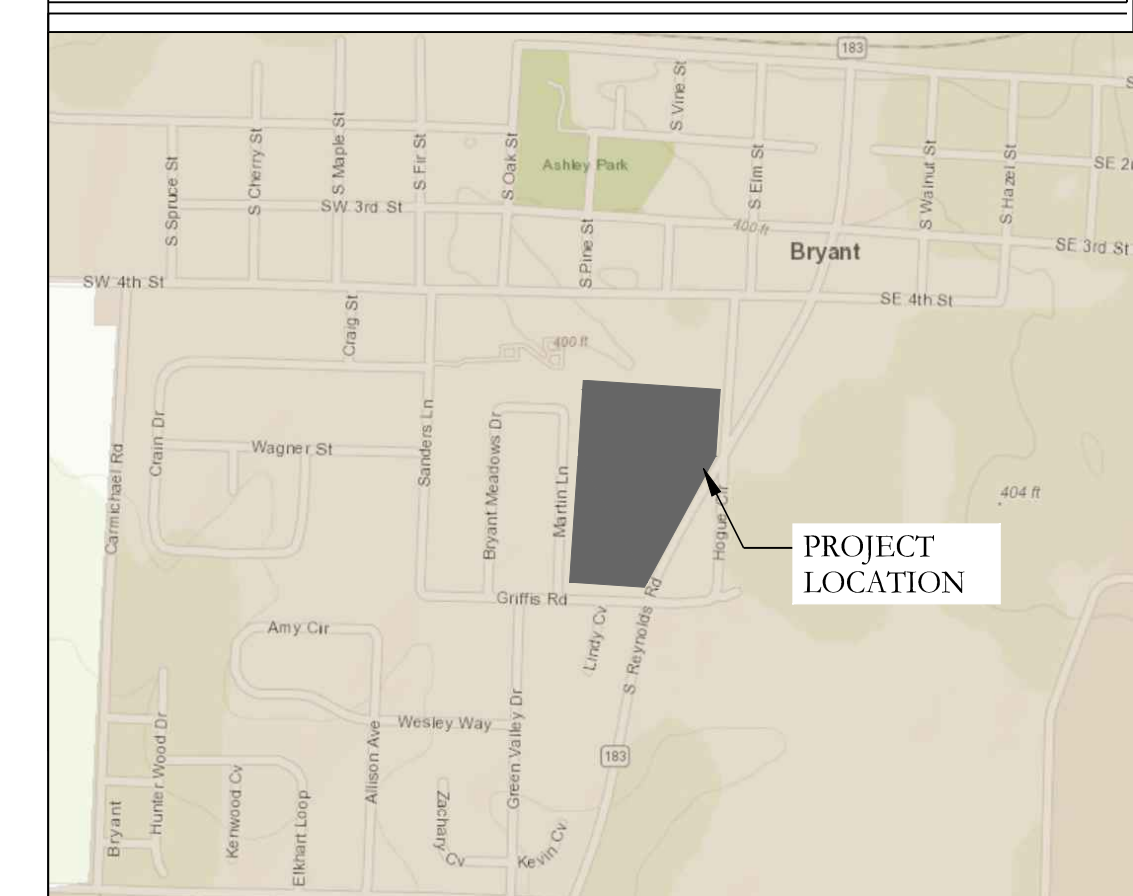
A certificate of occupancy will not be issued for a commercial establishment nor will the final subdivision plat be approved until landscaping requirements are satisfied.

**SECTION VIII ENFORCEMENT**

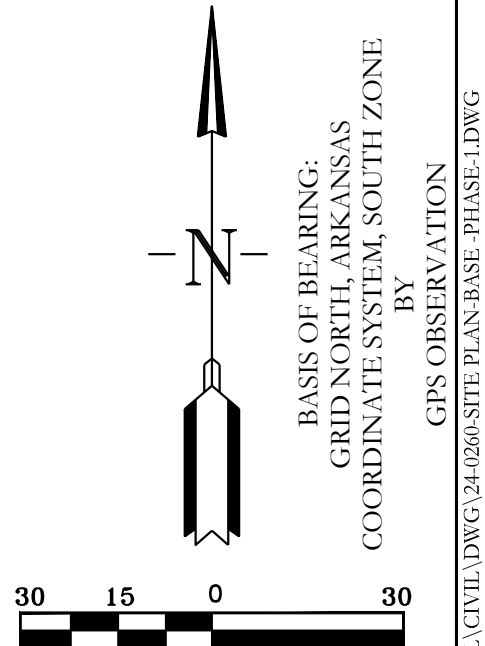
The code enforcement officer of the City of Bryant will enforce this ordinance and issue citations as authorized by law.



**VICINITY MAP:**



PROJECT LOCATION



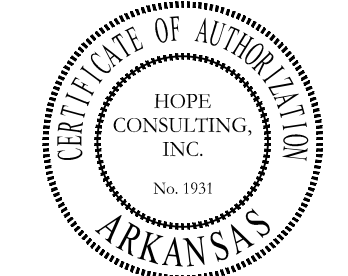
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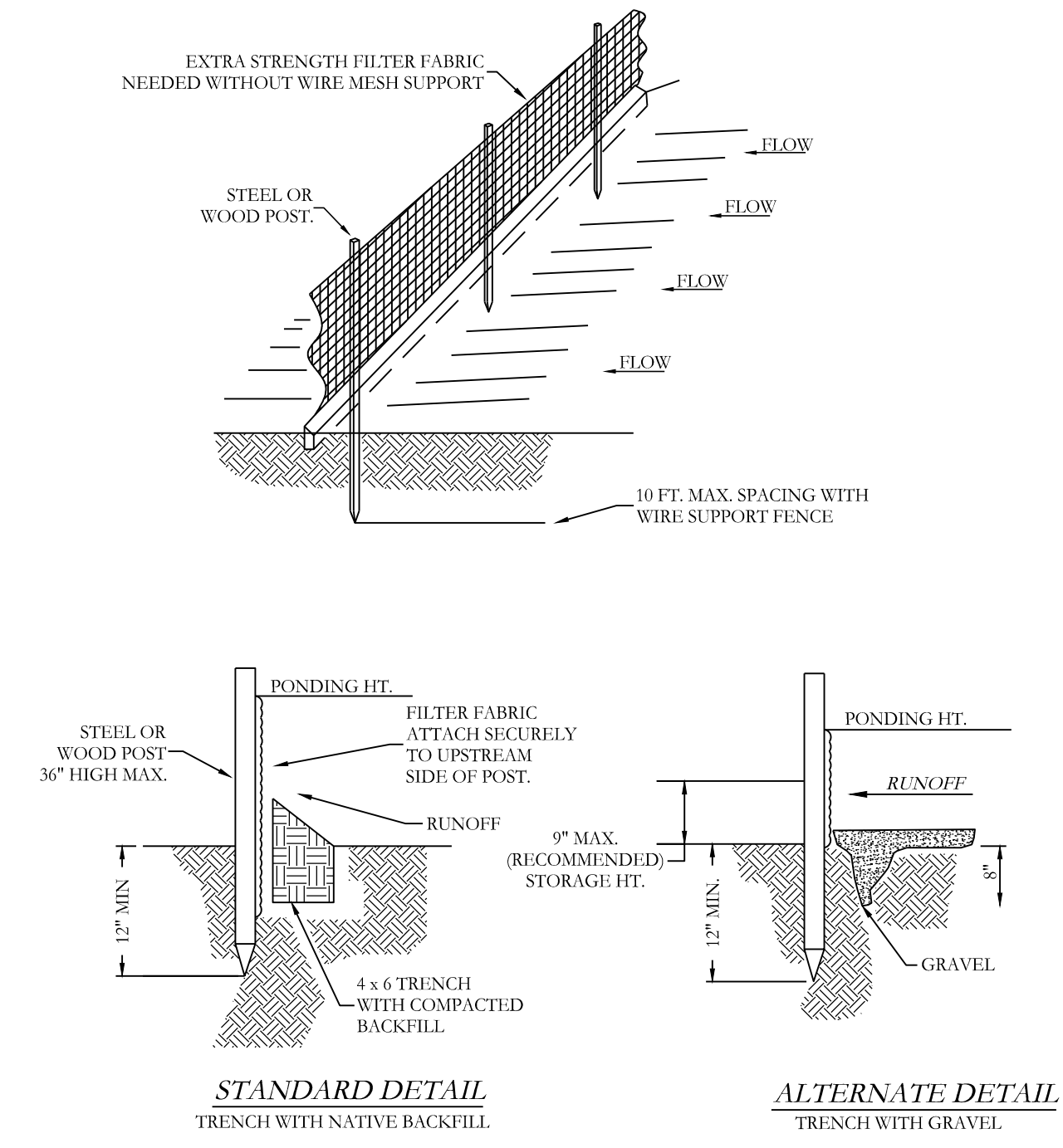
FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**  
LANDSCAPE PLAN  
604 S REYNOLDS ROAD  
BRYANT, SALINE COUNTY, ARKANSAS

|          |            |             |            |                 |
|----------|------------|-------------|------------|-----------------|
| DATE:    | 09-04-2024 | C.A.D. BY:  | B. JOHNSON | DRAWING NUMBER: |
| REVISED: |            | CHECKED BY: |            | 24-0260         |
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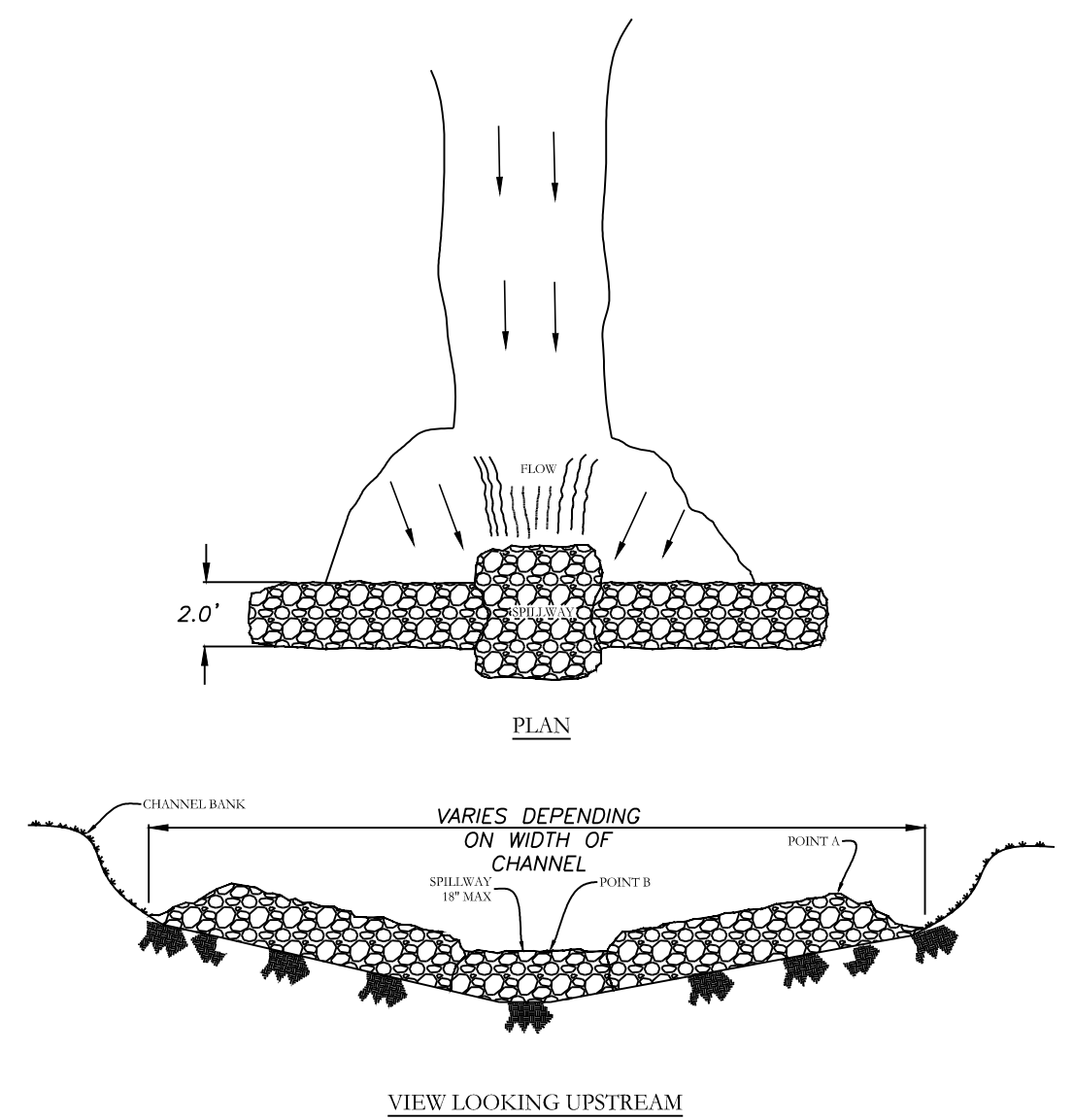






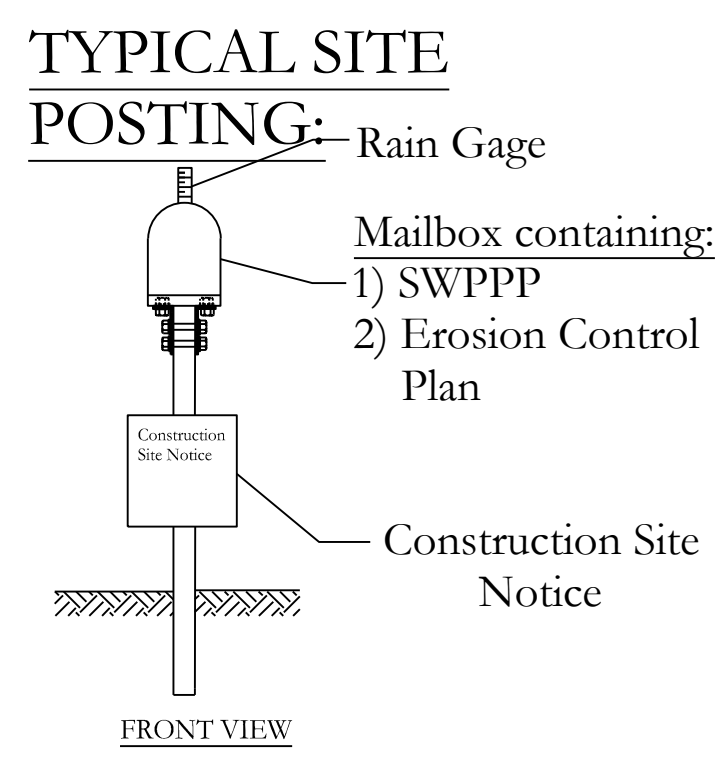
- NOTE:
- 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**SILT FENCE**

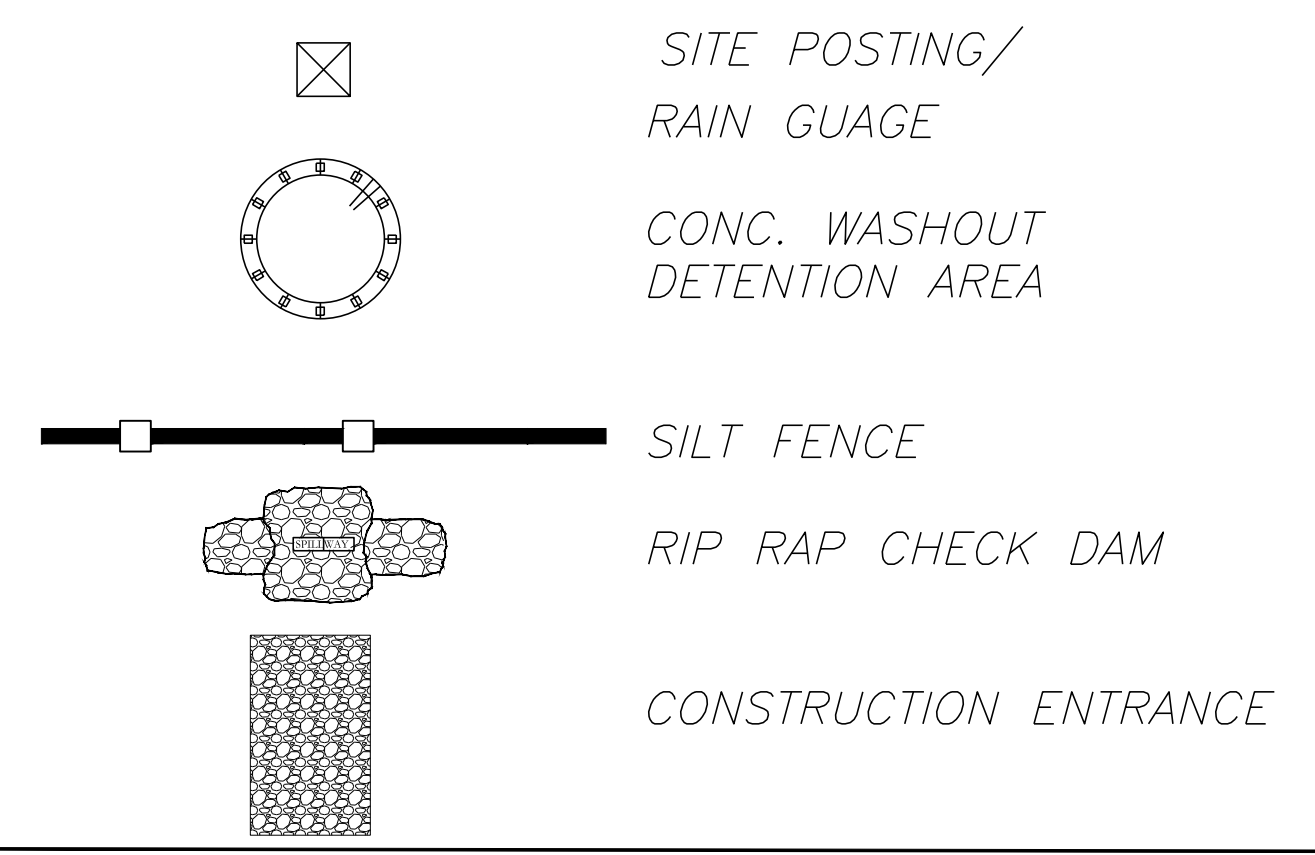


- NOTES:
- 1) POINT 'U' MUST BE HIGHER THAN POINT 'W' SPILLWAY HEIGHT.
  - 2) POINT 'U' SHOULD BE HIGHER THAN POINT 'W' BY THE FOLLOWING HEIGHTS: CONCRETE: 1.50 FT. TRAP, ROCKS OR FILTER FABRIC TO FILL ANY GAPS AND 1.50 FT. BACKFILL MATERIAL TO PREVENT BLOWUP OR DAM BREACHING.
  - 3) SPILLWAY HEIGHT SHALL NOT EXCEED 4'-0".
  - 4) INSPECT WITH DISCRESSION FROM EROSION, MAINTAIN, AND REPAIR PROPERLY.

