



# Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

**Date:** November 27, 2024 - **Time:** 9:00 AM

## Call to Order

## Old Business

### 1. Window World - 511 Boone Road - New Driveway

*Hannah Newlin - Requesting Approval for New Additional Driveway*

- [0905-PLN-01.pdf](#)

## New Business

### 2. A-1 Fireworks - 25612 I-30 - Temporary Business Permit

*Joan Rey - Requesting Approval for Temporary Business Permit for Fireworks Stand*

- [0927-APP-01.pdf](#)

### 3. Bethel Middle School - Solar Field Project

*Joshua Thompson - Requesting Recommendation on Approval of Solar Field project located at Bethel Middle School*

- [0929-PLN-01.pdf](#)

### 4. Gen Wealth - 4756 Bryant Parkway - Site Plan

*Phillip Lewis Engineering - Requesting Site Plan Approval*

- [0928-PLN-01.pdf](#)

### 5. 2714 Lavern Dr - Conditional Use Permit

*Vanessa Guerra - Requesting Recommendation for Approval of Conditional Use Permit for Duplex*

- [0908-APP-01.pdf](#)

### 6. 2711 Springhill Road - Rezoning C-1 to C-2

*Mohammad Tariq - Requesting Recommendation for Rezoning from C-1 to C-2*

- [0930-APP-01.pdf](#)

### 7. 2711 Springhill Road - Conditional Use Permit

*Mohammad Tariq - Requesting Recommendation for Approval of CUP for the use of Automobile Sales & Leasing - Small Lot*

- [0931-APP-01.pdf](#)

## **Staff Approved**

### **8. Jeffus Family Dentistry - 23233 I-30 - Sign Permit**

*Pinnacle Signs - Requesting Sign Permit Approval - STAFF APPROVED*

- [93148-SGNAPP-01.pdf](#)

## **Permit Report**

## **Adjournments**



We would like to add a

40' x 24"

Culvert for driveway additional Entrance

Current Entry

Boone Rd

511 Boone Rd.

Boone Rd

102

100

101

103

18

19

517





City of Bryant, Arkansas  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943



## Temporary Business Application For the Sale of Fireworks

- Applications are due by 5:00PM Wednesday the week prior to the Scheduled Development and Review Committee Meeting.
- Application Deadlines and dates can be found at [www.cityofbryant.com](http://www.cityofbryant.com) under the Community Development tab.

Date: November 6, 2024

**Business Information:**

Name A-1 Fireworks  
 Federal Tax Employer ID Number 26-1711923  
 Arkansas State Sales Tax Number 00318073-5L5  
 Location of Proposed Temporary Business 25612 I-30, Bryant, AR, 72022

**Business Owner:**

Name Michael Gonzola  
 Address 24341 State Hwy 10 East  
01A, AR, 72853  
 Phone 479-489-3298  
 Email mikegonzola65@gmail.com

**Contact Person:**

Name Joan Rey  
 Address 24341 State Hwy 10 East  
01A, AR, 72853  
 Phone 479-747-9304  
 Email joanrey@a1fireworks.com

**Checklist for Submission**

- Completed Application and Checklist
- Twenty-Five Dollar (\$25.00) Application fee
- Provide proof of 1,000,000 Liability Insurance or Surety Bond worth the same amount.  
 (Further information on the details of liability insurance can be found in Section 2-4 of the Temporary Business Section of the Bryant Business Ordinance.)

(Continued on Page 2)

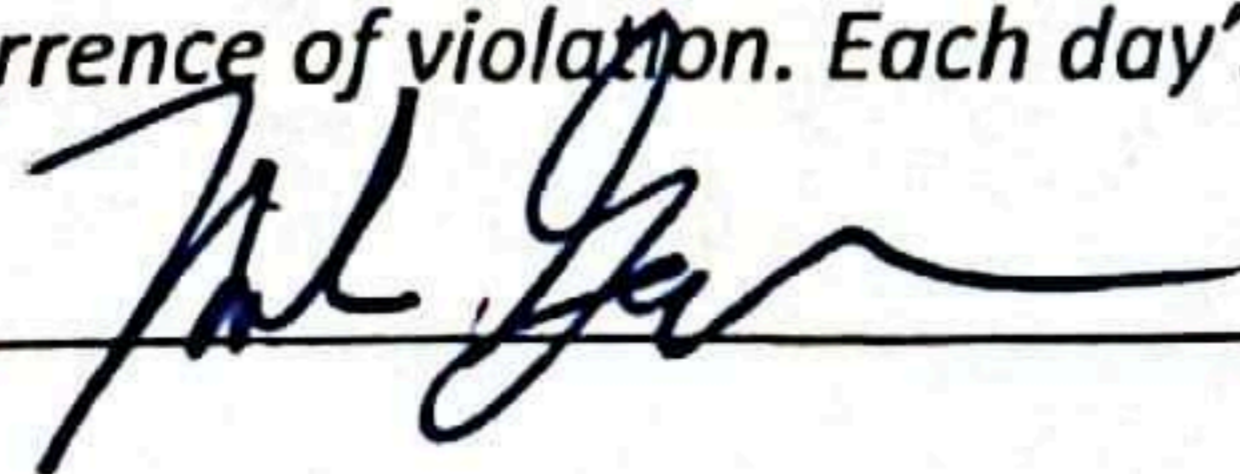


- Eight (8) copies of a **Site Plan**:
  - Site Plan shall be to scale, all structures shall be identified. Clear identification of any open display areas
  - Fireworks tent / canopy shall have a minimum 50ft. setback from all other structures
  - Show parking spaces dedicated by the owner of the property for use by the temporary business.
- Exits shall be provided every 100 ft. with a minimum of 2 remotely located exits  
Minimum exit width shall be 72 in. All exits shall be identified with proper signage
- No smoking permitted within 50 ft. of firework tent / canopy. "NO SMOKING" signs shall be posted at all entrance / exits
- 2 ABC fire extinguishers, with a 2A rating or greater, shall be provided. The maximum travel distance to an extinguisher shall not exceed 75 ft. Additional extinguishers may be required. Extinguishers shall be clearly visible, marked with appropriate signage, and mounted height of not less than 36 in. from the ground
- Generators or other combustion power sources, including fuel, shall be separated from tents / canopies by a minimum of 25 ft.
- Applicant shall contact the Bryant Fire Dept. Fire Marshal's office and schedule an inspection once the business is ready for operation. The inspection shall be conducted prior to any sales to the public are allowed. Contact: 501-943-0964

**READ CAREFULLY BEFORE SIGNING**

I \_\_\_\_\_, do hereby certify that all information contained within this application is true and correct. I further certify that I agree too and will abide by all Temporary Business rules and regulations as outlined in the Bryant Business Ordinance. I also understand that I shall comply with all additional applicable ordinances of the City as well as the requirements of all state and federal laws. Furthermore, I understand violation of Temporary Business Ordinance 2007-43 is a misdemeanor punishable by a fine of up to \$500.00 per occurrence of violation. Each day's occurrence is a separate violation.

Owners Signature \_\_\_\_\_







# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/30/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Acrisure, LLC dba Britton Gallagher 3737 Park East Dr. STE 204 Beachwood OH 44122	<b>CONTACT NAME:</b> PHONE (A/C, No, Ext): 216-658-7100		<b>FAX (A/C, No):</b> 216-658-7101
	<b>E-MAIL ADDRESS:</b>		
<b>INSURER(S) AFFORDING COVERAGE</b>			
<b>INSURER A:</b> Everest Indemnity Insurance Co.			<b>NAIC #</b> 10851
<b>INSURER B:</b>			
<b>INSURER C:</b>			
<b>INSURER D:</b>			
<b>INSURER E:</b>			
<b>INSURER F:</b>			

**INSURED**  
 Winco Fireworks International LLC  
 12521 15th Street  
 Grandview MO 64030

**COVERAGES**

CERTIFICATE NUMBER: 2008908817

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<b>GENERAL LIABILITY</b> <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC			S18ML02067-231	12/31/2023	12/31/2024	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
							MED EXP (Any one person)	\$
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 2,000,000
							PRODUCTS - COMP/OP AGG	\$ 2,000,000
								\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS 8166972217 <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident)	\$
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> EXCESS LIAB DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE	\$
							AGGREGATE	\$
								\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below			N/A			WC STATUTORY LIMITS	OTH-ER
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

\*\*For premise liability - this certificate reflects coverage for the dates and location noted below.\*\*

\*\*For product liability - this certificate reflects coverage for product purchased from the above referenced named insured only\*\*

Additional Insured extension of coverage is provided by above referenced General Liability policy where required by written agreement.

Dates of Coverage for 4th of July Season: 06/20/24 through 07/10/24

Dates of Coverage for Christmas/New Year Season: 12/10/24 through 12/31/24

Location: 25612 I-30 Bryant, AR 72022

See Attached...

**CERTIFICATE HOLDER**

A-1 Fireworks  
 24341 Highway 10 East  
 Ola AR 72853

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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AGENCY CUSTOMER ID: \_\_\_\_\_

LOC #: \_\_\_\_\_



# ADDITIONAL REMARKS SCHEDULE

Page 1 of   

AGENCY Acrisure, LLC dba Britton Gallagher		NAMED INSURED Winco Fireworks International LLC 12521 15th Street Grandview MO 64030	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

## ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,  
FORM NUMBER: 25 FORM TITLE: CERTIFICATE OF LIABILITY INSURANCE

Operator: Carrie Simmons  
Landowner: Dion Simpson  
Additional Insured: Dion Simpson; A-1 Fireworks; Carrie Simmons



# A-1 FIREWORKS

## COMMERCIAL LEASE

This lease is made between Dion Simpson  
(Lessor Name)

Of 25550 I-30, Bryant, AR. 72022  
(Mailing Address)

Herein called Lessor, and A-1 Fireworks of 24341 Hwy 10 East,  
Ola, Arkansas 72853, herein called Lessee.

Lessee hereby offers to lease from Lessor the premises situated in  
Or near the *City of* Bryant  
*County of* Saline  
*State of:* Arkansas

Described as: 25612 I-30, Bryant, AR. 72022

(Physical Location Address)

1. **Term and Rent:** Lessor demises the above premises as well  
As allowing use of power pole for a term of 45 days per year,  
Commencing June 1st, and terminating on July 15th for the  
Selling season of June 20<sup>th</sup> to July 5<sup>th</sup> 2024 or sooner and/or  
For a term of 31 days per year commencing December 15<sup>th</sup>  
2024 and terminating January 15<sup>th</sup> 2025 as provided herein  
At the annual rental of;

\$ 3,000.00 Payable, 100% at the time lease is signed and  
Returned.

Initial

  
Initial



1. All rental payments shall be made to Lessor, at the address Specified on front page.
- 2: **Use.** Lessee shall use and occupy the premises for Retail Sales of Fireworks. The premises shall be used for no Other purpose. Lessor represents that the premises may Lawfully be used for such purpose. Lessee may, at the Lessee's Expense, erect tents, utility poles, signs, banners, Balloons, Pendants, flags and other such paraphernalia as Deemed useful to aid in the selling of fireworks. All such Paraphernalia remains the property of the Lessee and will be Removed at the end of the lease agreement.
- 3: **Care and Maintenance of Premises:** Lessee acknowledges That the premises are in good order and repair, unless Otherwise indicated herein. Lessee shall, at his own Expense and at all times, maintain the premises in good Condition and shall surrender the same, at termination Hereof, in as good condition as received, normal wear and Tear excepted.
- 4: **Ordinances and Statutes:** Lessee shall comply with all Statutes, ordinances and requirements of all municipal State and federal authorities now in force, or which may Hereafter be in force, pertaining to the premises, Occasioned by or affecting the use thereof by Lessee.
- 5: **Assignment and Subletting:** Lessee shall not assign this Lease or sublet any portion of the premises without prior Written consent of the Lessor, which shall not be Unreasonably withheld. Any such assignment or Subletting without consent shall be void and, at the option Of the Lessor, may terminate this lease.



6: **Notices:** Any notice, which either party may or is Required to give shall be given by mailing the same, Postage prepaid, to Lessee or Lessor at The address specified on front page, or at such other places As may be designated by the parties from time to time.

7: **Heirs, Assigns, and Successors:** This lease is binding Upon and inures to the benefit of the heirs, assigns and Successors in interest to the parties.

8. **Waiver of Liability:** This agreement releases Dion Simpson From all liability relating to injuries or damages that may occur During the lease of property for the retail sales of fireworks. By Signing this agreement, I agree to hold Dion Simpson entirely free From any liability, including financial responsibility for injuries or Damages incurred, regardless of whether injuries are caused by Negligence.

9: **Entire Agreement:** The foregoing constitutes the entire Agreement between the parties and may be modified only By a writing signed by both parties. The following exhibits, If any, have been made a part of this Lease before the Parties' execution hereof:

Signed this 23 day of April year 2024.

