

CERTIFICATIONS:

OWNER:	DEVELOPER:
Name: _____	Name: _____
Address: _____	Address: _____

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, plat and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____ Name: _____
Address: _____

Source of Title: D.R. BOOK _____ PAGE _____

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plan correctly represents a boundary survey made by me or under my supervision; that all monuments shown herein actually exist and their location, size, type and material are correctly shown; and that all interior lot lines are accurately described in terms of length and direction of the property sides.

Date of Execution _____
Jonathan L. Hope
Registered Professional
Land Surveyor No. 1762 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:

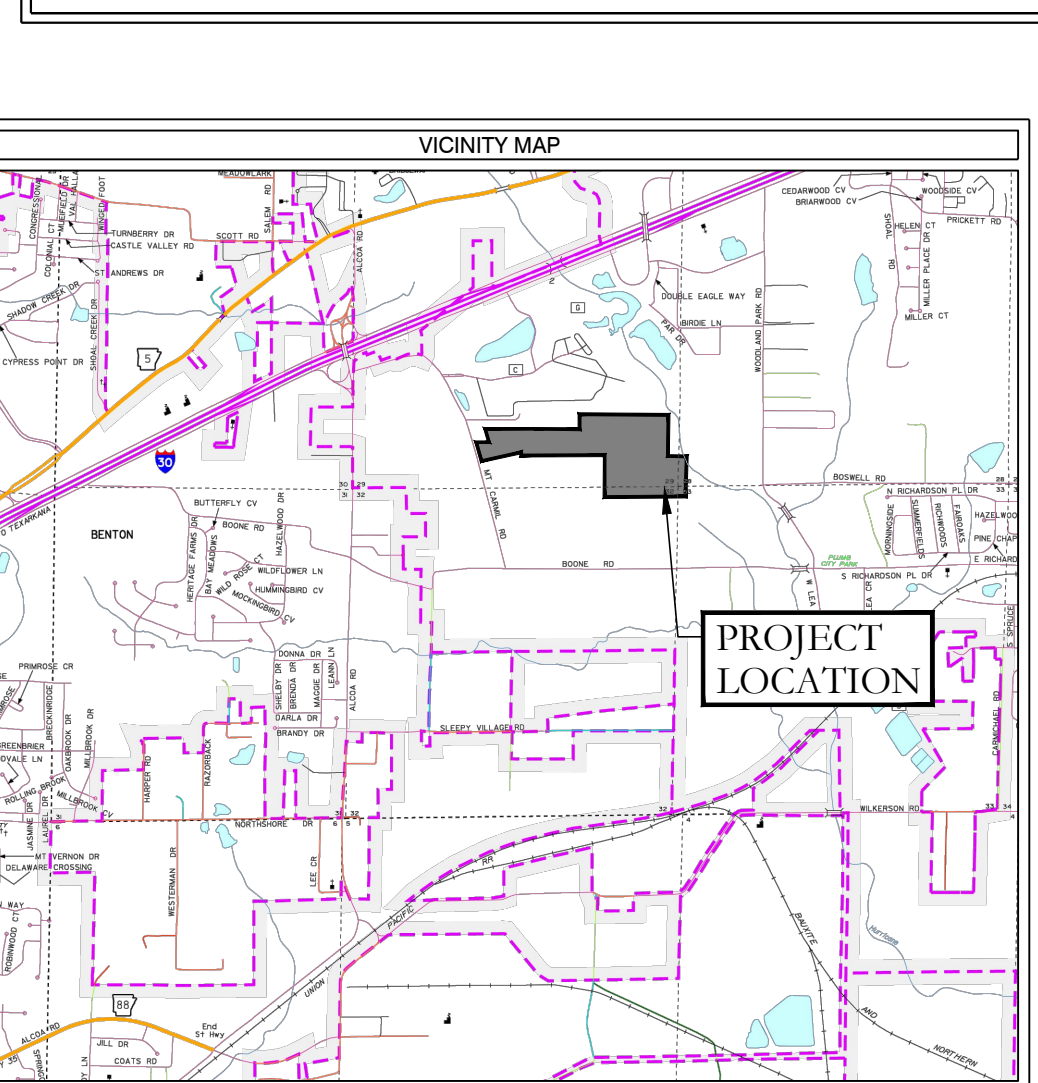
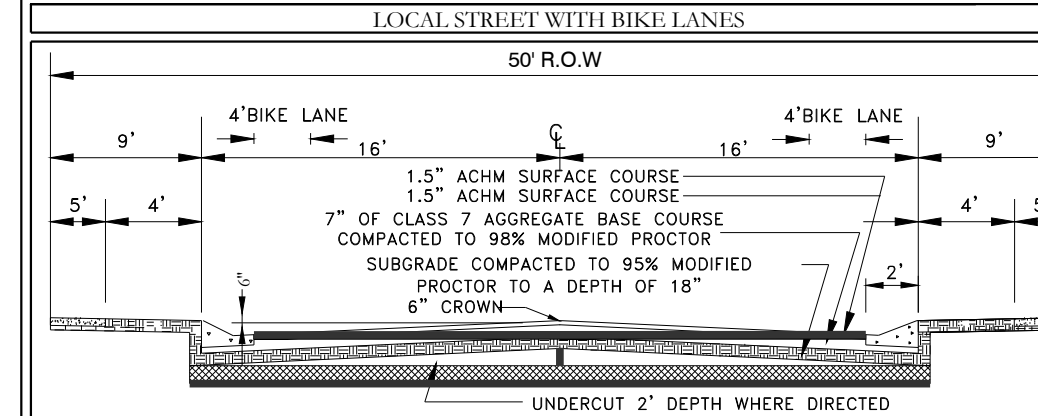
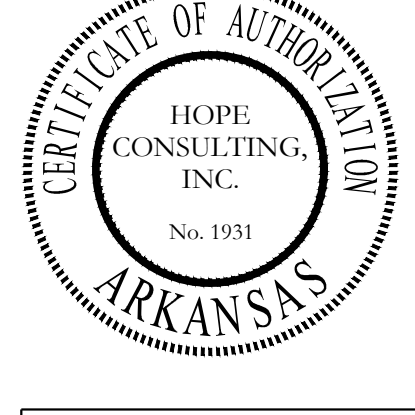
I, William W. McFadden, hereby certify that this plan correctly represents a plan made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been complied with.

Date of Execution _____
William W. McFadden
Registered Professional
Engineer, No. 14048 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date of Execution _____
NAME: CHAIRMAN
BRYANT PLANNING COMMISSION



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C11	5.83	525.00	6°38'10"	S89°03'23"E	5.83
C12	60.15	525.00	6°33'54"	N87°18'35"E	60.12
C13	61.01	525.00	6°39'30"	N80°41'53"E	60.98
C14	52.58	525.00	5°44'18"	N74°29'59"E	52.56
C15	14.19	475.00	1°42'43"	N72°29'11"E	14.19
C16	61.85	475.00	7°27'38"	N77°04'22"E	61.81
C17	52.63	475.00	3°50'09"	N82°40'15"E	52.62
C18	41.98	25.00	96°13'18"	S47°09'01"E	37.22
C19	42.12	25.00	96°32'14"	S49°13'45"W	37.31
C20	32.52	475.00	3°35'20"	N80°32'28"W	32.51
C21	61.93	475.00	7°28'14"	N74°50'41"W	61.89
C22	57.71	475.00	4°18'26"	N68°57'21"W	55.70
C23	28.06	275.00	5°50'48"	N69°43'32"W	28.05
C24	61.06	275.00	12°43'10"	N79°00'34"W	60.93
C25	60.18	275.00	12°32'20"	S88°21'39"W	60.06
C26	47.02	275.00	9°47'47"	S77°11'35"W	46.96
C27	52.46	275.00	10°55'48"	S66°49'48"W	52.38
C28	52.46	275.00	10°55'48"	S55°54'00"W	52.38
C29	65.16	275.00	13°34'31"	S43°38'50"W	65.00
C30	50.09	225.00	12°45'20"	S43°14'15"W	49.99
C31	99.29	225.00	25°17'00"	S62°15'25"W	98.48
C32	65.78	225.00	16°43'03"	S83°16'27"W	65.55
C33	117.26	275.00	89°34'39"	N43°33'37"W	105.67
C34	21.56	525.00	2°21'12"	N0°01'06"E	21.56
C35	60.26	525.00	6°43'37"	N4°24'48"W	60.23
C36	55.71	525.00	6°04'47"	N10°44'30"W	55.68
C37	22.06	25.00	50°33'37"	S11°29'55"W	21.35
C38	72.11	590.00	7°01'24"	N4°40'37"E	67.70
C39	22.93	590.00	22°15'51"	N41°28'00"W	22.78
C40	23.33	25.00	53°28'13"	N28°51'49"W	22.49
C41	39.60	25.00	90°45'14"	N46°14'55"E	35.59
C42	38.94	25.00	89°14'46"	S43°45'05"E	35.12
C43	75.23	590.00	7°30'33"	N89°07'42"W	70.24
C44	23.33	25.00	53°28'13"	S27°36'25"W	22.49
C45	51.32	590.00	4°50'08"	S29°25'27"W	49.72
C46	71.87	590.00	6°47'39"	S39°25'26"E	67.51