**RIP-RAP CHECK DAM**

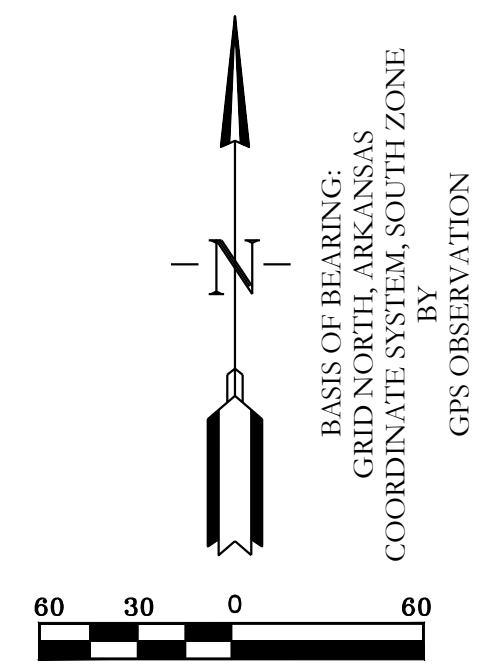
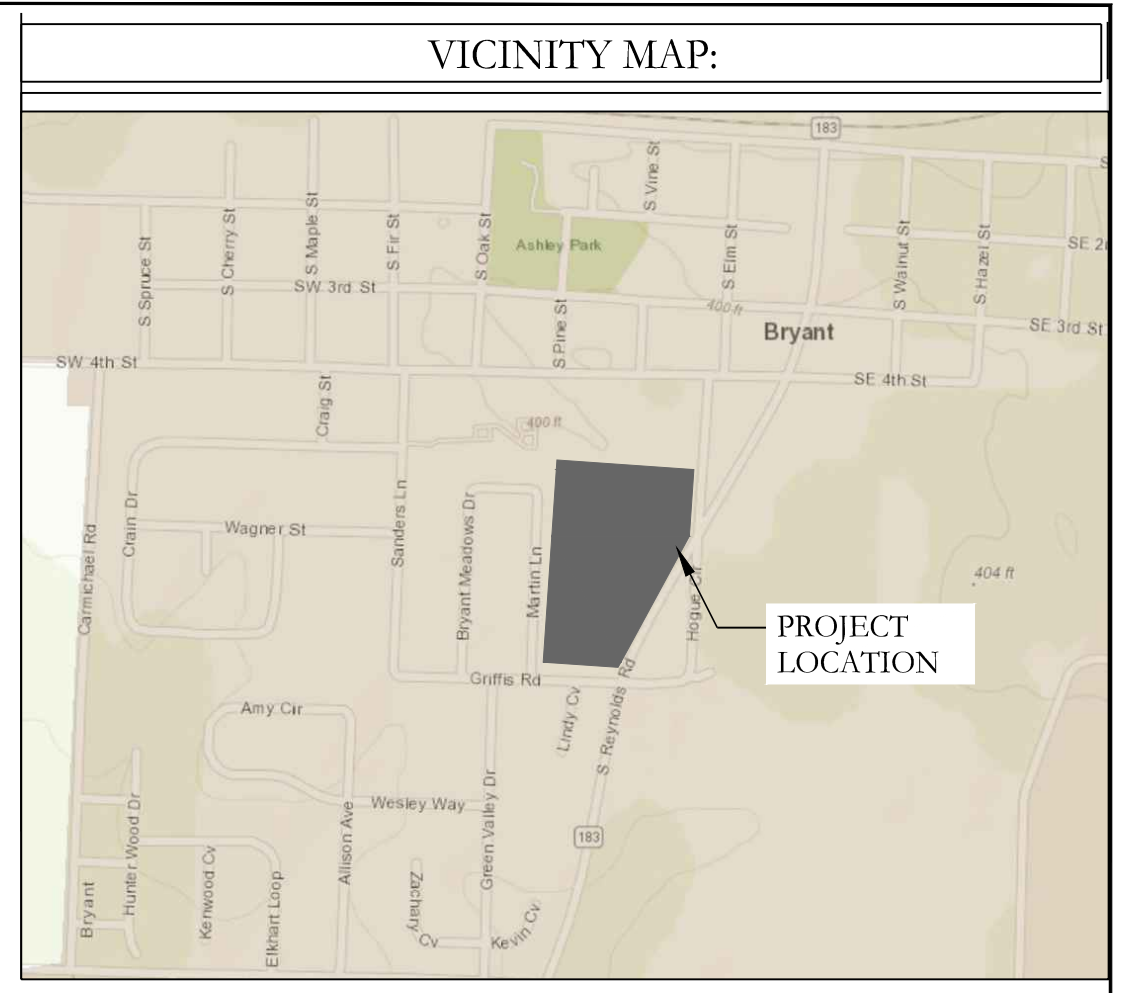
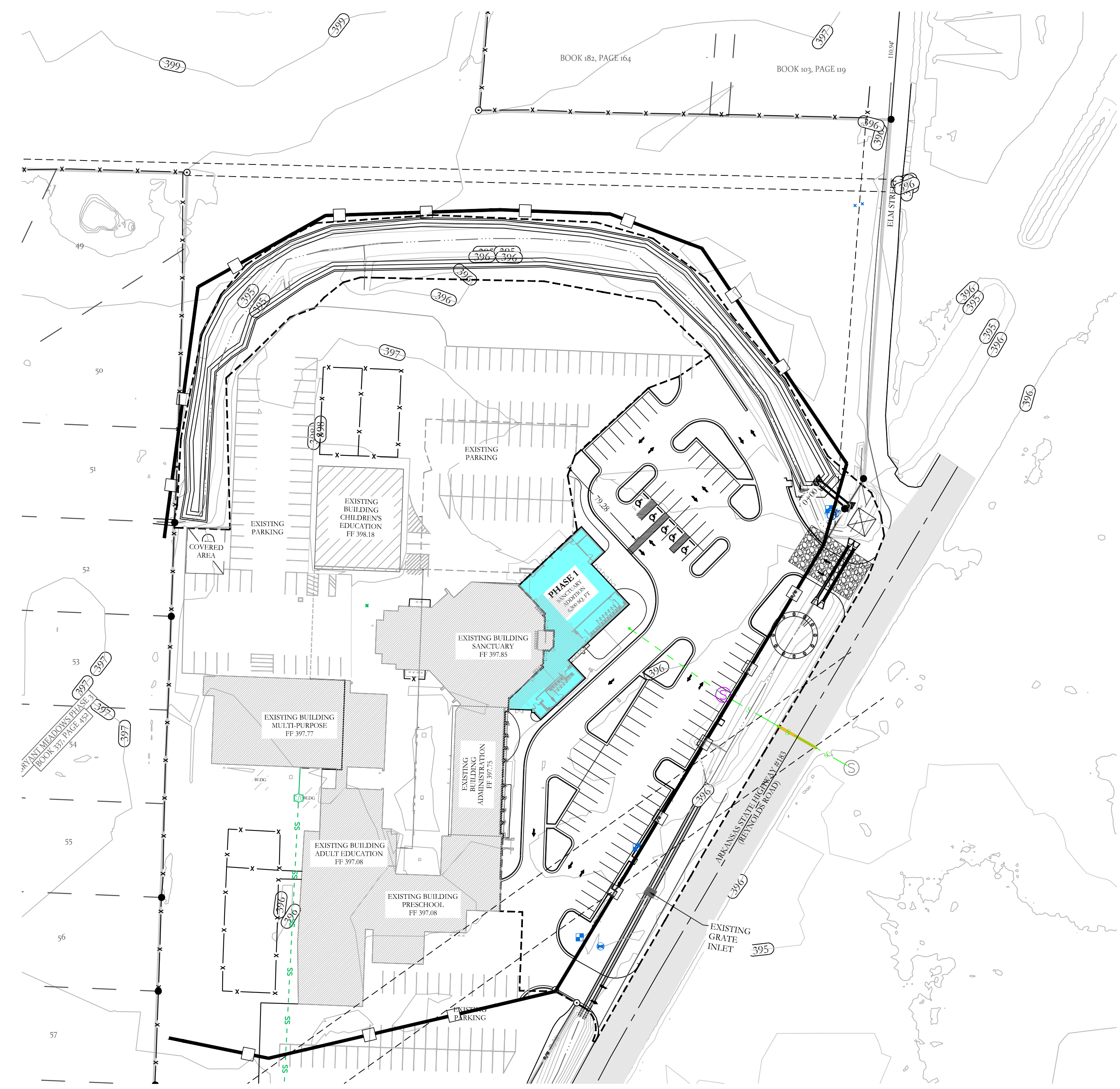


**ERC LEGEND**



**EROSION CONTROL NOTES**

SOD DETENTION AREA POST-CONSTRUCTION (IF APPLICABLE)  
 MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVES  
 CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE.  
 RIP RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP  
 CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY  
 SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS  
 EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.



**HOPE CONSULTING ENGINEERS - SURVEYORS**

129 N. Main Street, Benton, Arkansas 72015  
 PH. (501) 315-2626  
 FAX (501) 315-0024  
 www.hopeconsulting.com

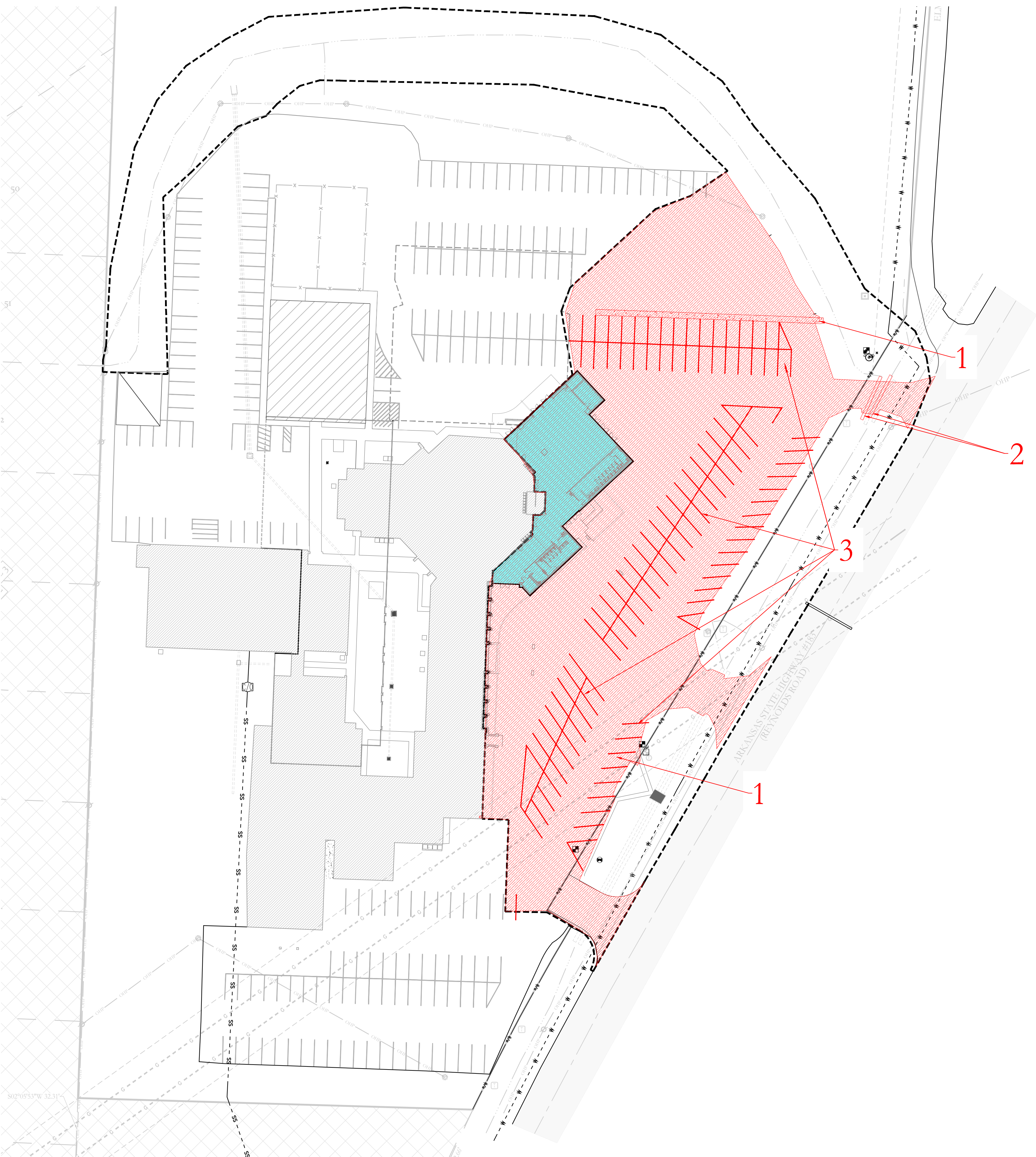
FOR USE AND BENEFIT OF:  
**FIRST SOUTHERN BAPTIST CHURCH OF BRYANT**

**FSCB EXPANSION & REMODEL PHASE 1**  
 EROSION CONTROL PLAN  
 604 S REYNOLDS ROAD  
 BRYANT, SALINE COUNTY, ARKANSAS

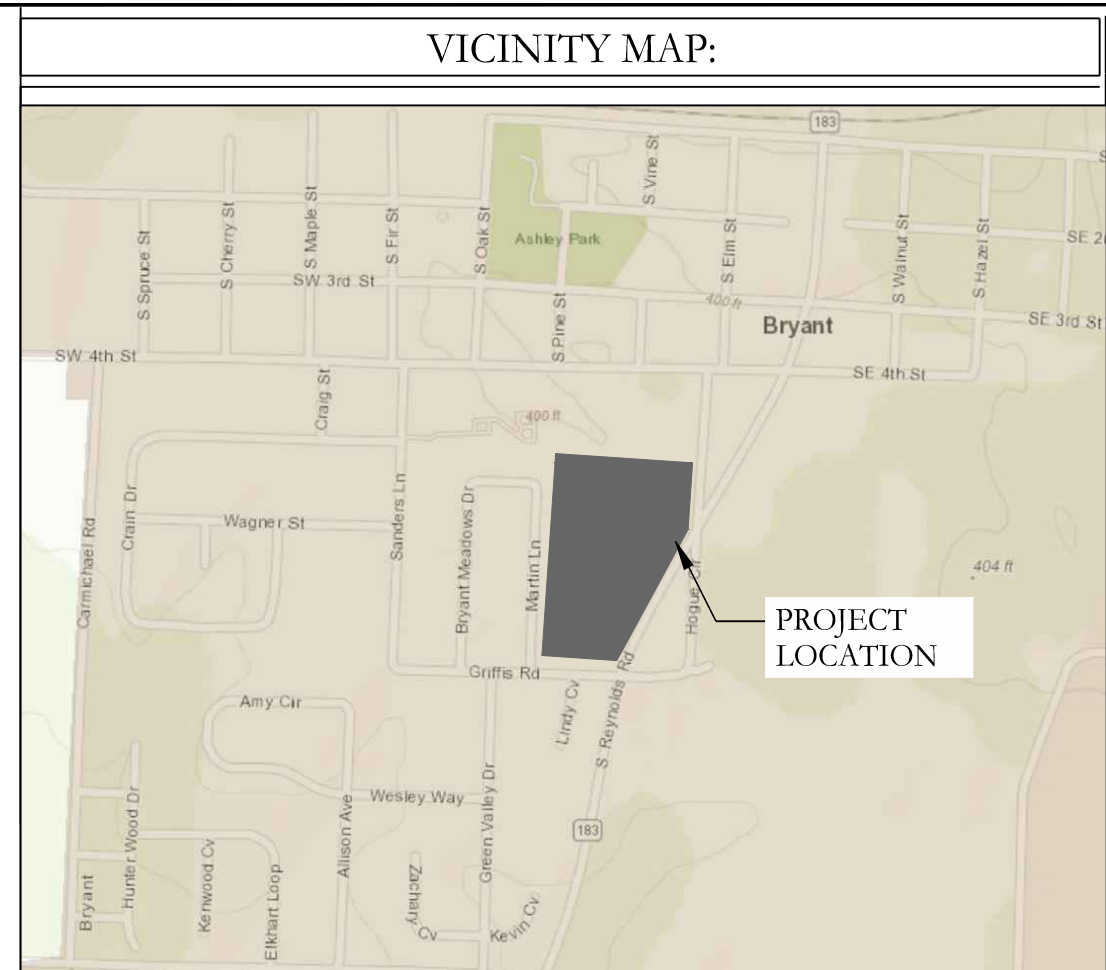
|                  |             |                 |
|------------------|-------------|-----------------|
| DATE: 09-04-2024 | C.A.D. BY:  | DRAWING NUMBER: |
| REVISIONS:       | CHECKED BY: | 24-0260         |
| SHEET: C-8.0     | SCALE:      |                 |

500 01S 14W 0 34 310 62 1664

K:\LAND PROJECTS\2024\24-0260 FSCB EXPANSION AND REMODEL\DRAWING\EROSION CONTROL PLAN\24-0260 FSCB EXPANSION AND REMODEL\DRAINAGE\CALCS\8.27.2024.DWG



50'  
51'  
52'  
53'  
54'  
55'  
56'  
57'  
58'  
59'  
60'

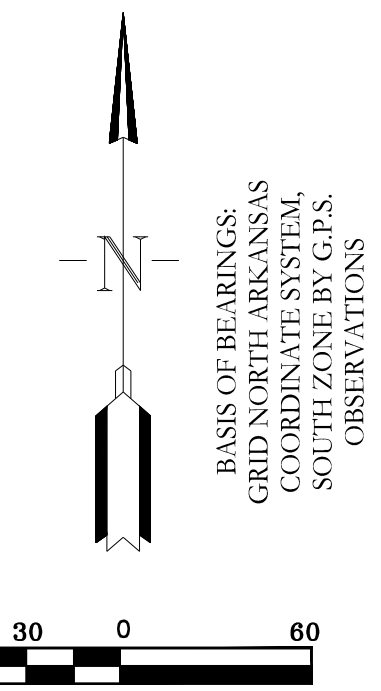


|  |  |
|--|--|
| <b>OWNER:</b>                                      | <b>DEVELOPER:</b>                                  |
| Name: Peter Cunningham                             | Name: Peter Cunningham                             |
| Address: 604 S Reynolds Rd, Bryant, Arkansas 72022 | Address: 604 S Reynolds Rd, Bryant, Arkansas 72022 |
| Email: peter@fsbcbryant.org                        | Email: peter@fsbcbryant.org                        |
| Phone: 501-847-3014                                | Phone: 501-847-3014                                |

**DEMO PLAN NOTES**

1. DEMOLITION OF ASPHALT & CONCRETE AREA( 70,260 SF)
2. DEMOLITION OF EXISTING CULVERTS
3. DEMOLITION OF EXISTING PARKING SPACE

**CIVIL ENGINEER**  
**HOPE CONSULTING INC**  
 129 N. MAIN STREET  
 BENTON, AR 72015  
 CONTACT: KAZI TAMZIDUL ISLAM  
 PHONE: 501-315-2626  
 EMAIL: kazi@hopeconsulting.com



**HOPE CONSULTING**  
 ENGINEERS - SURVEYORS  
 129 N. Main Street,  
 Benton, Arkansas 72015  
 PH. (501)315-2626  
 FAX (501) 315-0024  
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|   |                     |                 |
|---|---------------------|-----------------|
| FOR USE AND BENEFIT OF:<br><b>FIRST SOUTHERN BAPTIST CHURCH OF BRYANT</b> |                     |                 |
| CHURCH EXPANSION PHASE 1  |                     |                 |
| DEMO PLAN   |                     |                 |
| 604 S REYNOLDS ROAD<br>BRYANT, SALINE COUNTY, ARKANSAS                    |                     |                 |
| DATE: 09-04-2024  | C.A.D. BY: BJOHNSON | DRAWING NUMBER: |
| REVISIONS:  | CHECKED BY:         | <b>24-0260</b>  |
| SHEET: C-9.0  | SCALE:              |                 |
| 500   | 01S                 | 14W             |
| 0   | 34                  | 310             |
| 62  | 1664                |                 |

S:\LAND PROJECTS\2004\COMMERCIAL\2004-24-0260 FSBC EXPANSION AND RENOVATION\CIVIL\DWG\24-0260 SITE PLAN BASE - PHASE 1.DWG



**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 08/14\*/2024

**Sign Co. or Sign Owner**

Name ARKANSAS SIGN & NEON  
 Address 8525 DISTRIBUTION DR  
 City, State, Zip LITTLE ROCK AR 72209  
 Phone 501.562.3942  
 Email Address lora@arkansassign.com

**Property Owner**

Name BATH & BODY WORKS  
 Address 7341 ALCOA RD  
 City, State, Zip BRYANT AR 72002  
 Phone \_\_\_\_\_  
 Email Address \_\_\_\_\_

**GENERAL INFORMATION**

Name of Business BATH & BODY WORKS  
 Address/Location of sign 7341 ALCOA RD BRYANT AR 72002  
 Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

**READ CAREFULLY BEFORE SIGNING**

I Lora A. Rand, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

| SIGN | Type<br>(Façade, Pole,<br>Monument, other) | Dimensions<br>(Height, Length, Width) | Sqft<br>(Measured in<br>whole as<br>rectangle) | Height of Sign<br>(Measured from lot surface) |                   | Column for<br>Admin<br>Certifying<br>Approval |
|------|--|---------------------------------------|--|---|-------------------|---|
|      |  |                                       |  | Top of Sign<br>SQ FT                          | Bottom of<br>Sign |   |
|      |  | 6'10 x 21'10                          | 89.21 TOTAL                                    |   |                   |   |
| A    | WALL                                       | <del>7'0 X 24'8</del>                 | <del>101.15</del>                              | 22'8"   | 15'               |   |
| B    |  |                                       |  | COSTS = 10000.00                              |                   |   |
| C    |  |                                       |  |   |                   |   |
| E    |  |                                       |  |   |                   |   |
| F    |  |                                       |  |   |                   |   |
| G    |  |                                       |  |   |                   |   |

# Bath & Body Works

STORE: 2899 | SPACE: 4B  
 ALCOA CROSSINGS  
 7341 ALCOA RD.  
 BRYANT, AR 72002



VICINITY MAP

N.T.S.