By: Dion Simpson (Lessor)

By: John Rey (Lessee)



**A-1 Fireworks**

**Commercial Lease**

**Insurance:**

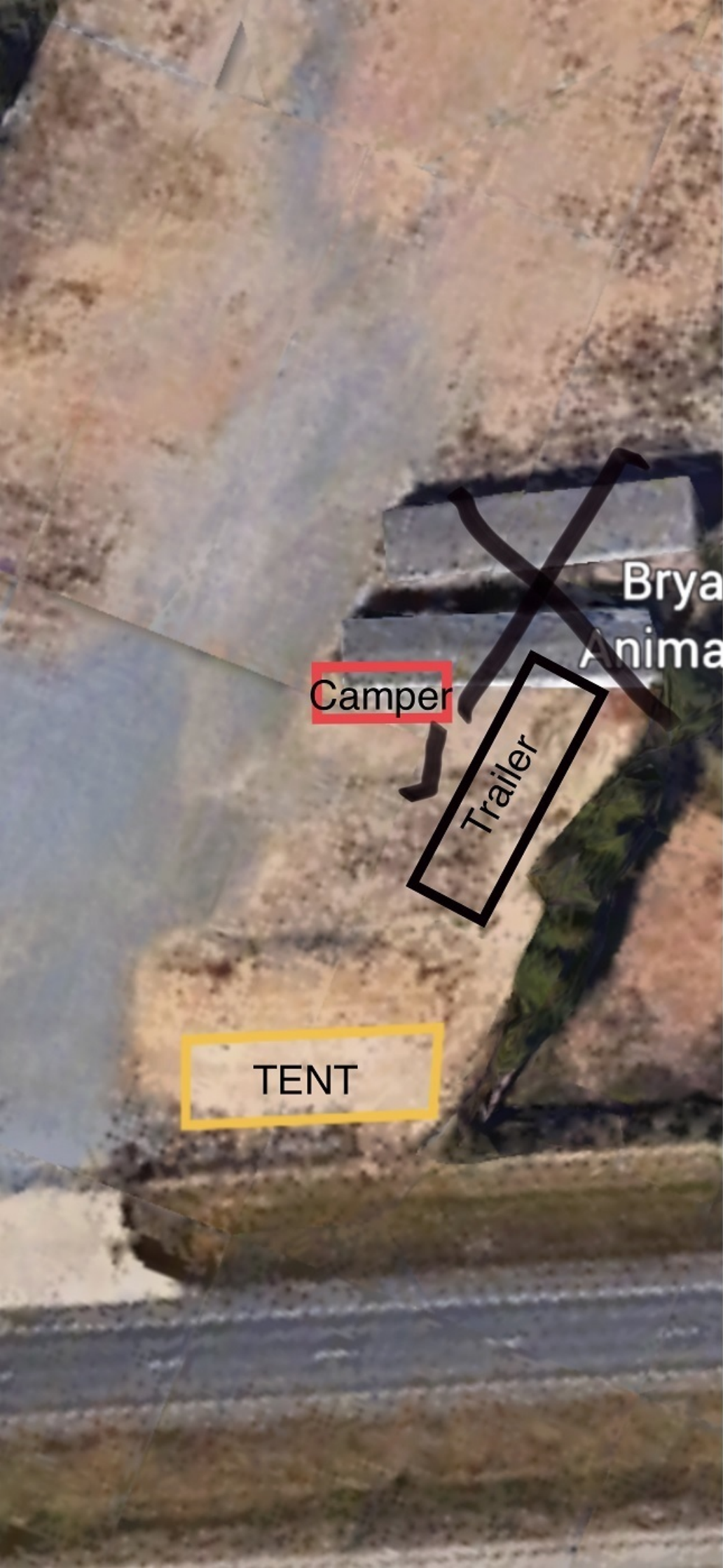
Lessee, at his expense, shall maintain liability insurance including Bodily injury and property damage insuring Lessee and Lessor With minimum coverage as follows: \$500,000.00

Lessee shall provide Lessor with a certificate of insurance showing Lessor as additional insured.

Signed: Don Simpson  
Dated: 4-23-24

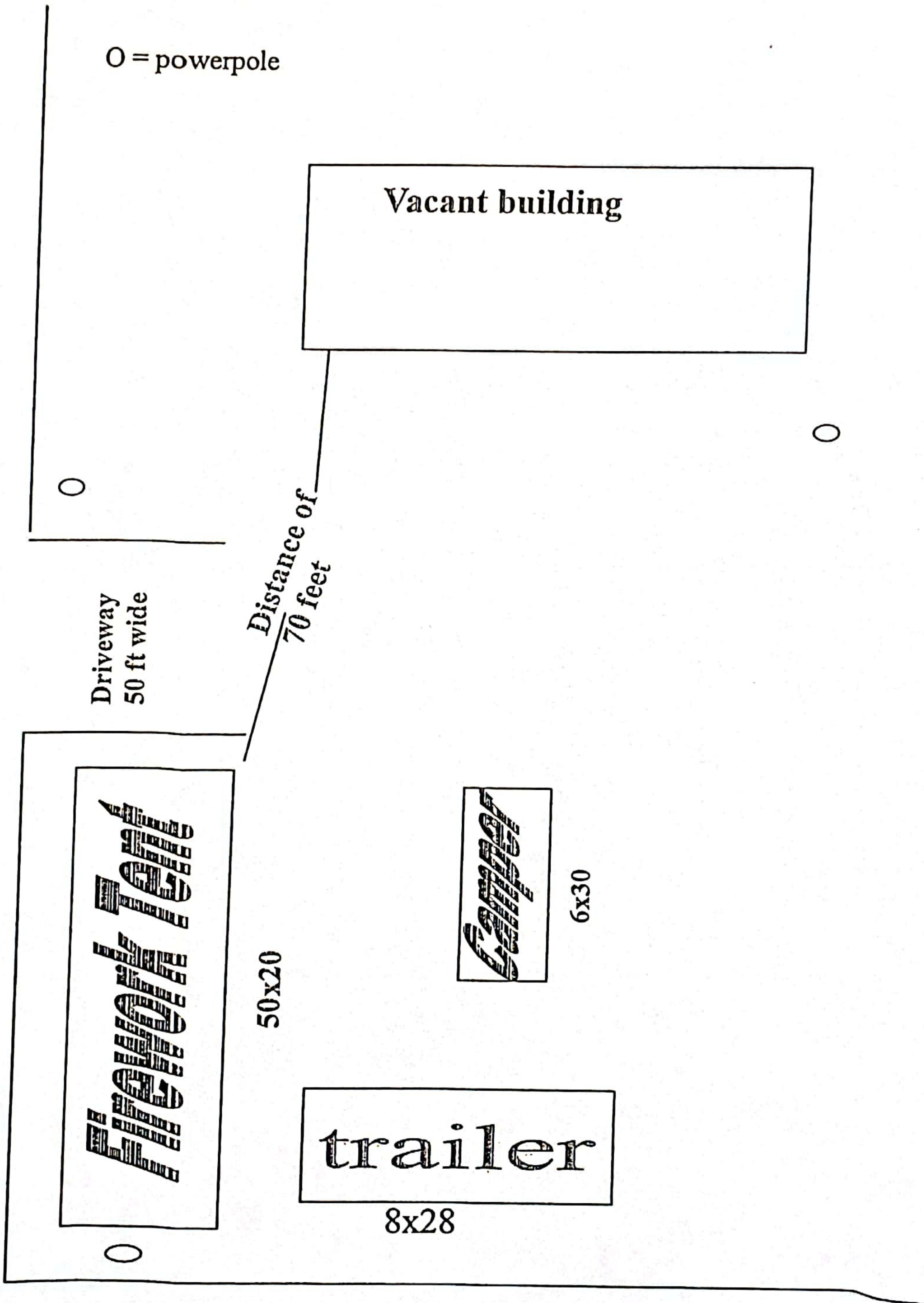
Signed: Ken Rex  
Dated: April 30, 2024







O = powerpole



Vacant building

Distance of  
70 feet

Driveway  
50 ft wide

Forklift

50x20

Camp

6x30

Trailer

8x28





THIS LICENSE MUST BE CONSPICUOUSLY DISPLAY IN PLACE OF BUSINESS

# Office of Fire Services

State Fire Marshal

Permit Number  
FWJ.0001200

Date of Issue  
05/01/2023

## FIREWORKS LICENSE

This is to certify that

A-1 Fireworks

is duly license to transact business in the State of Arkansas as a Fireworks:

JOBBER-WHOLESALE LICENSE

LICENSE EXPIRES

04/30/2025

AJ GARY

DIRECTOR and STATE  
HOMELAND SECURITY ADVISOR



NON TRANSFERABLE

*Jake Dennis Free*

Jake Dennis Free  
STATE FIRE MARSHAL



**Address** 301 Hill Farm Rd, Bryant, AR 72022, USA

**Owner** Bill Halter

**Last Modified** Dillon Simmons  
3 months ago

**Location** (34.5790906, -92.491362) (GMT -6)

**Profile** Default Commercial



# Your Solar Design

System Size (DC)

2.82 MW DC

System Size (AC)