AS-SURVEYED DESCRIPTION:

PART OF THE SOUTH HALF OF THE SOUTHEAST QUARTER (S 1/2 SE 1/4) AND PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER (SE 1/4 SW 1/4), ALL IN SECTION 29, TOWNSHIP 21 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

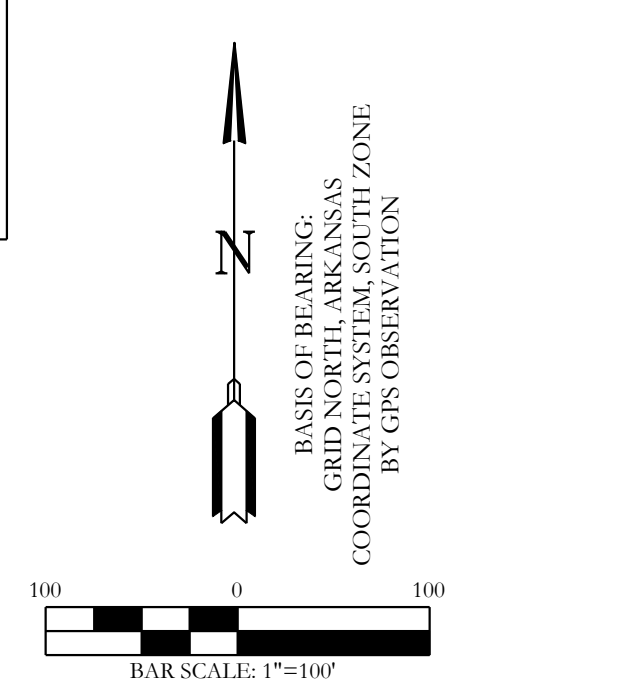
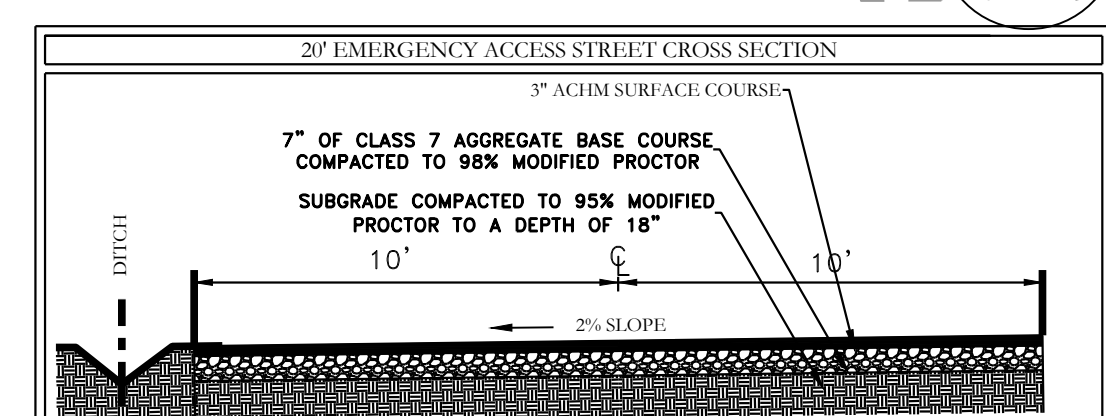
BEGINNING AT A 4" ANGLE IRON, ACCEPTED AS THE SOUTHEAST CORNER OF THE N 1/2 SE 1/4 SW 1/4 OF SECTION 29; THENCE S02°05'07"E, ALONG THE EAST LINE THEREOF, A DISTANCE OF 77.09 FEET TO A 1" PIPE AT A FENCE CORNER; THENCE LEAVING SAID EAST LINE, S89°15'59"W, ALONG A FENCE LINE, A DISTANCE OF 651.02 FEET TO A SET 1/2" REBAR ON THE EAST RIGHT-OF-WAY OF MT. CARMEL ROAD; THENCE N14°29'19"W, ALONG THE EAST RIGHT-OF-WAY OF MT. CARMEL ROAD, A DISTANCE OF 32.22 FEET TO A SET 1/2" REBAR ON THE SOUTH LINE OF A TRACT DESCRIBED IN SALINE COUNTY DEED BOOK 283 AT PAGE 216; THENCE LEAVING SAID EAST RIGHT-OF-WAY, S89°23'11"E, ALONG THE SOUTH LINE OF SAID TRACT, A DISTANCE OF 195.39 FEET TO A SET 1/2" REBAR; THENCE N14°53'33"W, ALONG THE EAST LINE OF SAID TRACT, A DISTANCE OF 210.00 FEET TO A SET 1/2" REBAR AT THE NORTHEAST CORNER OF SAID TRACT; THENCE S89°23'11"E, A DISTANCE OF 584.40 FEET TO A 1/2" REBAR AT THE SOUTHWEST CORNER OF A TRACT DESCRIBED IN SALINE COUNTY INSTRUMENT #2012-006447; THENCE S88°17'24"E, ALONG THE SOUTH LINE OF SAID TRACT, A DISTANCE OF 940.00 FEET TO A SET 1/2" REBAR AT THE SOUTHEAST CORNER OF SAID TRACT; THENCE N01°36'22"E, ALONG THE EAST LINE OF SAID TRACT, A DISTANCE OF 231.30 FEET TO A SET 1/2" REBAR AT THE NORTHEAST CORNER OF SAID TRACT; BEING ON THE NORTH LINE OF THE SW 1/4 SE 1/4 OF SECTION 29 AND 940.00 FEET FROM THE NORTHWEST CORNER THEREOF; THENCE S88°14'07"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 381.26 FEET TO A SET 1/2" REBAR AT THE NORTHWEST CORNER OF THE SE 1/4 SE 1/4 OF SECTION 29; THENCE S88°14'07"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 1,006.26 FEET TO A SET 1/2" REBAR, BEING 315.00 FEET FROM THE NORTHEAST CORNER OF SAID SE 1/4 SE 1/4 OF SECTION 29; THENCE LEAVING SAID NORTH LINE, S02°58'26"W, A DISTANCE OF 728.61 FEET TO A SET 1/2" REBAR; THENCE S87°03'57"E, A DISTANCE OF 315.00 FEET TO A SET 1/2" REBAR ON THE EAST LINE OF THE SE 1/4 SE 1/4 OF SECTION 29, BEING 75.00 FEET FROM THE NORTHEAST CORNER THEREOF; THENCE S02°58'07"W, ALONG THE EAST LINE THEREOF, A DISTANCE OF 576.50 FEET TO A 1" FLAT IRON, ACCEPTED AS THE SOUTHEAST CORNER OF THE SE 1/4 SE 1/4 OF SECTION 29; THENCE N88°22'28"W, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,314.12 FEET TO A SET 1/2" REBAR AT THE SOUTHWEST CORNER OF THE SE 1/4 SE 1/4 OF SECTION 29; THENCE N02°39'14"E, ALONG THE WEST LINE THEREOF, A DISTANCE OF 657.75 FEET TO A SET 1/2" REBAR AT THE SOUTHEAST CORNER OF THE N 1/2 SW 1/4 OF SECTION 29; THENCE N89°25'77"W, ALONG THE SOUTH LINE THEREOF, A DISTANCE OF 1,306.74 FEET TO THE POINT OF BEGINNING; CONTAINING 2,443,901.8 SQUARE FEET, OR 56.104 ACRES, MORE OR LESS.

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C47	23.33	25.00	53°28'13"	S40°31'01"E	22.49
C48	23.33	25.00	53°28'13"	S40°31'01"E	22.49
C49	59.28	475.00	7°09'02"	S10°12'23"E	59.24
C50	63.47	475.00	7°39'23"	S2°48'11"E	63.43
C51	1.68	475.00	0°12'11"	S1°07'37"W	1.68
C52	19.44	25.00	44°33'02"	N23°30'13"E	18.95
C53	18.75	61.00	17°36'50"	N36°58'19"E	18.68
C54	81.31	61.00	76°22'11"	N10°01'11"W	75.42
C55	80.72	61.00	75°49'09"	N86°16'51"W	74.96
C56	9.45	61.00	8°52'33"	S51°32'18"W	9.44
C57	19.44	25.00	44°33'02"	S69°22'34"E	18.95
C58	50.65	275.00	10°33'08"	N86°22'24"E	50.57
C59	48.24	275.00	10°25'09"	N76°04'21"E	48.17
C60	56.02	275.00	11°40'15"	S61°02'29"W	55.92
C61	88.06	275.00	18°20'47"	S46°01'58"W	87.68
C62	35.26	225.00	8°58'40"	N41°20'55"E	35.22
C63	130.87	225.00	33°19'30"	N62°30'00"E	129.03
C64	60.36	225.00	15°22'11"	N86°50'50"E	60.18
C65	61.34	225.00	15°37'09"	S77°39'30"E	61.15
C66	11.96	225.00	3°02'48"	S68°19'32"E	11.96
C67	51.67	525.00	3°38'20"	S69°37'18"E	51.65
C68	61.61	525.00	6°43'24"	S75°48'10"E	61.57
C69	60.40	525.00	6°35'30"	S82°27'37"E	60.37
C70	60.03	525.00	6°33'06"	S89°01'55"E	60.00
C71	60.46	525.00	6°35'55"	N84°23'34"E	60.43
C72	61.74	525.00	6°41'17"	N77°43'28"E	61.71
C73	24.97	525.00	2°43'29"	N72°59'35"E	24.96
C74	38.02	475.00	4°35'10"	N73°53'25"E	38.01
C75	61.23	475.00	7°23'21"	N79°54'35"E	61.19
C76	63.22	475.00	7°37'32"	N87°24'56"E	63.17
C77	171.02	5000.00	19°35'52"	S81°25'46"W	170.19
C78	562.74	5000.00	41°34'02"	N87°53'09"W	554.84
C79	562.74	5000.00	41°34'02"	N87°53'09"W	554.84
C80	333.09	250.00	76°20'17"	S75°01'43"W	308.99
C81	259.07	250.00	54°47'39"	S64°15'16"W	230.06