K  
02-25-19

43N-A000-K00-NOTE

LEVEL 1 OF 1



BATH & BODY WORKS/WHITE BARN  
 SPACE # 4B

- FLOOR OUTLETS TO BE SLAB ON GRADE
- FLOOR OUTLETS TO BE POKE-THROUGH

KEY PLAN

N.T.S.

J  
02-25-19

43N-A000-J00-NOTE



93 Industry Drive  
 PO Box 349  
 Versailles, KY 40383  
 859.879.1199



## Bath & Body Works

STORE: 2899 | SPACE: 4B  
 ALCOA CROSSINGS  
 7341 ALCOA RD.  
 BRYANT, AR 72002

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**

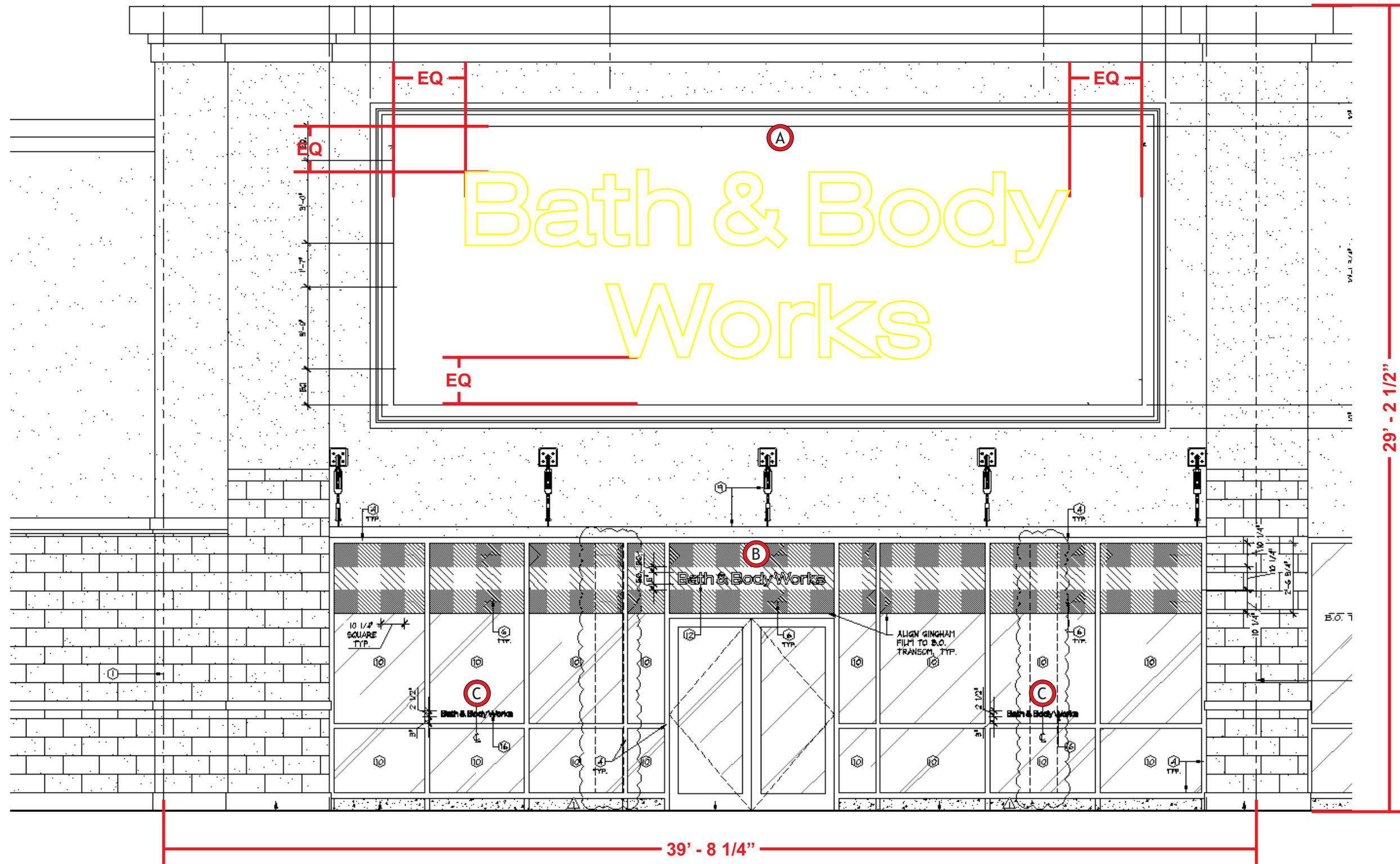


Submittal Date: 07/15/24  
 Plan Issue/Rev Date: \_\_\_\_\_  
 Acct Rep: Ashley Abney  
 Designer: Jaye Williams

### REVISIONS

R1: \_\_\_\_\_ R6: \_\_\_\_\_  
 R2: \_\_\_\_\_ R7: \_\_\_\_\_  
 R3: \_\_\_\_\_ R8: \_\_\_\_\_  
 R4: \_\_\_\_\_ R9: \_\_\_\_\_  
 R5: \_\_\_\_\_ R10: \_\_\_\_\_

STOREFRONT - ELEVATION



93 Industry Drive  
PO Box 349  
Versailles, KY 40383  
859.879.1199



# Bath & Body Works

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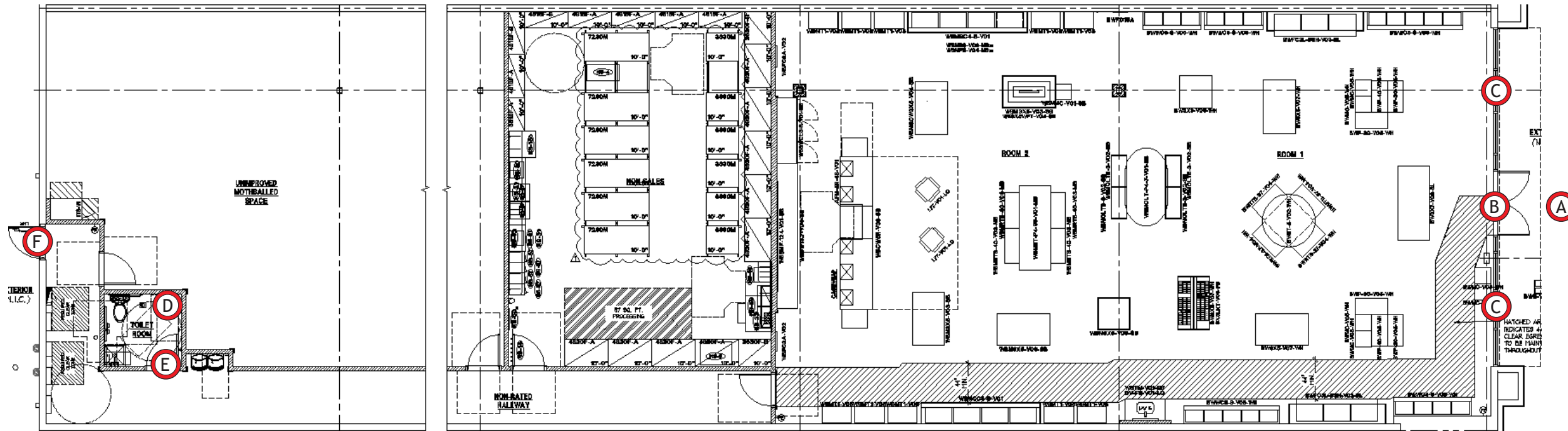
Submittal Date: 07/15/24  
Plan Issue/Rev Date: \_\_\_\_\_  
Acct Rep: Ashley Abney  
Designer: Jaye Williams

### REVISIONS

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |

- (A) BBW32FL 2L Qty - 1
- (B) BBW5FCO GM Qty - 1
- (C) BBW3V Qty - 2
- (D) BBW NS V Qty - 1
- (E) ADA AG RR PL BBW blue Qty - 1
- (F) BBW PL18 Qty - 1

STORE PLAN VIEW



93 Industry Drive  
 PO Box 349  
 Versailles, KY 40383  
 859.879.1199



# Bath & Body Works

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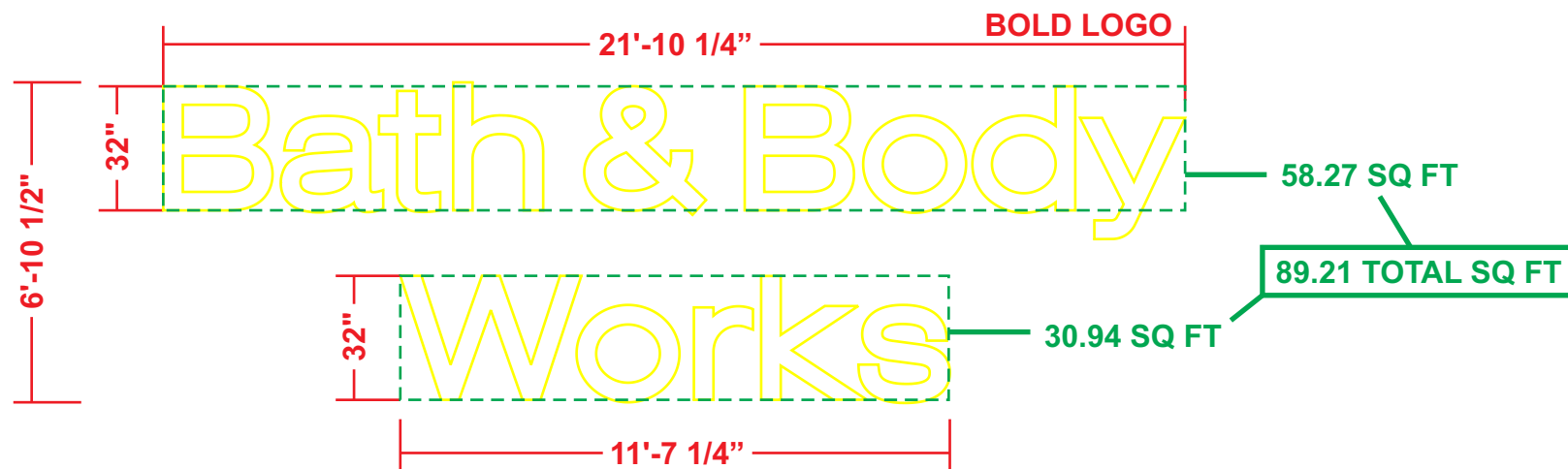
Submittal Date: 07/15/24  
 Plan Issue/Rev Date: \_\_\_\_\_  
 Acct Rep: Ashley Abney  
 Designer: Jaye Williams

### REVISIONS

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |

- A BBW32FL 2L Qty - 1
- B BBW5FCO GM Qty - 1
- C BBW3V Qty - 2
- D BBW NS V Qty - 1
- E ADA AG RR PL BBW blue Qty - 1
- F BBW PL18 Qty - 1

**A** FACE LIT ILLUM. CHANNEL LETTERS- ELEVATION  
Scale: 1/4" - 1' - 0"

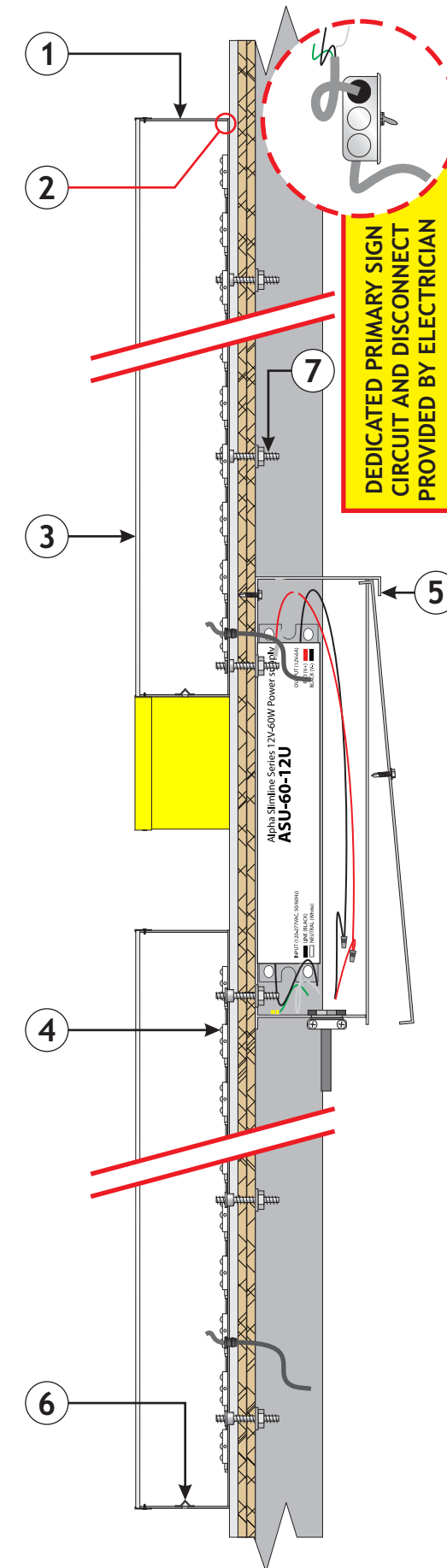


**SIGN - DETAILS**

- 1 5" DEEP ALUMINUM LETTERS WITH ROUTED ALUMINUM BACKS PAINTED TO MATCH SW PT-19 IT'S ALL ABOUT THE BLUE (UFN 1554796), INTERIOR SURFACES PAINTED HIGH GLOSS WHITE
- 2 LETTER RETURNS & BACKS ARE CAULKED TO ELIMINATE LIGHT LEAKS
- 3 3/16" THICK #7328 WHITE ACRYLIC LETTER FACES WITH 3/4" TRIM CAP SECURED TO LETTER WITH SELF TAPPING SCREW (TO MATCH RETURNS)
- 4 BITRO PLUS 6500K WHITE LED UNITS (PLACED END-TO-END) TO ILLUMINATE LETTERS
- 5 3/8" RIGID CONDUIT FOR LOW VOLTAGE PASS-THRU TO BITRO ASU-60-12U LED DRIVER (120-277 VOLT) CONTAINED IN PAIGE 980054C SNAP 2 ENCLOSURE
- 6 DRAIN HOLE IN BOTTOM OF LETTER RETURN WITH LIGHT COVER
- 7 LETTERS MOUNT FLUSH TO SURFACE WITH REQUIRED FASTENERS

BBW32FL 2L

FACE LIT ILLUM. CHANNEL LETTERS - SECTION



93 Industry Drive  
PO Box 349  
Versailles, KY 40383  
859.879.1199



**Bath & Body Works**

STORE: 2899 | SPACE: 4B  
ALCOA CROSSINGS  
7341 ALCOA RD.  
BRYANT, AR 72002

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**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



Submittal Date: 07/15/24  
Plan Issue/Rev Date: \_\_\_\_\_  
Acct Rep: Ashley Abney  
Designer: Jaye Williams