2.38 MW AC

Annual Production

N/A

Solar Modules

(5,220) First Solar

Inverters

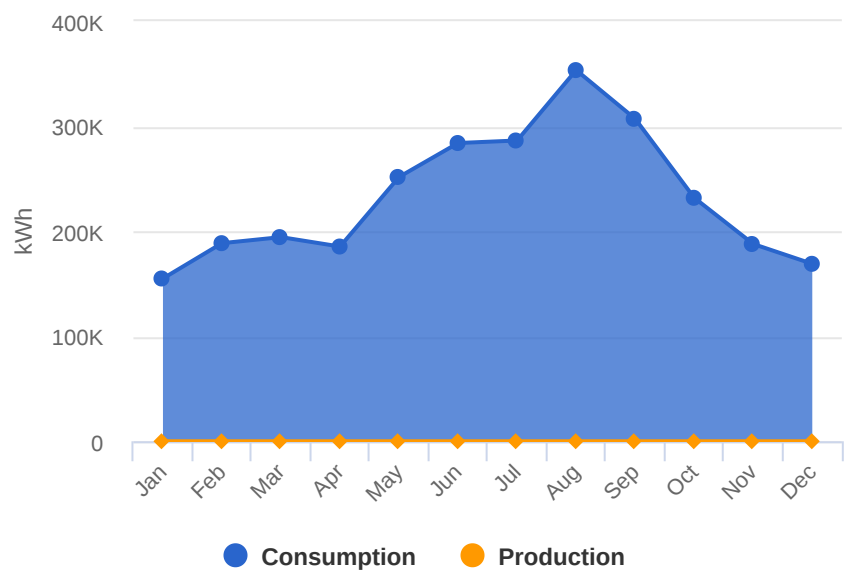
(19) SMA



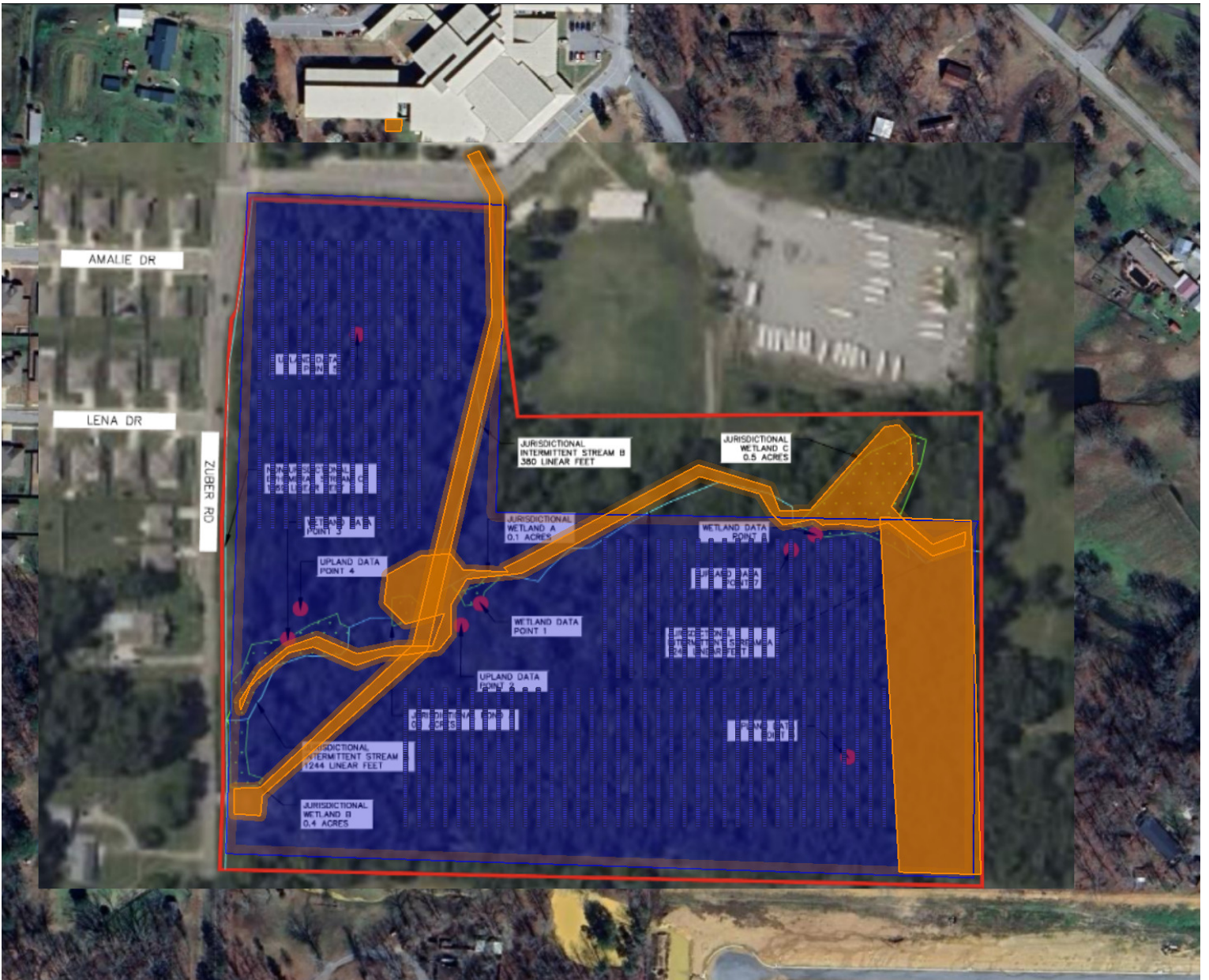
# Production Analysis

N/A

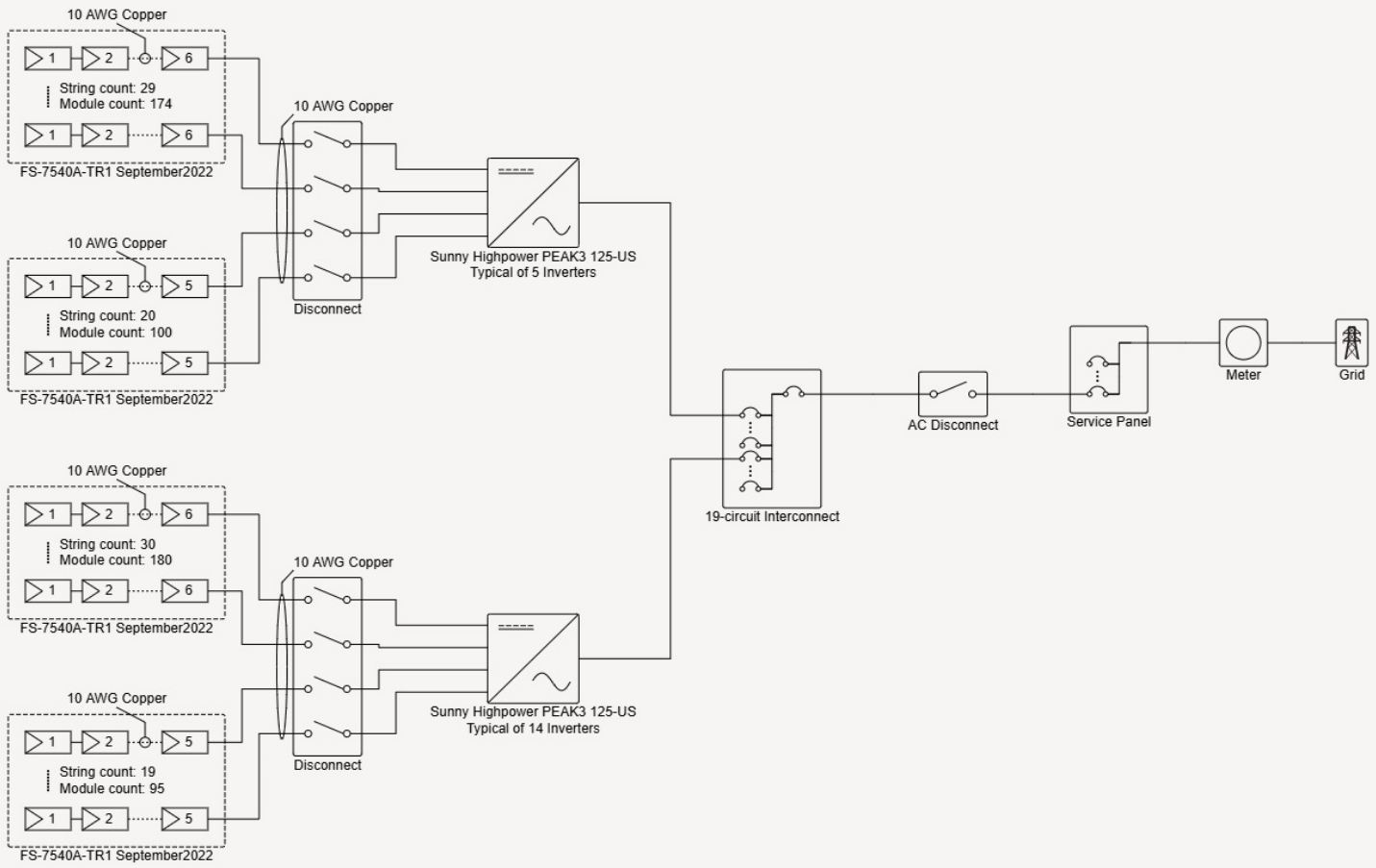
Energy Offset











Module Specifications	
5220x First Solar FS-7540A-TR1 September2022	
STC Rating	540 W
Vmp	188.69 V
Imp	2.861 A
Voc	227.717 V
Isc	3.064 A

Inverter Specifications	
19x SMA Sunny Highpower PEAK3 125-US	
Max AC Power Rating	125 kW
Max Input Voltage	1,500 V
Min AC Power Rating	0 W
Min Input Voltage	710 V

Wire Schedule		
Tier	Wire	Length
String	931x 10 AWG	342773ft



# GEN WEALTH

4756 BRYANT PARKWAY  
ALEXANDER, AR

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	DEMOLITION PLAN
C1.2	SITE PLAN
C1.3	GRADING PLAN
C1.4	UTILITY PLAN
C1.5	LANDSCAPE PLAN
C1.6	SWPPP

## GENERAL CONSTRUCTION NOTES

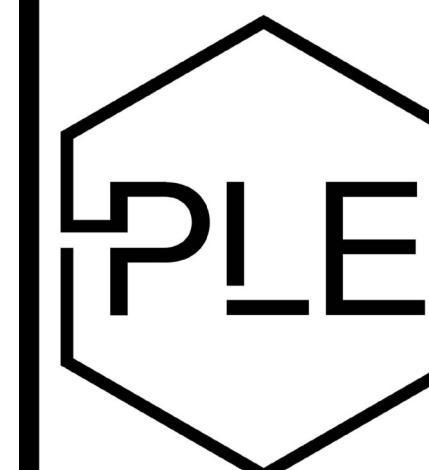
- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.  
  
THE DUTY OF LOCAL JURISDICTION TO CONDUCT CONSTRUCTION INSPECTION REVIEWS OF THE CONTRACTOR'S PERFORMANCE IS NOT AN INSPECTION OR REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- C. ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF SPRINGDALE'S WATER AND WASTEWATER (SANITARY SEWER) STANDARD SPECIFICATIONS.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- E. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- F. PRIOR TO INSTALLATION OF ANY UTILITIES, THE CONTRACTOR IS TO EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM ANY AND ALL UTILITIES OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- G. CONSTRUCTION SHALL NOT START ON ANY WATER UTILITY TIE-INS UNTIL APPROVAL IS GIVEN BY THE SPRINGDALE WATER DEPARTMENT. SAID CONTRACTOR SHALL NOT OPERATE ANY VALVE, HYDRANT, OR WATER UTILITY APPURTENANCE NOR SHALL HE ATTACH TO OR TAP ANY WATER UTILITY MAIN WITHOUT APPROVAL. THE CONTRACTOR SHALL BEAR THE COST AND CONSEQUENCE OF ANY DISRUPTION OF UTILITY OPERATION CAUSED BY CONSTRUCTION.
- H. FIBER OPTIC CABLE ON AND/OR ADJACENT TO THIS SITE WERE NOT LOCATED BY THE SURVEY AND ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY FIBER OPTIC CABLES ASSOCIATED WITH THIS SITE AND TAKE ALL NECESSARY AND REQUIRED PRECAUTIONS TO PROTECT ANY EXISTING FIBER OPTIC CABLES. CONTRACTORS SHALL COORDINATE ALL EFFORTS WITH OWNER OF FIBER OPTIC CABLES OR THEIR DESIGNATED REPRESENTATIVE.
- J. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "ONECALL" SERVICE TO MARK ALL UTILITIES PRIOR TO ANY DEMOLITION, EARTHWORK, OR UTILITY WORK ON THIS SITE.
- K. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS OR OTHER MATTERS.
- L. VERIFY THE ELEVATION AND LOCATION OF THE EXISTING WATER AND SANITARY SEWER LINES. PLEASE BE ADVISED THAT THERE SHALL BE NO NET DECREASE IN COVER ALLOWED. IF THE COVER IS BELOW THE MINIMUM STANDARD OR IF THE EXISTING WATER OR SANITARY SEWER LINES ARE DAMAGED DUE TO CONSTRUCTION ACTIVITY, THEN THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING THE EXISTING WATER AND SANITARY SEWER LINES WITHIN THE PROPOSED PROJECT AREA AT THE OWNER/DEVELOPER'S EXPENSE.



Vicinity Map

SCALE 1" = 500'

DEVIATIONS/VARIANCES



PHILLIP LEWIS ENGINEERING, INC.

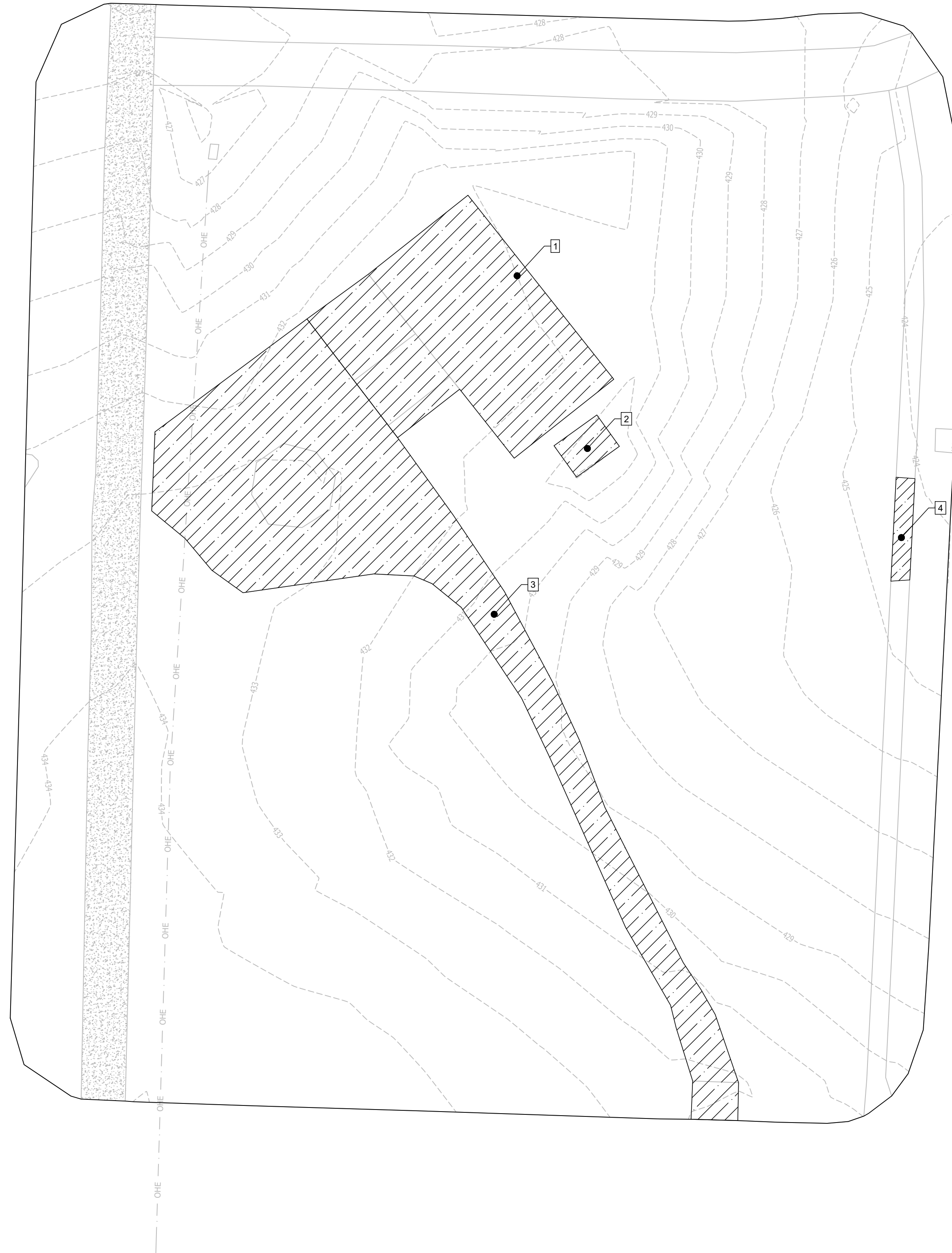
Structural + Civil Consultants

23620 Interstate 30 | Bryant, Arkansas  
PH: 501-350-9840



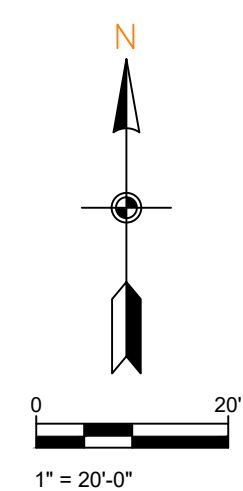
## DEMOLITION ITEMS

1. HOUSE +/- 2,712 SQUARE FEET
2. SHED +/- 134 SQUARE FEET
3. DRIVEWAY +/- 5,052 SQUARE FEET
4. SIDEWALK +/- 130 SQUARE FEET



## DEMOLITION PLAN

SCALE 1" = 20'

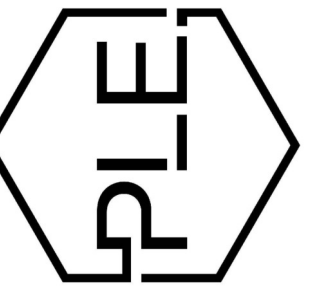


## GENERAL CONSTRUCTION NOTES

- A. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- B. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.  
  