Parcel Line Table

Line #	Length	Direction
L1	60.44	S64°12'48.97"W
L2	28.52	S36°51'34.95"W
L5	24.09	S78°51'58.61"W
L6	28.62	S89°23'11.69"E
L7	35.01	N2°39'14.31"E
L8	35.01	S2°58'07.25"W
L9	37.36	N23°07'23.18"W
L10	41.12	N23°03'57.48"W



PROPERTY SPECIFICATIONS:

OWNER: TITAN GENERAL CONTRACTORS 204 WOODLAND DR. BENTON, AR 72019	AVERAGE LOT SIZE: 60 x 100 (6,000 SF) NUMBER OF LOTS: 109
DEVELOPER/SUBDIVIDER: TITAN GENERAL CONTRACTORS 204 WOODLAND DR. BENTON, AR 72019	SOURCE OF WATER: BRYANT SOURCE OF ELECTRIC: FIRST ELECTRIC
ENGINEERS: HOPE CONSULTING INC. 175 S. MARKET STREET BENTON, AR 72015	BUILDING SETBACKS: FRONT: 20' OR AS SHOWN SIDE: 6' OR AS SHOWN
NAME OF SUBDIVISION: STARLIGHT VILLAGE	UTILITY & DRAINAGE EASEMENTS: FRONT: 10' OR AS SHOWN REAR: 5' OR AS SHOWN SIDE: 5' OR AS SHOWN
INSTRUMENT # ZONING DISTRICT: R-1.5	

HOPE CONSULTING ENGINEERS - SURVEYORS

129 N. Main Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

PRELIMINARY PLAT
THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

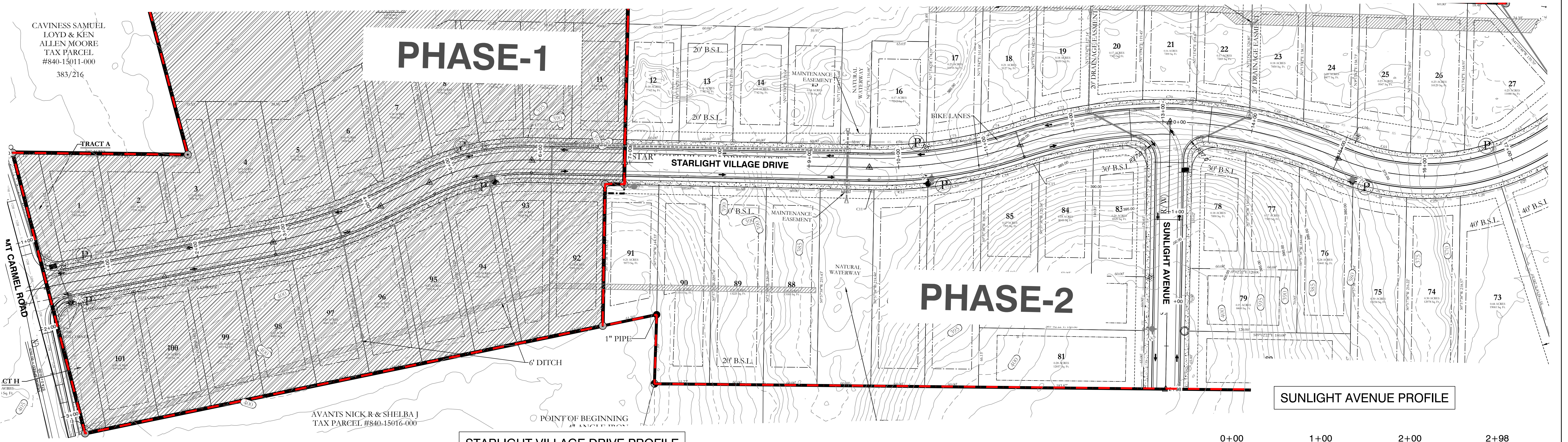
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REVISION: 03/06/2024	CHECKED BY:	
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SCALE: 1"=100'

CAVINESS SAMUEL
LOYD & KEN
ALLEN MOORE
TAX PARCEL
#840-15011-000
383/216

PHASE-1

PHASE-2

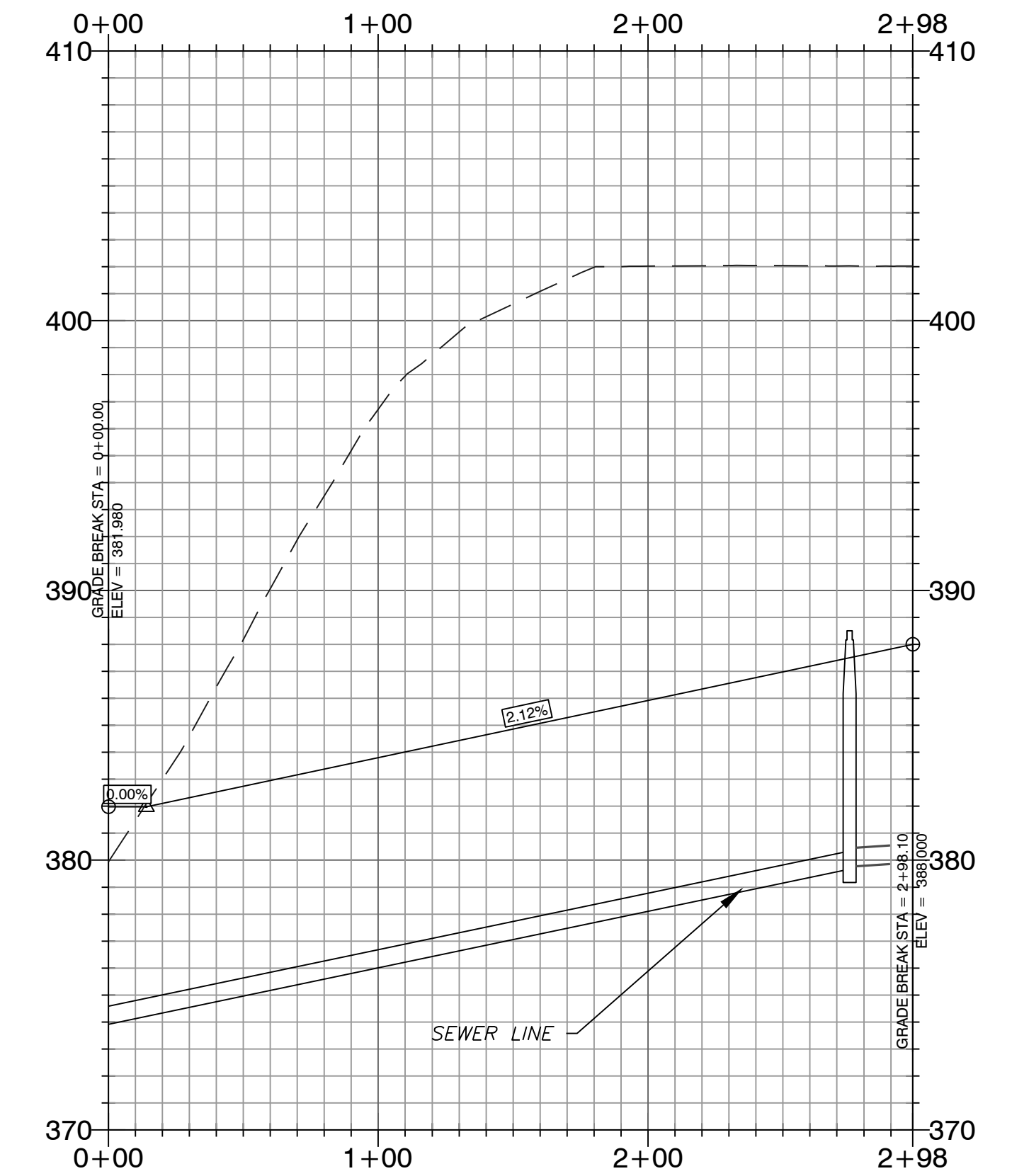
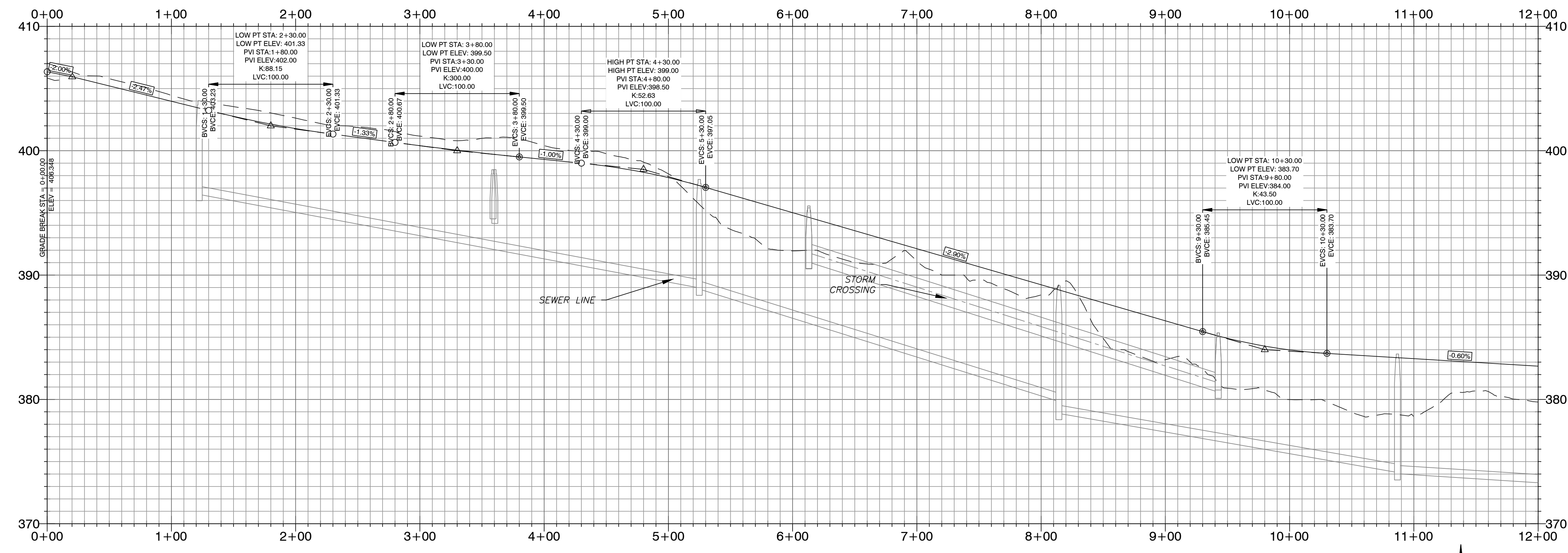