**REVISIONS**

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |



**B** NON-ILLUM. LETTERS - ELEVATION  
 Scale: 1 1/2" = 1' - 0"

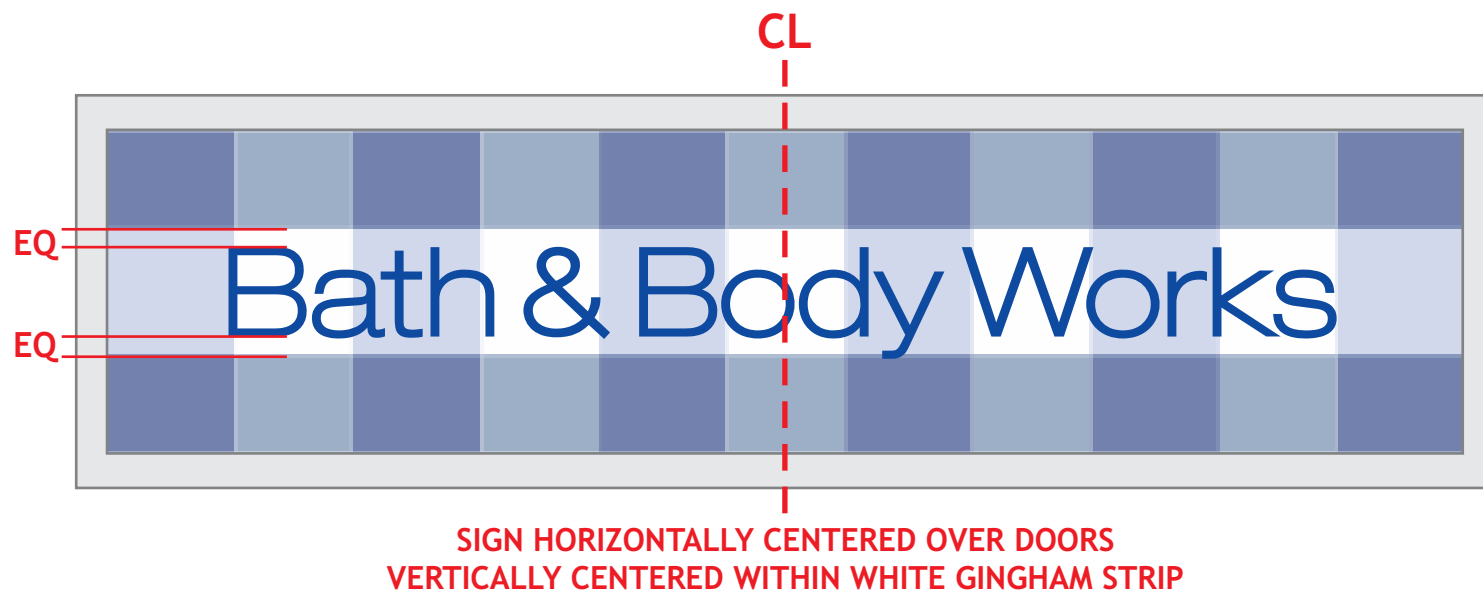
NARROW LOGO  
 2.14 SQ FT

5'-2"  
 5"  
 Bath & Body Works

**SIGN - DETAILS**

- 1 3/4" THICK, ROUTED ACRYLIC LETTERS PAINTED SW PT-19 IT'S ALL ABOUT THE BLUE (UFN 1554796)
- 2 LETTER ARE MOUNTED FLUSH TO STOREFRONT WITH DOUBLE SIDED TAPE AND SILICONE
- 3 STOREFRONT GLASS BY OTHERS

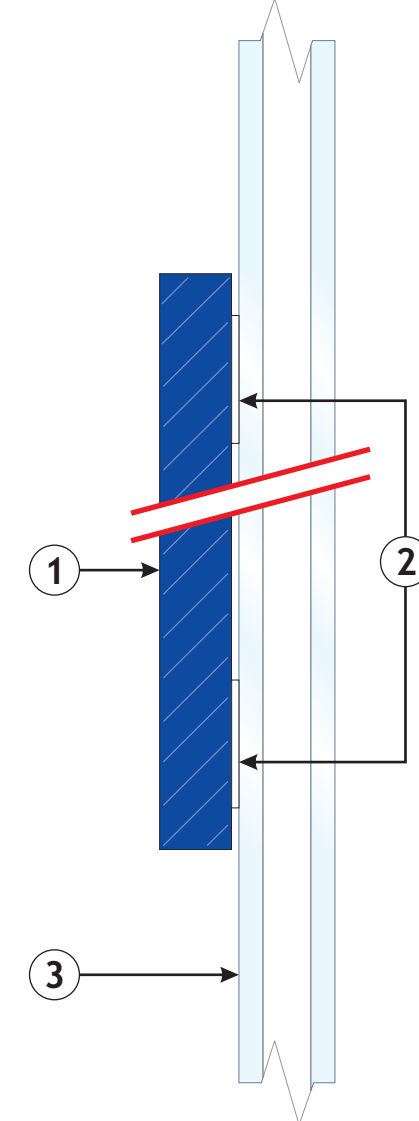
**INSTALL - DETAILS**



**\*\*INSTALLATION NOTE\*\***

- GLASS TO BE THOROUGHLY CLEANED OF ANY DEBRIS PRIOR TO INSTALLATION.
- DOUBLE SIDED TAPE IS ONLY FOR SHORT TERM APPLICATION.
- SILICONE MUST BE APPLIED TO BACKSIDE OF LETTERS TO ENSURE PROPER ADHESION TO GLASS.

**NON-ILLUM. LETTERS - SECTION**  
 Scale: HALF



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Bath & Body Works

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 BRYANT, AR 72002

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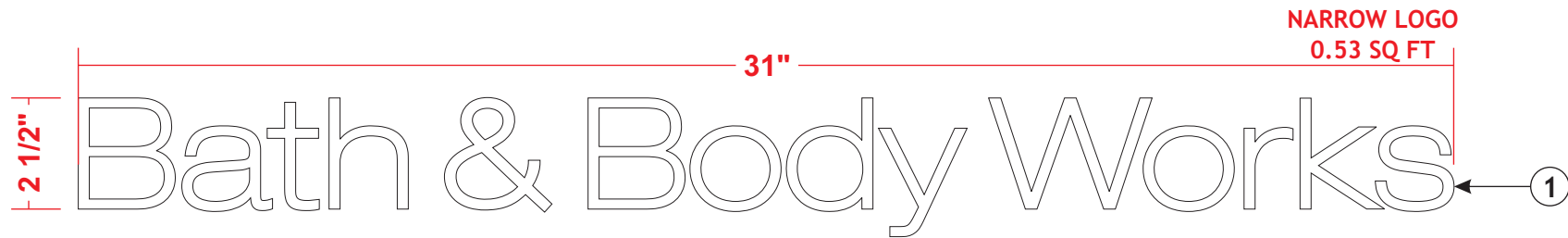
**RUGGLES SIGN DOES NOT PROVIDE PRIMARY ELECTRICAL TO SIGN LOCATION!**



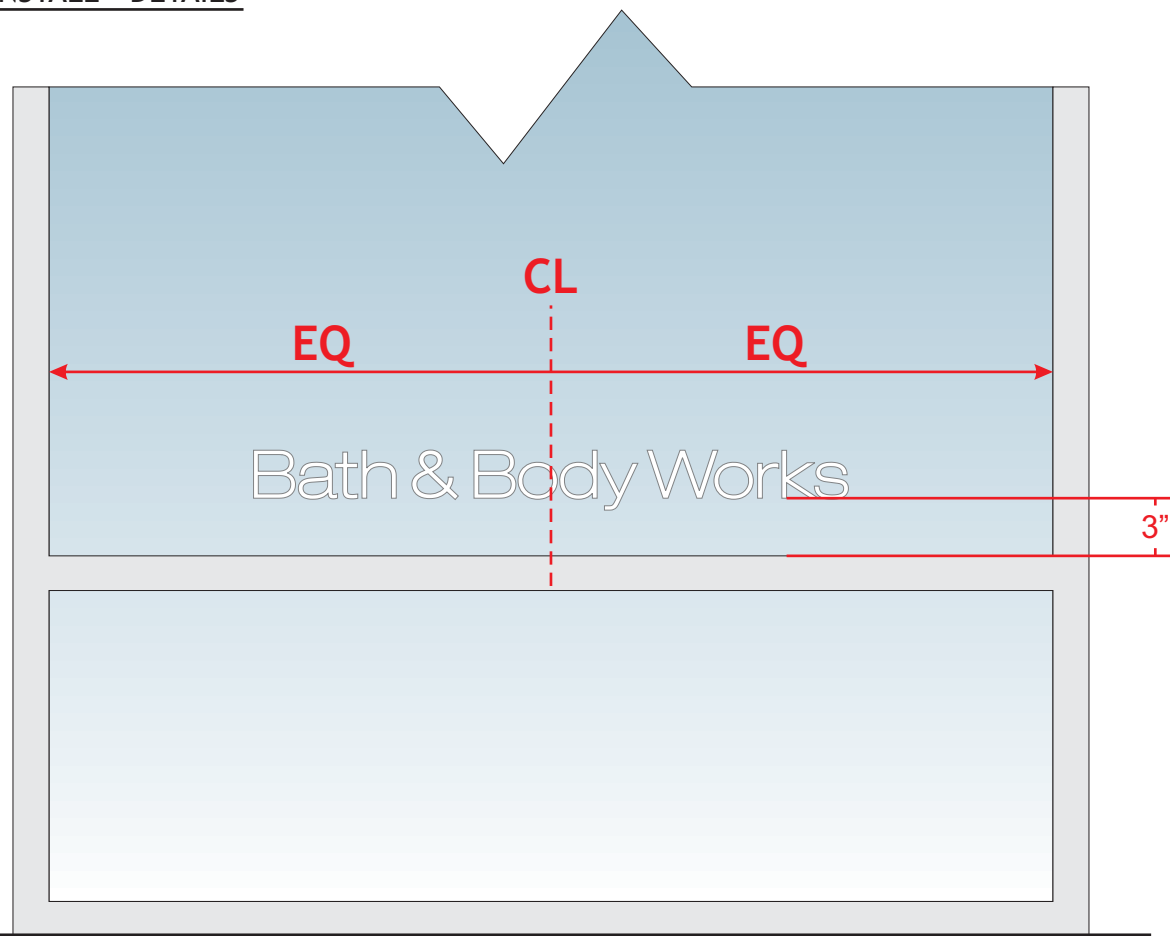
Submittal Date: 07/15/24  
 Plan Issue/Rev Date: \_\_\_\_\_  
 Acct Rep: Ashley Abney  
 Designer: Jaye Williams

**REVISIONS**

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |



**INSTALL - DETAILS**



**SIGN - DETAILS**

- ① REVERSE CUT, MATTE WHITE VINYL
- ② VINYL GRAPHIC IS INSTALLED ON THE INSIDE SURFACE OF STOREFRONT GLASS



93 Industry Drive  
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**Bath & Body Works**

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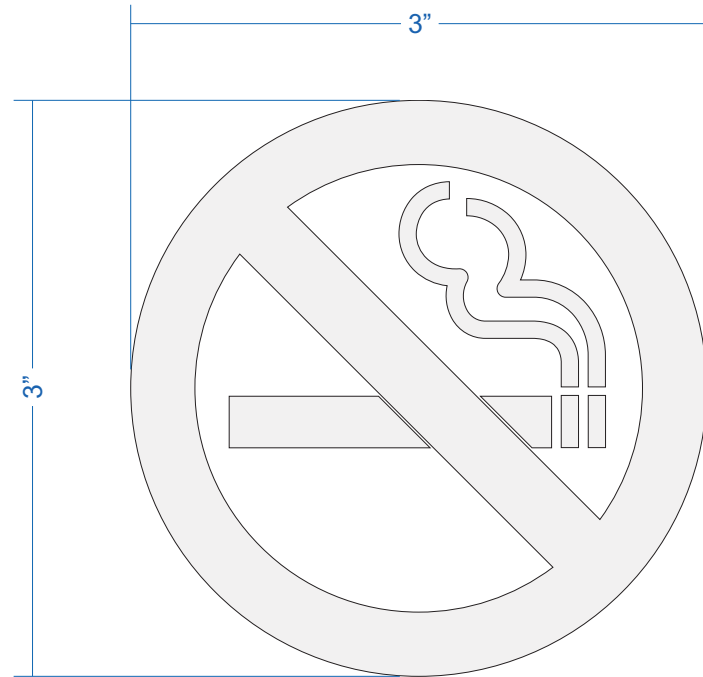


Submittal Date: 07/15/24  
Plan Issue/Rev Date: \_\_\_\_\_  
Acct Rep: Ashley Abney  
Designer: Jaye Williams

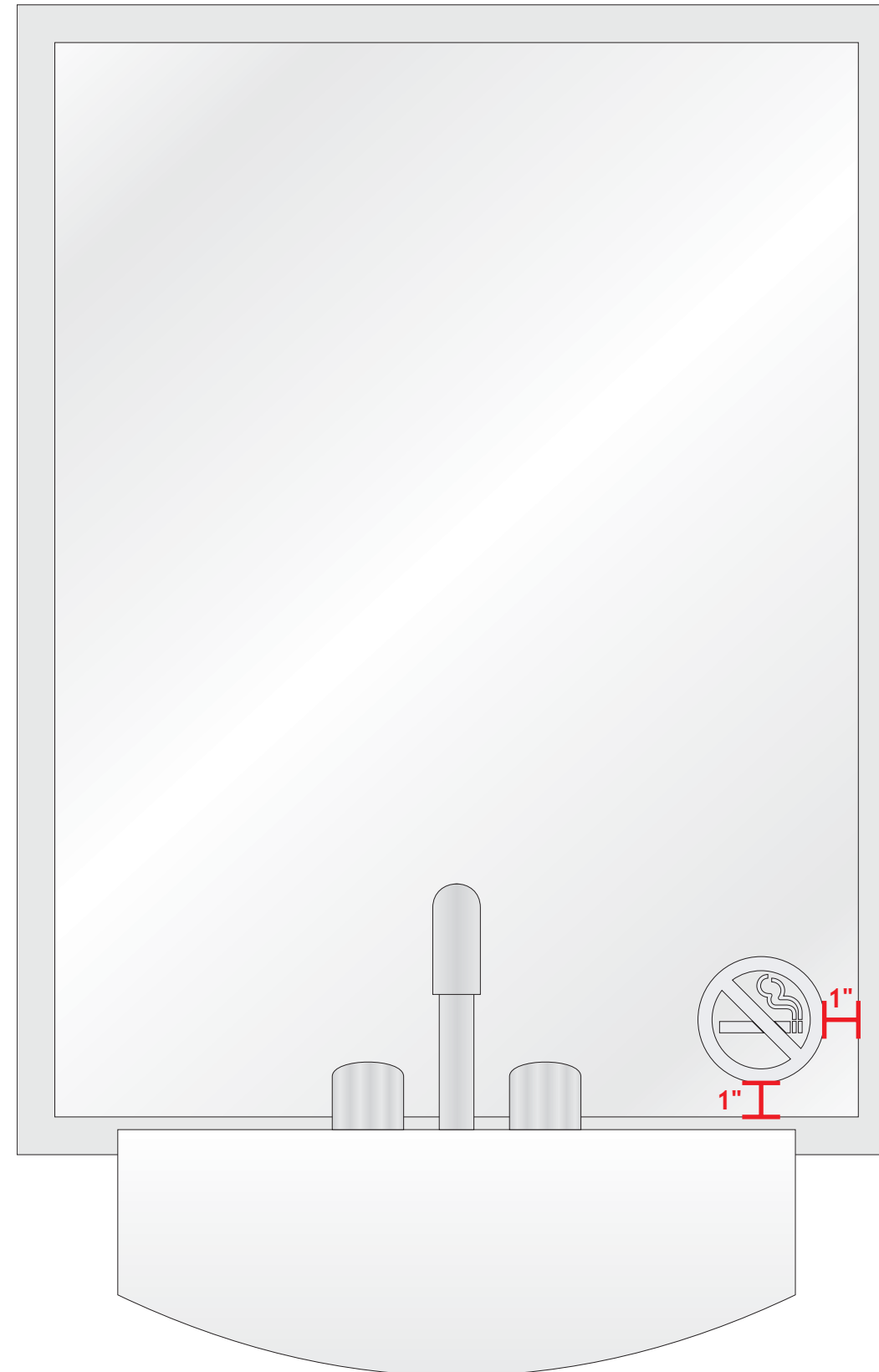
**REVISIONS**

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |

**D** VINYL - ELEVATION  
Scale: FULL



**●** INSTALL - DETAILS



**●** SIGN - DETAILS

- 1 FORWARD CUT FROSTED VINYL APPLIED FIRST SURFACE OF MIRROR
- 2 VINYL APPLIED DIRECTLY TO FACE OF MIRROR AT BOTTOM RIGHT CORNER, 1" FROM BOTTOM AND RIGHT EDGES OF FRAME



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## Bath & Body Works

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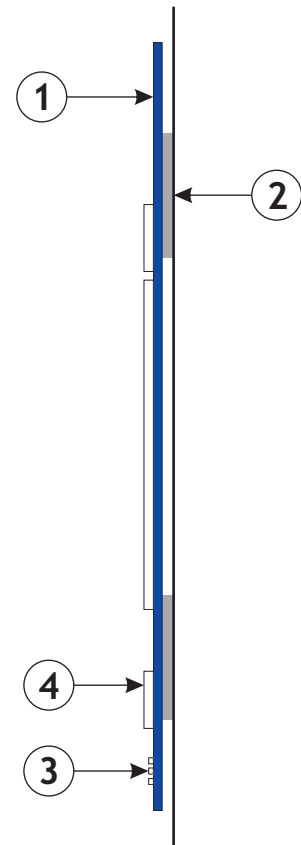


Submittal Date: 07/15/24  
Plan Issue/Rev Date: \_\_\_\_\_  
Acct Rep: Ashley Abney  
Designer: Jaye Williams

### REVISIONS

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
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| R5: _____ | R10: _____ |

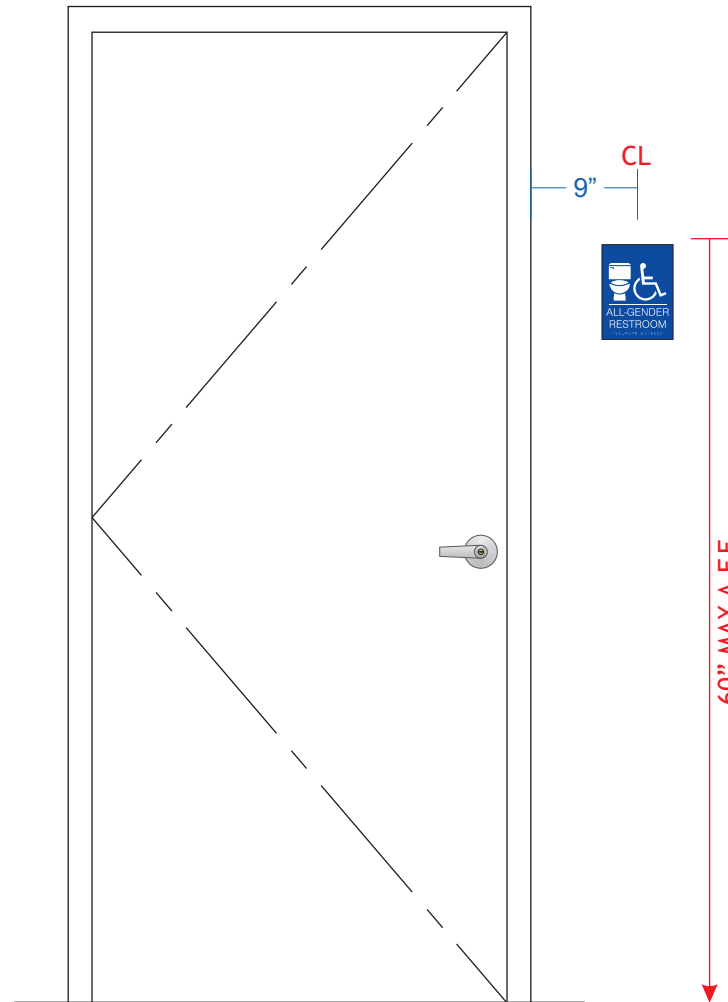
**E** ACCESSIBLE RESTROOM SIGNAGE - ELEVATION / SECTION  
Scale: HALF SIZE



**SIGN - DETAILS**

- ① 1/4" THICK MOLDED PLASTIC, TO MATCH SW PT-19 "IT'S ALL ABOUT THE BLUE"
- ② 1/4" THICK ROUTED ACRYLIC SYMBOL AND COPY, MATTE WHITE MOUNTED FLUSH TO WALL WITH DOUBLE SIDED TAPE (TAPE IS PRE-APPLIED TO PANEL, JUST PEEL AND STICK)
- ③ TYPE 2 BRAILLE LOCATED AT BOTTOM OF SIGN
- ④ CHARACTERS TO BE RAISED 1/32" MINIMUM