THE DUTY OF BRYANT TO CONDUCT CONSTRUCTION INSPECTION REVIEWS OF THE CONTRACTOR'S PERFORMANCE IS NOT AN INSPECTION OR REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.
- C. ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF BRYANT'S WATER AND WASTEWATER (SANITARY SEWER) STANDARD SPECIFICATIONS.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
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PHILLIP LEWIS ENGINEERING, INC.  
Structural + Civil Consultants

23620 Interstate 30 | Bryant, Arkansas  
PH: 501-350-9840



REVISION:

**GEN WEALTH**

ALEXANDER, ARKANSAS

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NUMBER:

SHEET ISSUE DATE: ---

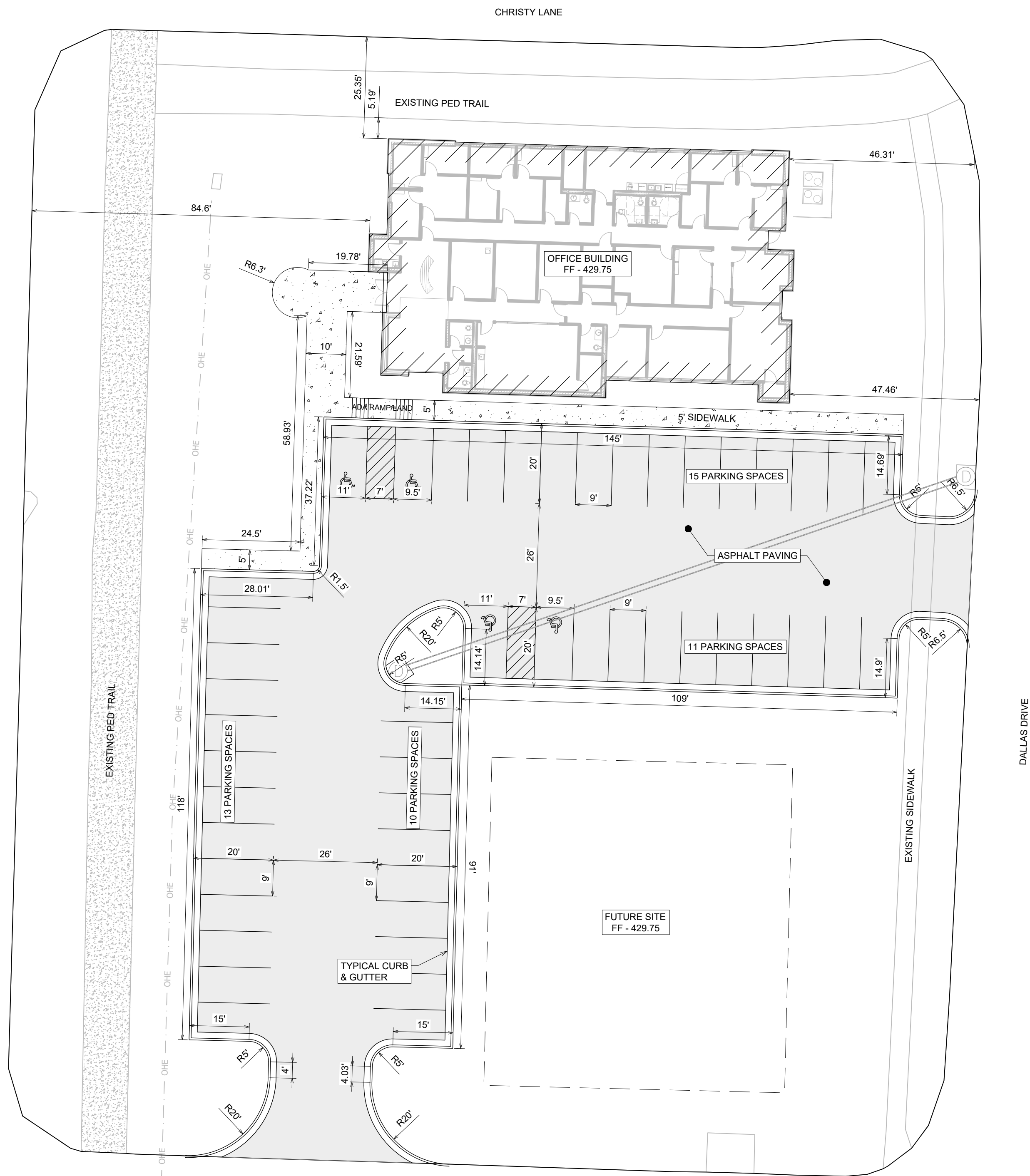
PAGE TITLE:

**DEMOLITION  
PLAN**

SHEET NUMBER:

**C1.1**





### SITE PLAN

SCALE 1" = 20'

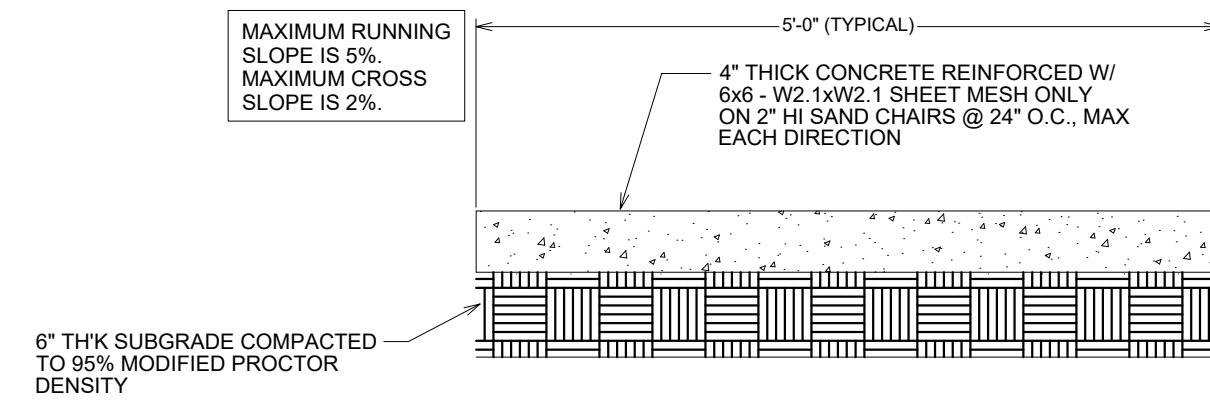
- TOTAL NEW DEVELOPMENT AREA = (+/-) 1.17 ACRES (PROPERTY TOTAL ACREAGE = 1.51 AC)
- PROPERTY IS ZONED C-2
- 50 PARKING SPACES PROVIDED INCLUDING 4 ADA ACCESSIBLE PARKING SPACES
- ALL DIMENSIONS ARE TO THE BACK OF CURB AND/OR EDGE OF PAVEMENT
- DAMAGE TO PUBLIC AND PRIVATE PROPERTY DUE TO HAULING OPERATIONS OR OPERATIONS OF CONSTRUCTION RELATED EQUIPMENT FROM A CONSTRUCTION SITE SHALL BE REPAIRED BY THE RESPONSIBLE PARTY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- REPAIR, REPLACE, OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK OR RAMPS WITHIN THE PUBLIC RIGHT OF WAY.
- ALL SIGNAGE, PAVEMENT MARKING AND PARKING LOT STRIPING SHALL CONFORM TO REQUIREMENTS GIVEN IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD REQUIRES THAT PARKING SPACES BE MARKED IN WHITE.

### PARKING CALCULATIONS

OFFICE BUILDING SQUARE FOOTAGE = 6,130  
 REQUIREMENT: 1 SPACE PER 200 SQUARE FEET  
 REQUIRED SPACES: 31

TOTAL REQUIRED SPACES = 31  
 TOTAL PROVIDED SPACES = 50

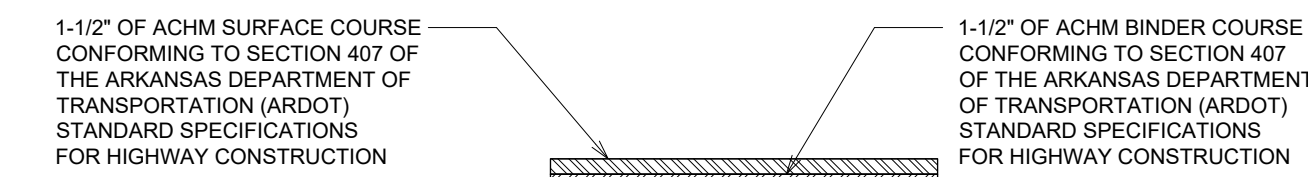
TOTAL REQUIRED ACCESSIBLE SPACES = 2  
 TOTAL PROVIDED ACCESSIBLE SPACES = 4



### CONCRETE WALK SECTION

NOT TO SCALE

- NOTE:
- ALL SIDEWALK JOINTS TO BE STEEL TROWELED, ALL JOINT EDGES AND SHALL BE SPACED AT 8 FEET ON CENTER MAXIMUM IN ALL DIRECTIONS AND SHALL BE STEEL TROWELED ON A RADIUS NOT TO EXCEED ONE-HALF INCH.
  - SIDEWALK SHALL BE MIN 5" THICK THROUGH DRIVE APRON

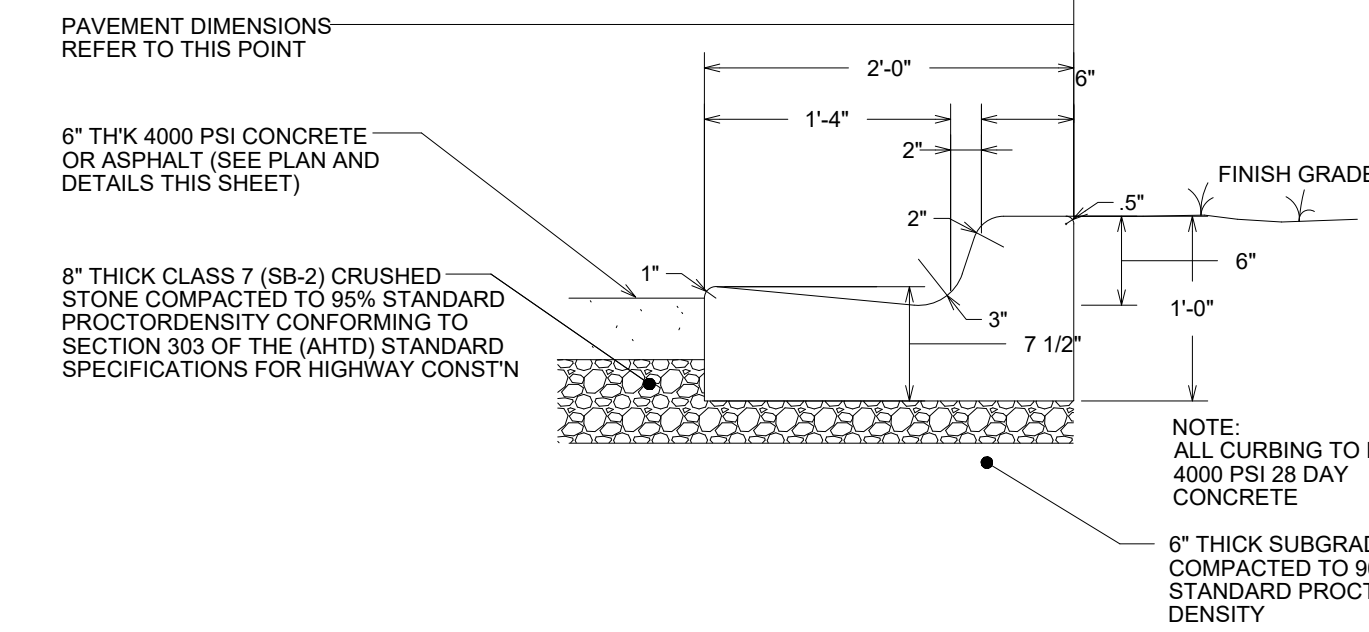


REDUCE GRAVEL SURFACE COURSE TO 9" THICK CLASS 7 (SB-2) CRUSHED STONE COMPACTED TO 95% STANDARD PROCTOR DENSITY CONFORMING TO SECTION 303 OF THE ARDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTN

6" THICK OF EXISTING SUBGRADE SCARIFIED AND RECOMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (PROOF ROLL PRIOR TO PLACEMENT OF BASE MATERIAL)

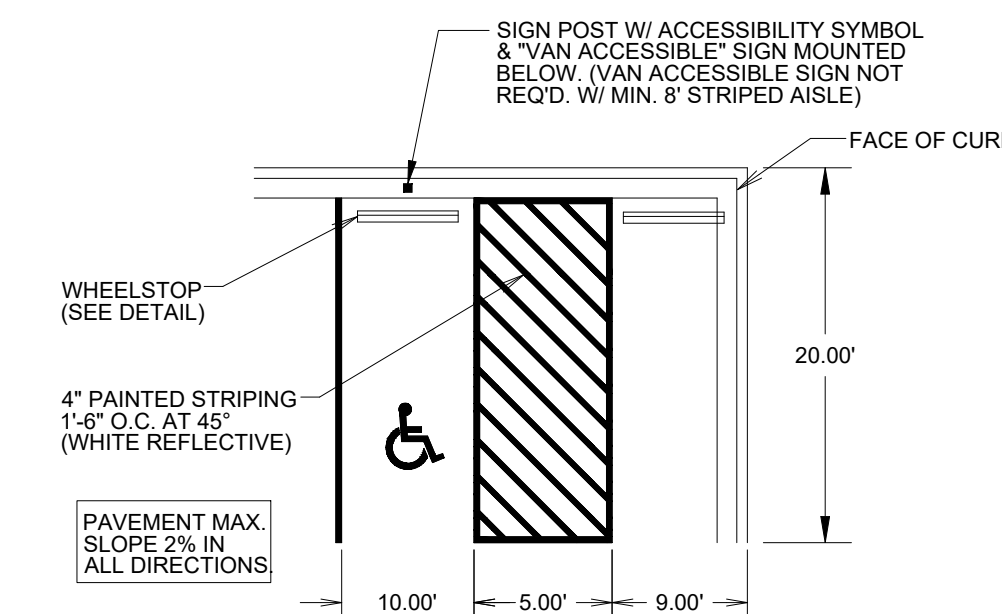
### HMAC ASPHALT SURFACE COURSE MEDIUM DUTY

NOT TO SCALE

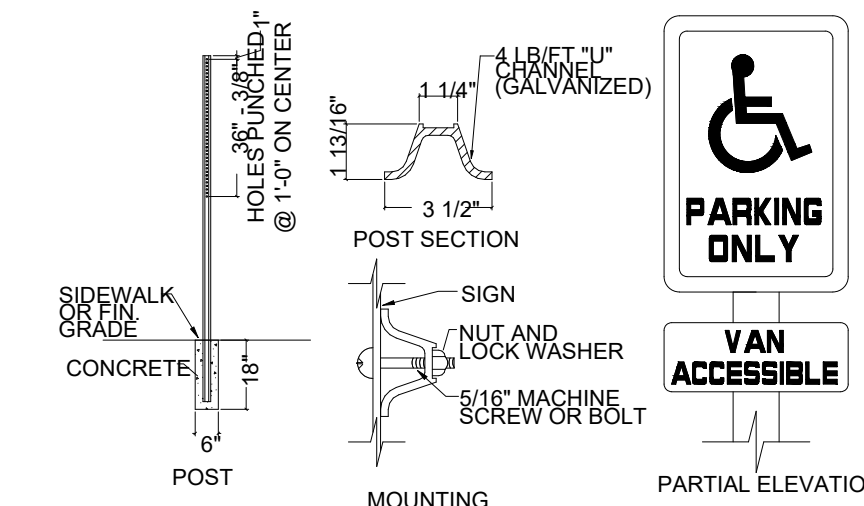


### 2'-0" CONCRETE CURB & GUTTER

NOT TO SCALE



### TYPICAL ACCESSIBLE PARKING STALLS



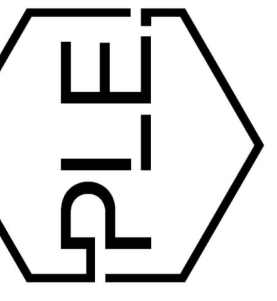
HANDICAP SIGN DETAIL NOT TO SCALE

NOTE: HANDICAP SIGNAGE SHALL BE IN STRICT COMPLIANCE WITH CURRENT FEDERAL ADA REGULATIONS AND HEIGHTS.

### GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGES OCCURRING TO ANY PROPERTY DURING THE CONSTRUCTION OF THIS PROJECT. SAID CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT PROPERTY DAMAGE.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL SOLELY AND COMPLETELY BE RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS.  
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- ALL WATER AND SEWER IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION TO THE CITY OF BRYANT'S WATER AND WASTEWATER (SANITARY SEWER) STANDARD SPECIFICATIONS.
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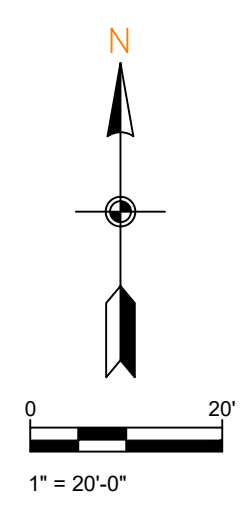
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SITE PLAN

SHEET NUMBER:

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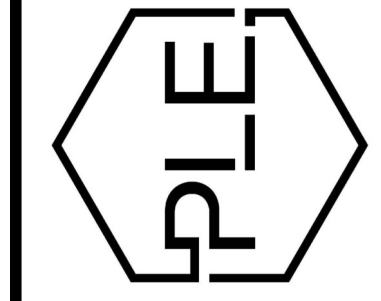




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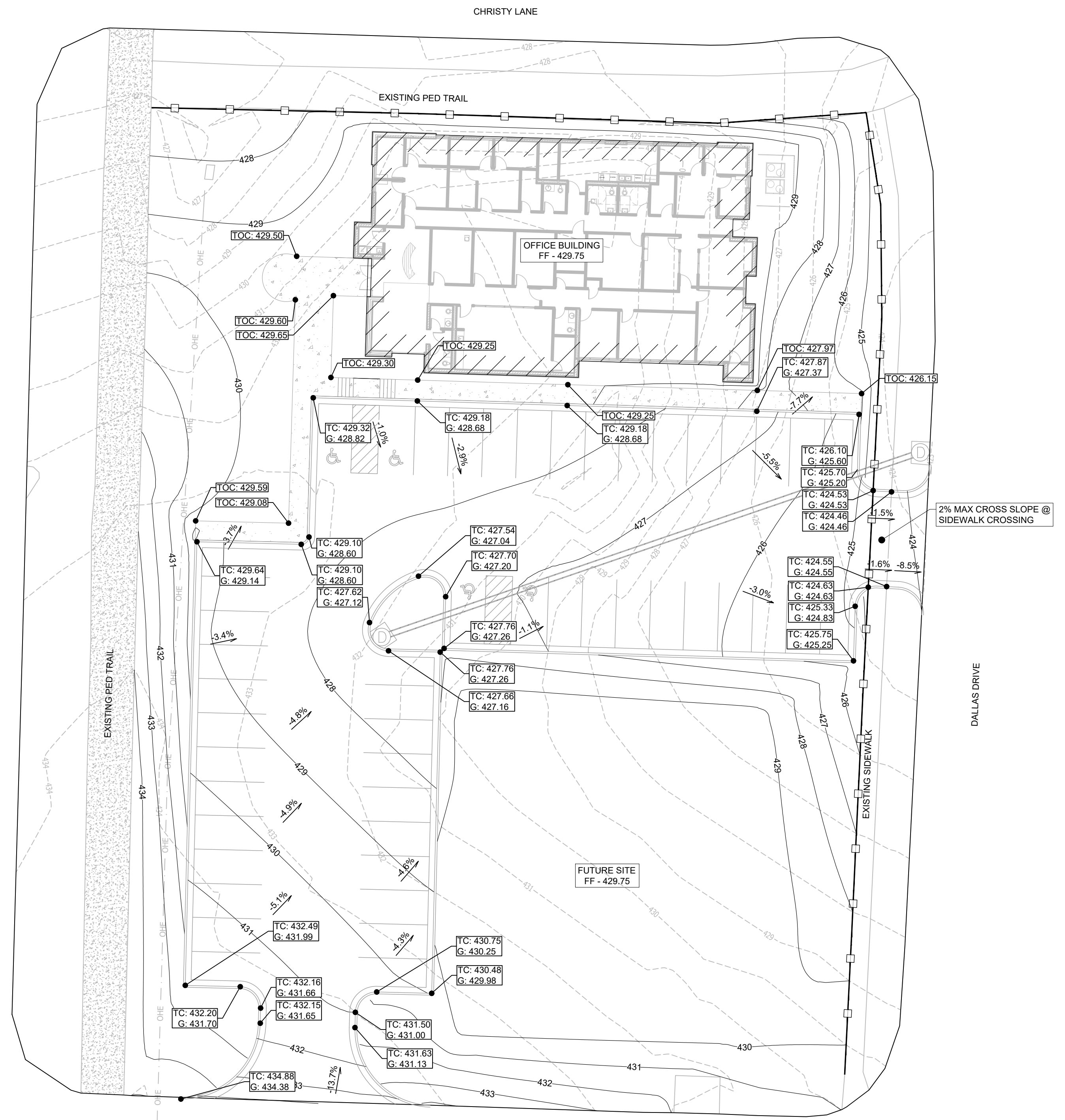
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**GRADING PLAN**

SHEET NUMBER:

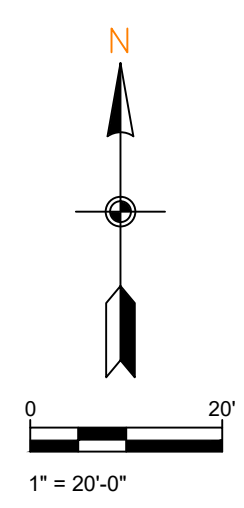
**C1.3**



### GRADING PLAN

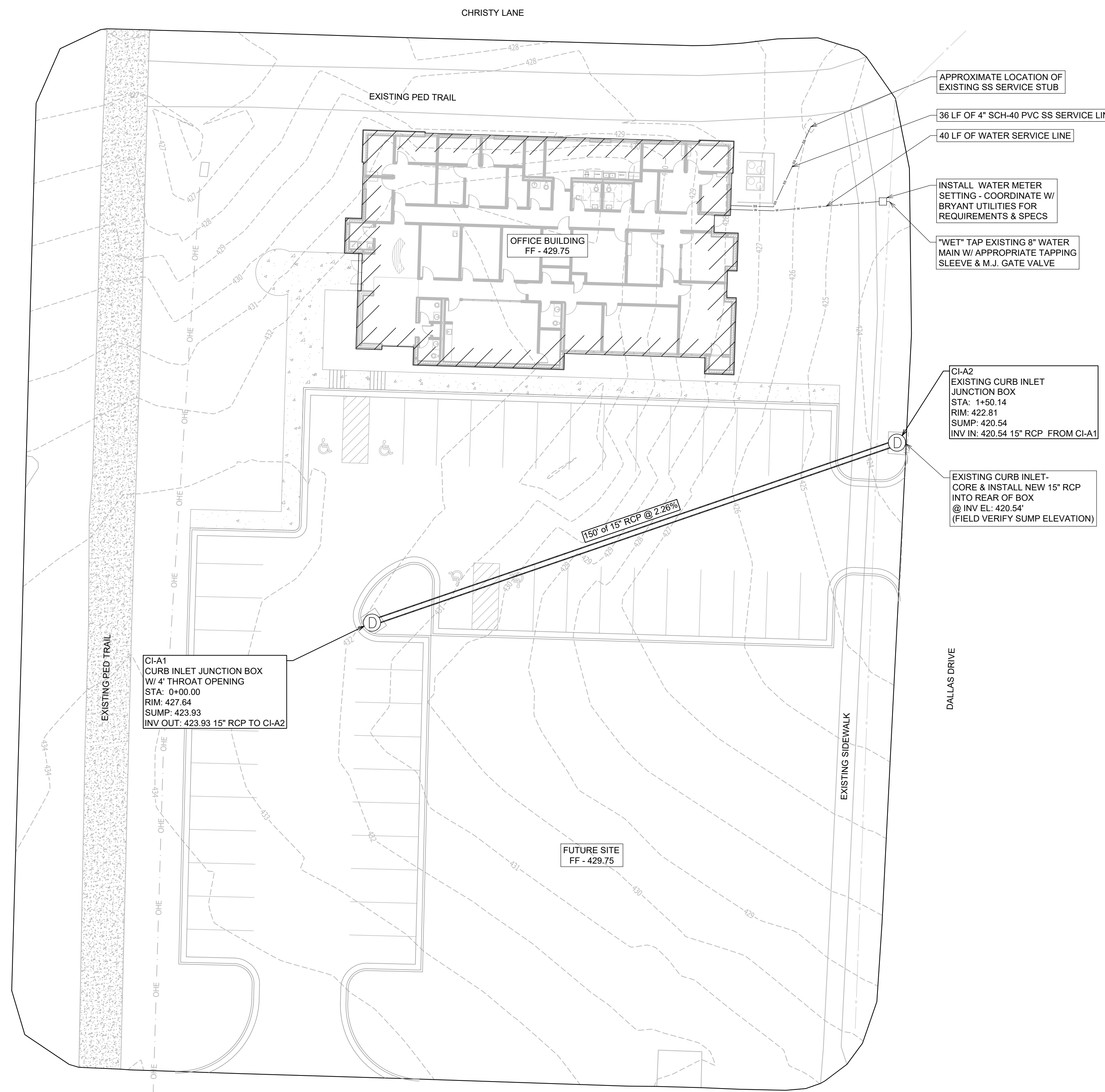
SCALE 1" = 20'