AVANT'S NICK R & SHELBA J
TAX PARCEL #840-15016-000

POINT OF BEGINNING
ALAN C. DROWN

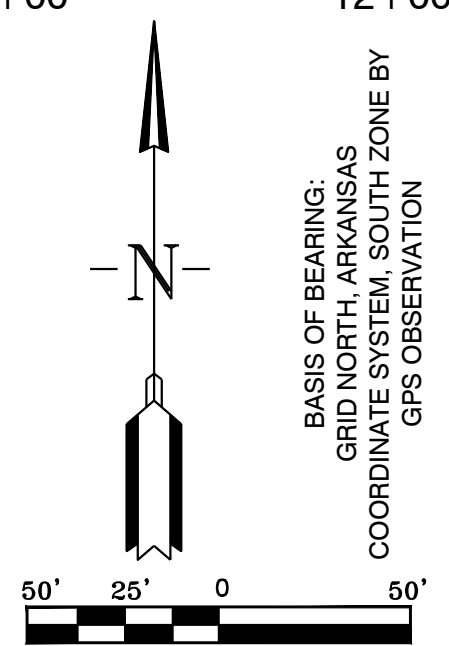
STARLIGHT VILLAGE DRIVE PROFILE

SUNLIGHT AVENUE PROFILE

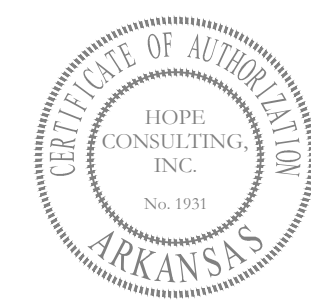


DESIGN SPEED : 25 MPH

- HDPE
- RCP
- - - - - PHASE BOUNDARIES



BASIS OF BEARING:
GAMMA
COORDINATE SYSTEM: SOUTH ZONE BY
GPS OBSERVATION



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ENGINEERS - SURVEYORS
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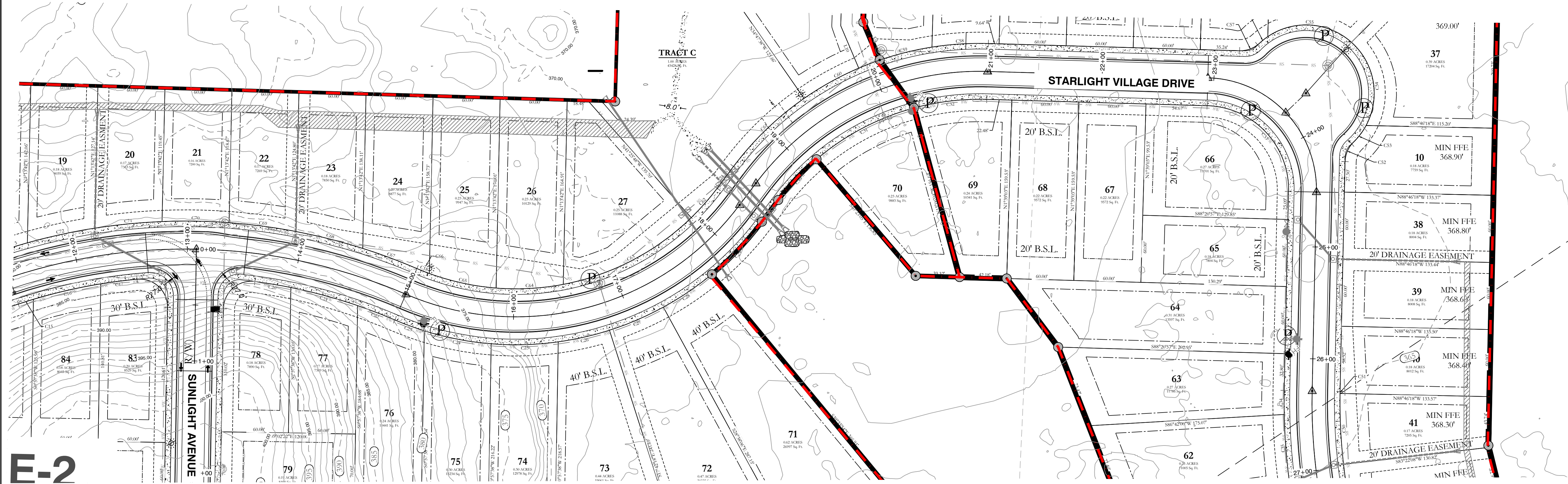
FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
STREET PLAN AND PROFILES
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 12-22-2023	CHECKED BY:	19-0238
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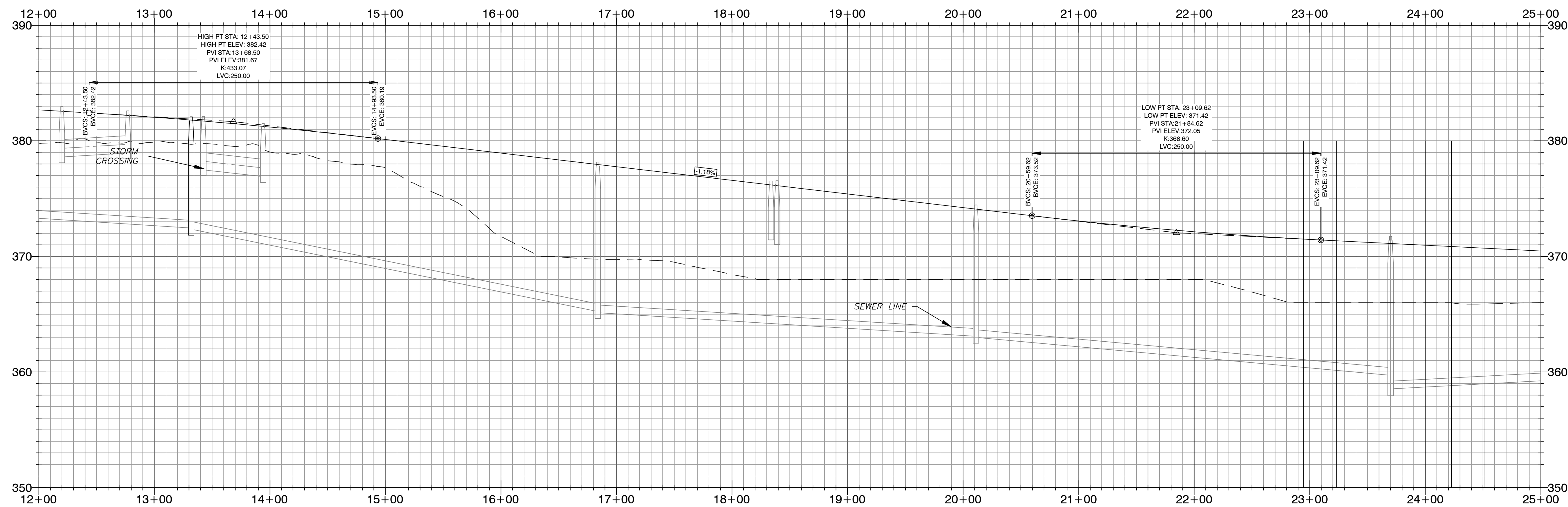
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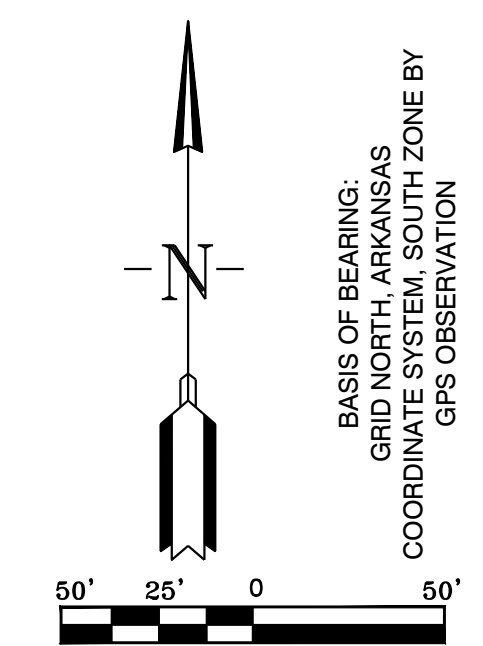
E-2