**ACCESSIBLE RESTROOM SIGNAGE - INSTALLATION DETAIL**  
Scale: N.T.S.



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**Bath & Body Works**

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Submittal Date: 07/15/24  
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Acct Rep: Ashley Abney  
Designer: Jaye Williams

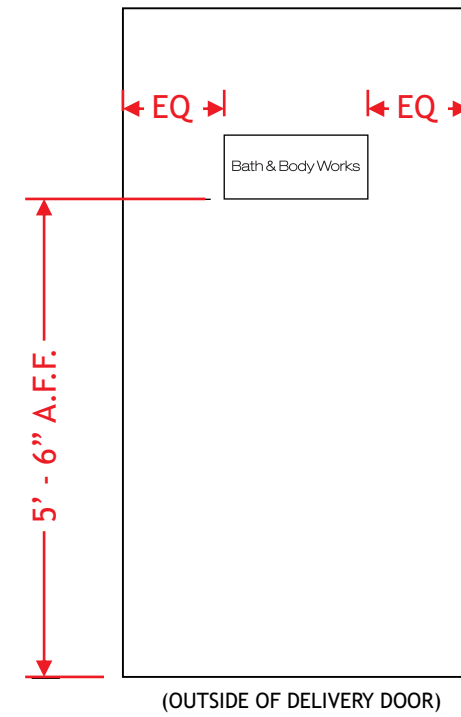
**REVISIONS**

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |

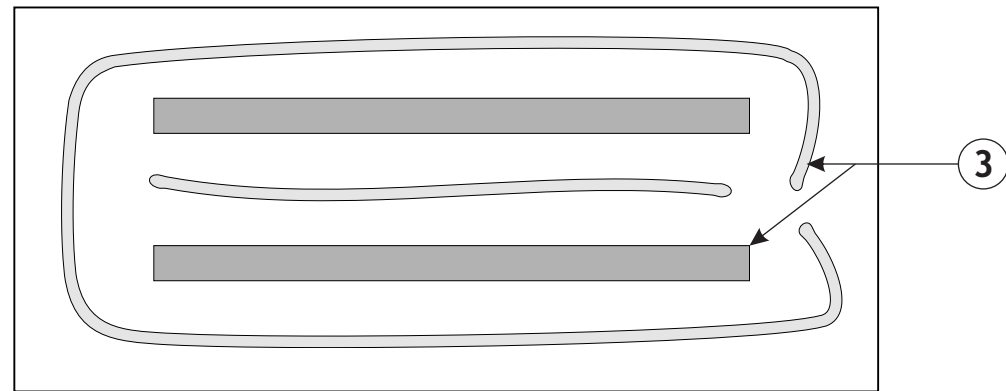
**F** PANEL - ELEVATION  
Scale: 3" = 1' - 0"



**●** PANEL - INSTALL DETAIL  
Scale: N.T.S.



**●** PANEL - BACK SIDE  
Scale: 3" = 1' - 0"



**●** SIGN - DETAILS

- ① .040 PRE-FINISHED WHITE ALUMINUM PANEL
- ② FORWARD CUT, GLOSS BLACK VINYL LOGO, APPLIED TO FACE OF WHITE PANEL
- ③ PANEL IS MOUNTED FLUSH TO DOOR WITH SILICONE AND VHB DOUBLE SIDED TAPE



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Submittal Date: 07/15/24  
Plan Issue/Rev Date: \_\_\_\_\_  
Acct Rep: Ashley Abney  
Designer: Jaye Williams

**REVISIONS**

|           |            |
|-----------|------------|
| R1: _____ | R6: _____  |
| R2: _____ | R7: _____  |
| R3: _____ | R8: _____  |
| R4: _____ | R9: _____  |
| R5: _____ | R10: _____ |



**City of Bryant, Arkansas**  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 8-19-24

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

### Sign Co. or Sign Owner

Name Little Rock Cemetery Sign  
Address PO Box 806  
City, State, Zip Geneway AR 72033  
Phone 501-387-4166  
Alternate Phone 501-764-7611

### Property Owner

Name Fiz Drinks  
Address 2346 Texas Heritage Parkway #600  
City, State, Zip Brookshire TX 77494  
Phone 281-375-9305  
Alternate Phone \_\_\_\_\_

### GENERAL INFORMATION

Name of Business Fiz Drinks  
Address/Location of sign 1812 Reynolds Rd Suite 4  
Zoning Classification C-2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I Quinn Stolt do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

| SIGN    | Type<br>(Facade, Pole, Monument, other) | Dimensions<br>(Height, Length, Width) | Sqft<br>(Measured in whole as rectangle) | Height of Sign<br>(Measured from lot surface) |                | Column for Admin Certifying Approval |
|---------|---|---------------------------------------|--|---|----------------|--------------------------------------|
|         |   |                                       |  | Top of Sign                                   | Bottom of Sign |                                      |
| S1<br>A | Wall                                    | 38" x 164.75"                         | 43.5                                     | 10'4"   | 13'2"          |                                      |
| S3<br>B | Wall                                    | 38" x 164.75                          | 43.5                                     | 16'2"   | 13'            |                                      |
| S4<br>C | Wall                                    | 38" x 164.75                          | 43.5                                     | 13'4"   | 10'2"          |                                      |
| S5<br>D | Relief Monument                         | 82 1/2" x 169 1/2"                    | 10.86                                    |   |                |                                      |
| S6<br>E |   |                                       |  |   |                |                                      |
| S7<br>F |   |                                       |  |   |                |                                      |

Sign 2 is a menu board for drive thru -  
that won't require a permit, will it?

# PLOT MAP



## DESIGN LEGEND

- S1:** FRONT LIT CHANNEL LETTERS  
- 3'-2" x 13'-8 3/4" OVERALL
- S2:** FRONT LIT WALL SIGN MENU  
- 4'-0" x 6'-7" OVERALL
- S3:** FRONT LIT CHANNEL LETTERS  
- 3'-2" x 13'-8 3/4" OVERALL
- S4:** FRONT LIT CHANNEL LETTERS  
- 3'-2" x 13'-8 3/4" OVERALL
- S5:** TENANT VINYL / Poly ??  
- 1'-10 1/2" x 5'-9 1/2" OVERALL

PLOT MAP SCALE: 1" = 50'-0"

FILE LOCATION: Google Drive (G.) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

**ALLIED ELECTRIC SIGN & Aiming**  
WWW.ALLIED-SIGN.COM

**CLIENT:** Fiz Drinks  
**ADDRESS:** 1812 Reynolds Road Suite #4  
Bryant, Arkansas 72022  
**DESIGNER:** Courtney  
**ACCOUNT EXEC.:** Regina Hewlett  
**FILE NAME:** Fiz Drinks (Bryant) Sign Package 03

**CONTACT:** Amber Jones  
**PHONE #:** 501-454-0487  
**EMAIL:** amber@claytonslc.com  
**DATE:** 07/15/24

| REV | DATE     | BY | DESCRIPTION  |
|-----|----------|----|--|
| 1   | 07-12-24 | CC | options for red or white background on monument channel sign |
| 2   | 07-15-24 | CC | all signage to have no outline or vegetation mask            |
| 3   | 08-00-24 | JK | REV  |
| 4   | 08-00-24 | JK | REV  |
| 5   | 08-00-24 | JK | REV  |
| 6   | 08-10-24 | JK | REV  |
| 7   | 08-00-24 | JK | REV  |
| 8   | 08-01-24 | JK | REV  |
| 9   | 08-00-24 | JK | REV  |
| 10  | 08-00-24 | JK | REV  |

Client Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

ME Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

Manufacturer Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

**5 YEAR LED WARRANTY**

NAME & DATE: \_\_\_\_\_

ISSUED: 08/08/24

STAGE: CALLOUT 1 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969  
THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ALLIED ELECTRIC SIGN. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED.





(A)

Verify Measurements given  
Get Measurements as indicated  
Elec? Access?

S1.)

S1

\*Rendering is an Approximate Visual Aid ONLY  
Actual Results May Vary



NIGHT VIEW *Not in Scale*



**SQUARE FOOTAGE BREAKDOWN**

FASCIA: 26 Linear Ft.  
CODE ALLOTMENT (2 SQ.FT./LIN FT.) = 52 sq. ft.  
PROPOSED SIGNAGE: 43.5 sq. ft.

EXISTING CONDITIONS  
*Not in Scale*



SOUTH ELEVATION  
*Not in Scale*

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Fiz Drinks  
ADDRESS: 1812 Reynolds Road Suite #4 Bryant, Arkansas 72022  
DESIGNER: Courtney  
ACCOUNT EXEC.: Regina Hewlett  
FILE NAME: Fiz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones  
PHONE #: 501-454-0487  
EMAIL: amber@caponek.com  
DATE: 07/15/24

| REV | DATE     | BY | DESCRIPTION   |
|-----|----------|----|---|
| 1   | 07-12-24 | CC | options for red or white background on monument tenant sign |
| 2   | 07-15-24 | CC | All signage to have no bubble or registration marks         |
| 3   | 08-02-24 | XX | xxxx  |
| 4   | 08-02-24 | XX | xxxx  |
| 5   | 08-02-24 | XX | xxxx  |
| 6   | 08-02-24 | XX | xxxx  |
| 7   | 08-02-24 | XX | xxxx  |
| 8   | 08-02-24 | XX | xxxx  |
| 9   | 08-02-24 | XX | xxxx  |
| 10  | 08-02-24 | XX | xxxx  |

|                       |      |
|-----------------------|------|
| Client Approval       | DATE |
| SE Approval           | DATE |
| Manufacturer Approval | DATE |

BACKED BY OUR 5 YEAR 5 LED WARRANTY

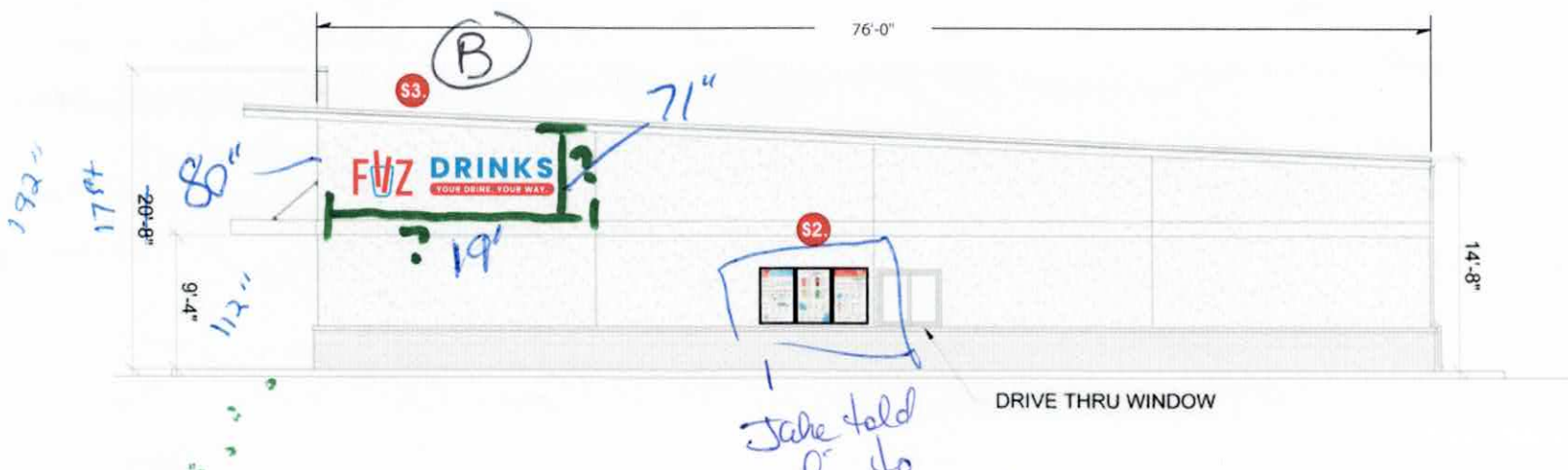
|         |             |
|---------|-------------|
| NAME    | NAME & DATE |
| PHONE   | 00/00/00    |
| EMAIL   |             |
| CALLOUT | 2 of 8      |

LOCATIONS: HQ LINDON, 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969  
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17"  
- 8"  
-----  
16'4" top

16'4"  
3'2"  
-----  
13'2"

## S2. & S3.) EAST ELEVATION FRONT LIT WALL SIGN MENU & FRONT LIT CHANNEL LETTERS



**EAST ELEVATION:**

SCALE: 1/8" = 1'-0"

### SQUARE FOOTAGE BREAKDOWN

FASCIA: 74 Linear Ft.  
CODE ALLOTMENT (2 SQ. FT./LIN. FT.) = 152 sq. ft.  
PROPOSED SIGNAGE: 43.5 + 30 = 73.5 sq. ft.

17'  
- 10"  
-----  
16'2"

16'2"  
- 3'2"  
-----  
13'

*Jake told him to set box w/power here*

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

**ALLIED ELECTRIC SIGN & AWNING**  
WWW.ALLIED-SIGN.COM

CLIENT: Fiz Drinks  
ADDRESS: 1812 Reynolds Road Suite #4 Bryant, Arkansas 72022  
DESIGNER: Courtney  
ACCOUNT EXEC.: Regina Hewlett  
FILE NAME: Fiz Drinks (Bryant) Sign Package 03

CONTACT: Amber Jones  
PHONE #: 501-454-0487  
EMAIL: amber@clajones.com  
DATE: 07/18/24

| REV | DATE     | BY | DESCRIPTION  |
|-----|----------|----|--|
| 1   | 07-12-24 | CC | options for red or white background on monument letter vinyl |
| 2   | 07-18-24 | CC | All signage to have no substrate or vegetation mark          |
| 3   | 08-01-24 | XX | xxxx   |
| 4   | 08-01-24 | XX | xxxx   |
| 5   | 08-01-24 | XX | xxxx   |
| 6   | 08-01-24 | XX | xxxx   |
| 7   | 08-01-24 | XX | xxxx   |
| 8   | 08-01-24 | XX | xxxx   |
| 9   | 08-01-24 | XX | xxxx   |
| 10  | 08-01-24 | XX | xxxx   |

|                       |      |
|-----------------------|------|
| Client Approval       | DATE |
| NE Approvals          | DATE |
| License/Arch Approval | DATE |

WARRANTY: 5 YEAR LED

NAME & DATE: \_\_\_\_\_

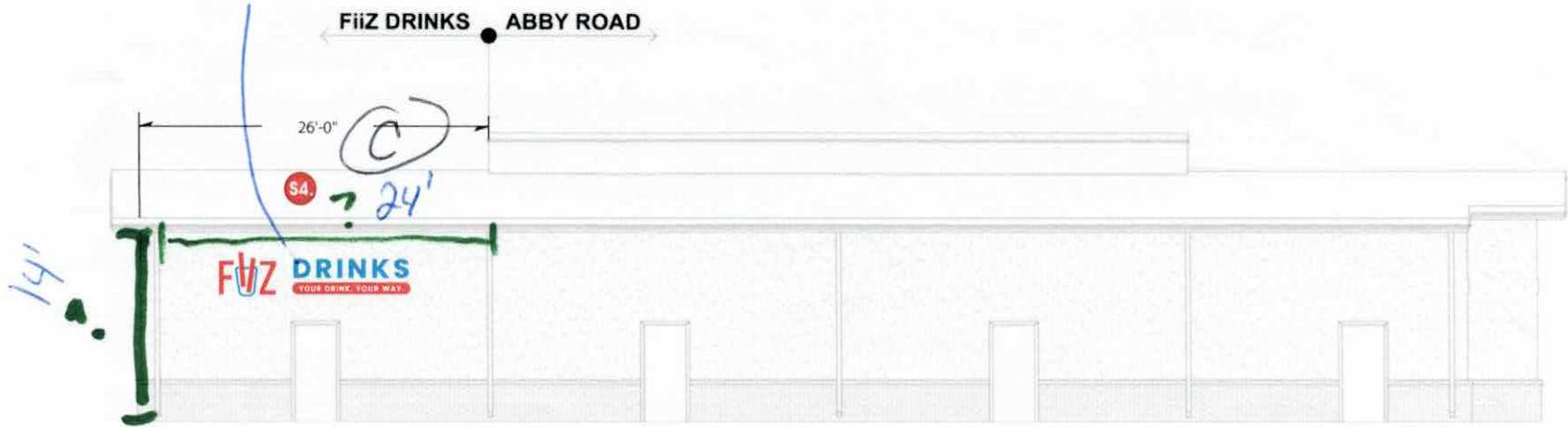
00.00.24

CALLOUT 3 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: L1C00247443 Idaho: RCE-29969  
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**S4.) NORTH ELEVATION**  
**FRONT LIT CHANNEL LETTERS**

Wall Park in the way - may have to patch



$$\begin{array}{r} 14' \\ - 8'' \\ \hline 13' 4'' \end{array}$$

$$\begin{array}{r} 13' 4'' \\ 3' 2'' \\ \hline 10' 2'' \end{array}$$

**CHANNEL LETTERS:**

SCALE: 1/8" = 1'-0"

**SQUARE FOOTAGE BREAKDOWN**

FASCIA: 26 Linear Ft.  
 CODE ALLOTMENT (2 SQ.FT/LIN FT.) = 52 sq. ft.  
 PROPOSED SIGNAGE: 43.5 sq. ft.