- TC = TOP OF CURB ELEVATION
- G = GUTTER ELEVATION
- TOC = TOP OF CONCRETE ELEVATION
- FG = FINAL GRADE ELEVATION
- TP = TOP OF PAVEMENT ELEVATION
- EG = EXISTING GRADE ELEVATION

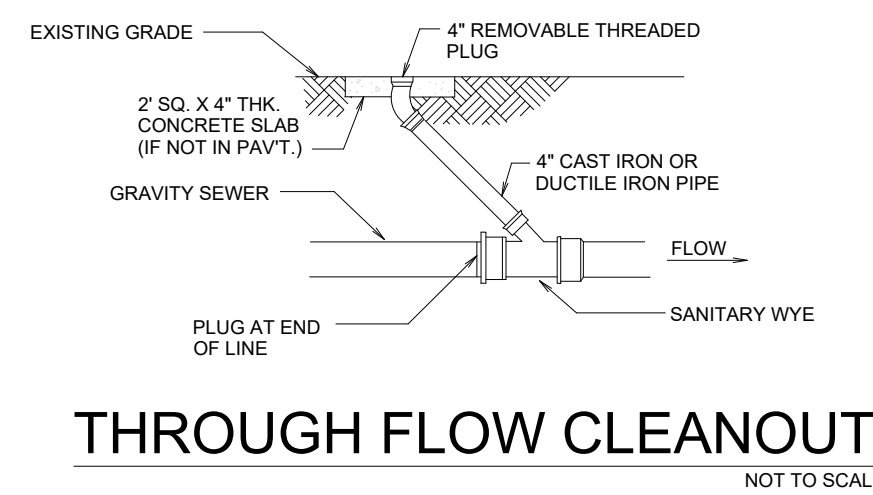




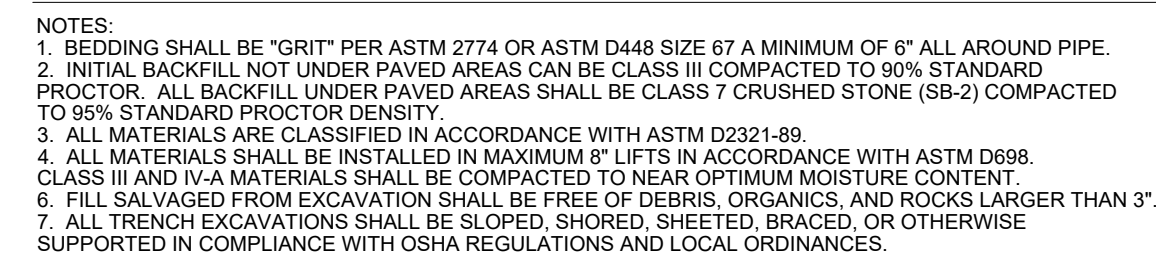
# UTILITY PLAN



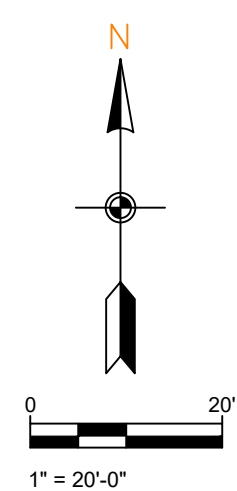
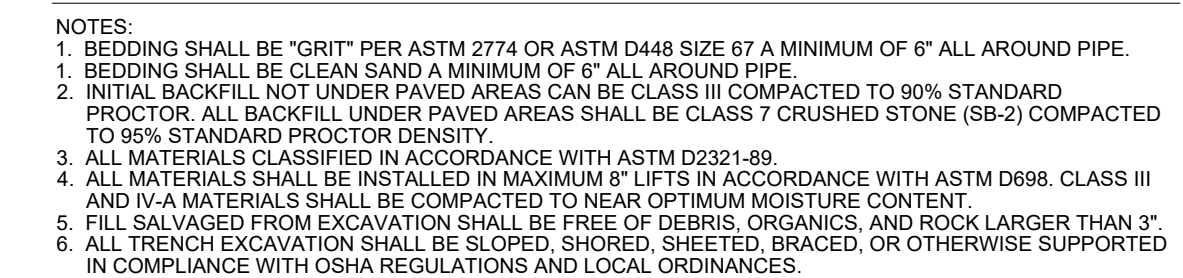
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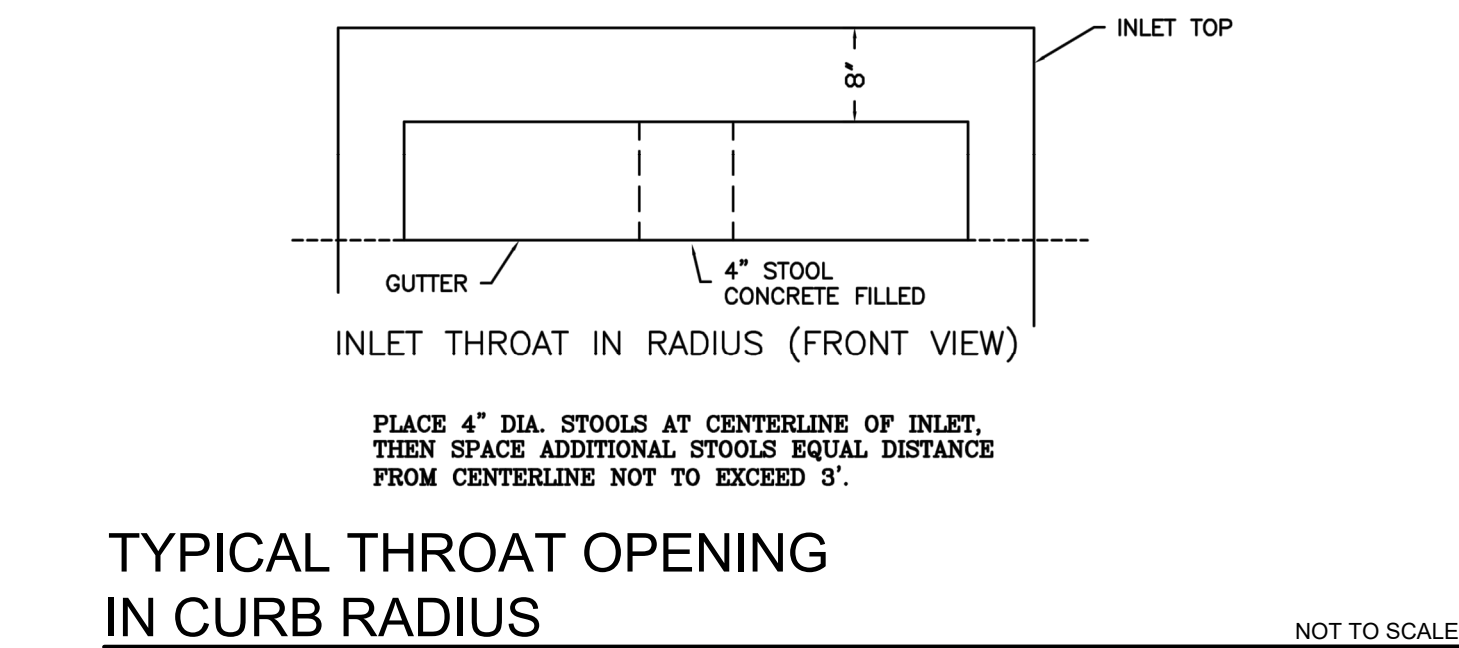
## WATER AND SEWER LINES BEDDING DETAIL



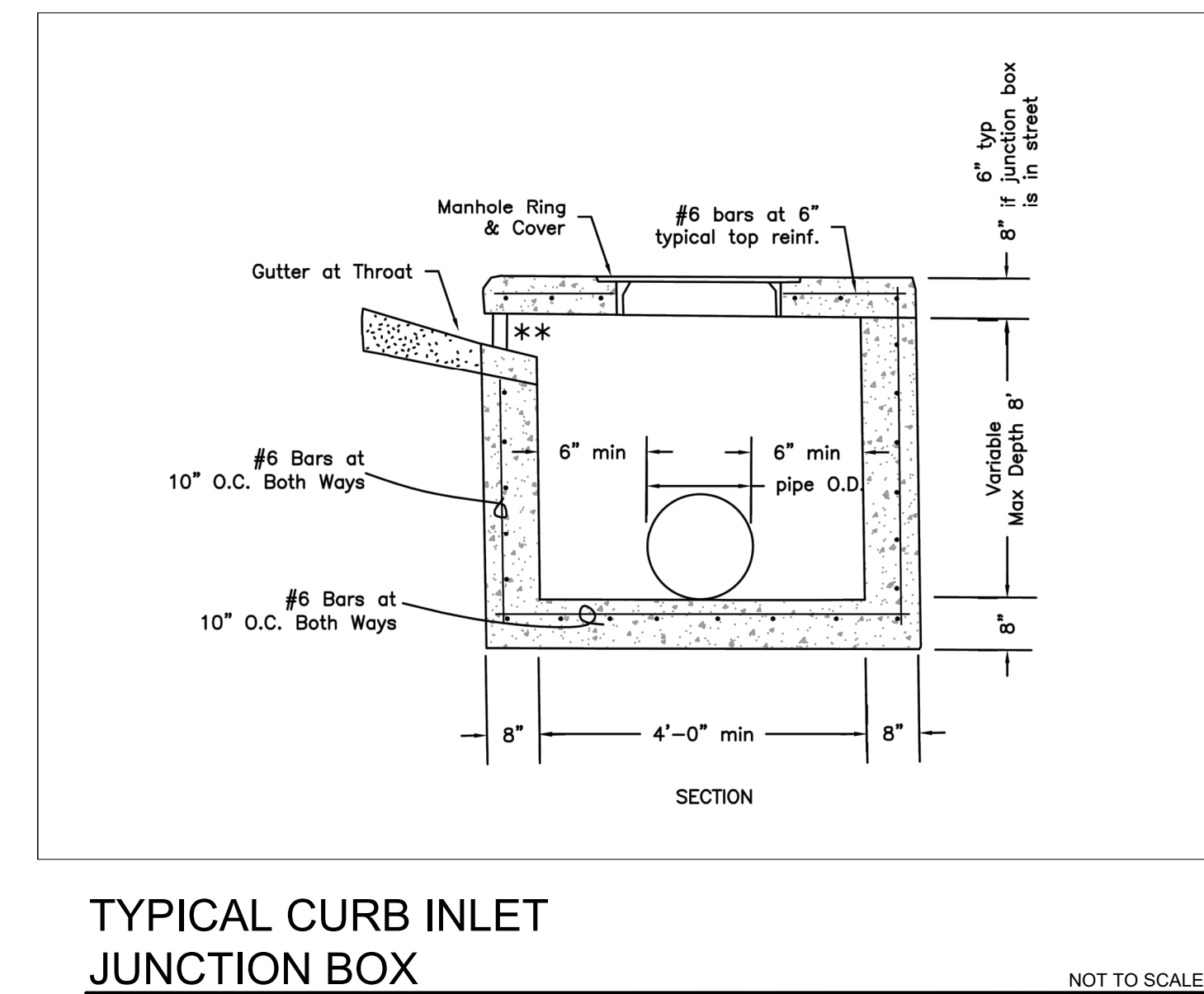
## GAS LINE BEDDING DETAIL



## TYPICAL THROAT OPENING IN CURB RADIUS

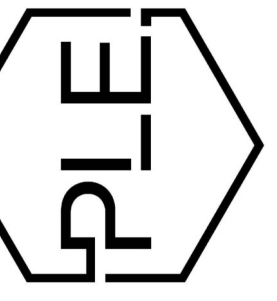


## TYPICAL CURB INLET JUNCTION BOX



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**UTILITY PLAN**  
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**C1.4**