STARLIGHT VILLAGE DRIVE PROFILE



DESIGN SPEED : 25 MPH

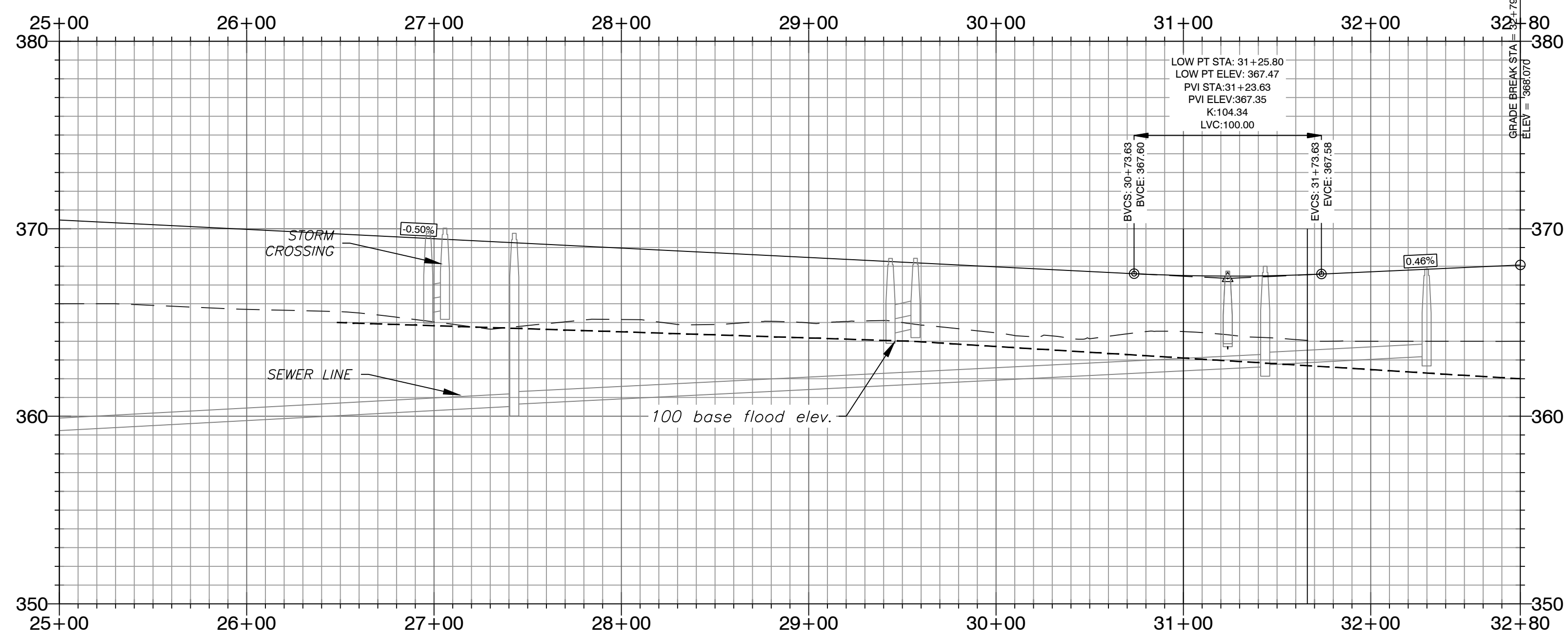
- HDPE
- RCP
- - - - - PHASE BOUNDARIES



HOPE CONSULTING ENGINEERS - SURVEYORS		129 N. Main Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com
FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC		
THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 STREET PLAN AND PROFILE A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 10-5-2023	C.A.D. BY:	DRAWING NUMBER:
REVISION: 11-22-2023	CHECKED BY:	19-0238
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62	1762	

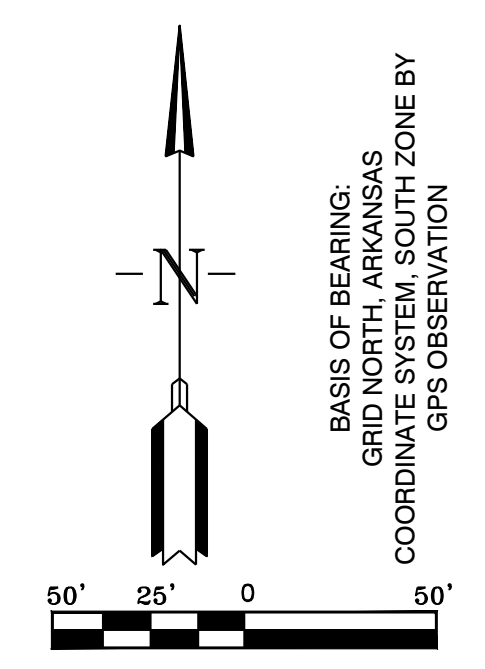
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STARLIGHT VILLAGE DRIVE PROFILE