FILE LOCATION: Google Drive (G.) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS



CLIENT: Fiz Drinks  
 ADDRESS: 1812 Reynolds Road Suite #4  
 Bryant, Arkansas 72022  
 CONTACT: Amber Jones  
 PHONE #: 501-454-0487  
 EMAIL: amber@daicnet,llc  
 DATE: 07/15/24  
 DESIGNER: Courtney  
 ACCOUNT EXEC.: Regina Hewlett  
 FILE NAME: Fiz Drinks (Bryant) Sign Package 03

| REV | DATE     | BY | DESCRIPTION  |
|-----|----------|----|--|
| 1   | 07-12-24 | CC | additive for red in white background on monument brand vinyl |
| 2   | 07-15-24 | CC | all signage to have no outline or registration mark          |
| 3   | 08-01-24 | XX | xxx  |
| 4   | 08-01-24 | XX | xxx  |
| 5   | 08-01-24 | XX | xxx  |
| 6   | 08-01-24 | XX | xxx  |
| 7   | 08-01-24 | XX | xxx  |
| 8   | 08-01-24 | XX | xxx  |
| 9   | 08-01-24 | XX | xxx  |
| 10  | 08-01-24 | XX | xxx  |

|                   |           |
|-------------------|-----------|
| Client Approval   | DATE      |
| All Approvals     | SIGNATURE |
| Landlord Approval | DATE      |

TRACKED BY OUR  
**5 YEAR LED WARRANTY**

DATE: 00/00/24

CALLOUT 4 of 8

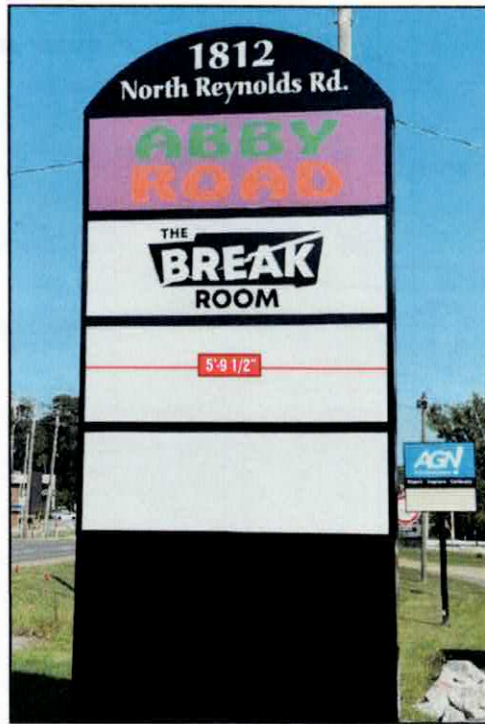
LOCATIONS: HG LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375609-5501 Nevada: 60486 Colorado: LC00247443 Idaho: RCE-29969  
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**S5.) EXISTING D/S MONUMENT**  
**FRONT-LIT CHANNEL LETTERS**

*Flat Poly Faces w/ translucent vinyl*

*Uo - 69 1/2" x 22 1/2"  
 1 1/2" Ref.*



**EXISTING CONDITIONS**  
 Not in Scale



**EXTERIOR**  
 Not in Scale



**CLIENT:** Fiiz Drinks  
**ADDRESS:** 1812 Reynolds Road Suite #4 Bryant, Arkansas 72022  
**DESIGNER:** Courtney  
**ACCOUNT EXEC.:** Regina Hewlett  
**FILE NAME:** Fiiz Drinks (Bryant) Sign Package 03

**CONTACT:** Amber Jones  
**PHONE #:** 501-454-0487  
**EMAIL:** amber@fiizdrinks.com  
**DATE:** 07/15/24

| REV | DATE     | BY | DESCRIPTION  |
|-----|----------|----|--|
| 1   | 07/15/24 | CC | options for red or white background on monument letter vinyl |
| 2   | 07/15/24 | CC | All signage to have no bubble or vegetation risk             |
| 3   | 08/01/24 | KX | envt   |
| 4   | 08/01/24 | KX | envt   |
| 5   | 08/01/24 | KX | envt   |
| 6   | 08/01/24 | KX | envt   |
| 7   | 08/01/24 | KX | envt   |
| 8   | 08/01/24 | KX | envt   |
| 9   | 08/01/24 | KX | envt   |
| 10  | 08/01/24 | KX | envt   |

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiiz Drinks-Fiiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

|                    |      |
|--------------------|------|
| Client Approvals   | DATE |
| NO APPROVALS       | GATE |
| Landlord Approvals | DATE |



|          |             |
|----------|-------------|
| STATUS   | NAME & DATE |
| REVISION | 00/00/24    |
| THREAT   | CALLOUT     |
|          | 5 of 8      |

**LOCATIONS:** HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969  
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A B C

**S1., S2. & S4.) SOUTH, EAST & NORTH ELEVATION  
FRONT LIT CHANNEL LETTERS**

**ALLIED TO MANUFACTURE & INSTALL  
QTY (3) SETS OF FRONT LIT CHANNEL LETTERS**

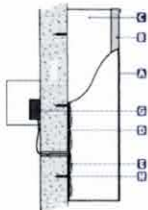
- A** FACES: 3/16" Trans White Plex w. Applied Vinyl
  - VINYL: Vinyl to Match V1 & V2
  - BUBBLES: to Have .040 White Aluminum Middles
- B** TRIMCAP: 1" White Trimcap
- C** RETURNS: 3" .040 White Aluminum
- D** BACKS: .063 Aluminum Stock Color
- E** ILLUMINATION: White LED's
- F** POWER SUPPLY: Remote Housed in Power Supply Box
- G** MOUNTING: Flush to Façade

- Visible Disconnect Switch at Sign
- 120V Service Supplied by Others

**POWER REQUIREMENTS:  
PROVIDED BY OTHERS**  
(1) 20 AMP Circuit / 120 Volts

**ACCURATE FIELD SURVEY REQUIRED  
PRIOR TO FABRICATION**

| VINYL SCHEDULE |                         |
|----------------|-------------------------|
| V1:            | 3M Poppy Red 3630-143   |
| V2:            | Crajet 3850 w. 8520 Lam |



**SIDE DETAIL - FRONT LIT CHANNEL LETTERS**  
Not to Scale

**CHANNEL LETTERS: 43.5 SQ. FT.**

SCALE: 3/4" = 1'-0"

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

**ALLIED ELECTRIC SIGN & AWNING**  
WWW.ALLIED-SIGN.COM

**CLIENT:** Fiz Drinks  
**ADDRESS:** 1812 Reynolds Road Suite #4 Bryant, Arkansas 72022  
**DESIGNER:** Courtney  
**ACCOUNT EXEC.:** Regina Hewlett  
**FILE NAME:** Fiz Drinks (Bryant) Sign Package 03

**CONTACT:** Amber Jones  
**PHONE #:** 501-454-0487  
**EMAIL:** amber@plajones.llc  
**DATE:** 07/15/24

| REV | DATE     | BY | DESCRIPTION   |
|-----|----------|----|---|
| 1   | 07-12-24 | CC | updates for led to white background on monument lettering vinyl |
| 2   | 07-18-24 | CC | All approve to have no bubble or registration mark              |
| 3   | 08-00-24 | XX | xxxx  |
| 4   | 08-00-24 | XX | xxxx  |
| 5   | 08-00-24 | XX | xxxx  |
| 6   | 08-00-24 | XX | xxxx  |
| 7   | 08-00-24 | XX | xxxx  |
| 8   | 08-00-24 | XX | xxxx  |
| 9   | 08-00-24 | XX | xxxx  |
| 10  | 08-00-24 | XX | xxxx  |

Client Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

All Account: \_\_\_\_\_ DATE: \_\_\_\_\_

Contract Approval: \_\_\_\_\_ DATE: \_\_\_\_\_

**5 YEAR LED WARRANTY**

NAME & DATE: \_\_\_\_\_

DATE: 08/08/24

Page: \_\_\_\_\_

CALLOUT: \_\_\_\_\_

6 of 8

LOCATIONS: HQ LINDON: 543 W. 1600 N. LINDON, UT LAS VEGAS: 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969  
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**S5.) D/S MONUMENT  
FRONT LIT CHANNEL LETTERS**

ALLIED TO MANUFACTURE & INSTALL  
QTY (2) SETS OF TENANT VINYL

- VINYL: To Match V1-V2
- MOUNTING: Flush to Tenant Panel

*Flat Poly Faces  
w/translucent vinyl*

ACCURATE FIELD SURVEY REQUIRED  
PRIOR TO FABRICATION

| VINYL SCHEDULE                        |  |
|---------------------------------------|--|
| V1: 3M Poppy Red 3630-143             |  |
| V2: Oracal 053 Light Blue 8500 Series |  |



VINYL: QTY 2

SCALE: 3/8" = 1'-0"



CLIENT: Fiz Drinks  
 ADDRESS: 1812 Reynolds Road Suite #4  
 Bryant, Arkansas 72022  
 CONTACT: Amber Jones  
 PHONE #: 501-454-0487  
 DESIGNER: Courtney  
 EMAIL: amber@clajones.com  
 ACCOUNT EXEC.: Regina Hewlett  
 DATE: 07/15/24  
 FILE NAME: Fiz Drinks (Bryant) Sign Package 03

| REV | DATE     | BY | DESCRIPTION   |
|-----|----------|----|---|
| 1   | 07-12-24 | CC | options for ad or white background on monument tenant vinyl |
| 2   | 07-15-24 | CC | All signage to have no outline or registration marks.       |
| 3   | 08-01-24 | XX | xxx   |
| 4   | 08-01-24 | XX | xxx   |
| 5   | 07-15-24 | XX | xxx   |
| 6   | 08-01-24 | XX | xxx   |
| 7   | 08-01-24 | XX | xxx   |
| 8   | 08-01-24 | XX | xxx   |
| 9   | 08-01-24 | XX | xxx   |
| 10  | 08-01-24 | XX | xxx   |

FILE LOCATION: Google Drive (G:) / Shared Drives / ALL JOBS / 2024-6355-Fiz Drinks-Fiz Drinks-Arkansas / 03 DESIGNER DRAWINGS

|                       |      |          |             |
|-----------------------|------|----------|-------------|
| Client Approval       | DATE | INITIALS | NAME & DATE |
| Site Approval         | DATE | INITIALS | 08/08/24    |
| Manufacturer Approval | DATE | INITIALS |             |
| CALLOUT               |      |          | 8 of 8      |



LOCATIONS: HQ LINDON, 543 W. 1600 N. LINDON, UT LAS VEGAS, 6845 SPEEDWAY BLVD. #K103, LAS VEGAS, NV 89115 Utah Contractors: 375809-5501 Nevada: 60486 Colorado: LIC00247443 Idaho: RCE-29969  
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**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Date: 8.20.24

### Sign Co. or Sign Owner

Name Action Sign  
 Address 2700 John Harden Drive  
 City, State, Zip Jacksonville, AR 7207  
 Phone 501.457.739  
 Email Address tim@actionsignandneon.co

### Property Owner


Name Fun Town R\  
 Address 22524 I-30  
 City, State, Zip Bryant, AR 7202  
 Phone 817.760.210  
 Email Address patrick.baker@funtownrv.co

### GENERAL INFORMATION

Name of Business Fun Town R'  
 Address/Location of sign 22524 I-30 Bryant, AR 7202  
 Zoning Classification \_\_\_\_\_

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I , do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

| SIGN | Type<br>(Façade, Pole,<br>Monument, other) | Dimensions<br>(Height, Length, Width) | Sqft<br>(Measured in<br>whole as<br>rectangle) | Height of Sign<br>(Measured from lot surface) |                   | Column for<br>Admin<br>Certifying<br>Approval |
|------|--|---------------------------------------|--|---|-------------------|---|
|      |  |                                       |  | Top of Sign                                   | Bottom of<br>Sign |   |
| A    | Road Sign Face                             | 102"x204'                             | 144.5  | 58.5'   | 50'               |   |
| B    | Building Sign - Ma                         | 4'x10'                                | 40   | 21.75   | 18'               |   |
| C    | Building Sign ·<br>Service                 | 4'x10'                                | 40   | 15'   | 11'               |   |
| E    |  |                                       |  |   |                   |   |
| F    |  |                                       |  |   |                   |   |
| G    |  |                                       |  |   |                   |   |



**Folder Name**  
K:\Art Department\2024\Fun Town RV

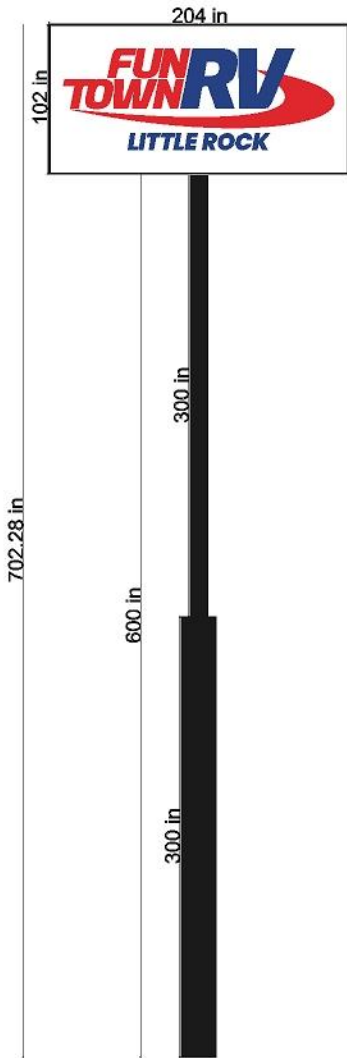
**Designer**

**File Name**  
Fun Town RV.fs

**Job Number**

**QTY: 2 SS Acrylic Sign Faces w/Install**

**QTY: 2 Sets of Face Lit Channel Letters Install 1 on Main & 1 on Service Bldg**



**Description**

**ARTWORK IS PROPERTY OF ACTION SIGN & NEON AND SHALL NOT BE DUPLICATED OR COPIED IN ANY MANNER.**



P. O. Box 188  
Jacksonville, AR 72076  
2700 John Harden Dr.  
Jacksonville, AR 72076

Ph 501-457-7391  
Ph/Text 501-712-0012  
Fax 501-457-7393

ARTWORK APPROVAL **MUST** BE MADE IN WRITING. THIS CAN BE DONE BY A SIMPLE EMAIL, TEXT, OR FAX WITH THE APPROVED ARTWORK ATTACHED. **PRODUCTION WILL NOT START OTHERWISE.**

|          |       |             |
|----------|-------|-------------|
| Customer | Name  | Design Time |
| Phone    | Email | Minutes     |
|          |       | 8/20/2024   |

**Design Time Pricing**  
Design time is at a rate of \$60 per hour, in 15 minute increments. Your first 15 minutes is **FREE.**

**COLORS SHOWN ARE FOR REFERENCE ONLY. COLORS MAY VARY.**



**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: August 6, 2024

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

**Sign Co. or Sign Owner**

Name ACE Sign Company  
 Address 11935 Interstate 30  
 City, State, Zip Little Rock, AR 72209  
 Phone 501-562-0800  
 Alternate Phone \_\_\_\_\_

**Property Owner**

Name Goodwill Industries of Arkansas  
 Address 7400 Scott Hamilton Drive  
 City, State, Zip Little Rock, AR 72209  
 Phone 501-372-5100  
 Alternate Phone \_\_\_\_\_

**GENERAL INFORMATION**

Name of Business Goodwill Industries of Arkansas  
 Address/Location of sign 5914 Hwy 5 N, Bryant AR 72022  
 Zoning Classification C2

**Please use following page to provide details on the signs requesting approval.** Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

**READ CAREFULLY BEFORE SIGNING**

I, Tonya Hulett, Project Manager, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

| SIGN | Type<br>(Façade, Pole,<br>Monument, other) | Dimensions<br>(Height, Length, Width) | Sqft<br>(Measured in<br>whole as<br>rectangle) | Height of Sign<br>(Measured from lot surface) |                   | Column for<br>Admin<br>Certifying<br>Approval |
|------|--|---------------------------------------|--|---|-------------------|---|
|      |  |                                       |  | Top of Sign                                   | Bottom of<br>Sign |   |
| A    | Existing Pole Sign                         | 13' 5 3/4" x 10' 1"                   | 136  | 24' 6"  | 14' 5"            |   |
| B    |  |                                       |  |   |                   |   |
| C    |  |                                       |  |   |                   |   |
| E    |  |                                       |  |   |                   |   |
| F    |  |                                       |  |   |                   |   |
| G    |  |                                       |  |   |                   |   |

**ORDINANCE 2012 - 29**

**AN ORDINANCE REGULATING SIGNS WITHIN THE CITY LIMITS OF THE CITY OF BRYANT,  
ARKANSAS; AND FOR OTHER PURPOSES.**

WHEREAS, the City of Bryant Arkansas desires to promote beautification efforts and promote the use of signs in the city which are safe, aesthetically pleasing, compatible with their surroundings and legible in the circumstances in which they are seen.

WHEREAS, the City of Bryant recognizes the need for a well-maintained and attractive physical appearance of the community and the need for adequate business identification for the conduct of competitive commerce.

WHEREAS, the City of Bryant desires to reduce sign or advertising distractions which may increase traffic accidents by distracting driver's attention from the roadway;

**NOW BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BRYANT, ARKANSAS:**

**SECTION 1: Enactment of Attached Sign Ordinance Regulations.**

The City Council of Bryant, Arkansas hereby approves and adopts by reference the Sign Ordinance. Said Ordinance shall be filed in the office of the City Clerk of the City of Bryant, Arkansas and from the date on which this ordinance shall take effect the provisions thereof shall be controlling within the limits of the City of Bryant and those areas in the territory subject to Bryant zoning regulations.

**SECTION 2: Severability and General Repealer.**

That all ordinances and part of ordinances of a permanent and general nature in effect at the time of adoption of this ordinance and not included herein, are hereby repealed where they are in conflict with this ordinance.

All Ordinances and resolutions and parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

**Section 3: Emergency Clause.**

An emergency is hereby declared, it being necessary to protect the health and safety of the citizens of Bryant, Arkansas such that this Ordinance shall have full force and effect immediately upon its passage.

**PASSED AND APPROVED THIS 27th DAY OF September, 2012, BY THE CITY COUNCIL OF BRYANT, ARKANSAS.**

  
\_\_\_\_\_  
Jill Dabbs, Mayor

Attest:

  
\_\_\_\_\_  
Heather Kizer, City Clerk

## *Purpose and Scope*

# **SECTION ONE**

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### **Purpose**

Signs are an important and necessary means of communication. When properly regulated, signs can serve as a great economic and aesthetic asset. In enacting this Ordinance, it is the intent of the City of Bryant to promote commerce and the use of attractive signage, facilitate traffic safety, and to comprehensively address community aesthetic concerns about visual clutter and blight in the environment. The regulation of signs in the City is intended to cultivate an aesthetically-pleasing environment with these concerns in mind. Sign regulation shall be consistent with land use patterns, and signs shall add to, rather than detract from the architecture of the buildings where they are located. Signs shall be well maintained and, in addition, shall not create traffic safety hazards. The regulation of signs in the City of Bryant is intended to be content-neutral and to provide adequate opportunity for the presentation of messages of all kinds.

### **Scope**

The primary intent of the Ordinance shall be to regulate signs intended to be viewed from any vehicular or pedestrian public right-of-way.

This Ordinance shall relate signage to building design, particularly integral decorative or architectural features of buildings. This Ordinance shall not regulate official traffic or government signs, control devices or signals; the copy and message of signs; signs not intended to be viewed from a public right-of-way; product dispensers and point of purchase displays; scoreboards on athletic fields; gravestones, barber poles; religious symbols; awning signs; decorations which are seasonal, clearly incidental and customarily associated with any national, local, or religious observance; the display of street numbers; and signs not exceeding one square foot in area and bearing only property numbers, postbox numbers, or names of occupants of premises.

### **Applicability**

**No signs shall be erected or maintained in any land use district established by the City's Zoning Ordinance, except those signs specifically permitted in this ordinance. The number and area of signs as outlined in this ordinance are intended to be maximum standards.**

All signage shall adhere to the guidelines and regulations detailed within this Ordinance and any and all other current laws pertaining to signage.

# SECTION TWO

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## *General Provisions*

It shall hereafter be unlawful for any person to erect, place, or maintain a sign in the City of Bryant except in accordance with the provisions of this Ordinance.

### Section 2.01 - Signs Prohibited

The following types of signs are prohibited in all districts:

- 1) Abandoned signs.
- 2) Signs imitating or resembling official traffic or government signs or signals.
- 3) Signs imitating warning signals.
- 4) Signs within Right-of-Way. No sign whatsoever, whether temporary or permanent, except erected by an official governmental agency is permitted within any street or highway right-of-way.
- 5) No signs may be painted on or attached to trees, rocks, or other natural formations, fence posts, utility poles, public benches, streetlights, or building roofs.
- 6) Portable signs. A portable sign is any sign designed to be moved easily and not permanently affixed to the ground or to a structure or building.
- 7) Off-premise/off-site signs, except as permitted by Bryant Billboard Ordinance No. 2006-42.
- 8) Signs that are mounted, attached, or painted on trailers, boats or vehicles when parked to be used as additional signage on or near a business premises; and similar signs. No vehicle or trailer with advertising message mounted or painted thereon may be parked continuously for more than 15 consecutive calendar days in any zoning district, so that it becomes an advertising sign. Such vehicles or trailers parked on active construction sites or within a commercial zoning district with an approved temporary business permit for the vehicle or trailer are exempt from this regulation.