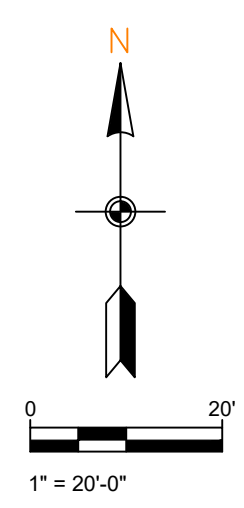


**LANDSCAPE PLAN**

SCALE 1" = 20'

- NOTES:**
1. ALL LANDSCAPED AREAS OF THE SITE SHALL BE CONSTRUCTED WITH AN AUTOMATIC SPRINKLER IRRIGATION SYSTEM AS PART OF THE LANDSCAPING SUBCONTRACT.
  2. GENERAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC SLEEVING 4" OR 6" UNDER ALL DRIVES AND PAVED AREAS FOR IRRIGATION SLEEVING SHALL BE BURIED A MINIMUM OF 18" BELOW GRADE AND THE ENDS OF THE SLEEVES CLEARLY MARKED BY THE GENERAL CONTRACTOR AND SHALL EXTEND OUT A MINIMUM OF 18" PAST ANY CURB OR PAVING.
  3. LANDSCAPED AREAS TO BE AMENDED WITH 4" OF TOPSOIL. SCARIFY SOIL 1" PRIOR TO APPLICATION. ALL TOP SOIL SHALL BE PLACED IN COORDINATION WITH GRADING AND DRAINAGE PLANS TO ENSURE THAT THE GRADING AND DRAINAGE DESIGN FOR THE SITE IS MAINTAINED AFTER BEING SODDED OR SEEDED. EXISTING SOIL FROM THE SITE CAN BE STOCK PILED AND REUSED AS LONG AS IT IS OF QUALITY THAT ENCOURAGES ADEQUATE GROWTH OF PLANTING MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR ANY SOIL TESTING THAT MAY BE REQUIRED.
  4. ALL DISTURBED AREAS ARE TO BE SODDED.
  5. ALL LANDSCAPED AREAS (SHRUBS/TREES/ISLANDS) TO HAVE APPROPRIATE BEDDING AND EDGING INSTALLED (NOT DETAILED ON PLAN).
  6. ALL LANDSCAPING MUST BE GUARANTEED FOR TWO YEARS.
  7. OWNER SHALL SUB SPECIES OF LIKE OR EQUAL MANNER.

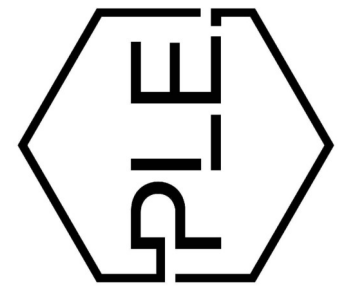
LANDSCAPE LEGEND						
TREES	CODE	QTY	COMMON	BOTANICAL NAME	CONT	CAL / SIZE
	BP	16	WILLOW OAK	QUERCUS PHELLOS	B&B	2" MIN CAL
SHRUBS						
	SS	80	BOX LEAF HOLLY	ILEX CRENATA	POT	3 GAL
GROUND COVER						
	GC	1,571 SF	WOOD CHIP OR ROCK MULCH	N/A	LOOSE	BED COVER
	GC	23,230 SF	BERMUDA	CYNODON DACTYLON	PALLET	N/A



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**LANDSCAPE PLAN**

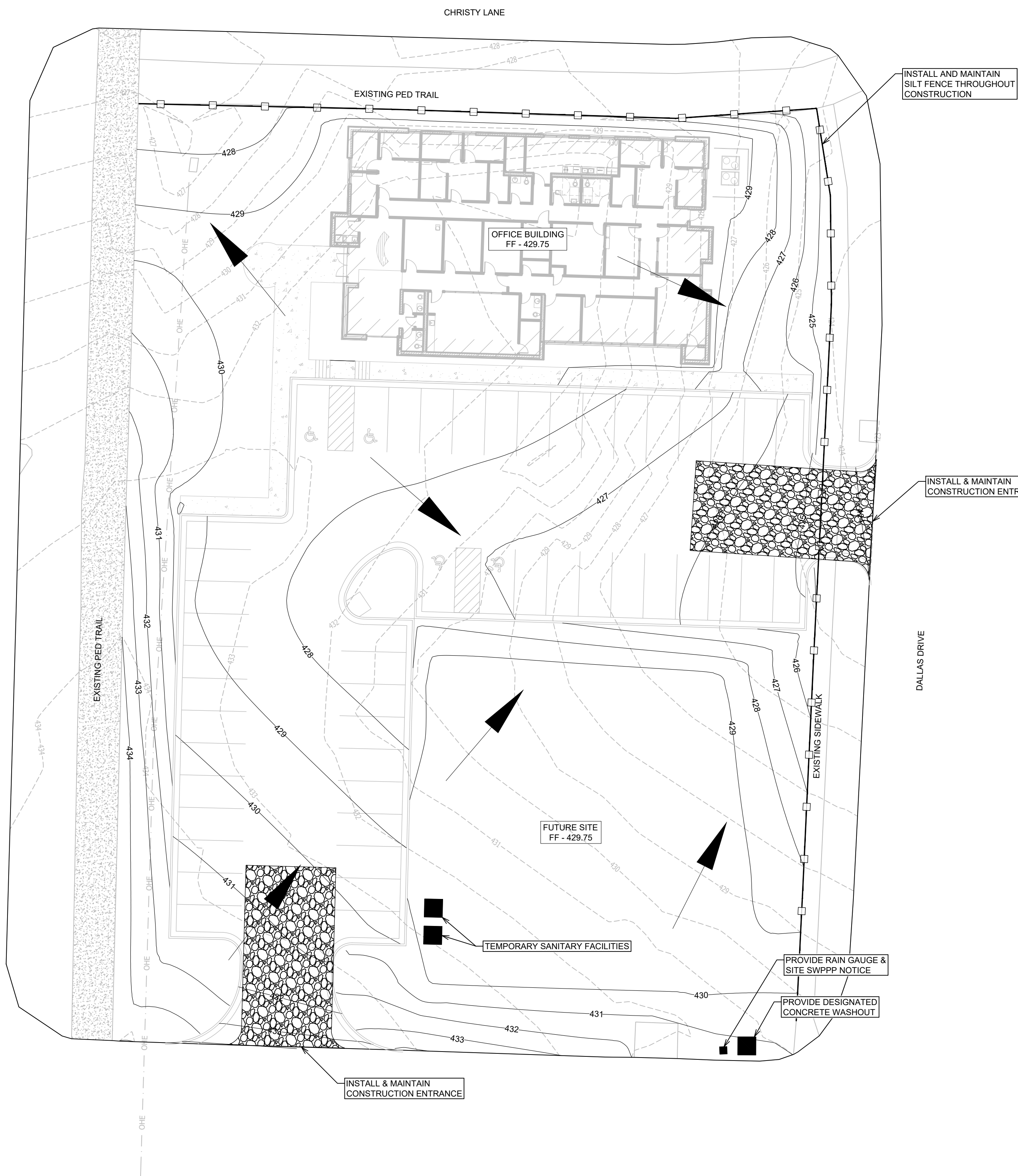
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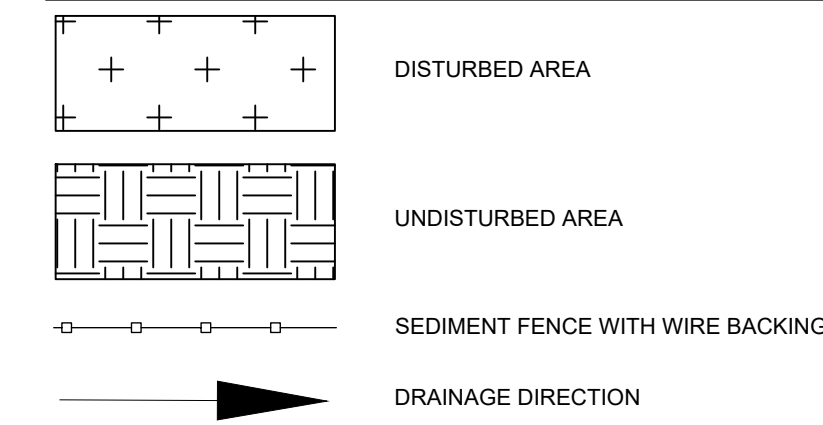


SWPPP

SCALE 1" = 20'



LEGEND



NOTES (GENERAL):

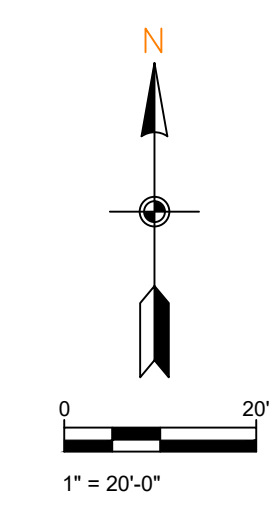
1. SEE EROSION CONTROL DETAILS IN SWPPP FOR EROSION CONTROL FACILITIES.
2. SEE SWPPP FOR INSTALLATION, MAINTENANCE, INSPECTION, AND RECORD KEEPING REQUIREMENTS.
3. CONTRACTOR SHALL SHOW EROSION CONTROL MEASURE ON SITE MAP.
4. EROSION AND SEDIMENT CONTROL STRUCTURES TO MEET SWPPP DETAILS - APPENDIX D
5. INSTALL ROCK DITCH, CHECK, OR SAND BAG CHECKS AS NECESSARY TO PREVENT SCOUR UNTIL LANDSCAPING IS ESTABLISHED.
6. CONTRACTOR MUST PLACE SEDIMENT BASIN WITH SEDIMENT FENCE OUTLET FOR ANY SEDIMENT CONTAMINATED DEWATERING DISCHARGE.
7. FINAL SLOPE WILL BE SAME DIRECTION AS EXISTING SLOPE.
8. TEMPORARY STABILIZATION PRACTICES WILL NOT BE REQUIRED. WORK WILL BE CONTINUOUS AND DISTURBED AREA REVEGETATED IN A TIMELY MANNER. SEE SWPPP FOR SEEDING MIXES.
9. PERMANENT STABILIZATION OF ALL DISTURBED AREAS ARE TO BE SEEDED, FERTILIZED, WATERED AND COVERED WITH STRAW UNLESS OTHERWISE NOTED ON PLANS TO BE HYDROSEEDDED.
10. CONTRACTOR TO SHOW CONCRETE WASH OUT SUMP, ENTRANCE/EXIT PAD AND OTHER CONTROLS AS REQUIRED/NEEDED AS SWPPP SITE MAP IS UPDATED THROUGHOUT THE DURATION OF THE PROJECT.
11. STOCKPILING OF CONSTRUCTION SOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
  - a) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
  - b) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
  - c) NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
  - d) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
  - e) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

REVISION:

**GEN WEALTH**  
ALEXANDER, ARKANSAS

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NUMBER:  
SHEET ISSUE DATE: ---  
PAGE TITLE:  
**SWPPP**  
SHEET NUMBER:  
**C1.6**







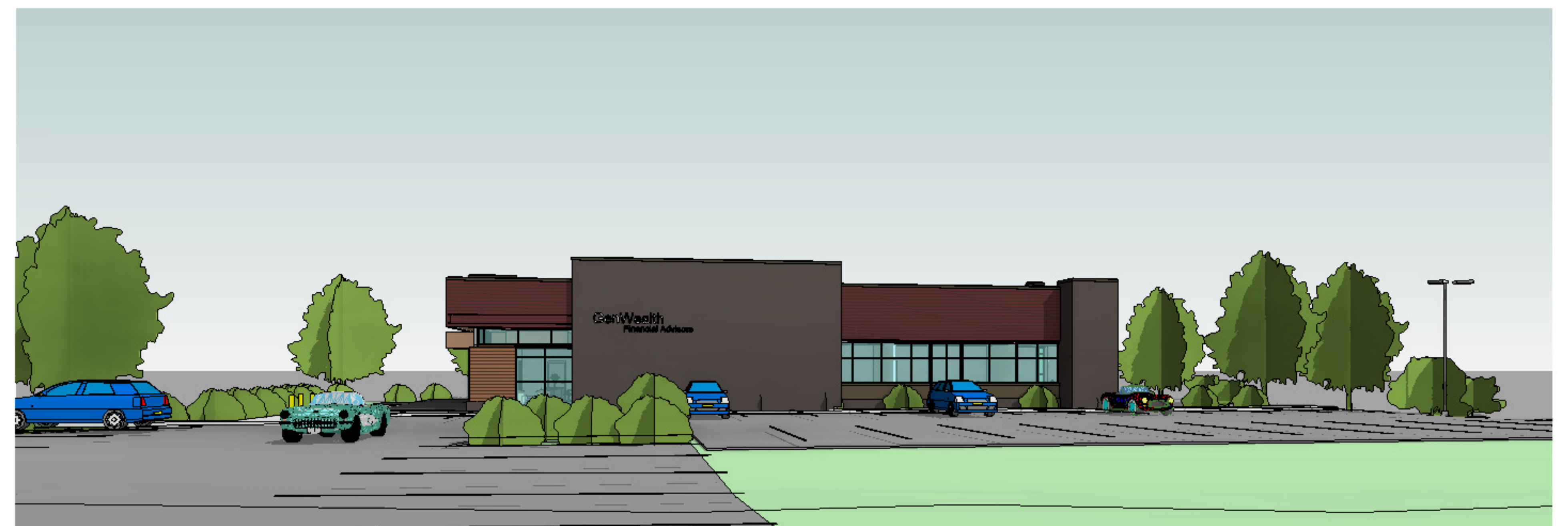
1 3DP-INT-LOBBY-1



6 3DP-INT-LOBBY-2



7 3DP-INT-LOBBY-3



2 3DP-EXT-FRONT-8



3 3DP-EXT-FRONT-9



4 3DP-EXT-FRONT-3

REVISIONS	DATE
NO.	
NO.	
NO.	
NO.	
NO.	
NO.	
NO.	