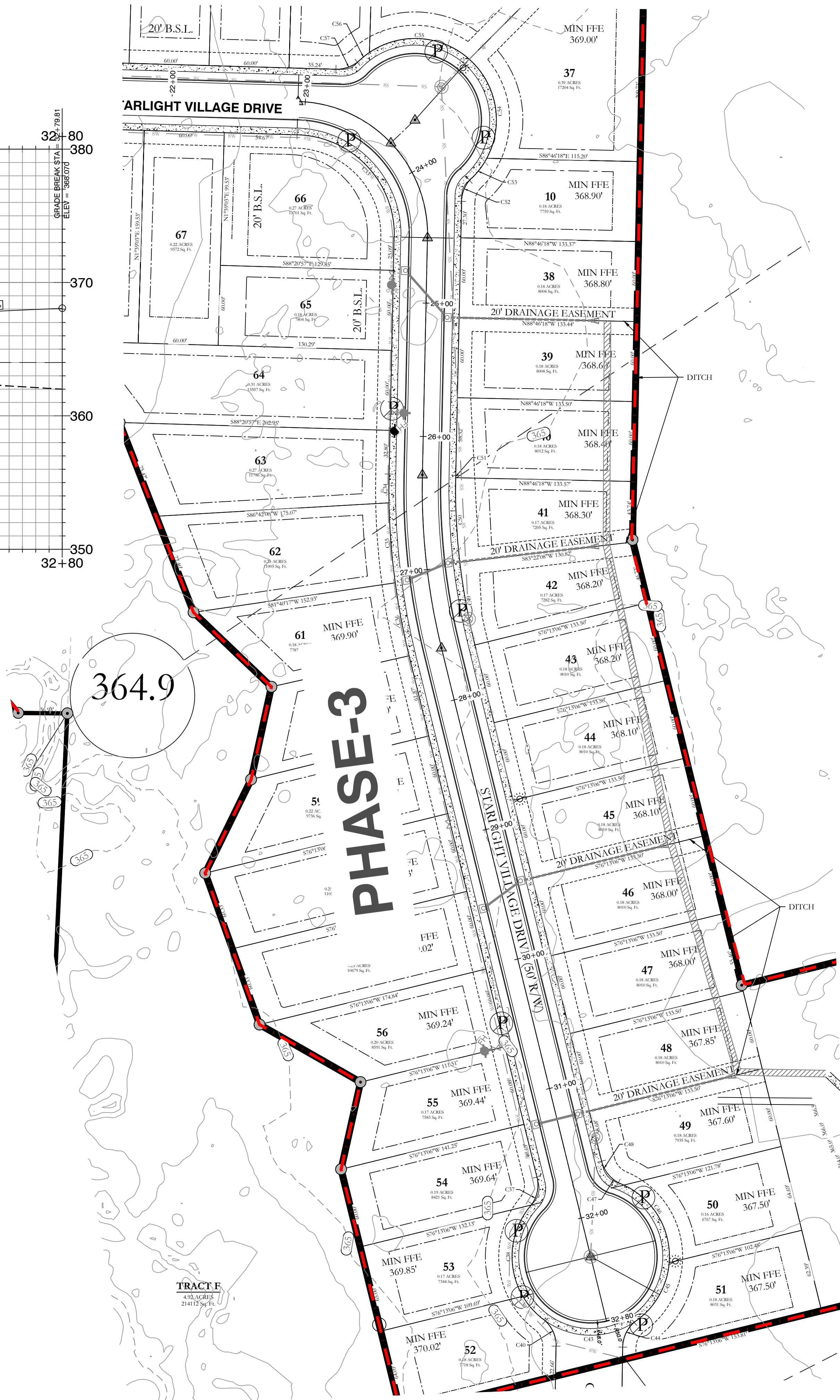


DESIGN SPEED : 25 MPH

- HDPE
- RCP
- - - - - PHASE BOUNDARIES



BASIS OF BEARING:
GRID NORTH, ARKANSAS
COORDINATE SYSTEM, SOUTH ZONE BY
GPS OBSERVATION



HOPE CONSULTING
ENGINEERS - SURVEYORS

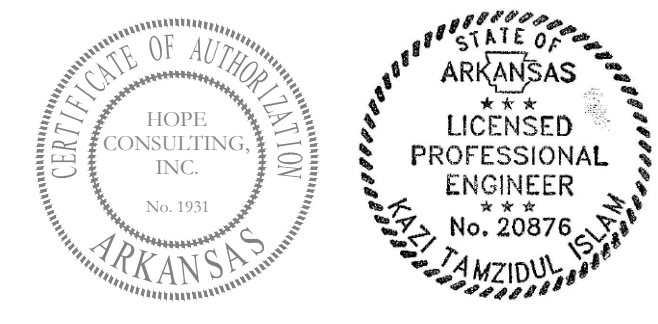
129 N. Main Street,
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FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
STREET PLAN AND PROFILE
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	10-05-2023	C.A.D. BY:		DRAWING NUMBER:
REVISID:	12-22-2023	CHECKED BY:		19-0238
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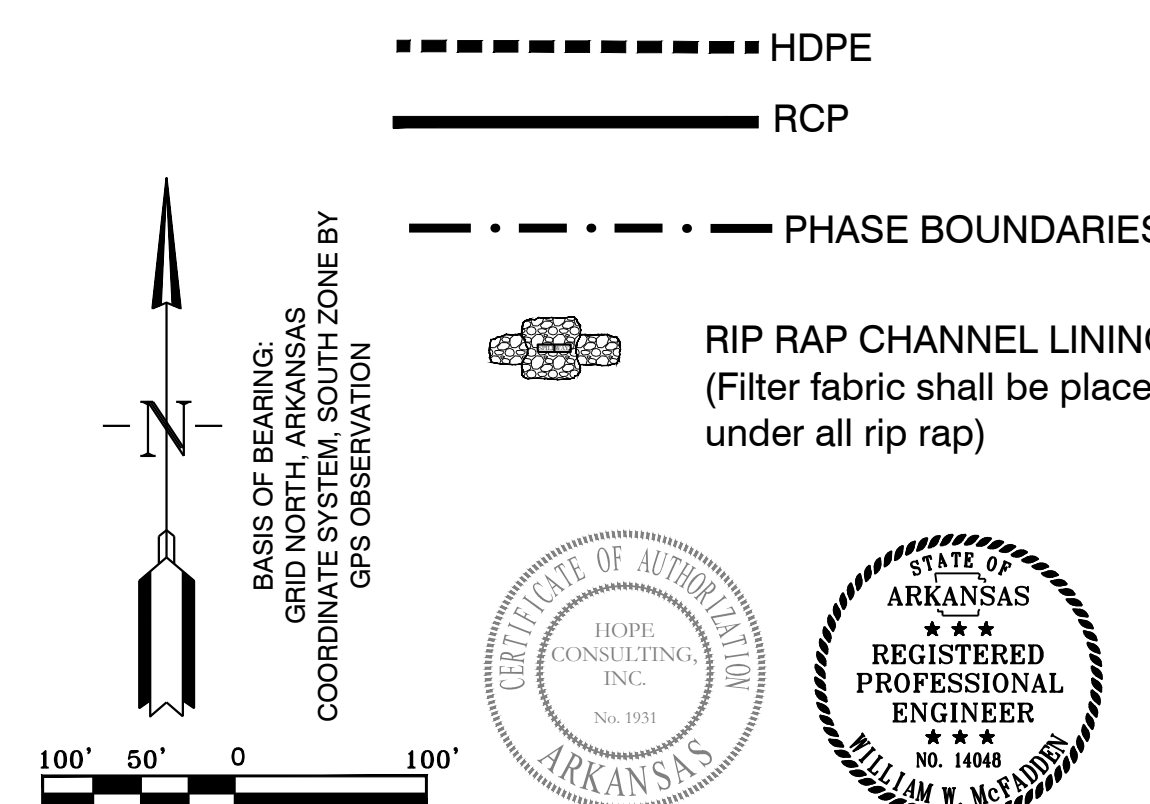
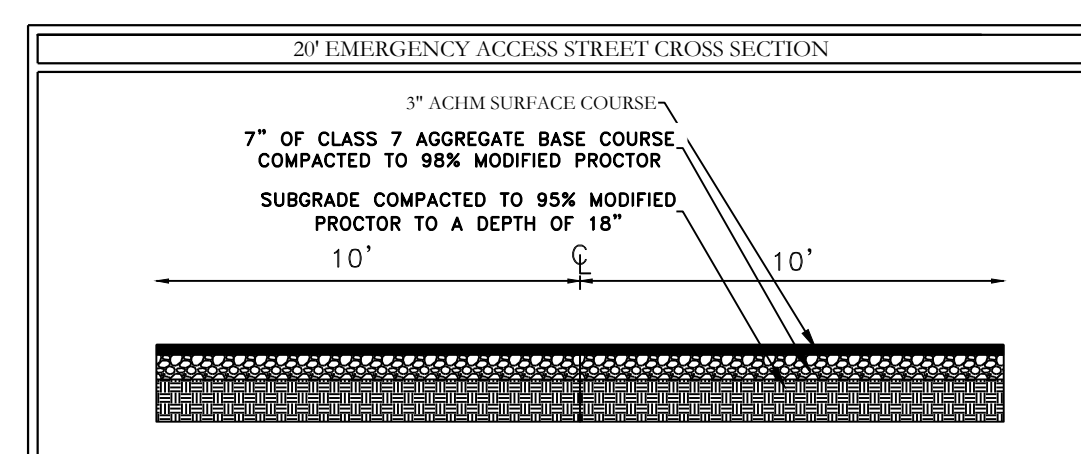
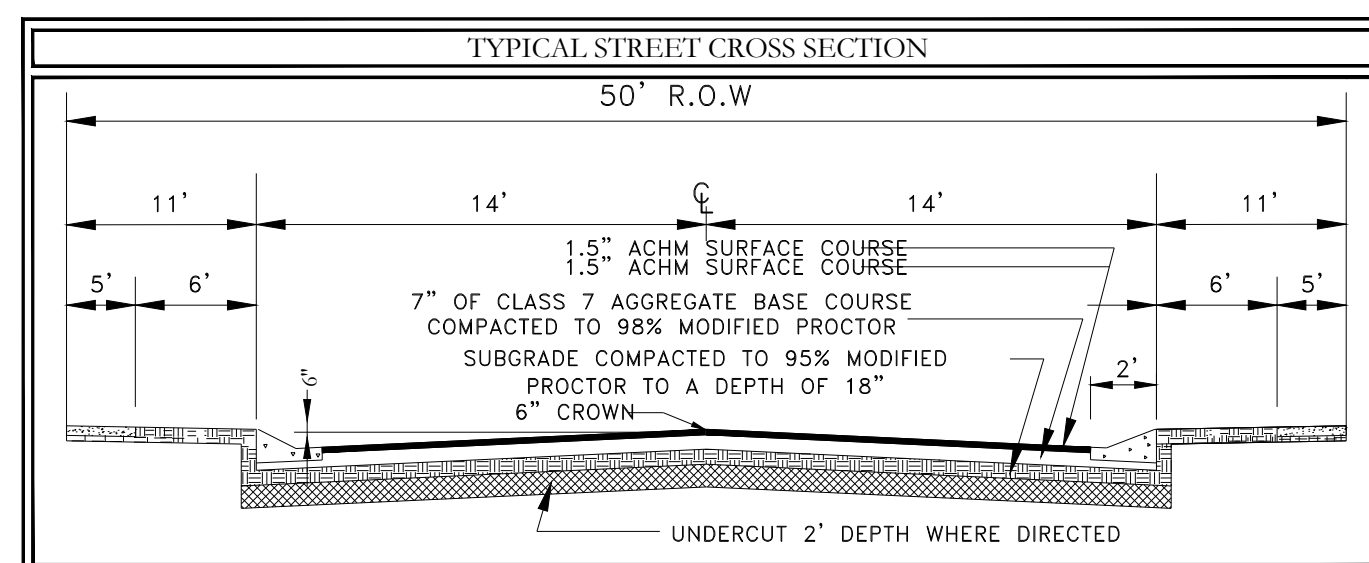
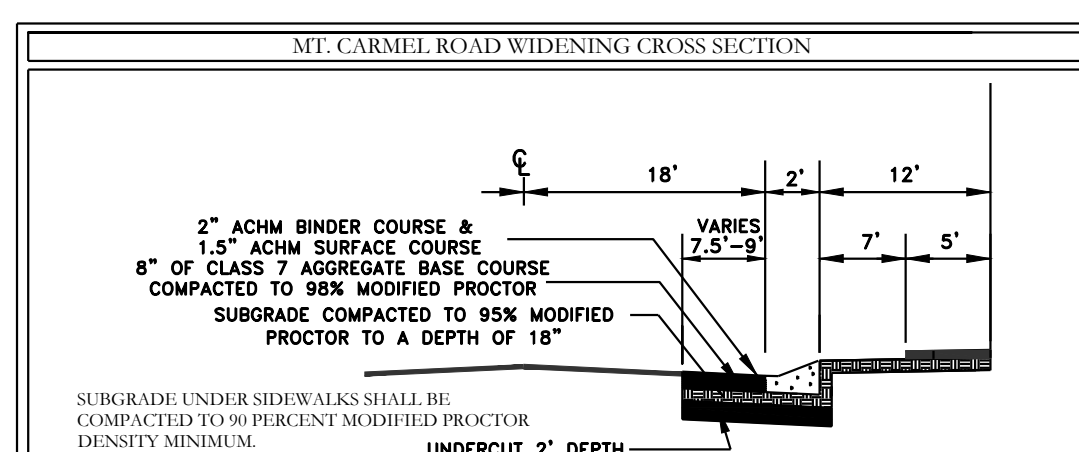
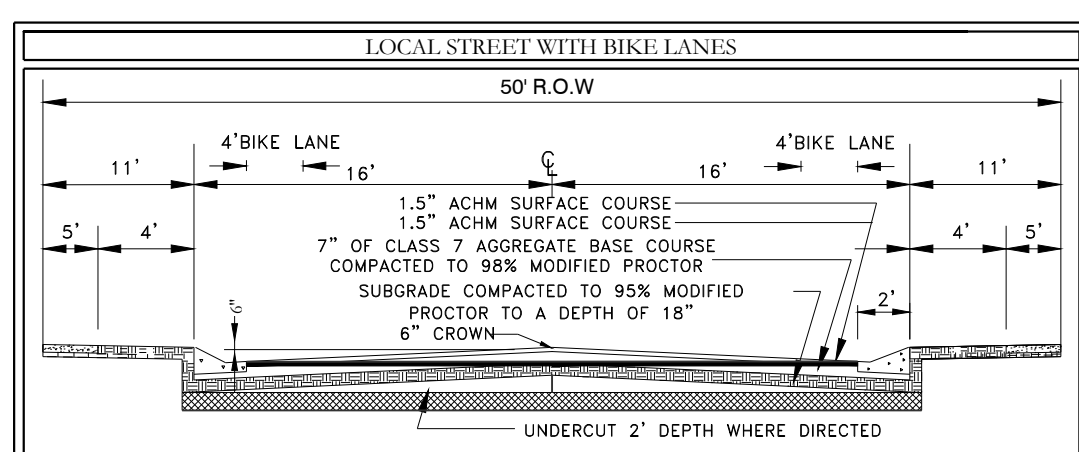
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C14	52.58	525.00	5°44'18"	N74° 29' 59"E	52.56
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C26	47.02	275.00	9°47'47"	S77° 11' 35"W	46.96
C27	52.46	275.00	10°55'48"	S66° 49' 48"W	52.38
C28	52.46	275.00	10°55'48"	S55° 54' 00"W	52.38
C29	65.16	275.00	13°34'31"	S43° 38' 50"W	65.00
C30	50.09	275.00	12°45'20"	S43° 14' 15"W	49.99
C31	99.29	225.00	25°17'00"	S62° 15' 25"W	98.48
C32	65.78	225.00	16°45'03"	S83° 16' 27"W	65.55
C33	117.26	75.00	89°34'39"	N43° 33' 37"W	105.67
C34	21.56	525.00	2°21'12"	N0° 03' 06"E	21.56
C35	60.26	525.00	6°34'37"	N4° 24' 48"W	60.23
C36	55.71	525.00	6°04'47"	N10° 44' 30"W	55.68
C37	22.06	25.00	50°33'37"	S11° 29' 55"W	21.35
C38	72.11	59.00	70°01'24"	N4° 40' 37"E	67.70
C39	22.93	59.00	22°15'51"	N41° 28' 00"W	22.78
C40	23.33	25.00	53°28'13"	N25° 51' 49"W	22.49
C41	39.60	25.00	90°45'14"	N46° 14' 55"E	35.59
C42	38.94	25.00	89°14'46"	S43° 45' 05"E	35.12
C43	75.23	59.00	73°03'33"	N89° 07' 42"W	70.24
C44	23.33	25.00	53°28'13"	S27° 50' 25"W	22.49
C45	51.32	59.00	49°50'08"	S29° 25' 27"W	49.72
C46	71.87	59.00	69°47'39"	S30° 23' 20"E	67.51