### Section 2.02 - Permits Required

Unless otherwise provided by this Ordinance, all new signs shall require permits and payment of fees as described in this ordinance. No permit is required for the maintenance of a sign or for a change of copy on painted, printed, or changeable copy signs.

**Section 2.03 - Signs Not Requiring Permits** The following types of signs are exempt from the permit requirements but must be in conformance with all other requirements of the ordinance:

- 1) On-Premise directional signs of six (6) square feet or less
- 2) Nameplates of two (2) square feet or less, non-illuminated, attached to building or structure, or supported by a post and arm structure, 1 per occupancy
- 3) Official public safety signs/devices, traffic control devices and signals.
- 4) Window signs
- 5) Incidental signs
- 6) Signs created by landscaping by which the letters and/or symbols are composed entirely of approved landscape elements.
- 7) Sign face changes not requiring any change to the structure of a sign
- 8) A-frame signs.

- 9) Inflatable signs less than ten (10) feet high, by ten (10) feet wide, ten (10) feet deep or one-thousand (1000) cubic feet. Larger inflatable signs require a permit and are allowed for a special event one time per year for a maximum of 30 days.
- 10) Blade signs.
- 11) Temporary signs. A Temporary sign is a sign that is advertising an event or special sale that is viewable by the public for less than seven (7) days.
- 12) Real estate signs on the premises of property for sale.

### Section 2.04 - Lighting

- 1) Unless otherwise prohibited by this Ordinance, all signs may be illuminated. No illuminated sign shall be permitted which faces the front, side or rear lot lines of any residential lot regardless of zoning district and is located within fifty (50) feet thereof.
- 2) Every part of the light source of any illuminated sign shall be concealed from view from vehicular traffic in the public right-of-way or adjacent property. The light shall not travel from the light source directly to vehicular traffic in the public right-of-way or adjacent property, but instead shall be visible only from a reflecting or diffusing surface.
- 3) This provision shall not apply to neon tube lighting or electronic message centers operating in accordance with this ordinance.
- 4) Backlit Illuminated Awnings - Unless expressly provided otherwise in this ordinance, awning signs may be illuminated, including without limitation by backlighting.
- 5) Electronic message centers shall be illuminated in accordance with Section 2.05 of this Ordinance.

### Section 2.05 - Changeable Copy

Unless otherwise specified by this Ordinance, any sign herein allowed may use manual changeable copy or electronic message centers as follows:

- 1) Electronic message centers in C-2 Commercial Zoning Districts may display animation so long as flashing is not utilized.
- 2) Electronic message centers in C-1 and C-2 Commercial Zoning Districts may display static images. Such static images shall remain in place on the sign for a period of at least two seconds prior to transitioning to another static image. Frame effects shall be permitted for transition from one static image to the next so long as animation and flashing are not utilized.
- 3) Electronic message centers are not allowed in any residential zoning district.
- 4) All electronic message centers must be equipped with automatic dimming technology which automatically adjusts the sign's brightness in direct correlation with natural ambient light conditions.
- 5) No electronic message center shall exceed a brightness level of 0.3 foot candles above ambient light as measure using a foot candle (Lux) meter at a distance set by the industry standard as defined by the Outdoor Advertising Association of America.

### Section 2.06 - Sign Projections from Buildings

Signs attached to and wholly supported by a building shall not project more than eight (8) feet from any building and the bottom of such sign shall not be less than ten (10) feet above the sidewalk or fourteen (14) feet above a vehicular right of way and shall not project into the public right-of-way.



### **Section 2.07 - Sign Similarity to Official Signs**

No sign may be placed or designed so as to simulate or interfere with traffic control devices or official highway signs.

### **Section 2.08 - Obstruction of Vision**

No sign shall be erected on any corner lot in such a manner as to obstruct pedestrian or vehicular vision. This requirement supersedes all other setback and coverage regulations.

### **Section 2.09 - Interference With Utilities**

No part of any sign shall be located within or over the designated safety zone of any utility easement.

### **Section 2.10 - Signs Viewed from Public Right of Ways**

No person shall erect, fasten, or attach in any way any sign or other advertising message upon any property within the city which is facing or visible from any public street, unless legally authorized under the terms of this Ordinance. These regulations shall apply to all signs and billboards in all districts, subdivisions and zones within the City of Bryant.

### **Section 2.11 - Setback Requirements**

No Sign shall be erected or maintained except in conformity with the following setback requirements:

- 1) Front: Signs shall be set back a minimum of 10 feet from back of curb, edge of roadway surface, or street right-of-way, whichever is greater.
- 2) Side: All signs shall be set back a minimum of 10 feet from the nearest side property line.

Exceptions: The above setback requirements shall not apply to those signs mounted on building walls lawfully sited within the setback space, when such signs otherwise conform to the provisions of this ordinance.

### **Section 2.12 - Sign Erection Deadline**

Permits for any sign not completely erected within twelve months of date of issuance shall be void.

### **Section 2.13 - Inspections**

All signs are subject to inspection by the Building Official or Code Enforcement, who may revoke any permit or order any sign removed upon notice and for cause as set out in Section 4.03, Section 6.07, and Section 6.08.

# SECTION THREE

## *Specific Requirements by Sign Type and Zoning District*

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### Section 3.01 - Specific Requirements by Sign Type

The following apply to specific types of signs located in the city.

- 1) Temporary signs are allowed. Temporary signs are limited to a maximum of 32 square feet in size. Signs such as banners, pennants and posters are considered temporary signs.
- 2) Election Event Period - An election event period begins 70 calendar days prior to and ends 7 calendar days after any public election for which the county election commission has authorized. During this event period, a lot may contain an unlimited number of temporary signs with the consent of the property owner. Property owners or their authorized agents have the right to remove unauthorized signs from their property. In no event shall signs be located in the public right-of-way.
- 3) Signs that are constructed, removed, destroyed or replaced shall be replaced only with a monument or ground-mounted sign which conforms to this Ordinance along the roadways listed below. Monument or ground-mounted signs shall be allowed to advertise on-premise businesses only.
  - a) A monument sign is a sign mounted directly to the ground. No poles or raised support structures shall be visible.
  - b) A ground-mounted sign is a permanent sign that has its supporting structure depending on the ground for attachment, and is made in such a way as to allow the supporting structure to be covered in a façade of shaped metal, brick or other durable material that matches the material encasing or surrounding the messaging area of the sign. No single pole sign, such as a telephone pole or other single wooden pole structure is allowed.
- 4) All Signs must be maintained and kept in good repair. Signs falling into disrepair, such as falling down, faded, broken, damaged, rusting, paint peeling, or tattered signs, shall be maintained and/or repaired or removed within 30 days of notice of the sign falling into disrepair. If the Director of Code Enforcement is unable to locate an owner of the sign, the Director may post the notice on the sign itself as effective notice of it falling into disrepair.
- 5) Monument and ground-mounted signs along the following listed roadways will conform to the specifications listed in 3.01(5)(b) below:
  - a) Roadways subject to this provision:
    - i) Springhill
    - ii) Highway 5 from Commerce Drive to Springhill Road;
    - iii) Hilldale Road
    - iv) Newly constructed Roads connecting to Raymar Overpass , North and South
    - v) Woodland Park Road
    - vi) Springhill Overpass to Woodland Park
    - vii) Prickett Road from Woodland Park to Reynolds Road
    - viii) Prickett Road
    - ix) Boone Road
    - x) Reynolds Road from Mills Park Road south to the City Limits line.

- xi) Mt. Carmel Road
- xii) Brandon Road
- b) The signage on roadways listed above are subject to the following specifications:
  - i) Lots or developments on less than 5 acres in size:
    - 1. Monument or ground-mounted sign may not exceed 8 feet in height and 64 sq ft.
  - ii) Lots or developments on property more than 5 acres, but less than 20 acres
    - 1. Monument or ground-mounted sign may not exceed 10 feet in height and 100 sq. ft.
  - iii) Lots or developments on property 20 acres or more in size:
    - 1. Monument or ground-mounted sign may not exceed 12 feet in height and 144 sq. ft.
- 6) Signs in Coordinated Shopping Center:
  - a) Each Coordinated Shopping Center may have one free-standing identification sign for each street frontage.
  - b) Additionally, each Center may have one directory sign, not exceeding 35 feet in height.
  - c) Individual tenants in the Center may each have business identification signs mounted on their façade; total sign area shall not exceed two square feet for each one linear foot of building façade fronting the public street or parking area.
- 7) Signs in commercial cul-de-sacs: A commercial subdivision forming a cul-de-sac for individual commercial lots may have a directory sign located at the entrance to the cul-de-sac. Such sign shall not exceed 35 feet in height and shall be located in a manner which does not restrict the view of traffic entering or exiting the subdivision.
- 8) Banners:
  - a) An unlimited number of banners may be affixed to buildings, subject to aggregate signage permitted by the zoning district.
  - b) All banners must be securely-affixed and kept in a safe, neat, and legible condition; banners shall not fall into disrepair. Banners falling into disrepair are subject to section 3.01(4) above.

### Section 3.02 - Signs permitted in Residential "R" Districts

Signs placed in residential districts, shall conform to the following regulations.

- 1) One sign which does not exceed two square feet in area is allowed and no permit is required.
- 2) Signs larger than two square feet but less than 32 square feet may be permitted by special permit process for such non-residential uses.
- 3) One additional nameplate sign, not to exceed two square feet in area, is allowed without permit for a dwelling group of four or more units to identify the building or as an occupant directory.
- 4) Temporary signs advertising a new subdivision of five or more lots are allowed by permit for up to one year. Such signs may not exceed 60 square feet in aggregate surface area, and can be no more than 15 feet in height, nor less than two feet above ground. Signs may be erected only at dedicated street entrances. If lots are not sold in one year, the contractor may request additional time to display the temporary sign from the Director of Code Enforcement or his designee. The request must be submitted in writing with a specified date for construction of permanent signage and removal of the temporary sign.

### Section 3.03 - Signs in Commercial C-1 District

Signs placed in the C-1 district shall conform to the following regulations.

- 1) All signs permitted in the Residential Districts are allowed in Commercial Districts.
- 2) Signs mounted on the building walls are permitted subject to a limit of one sign not exceeding one square foot per each one linear foot of building façade. Each exposed building wall may have one such wall-mounted façade sign.
- 3) Blade signs are allowed. A blade sign cannot exceed a total of five square feet of signage per side, must have at least six inches between the building wall and the edge of the sign nearest the building, and cannot project more than forty-two inches from the building wall on which it is mounted.
- 4) Free standing signs are permitted subject to the following:
  - a) Except as otherwise allowed in subsection 3.03(5) below, only one sign per lot or commercial street frontage where adequate lot size permits the sign to be located at least 10 feet from edge of curb, street surface, or right-of-way, whichever is greatest.
  - b) Sign height shall not exceed 20 feet, and sign shall be constructed to provide at least 10 feet of visual clearance from bottom of sign to lot surface.
- 5) The maximum aggregate surface area of all permitted signs for any establishment fronting one street shall not exceed 200 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 75 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.
- 6) Pole signs will be spaced no closer than 60 feet from any other pole sign.
- 7) The specific surface area of commercial signs displaying gasoline prices only shall be exempt from calculations of the total aggregate surface area.
- 8) Internal businesses and brands contained within a host business are allowed exterior signage. Sign area utilized by the internal business/brand shall be deducted from the sign area allowed for the host business sign area.

### Section 3.04 - Signs in Commercial C-2 Districts

Signs placed in C-2 districts shall conform to the following regulations.

- 1) All signs permitted in the Residential Districts are allowed in Commercial Districts
- 2) One façade sign is allowed per business. This sign shall not exceed two square foot for each one linear foot of building façade fronting a public street, and is to be mounted on the building wall. For businesses on corner lots, side walls facing public streets may have one additional façade sign subject to the same restrictions noted in this paragraph.
- 3) Blade Signs are allowed. A blade sign cannot exceed a total of five square feet of signage per side, must have at least six inches between the building wall and the edge of the sign nearest the building, and cannot project more than forty-two inches from the building wall on which it is mounted.
- 4) Free Standing signs are permitted subject to the following:
  - a) Except as otherwise allowed in subsection 3.04(5) below, only one sign per lot or commercial street frontage where adequate lot size permits sign to be located at least 10 feet from edge of curb, street surface, or right-of-way, whichever is greatest.
  - b) Sign height shall not exceed 25 feet or height of building whichever is less. Sign shall be constructed to provide at least 10 feet of visual clearance from bottom of sign to lot surface.

- 5) The maximum aggregate surface area of all permitted signs for any establishment shall not exceed 300 square feet. In the case of a corner lot fronting on two public streets, a business may display one sign on each street frontage and will be allowed to add an additional 100 square feet to the total maximum aggregate surface area of permitted signs, to be used only for signs on one of the street frontages. No single sign may utilize more than 50% the total maximum aggregate surface footage allowed under this ordinance.
- 6) Pole signs will be spaced no closer than 60 feet from any other pole sign.
- 7) The specific surface area of commercial signs displaying gasoline prices only shall be exempt from calculations of the total aggregate surface area.
- 8) Internal businesses and brands contained within a host business are allowed exterior signage. Sign area utilized by the internal business/brand shall be deducted from the sign area allowed for the host business sign area.

### Section 3.05 - Signs in the Airport Industrial District

Signs in the Airport Industrial District are governed by the regulations established specifically for that district.

### Section 3.06 - Signs in Planned Unit Development, (PUD) Districts

All signs in the PUD districts shall be submitted for review and approval as part of the PUD approval process.

## SECTION FOUR

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### *Nonconforming Signs*

#### Section 4.01 - Determination of Legal Nonconformity

- 1) A nonconforming sign is any permanent sign that was legally established and maintained in compliance with the provisions of all applicable laws in effect at the time of original installation but that does not comply with the provisions of this sign ordinance as of the date this ordinance is adopted.
- 2) A nonconforming sign, as defined above, shall be allowed continued use, except that the sign shall not be expanded, moved, or relocated, except in the case of street relocation. A nonconforming sign shall be allowed continued use even if ownership of the property changes.

#### Section 4.02 - Loss of Legal Nonconforming Status

A legal nonconforming sign shall lose this designation in the following instances:

- 1) When the sign is intentionally damaged or destroyed or fails to observe the following restrictions in cases of unintentional damage or destruction:
  - a) If the sign face is unintentionally damaged or destroyed, the face may be replaced. The sign face supporting structure may be temporarily placed on the ground in order to replace the sign face or service the structure.

- b) If the structural components of the sign including the face structure is damaged or destroyed, the structure and face may be replaced with a new face and structure not to exceed the size, height or location of the established nonconforming sign.
- 2) When the size of the sign is altered in any way, except toward compliance with this ordinance, it will lose its legal nonconforming status. This does not refer to change of copy, face of the sign, or normal maintenance. Normal maintenance does not include the replacement of structural elements.
- 3) When the sign(s) advertising a building/development contains the majority of the businesses/tenants and the building/development undergoes major redevelopment such as demolition or expansion requiring a building permit.  
Exceptions:
  - a) A remodel of an existing building will not cause the loss of legal non-conformity.
  - b) The construction of an additional building on the same property shall not cause the loss of legal non-conformity.
- 4) When the sign is expanded, moved, or relocated, except in the case of street relocation.

### Section 4.03 - Maintenance and Repair of Nonconforming signs

The legal nonconforming sign is subject to all requirements of this code regarding safety, maintenance, and repair. If a non-conforming sign is found to advertise a business that has been discontinued for ninety (90) days or more and the business' signs have been abandoned and/or fallen into disrepair (disrepair means broken, cracked, vandalized, torn, rotten, faded, faulty, defective, rusty or otherwise unsightly), the owner will be notified and if the condition(s) is not corrected within thirty (30) days, the sign will lose legal non-conforming status and shall be required to be removed.

## SECTION FIVE

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### *Construction Specifications and Maintenance*

#### Section 5.01 - Construction Specifications

Every sign, all parts, portions, and materials shall be manufactured, assembled, and erected in compliance with all applicable state, federal, and city regulations, building and electrical codes.

#### Section 5.02 - Construction and Maintenance

Every sign, including those specifically exempt from this ordinance in respect to permits and permit fees, and all parts, portions and materials shall be maintained and kept in good repair. The display surface of all signs shall be kept clean, neatly painted, free from rust corrosion and well maintained. If a sign is found to advertise a business that has been discontinued for ninety (90) days or more and the business' signs have been abandoned and fallen into disrepair the owner will be notified and if the condition(s) is not corrected within thirty (30) days, the sign shall be required to be removed.

# SECTION SIX

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## *Administration and Enforcement*

### Section 6.01 – Director of Code Enforcement

All sign permits shall be issued by the Director of Code Enforcement or his/her designee following design review and approval from the Development Review Committee.

The Director of Code Enforcement or his/her designee is empowered, upon presentation of proper credentials, to enter or inspect any building, structure, or premises in the City for the purpose of inspection of a sign and its structural and electrical connections to ensure compliance with all applicable codes and ordinances. Such inspections shall be carried out during business hours unless an emergency exists.

### Section 6.02 - Application for Permits

Application for a permit for the erection or relocation of a sign shall be made on a form provided by the Code Enforcement.

### Section 6.03 - Permit Fees

Sign permits filed with the Code Enforcement shall be accompanied by a payment of the initial permit fee for each new sign as required by the ordinance. The fee shall be thirty five dollars (\$35) per sign.

### Section 6.04 - Issuance and Denial

The Director of Code Enforcement or his/her designee shall issue a permit for the erection, structural alteration, or relocation of a sign provided that the sign complies with all applicable laws and regulations of the City. In all applications, where a matter of interpretation arises, the more specific definition or higher standard shall prevail. When a permit is denied, the Director of Code Enforcement shall give a written notice to the applicant along with a brief statement of the reasons for denial, citing code sections and interpretation of possible nonconformity. The Code Enforcement may suspend or revoke an issued permit for any false statement or misrepresentation of fact in the application.

### Section 6.05 - Inspection Upon Completion

Any person installing, structurally altering, or relocating a sign for which a permit has been issued shall notify the Code Enforcement upon completion of the work. The Director of Code Enforcement may require a final inspection, including an electrical inspection and inspection of footings on freestanding signs.

The Director of Code Enforcement may require at the time of issuance of a permit that written notification for an inspection be submitted prior to the installation of certain signs.

## Section 6.06 - Variances and Special Permits for Signs

### 1) Variances

A variance for height, location, type, etc. may be requested.

Requests for sign variances shall be in writing and shall be submitted along with the sign application. Such request shall demonstrate that special conditions or circumstances exist that are not applicable to other lands, structures, or buildings such that a literal interpretation of the ordinance would result in an undue hardship.

The Planning Commission shall review the request to determine if the variance should be granted.

If the Planning Commission should also decide to grant the variance, the variance shall be considered granted.