--	--	--	--	--	--	--	--

**andrew hicks | architect**  
**AHA**  
 333 W. Poplar  
 Fayetteville, Arkansas 72703  
 O - 479.332.5050  
 M - 501.680.0789  
 www.andrewhicksarchitect.com

10/12/2024

**A NEW CORPORATE OFFICE BUILDING**  
 AND RELATED SITE WORK  
 FOR  
 GENWEALTH FINANCIAL  
 BRYANT PARKWAY  
 BRYANT, ARKANSAS 72022

3D VIEWS

ARCHITECT OF RECORD  
 ANDREW HICKS ARCHITECT INC.  
 ISSUE DATE: 10/12/2024

**A1-3**





City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 08/22/2024

**Applicant or Designee:**

**Project Location:**

Name Delia Vanessa Guerra Chon Property Address 2714 Laverne St.  
Address 7029 Kiewit Dr. NLR AR 72110 Bryant, AR.  
Phone 501-283-4058 Parcel Number \_\_\_\_\_  
Email Address: deliaguerra@gmail.com Zoning Classification R-M

**Property Owner (If different from Applicant):**

Name \_\_\_\_\_  
Phone \_\_\_\_\_  
Address \_\_\_\_\_  
Email Address \_\_\_\_\_

**Additional Information:**

Legal Description (Attach description if necessary)

\_\_\_\_\_

Description of Conditional Use Request (Attach any necessary drawings or images)

Convert portion of home to duplex

\_\_\_\_\_

Proposed/Current Use of Property for Duplex

current is single family



# Application Checklist

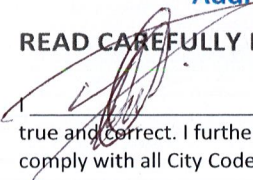
## Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
- Completed Conditional Use Permit Application
- Submit Conditional Use Permit Application Fee (\$125)
- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
- Posting of Property: The city shall provide a sign to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
  - Additional information that may be requested by the administrative official due to unique conditions of the site.

**Once the application is received, the material will be reviewed to make sure all the required information is provided. The applicant will be notified if additional information is required. The application will then go before the Development and Review Committee (DRC) for a recommendation to the Planning Commission. A public hearing will be held at this meeting for comments on the Conditional Use. After the public hearing, the Planning Commission will make a decision on the use.**

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

### **READ CAREFULLY BEFORE SIGNING**

 \_\_\_\_\_, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.



## NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, Oct. 14, 2024 at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a conditional use request at the site of  
2714 Lavern St. Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department  
of Community Development.

Lance Penfield  
Chairman of Planning Commission  
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*









City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 11.12.24

### Applicant or Designee:

### Property Owner (If different from Applicant):

Name Mohammad Tariq Name \_\_\_\_\_  
Address 2711 - Spring Hill Rd Address \_\_\_\_\_  
Phone 917-375-5185 Phone \_\_\_\_\_  
Email Address Tariq.mawab0786@gmail.com Email Address \_\_\_\_\_

### Property Information:

Address 2711 - Spring Hill Rd  
Parcel Number 840 11980-000  
Existing Zoning Classification \_\_\_\_\_  
Requested Zoning Classification \_\_\_\_\_

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)

### Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a



letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

**Additional Requirements:**

*Items below **must be completed before the public hearing can occur.** Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.*

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

**READ CAREFULLY BEFORE SIGNING**

I, Mohammad Tamiz, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.



**SAMPLE LETTER**

*Date*  
*Name*  
*Address*

RE: Rezoning Petition

The property located at 2711 Springhill Rd is being considered for rezoning from \_\_\_\_\_ to \_\_\_\_\_. The property is more particularly described as follows:

**INSERT LEGAL DESCRIPTION OF PROPERTY**

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday \_\_\_\_\_, 2021 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3<sup>rd</sup> Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0488 or by contacting me at \_\_\_\_\_.

Thank you for your consideration in this matter.

Sincerely,

*Your Signature*

*Your Name*



**NOTICE OF PUBLIC HEARING**

A public hearing will be held on Monday, \_\_\_\_\_ at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a rezoning request at the site of  
\_\_\_\_\_ (address).

A legal description of this property can be obtained by contacting the Bryant Community  
Development Department.

Lance Penfield  
Bryant Planning Commission

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*





City of Bryant, Arkansas  
Community Development  
210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
501-943-0943

## Conditional Use Permit Application

Applicants are advised to read the Conditional Use Permit section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Date: 11/11/21

### Applicant or Designee:

Name Mohammad Tariq  
Address 9000 Naples Cv  
Phone 917 375 5185  
Email Address: ah23992@gmail.com

### Project Location:

Property Address 2711 Springhill Rd  
Bryant, AR, 72022  
Parcel Number \_\_\_\_\_  
Zoning Classification C2 automobile  
sale and leasing  
small lot

### Property Owner (If different from Applicant):

Name \_\_\_\_\_  
Phone \_\_\_\_\_  
Address \_\_\_\_\_  
Email Address \_\_\_\_\_

### Additional Information:

Legal Description (Attach description if necessary)

automobile sale and leasing small lot less than  
1 acre

Description of Conditional Use Request (Attach any necessary drawings or images)

\_\_\_\_\_

Proposed/Current Use of Property was wood shop currently empty



# Application Checklist

## Requirements for Submission

- Letter stating request of Conditional Use and reasoning for request
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- Submit Copy of completed Public Notice
- Publication: Public Notice shall be published at least one (1) time fifteen (15) days prior to the public hearing at which the variance will be heard. Once published please provide a proof of publication to the Community Development office.
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- Submit eight (8) Copies of the Development Plan (Site Plan) showing:
  - Location, size, and use of buildings/signs/land or improvements
  - Location, size, and arrangement of driveways and parking. Ingress/Egress
  - Existing topography and proposed grading
  - Proposed and existing lighting
  - Proposed landscaping and screening
  - Use of adjacent properties
  - Scale, North Arrow, Vicinity Map
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**Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.**

### READ CAREFULLY BEFORE SIGNING

I Mohamadal Tary do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes and that it is my responsibility to obtain all necessary permits required.



## NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, \_\_\_\_\_ at 6:00 P.M.  
at the Bryant City Office Complex, 210 Southwest 3<sup>rd</sup> Street, City of Bryant, Saline  
County, for the purpose of public comment on a conditional use request at the site of  
\_\_\_\_\_ (address).

A legal description of this property can be obtained by contacting the Bryant Department  
of Community Development.

Lance Penfield  
Chairman of Planning Commission  
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier  
no less than 15 days prior to the public hearing.*





**City of Bryant, Arkansas**  
 Community Development  
 210 SW 3<sup>rd</sup> Street Bryant, AR 72022  
 501-943-0943

## SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at [www.cityofbryant.com](http://www.cityofbryant.com) under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 11/7/24

**Sign Co. or Sign Owner**

Name Pinnacle Signs LLC  
 Address 7610 County Massie  
 City, State, Zip NLR, AR, 72113  
 Phone 501 812 4435  
 Email Address info@pinnacle-signs.com

**Property Owner**

Name Jellus Family Dentistry  
 Address 23239 I-30 Frontage  
 City, State, Zip Bryant AR 72022  
 Phone 501-574-2010  
 Email Address Brookejj@hotmail.com

**GENERAL INFORMATION**

Name of Business Jellus Family Dentistry  
 Address/Location of sign 23239 I-30 Frontage  
 Zoning Classification C-32

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

**READ CAREFULLY BEFORE SIGNING**

[Signature] do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand



that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Pole / truss	108" x 48"	36	~ 20'	~ 16'	
B	Wall	240" x 36"	60	~ 12'	~ 15'	
C						
E						
F						
G						





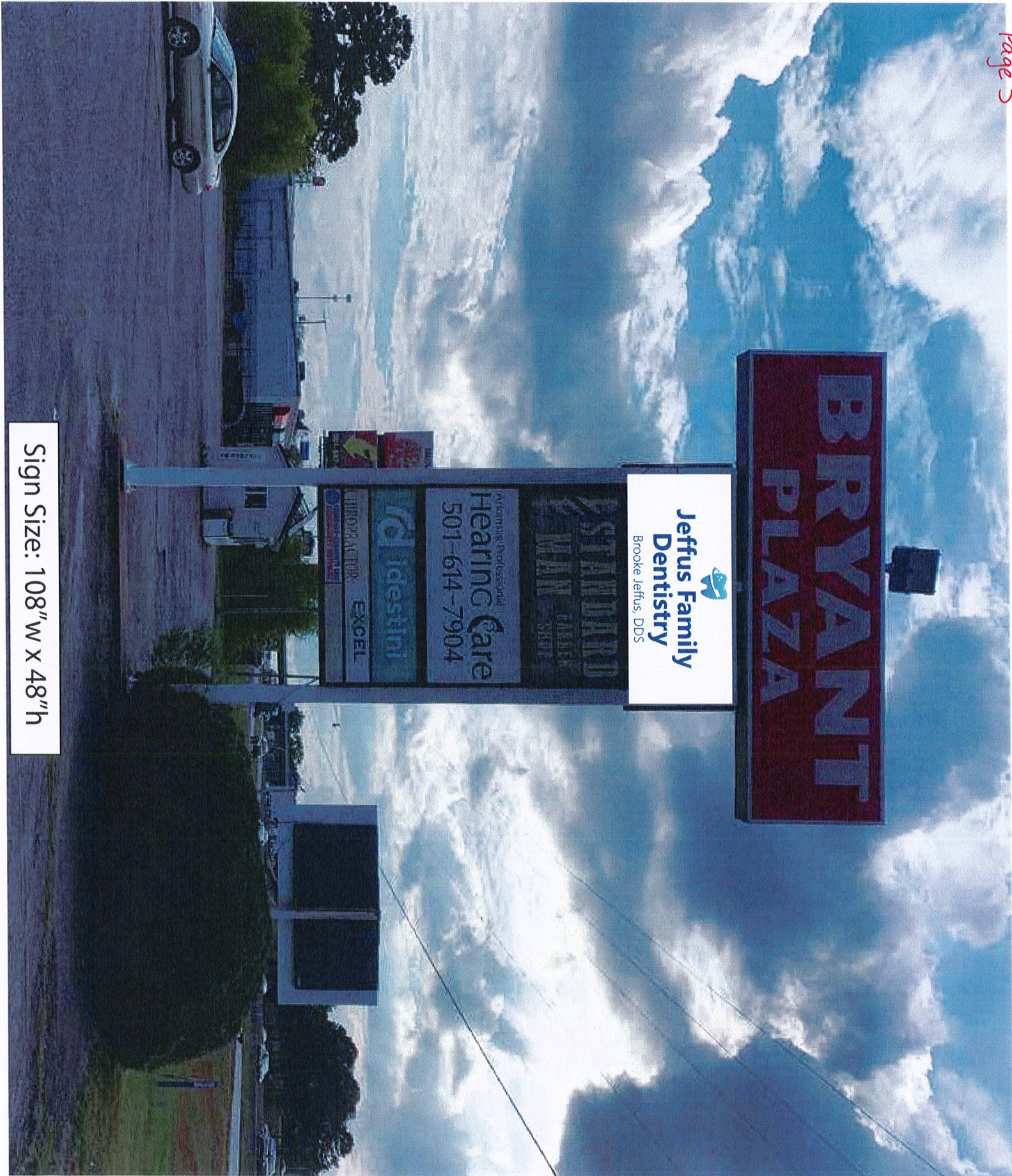
 **Jeffus Family Dentistry**  
Brooke Jeffus, DDS

Sign B Size: 240" w x 36" h *See Page 2*  
Building Face Size: ~~330~~<sup>891.5</sup>" w x 292" h









Sign Size: 108" w x 48" h





Sign A to be Installed Here

Sign B to be Installed Here

22329 I-30 Frontage Rd, Bryant, AR, 72022