Curve #	Length	Radius	Delta	Chord Direction	Ch. Length
C47	23.33	25.00	53°28'13"	S40° 31' 01"E	22.49
C48	23.33	25.00	53°28'13"	S40° 31' 01"E	22.49
C49	59.28	475.00	7°09'02"	S10° 12' 23"E	59.24
C50	63.47	475.00	7°39'23"	S2° 48' 11"E	63.43
C51	1.68	475.00	0°12'11"	S1° 07' 37"W	1.68
C52	19.44	25.00	44°33'02"	N23° 50' 13"E	18.95
C53	18.75	61.00	17°36'50"	N30° 58' 19"E	18.68
C54	81.31	61.00	76°22'11"	N10° 01' 11"W	75.42
C55	80.72	61.00	75°40'09"	N86° 06' 51"W	74.96
C56	9.45	61.00	8°52'33"	S51° 32' 18"W	9.44
C57	19.44	25.00	44°33'02"	S69° 22' 32"W	18.95
C58	50.65	275.00	10°33'08"	N86° 22' 24"E	50.57
C59	48.24	275.00	10°02'59"	N76° 04' 21"E	48.17
C60	56.02	275.00	11°40'15"	S61° 02' 29"W	55.92
C61	88.06	275.00	18°20'47"	S46° 01' 58"W	87.68
C62	35.26	225.00	8°58'40"	N41° 20' 55"E	35.22
C63	130.87	225.00	33°19'30"	N62° 30' 00"E	129.03
C64	60.36	225.00	15°22'11"	N86° 50' 50"E	60.18
C65	61.34	225.00	15°37'09"	S77° 39' 30"E	61.15
C66	11.96	225.00	3°02'48"	S68° 19' 32"E	11.96
C67	51.67	525.00	5°38'20"	S69° 37' 18"E	51.65
C68	61.61	525.00	6°43'24"	S75° 48' 10"E	61.57
C69	60.40	525.00	6°35'30"	S82° 27' 37"E	60.37
C70	60.03	525.00	6°33'06"	S89° 01' 55"E	60.00
C71	60.46	525.00	6°35'55"	N84° 23' 34"E	60.43
C72	61.74	525.00	6°44'17"	N77° 43' 28"E	61.71
C73	24.97	525.00	2°43'29"	N72° 59' 35"E	24.96
C74	38.02	475.00	4°35'10"	N73° 55' 25"E	38.01
C75	61.23	475.00	7°23'10"	N79° 54' 35"E	61.19
C76	63.22	475.00	7°37'32"	N87° 24' 56"E	63.17
C77	171.02	500.00	19°35'52"	S81° 25' 46"W	170.19
C78	362.74	500.00	41°34'02"	N87° 33' 09"W	354.84
C79	362.74	500.00	41°34'02"	N87° 33' 09"W	354.84
C80	333.09	250.00	76°20'17"	S75° 01' 43"W	308.99
C81	229.07	250.00	54°47'23"	S64° 15' 16"W	230.06

Parcel #	Length	Direction
L.1	60.44	S64° 12' 48.97"W
L.2	28.52	S36° 51' 34.95"W
L.5	24.09	S78° 15' 58.61"W
L.6	28.62	S89° 25' 11.09"E
L.7	35.01	N2° 39' 14.31"E
L.8	35.01	S2° 58' 07.25"W
L.9	37.36	N23° 07' 23.18"W
L.10	41.12	N23° 03' 37.48"W