If the Planning Commission denies the variance or takes no action on the request within 30 days following the variance request appearing on its agenda, the variance shall be deemed denied. The applicant may then appeal the decision to the City Council. The appeal must be submitted to the Planning Department no less than thirty (30) working days from the date of the Planning Commission's decision or the deemed denied date whichever may apply. In order to be placed on the City Council agenda, the appeal must be submitted no less than eleven (11) days prior to the City Council meeting. If the decision is appealed but it is within the 11 days prior to the next City Council meeting, it shall be placed on the following month's regularly scheduled City Council meeting agenda.

A variance may be granted only when the requirements noted above have been met. Planning Commission or City Council shall grant only the minimum variance required to make possible the variance request, provided that such variance will be in harmony with the general purpose and intent of the ordinance and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

### 2) Special Sign Permit:

In certain circumstances, special sign permits may allow additional signs, sign area and directional message center signs. A special sign permit may be approved by the Planning Commission if the Commission deems a special circumstance exists which warrants the signage requested.

The following criteria shall be used in the review and approval of requests:

- (a) Conditions exist which are unique to the property or type and size of development, which would cause hardship under a literal interpretation of the sign code.
- (b) The proposed sign will not adversely affect other signs in the area.
- (c) The proposed signs will not be detrimental to properties located in the vicinity.
- (d) The proposed sign will not obscure fire hydrants, traffic signs or traffic signals, block motorists' line of sight, or otherwise inhibit or interfere with vehicular or pedestrian traffic.



- (e) Approval of the special sign permit will not constitute a grant of special privileges which is inconsistent with the limitations placed upon other properties in the vicinity having similar circumstances.

The Planning Commission may attach any additional requirements necessary to maintain the intent and purpose of the sign ordinance, in the interest of the public.

An application for special sign permit shall be accepted by the Planning Commission at a regularly scheduled meeting along with the payment of the application fees. A public hearing shall be scheduled for the next regularly scheduled meeting date of the Planning Commission.

3) **Fee for Sign Variance:**

The fee for any sign variance or special sign permit request shall be one hundred dollars (\$100).

### Section 6.07 - Violations

In cases of emergency, the Director of Code Enforcement or his designee may cause the immediate removal of a dangerous or defective sign without notice. Signs removed in this manner must present a hazard to the public safety as defined in the local building or traffic codes.

In cases of illegal signs placed in the public right-of-way, or if banners or temporary signs become faded, worn or tattered; or have become detached from the structure designed to support the signage, the Director of Code Enforcement or his designee may cause immediate removal of the sign without notification of the owner of the sign.

### Section 6.08 - Removal of Signs by the Director of Code Enforcement

Signs located within the public right-of-way or which fail to comply with the written orders of removal or repair are subject to removal, the Director of Code Enforcement or his designee may order removal of the sign in question. After removal, a notice shall be mailed to the sign owner stating the nature of the work and the date on which it was performed and demanding payment of the costs as certified by the Director of Code Enforcement or his designee. Alleged violators shall have sixty (60) days from the date of said notice in which to appeal to the Planning Commission. If the amount specified in the notice is not paid within sixty (60) days of the notice and no appeal to the Planning Commission has been formally lodged, it shall become an assessment upon a lien against the property of the sign owner, and will be certified as an assessment against the property together with a ten percent (10%) penalty for collection in the same manner as the real estate taxes

The owner of the property upon which the sign is located shall be presumed to be the owner of all signs thereon unless documented facts to the contrary are brought to the attention of the Director of Code Enforcement or his designee, as in the case of a leased sign. For purposes of removal, the definition of sign shall include all embellishments and structures designed specifically to support the sign.

Removed signs shall be stored at a location designated by the sign Director of Code Enforcement or his designee pending return to the owner(s). Signs will be stored in such a manner as to minimize damage

to them. The sign Director of Code Enforcement or his designee will notify the owner of all removal costs and the procedures for retrieving the removed sign(s).

Temporary signs located within the street right-of-way will be removed without notice and stored for 30 days pending return to owners.

### Section 6.09 - Penalties

Any person who fails to comply with the provisions of the Ordinance within ten (10) days after a notice by the Director of Code Enforcement or his designee may be subject to a fine of \$25 per day, per occurrence that the violation continues.

## **SECTION SEVEN**

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### *Conflict, Severability, and Effective Date*

#### Section 7.01 - Conflict

If any portion of this code is found to be in conflict with any other provision of any zoning, building, fire, safety, or health ordinance of the City code, the provision which establishes the stricter standard shall prevail.

#### Section 7.02 - Severability

If any section, subsection, sentence, clause, or phrase of this code or its application to any person or circumstance is held invalid by the decision of any court of competent jurisdiction, the remainder of this code, or the application of the provision to other persons or circumstances is in effect and shall remain in full force and effect.

#### Section 7.03 - Effective Date

This code shall take effect and be in force upon passage of the Ordinance.

# ARTWORK APPROVAL



PLEASE READ CAREFULLY


ALL PAGES PROVIDED IN THIS DOCUMENT MUST BE SIGNED

Please be advised that all pages of the document displaying artwork proofs must be thoroughly reviewed in their entirety. It is imperative to examine each page carefully to ensure accuracy, orientation, completeness, and satisfaction with the design.

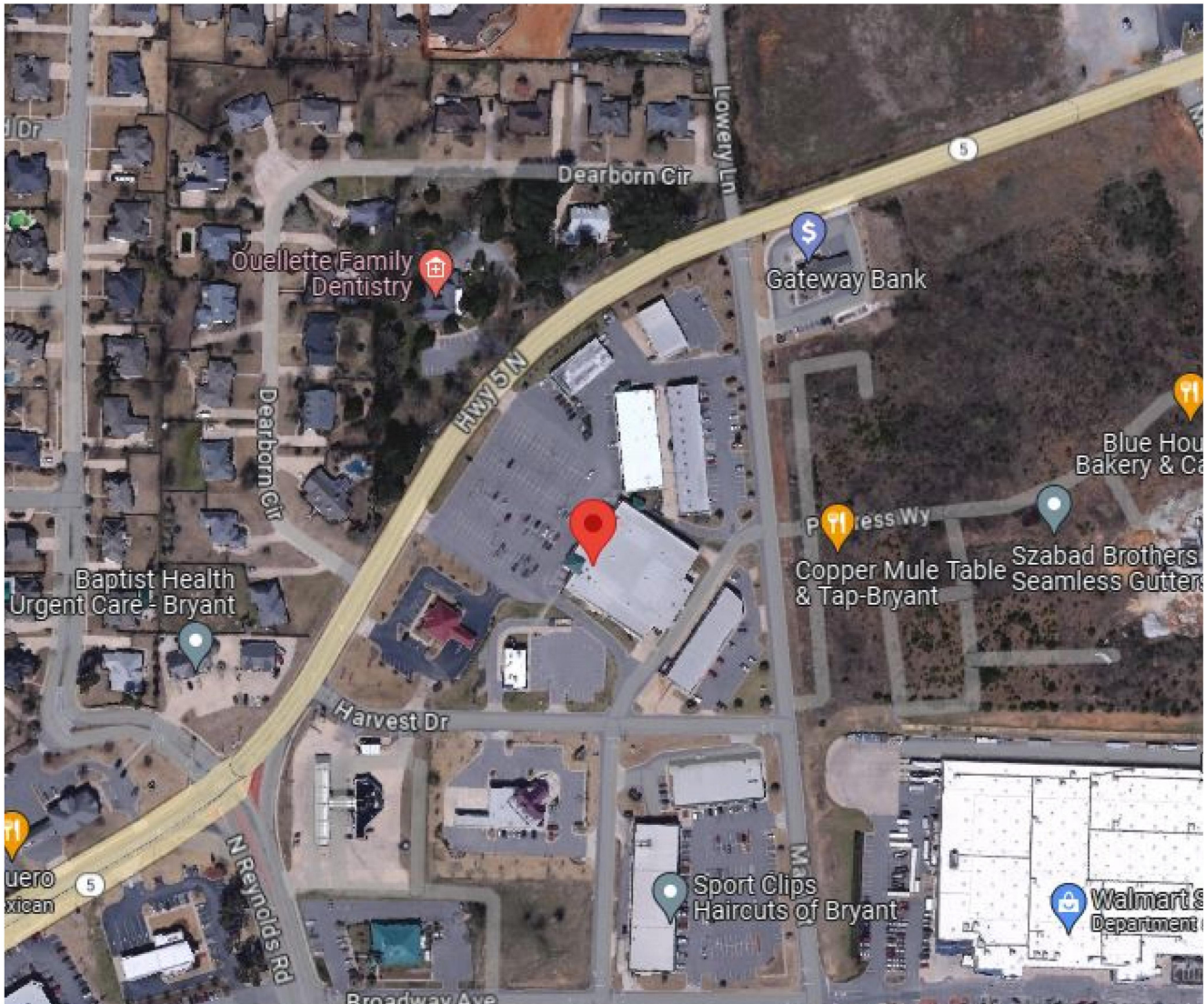
Upon completion of the review, each page must be signed by the responsible individual or authorized representative to indicate approval. Your signature serves as confirmation that you have reviewed and accepted the artwork as presented.


Production of your signage order will commence only after all pages have been reviewed and signed. Failure to review and sign each page may result in delays in production and may affect the final outcome of your signage.

We appreciate your attention to this important step in the process and thank you for your cooperation. If you have any questions or concerns regarding the artwork proofs or the approval process, please do not hesitate to contact us.

|  |  |  |                                      |
|--|--|--|--------------------------------------|
|    | <b>PROPERTY BRAND/EXTENSION:</b><br>Goodwill | <b>PROPERTY LOCATION:</b><br>5914 Hwy 5 N Bryant, AR 72022 | <b>PROPERTY CODE:</b><br>TBD         |
|  | <b>DATE:</b><br>08/01/2024                   | <b>SALES REP:</b><br>Tonya Hulett                          | <b>PREPARED BY:</b><br>Victoria Phan |
| <small>©2022 ACE Company &amp; Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. <b>Please double check colors, sizes, placement, description, and spelling errors before signing.</b> After payments and signed approval, the artwork is now owned by the customer.</small> |  |  | <b>INITIALS:</b> _____               |

# LOCATION MAP



|  |  |  |                                      |
|--|--|--|--------------------------------------|
|    | <b>PROPERTY BRAND/EXTENSION:</b><br>Goodwill | <b>PROPERTY LOCATION:</b><br>5914 Hwy 5 N Bryant, AR 72022 | <b>PROPERTY CODE:</b><br>TBD         |
|  | <b>DATE:</b><br>08/01/2024                   | <b>SALES REP:</b><br>Tonya Hulett                          | <b>PREPARED BY:</b><br>Victoria Phan |
| <small>©2022 ACE Company &amp; Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. <b>Please double check colors, sizes, placement, description, and spelling errors before signing.</b> After payments and signed approval, the artwork is now owned by the customer.</small> |  |  |                                      |

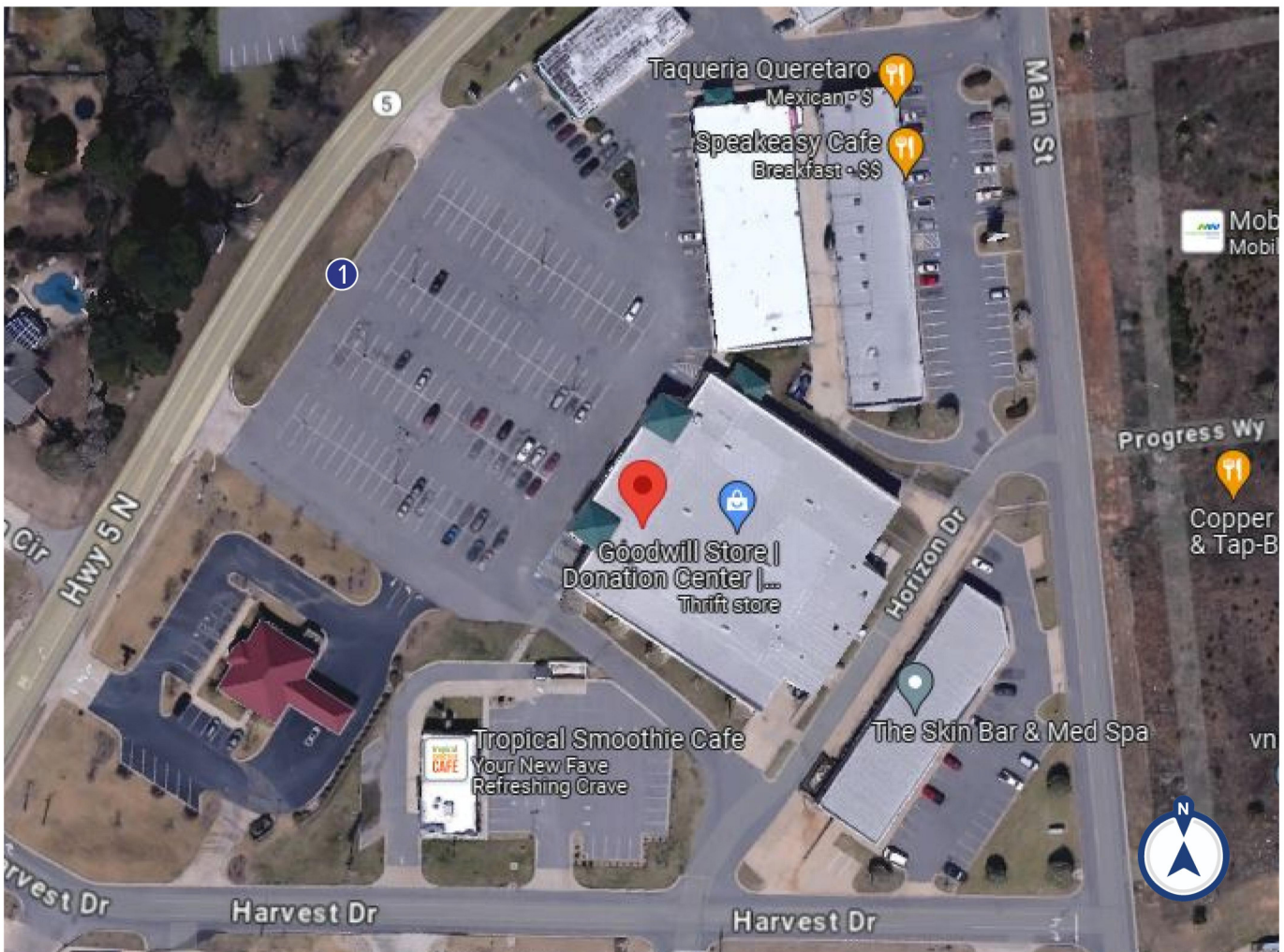
# SITE PLAN

## PROPOSED SIGNS:

- 1 MID-RISE

## EXISTING SIGNS:

- 1 MID-RISE



|  |                                   |  |  |                              |
|--|-----------------------------------|--|--|------------------------------|
| <b>PROPERTY BRAND/EXTENSION:</b><br>Goodwill   |                                   | <b>PROPERTY LOCATION:</b><br>5914 Hwy 5 N Bryant, AR 72022 |  | <b>PROPERTY CODE:</b><br>TBD |
| <b>DATE:</b><br>08/01/2024   | <b>SALES REP:</b><br>Tonya Hulett | <b>PREPARED BY:</b><br>Victoria Phan                       |  |                              |
| <small>©2022 ACE Company &amp; Ace Signs of Arkansas, LLC. All Rights Reserved. This design is the property of ACE Company and are the result of original work of its employees. They are submitted to your company for the purpose of consideration to purchase from ACE Company, a project according to this design. Exhibition to anyone other than employees of your company or use of this design or to create a design that is similar without written approval from ACE Company is a violation of copyright. In the event that such violation occurs, ACE Company shall be paid for the full amount of any project using a similar design. The colors and dimensions are approximate and may vary from the actual product. Customer must Sign and Date for artwork approval to confirm they are ready for production. <b>Please double check colors, sizes, placement, description, and spelling errors before signing.</b> After payments and signed approval, the artwork is now owned by the customer.</small> |                                   |  |  | <b>INITIALS:</b> _____       |

EXISTING



PROPOSED



RENDERINGS NOT TO SCALE



H6'-1" x W13'-5 3/4" Face with applied graphics  
 H4' x W13'-5 3/4" Face with applied graphics

- PANTONE WHITE
- PANTONE BLACK

- PANTONE REFLEX BLUE

|  |  |  |                                      |
|--|--|--|--------------------------------------|
| <b>ACE<br/>SIGNS</b>   | <b>PROPERTY BRAND/EXTENSION:</b><br>Goodwill | <b>PROPERTY LOCATION:</b><br>5914 Hwy 5 N Bryant, AR 72022 | <b>PROPERTY CODE:</b><br>TBD         |
|  | <b>DATE:</b><br>08/01/2024                   | <b>SALES REP:</b><br>Tonya Hulett                          | <b>PREPARED BY:</b><br>Victoria Phan |
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92783



City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.  
The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 8-29-24

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

### Sign Co. or Sign Owner

Name Signs & Lines  
Address 6821 Scott Hamilton Dr  
City, State, Zip LR, AR 72209  
Phone 501-562-7446  
Alternate Phone NONE

### Property Owner

Name Chris Walker  
Address 6610 Hwy 229  
City, State, Zip Traskwood, AR 72117  
Phone 501-551-5502  
Alternate Phone 501-804-4345

### GENERAL INFORMATION

Name of Business Fence Brokers  
Address/Location of sign 25736 I-30 N Bryant, AR 72022  
Zoning Classification \_\_\_\_\_

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

### READ CAREFULLY BEFORE SIGNING

I Chris Walker, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

**Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.**

| SIGN | Type<br>(Façade, Pole,<br>Monument, other) | Dimensions<br>(Height, Length, Width) | Sqft<br>(Measured in<br>whole as<br>rectangle) | Height of Sign<br>(Measured from lot surface) |                   | Column for<br>Admin<br>Certifying<br>Approval |
|------|--|---------------------------------------|--|---|-------------------|---|
|      |  |                                       |  | Top of Sign                                   | Bottom of<br>Sign |   |
| A    | FAÇADE                                     | 60" x 450" x 8"                       | 125 sq ft                                      | 210"  | 150"              |   |
| B    | FAÇADE                                     | 48" x 360" x 8"                       | 85 sq ft                                       | 168"  | 120"              |   |
| C    |  |                                       |  |   |                   |   |
| E    |  |                                       |  |   |                   |   |
| F    |  |                                       |  |   |                   |   |
| G    |  |                                       |  |   |                   |   |

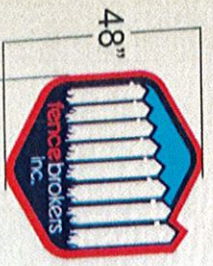




# FENCE BROKERS INC.

122.5 SF

450"



# FENCE BROKERS INC.

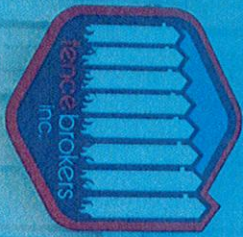
81 SF

360"




# FENCE BROKERS INC.





# FENCE BROKERS INC.

fencebrokersinc.  
**Office &  
Customer  
Parking**



AUTHORIZED  
PERSONNEL  
ONLY  
DO NOT ENTER