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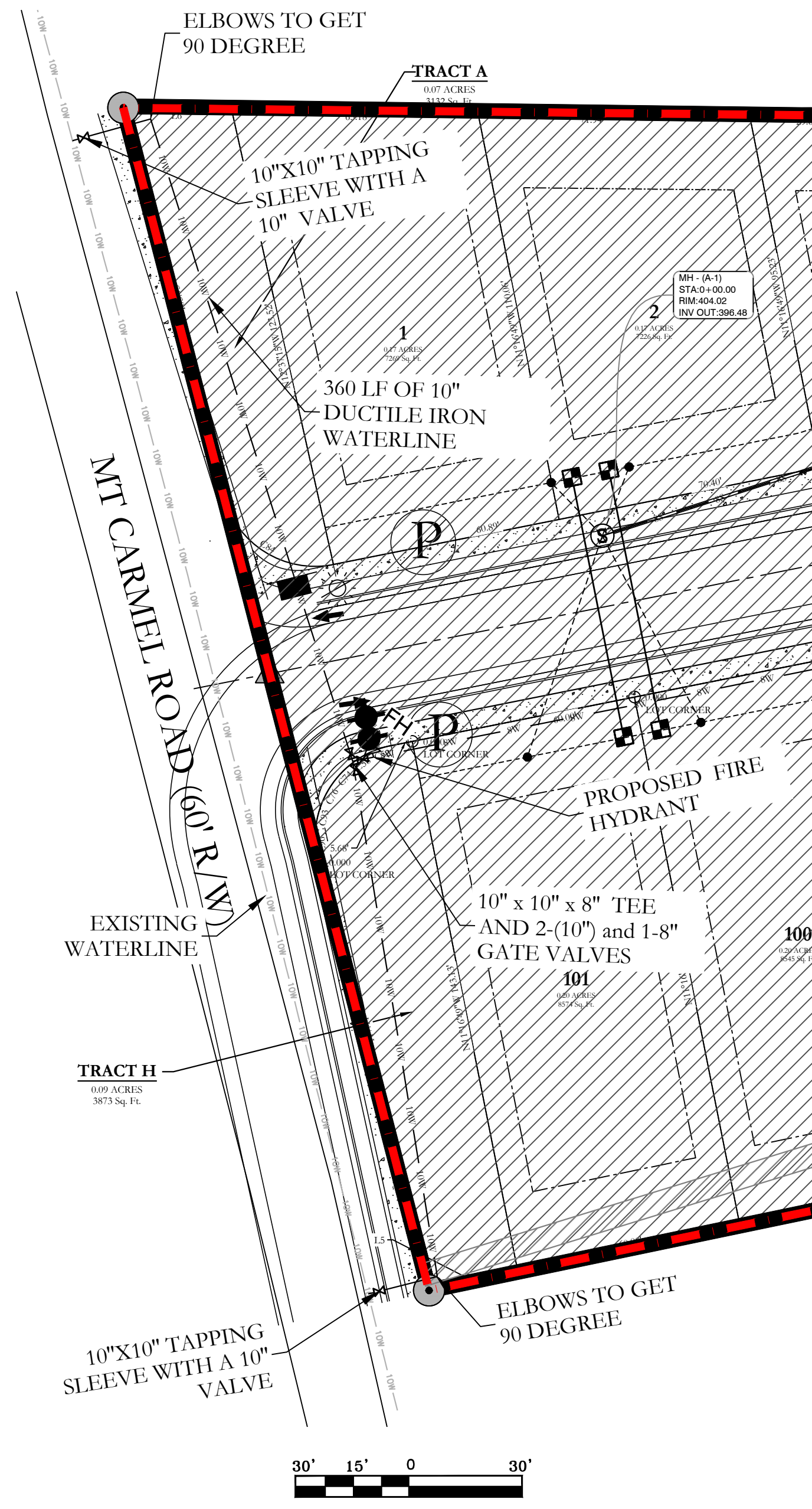
FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
GRADING PLAN FINISHED GRADE
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 4/2/2024	C.A.D. BY:	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
SHEET: C-1.0	SCALE:	

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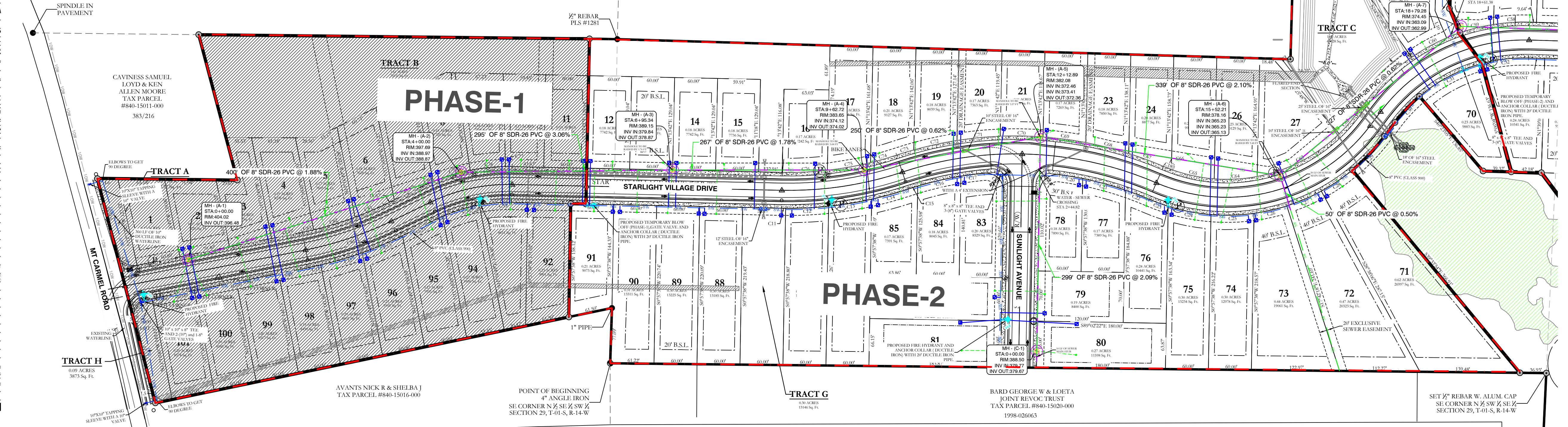


- ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
- ALL WATER MAINS LARGER THAN 8" DIAMETER SHALL BE DUCTILE IRON (250 PSI PRESSURE CLASS).
- ALL WATER AND SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
- WATER LINES UNDER CULVERTS, CREEKS, CONCRETE CHANNELS, RETAINING WALLS, OR OTHER DIFFICULT AND/OR DANGEROUS TO MAINTAIN AREAS SHALL BE ENCASED IN A SMOOTH STEEL ENCASEMENT PIPE. THE STEEL ENCASEMENT SHALL EXTEND FIVE FEET EITHER SIDE OF THE AREA.
- EACH WATER SERVICE METER MUST HAVE ITS OWN SERVICE LINE CONNECTION TO THE MAIN INCLUDES DOUBLE METERS DISPLAYED AS ONE SERVICE LINE ON THE PLAT.
- WATER MAIN CONNECTION TO THE NORTH WILL BE CONSTRUCTED IN PHASE 2, CONNECTION TO THE SOUTH WILL BE IN THE FINAL PHASE.
- THE WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO MAINTAIN A MINIMUM WORKING WATER PRESSURE OF 45 PSI AT THE WATER METER.
- VELOCITIES IN THE WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED IN SUCH WAY THAT VELOCITIES WILL BE NO GREATER THAN 5 FT/SEC DURING NORMAL OPERATIONAL CONDITIONS.
- FIRE FLOW DESIGN FOR SINGLE FAMILY & DUPLEXES SHALL BE 1500 GPM FOR A DURATION OF 2 HOURS.
- VELOCITIES DURING FIRE FLOW CONDITIONS SHALL NOT EXCEED 10FT/SEC.

SEWER CONSTRUCTION NOTES:

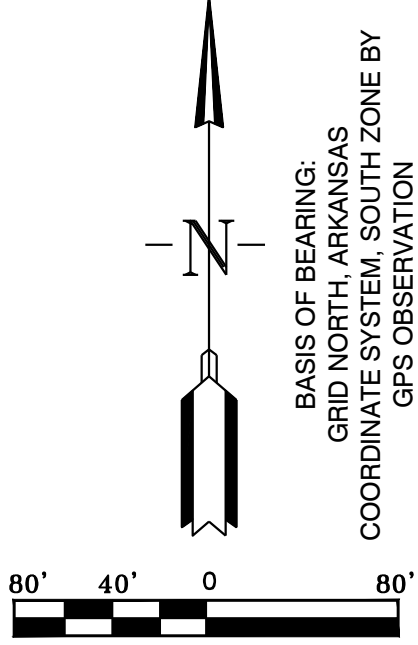
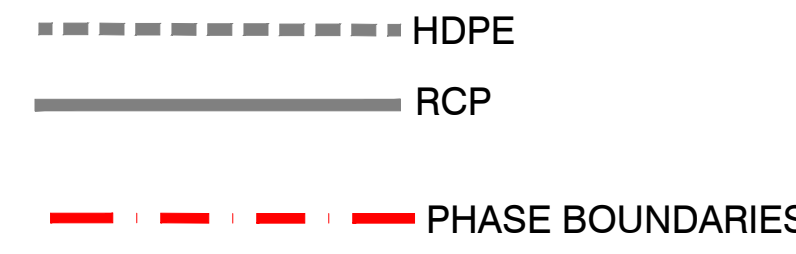
- ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION.
- ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.

GREENS AT HURRICANE CREEK
TAX PARCEL #840-15003-001



VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT.



SEWER LEGEND:	
	SEWER SERVICE
	SEWER MAIN
	SEWER MANHOLE

NOTE:
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3" MINIMUM COVER CANNOT BE MAINTAINED.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

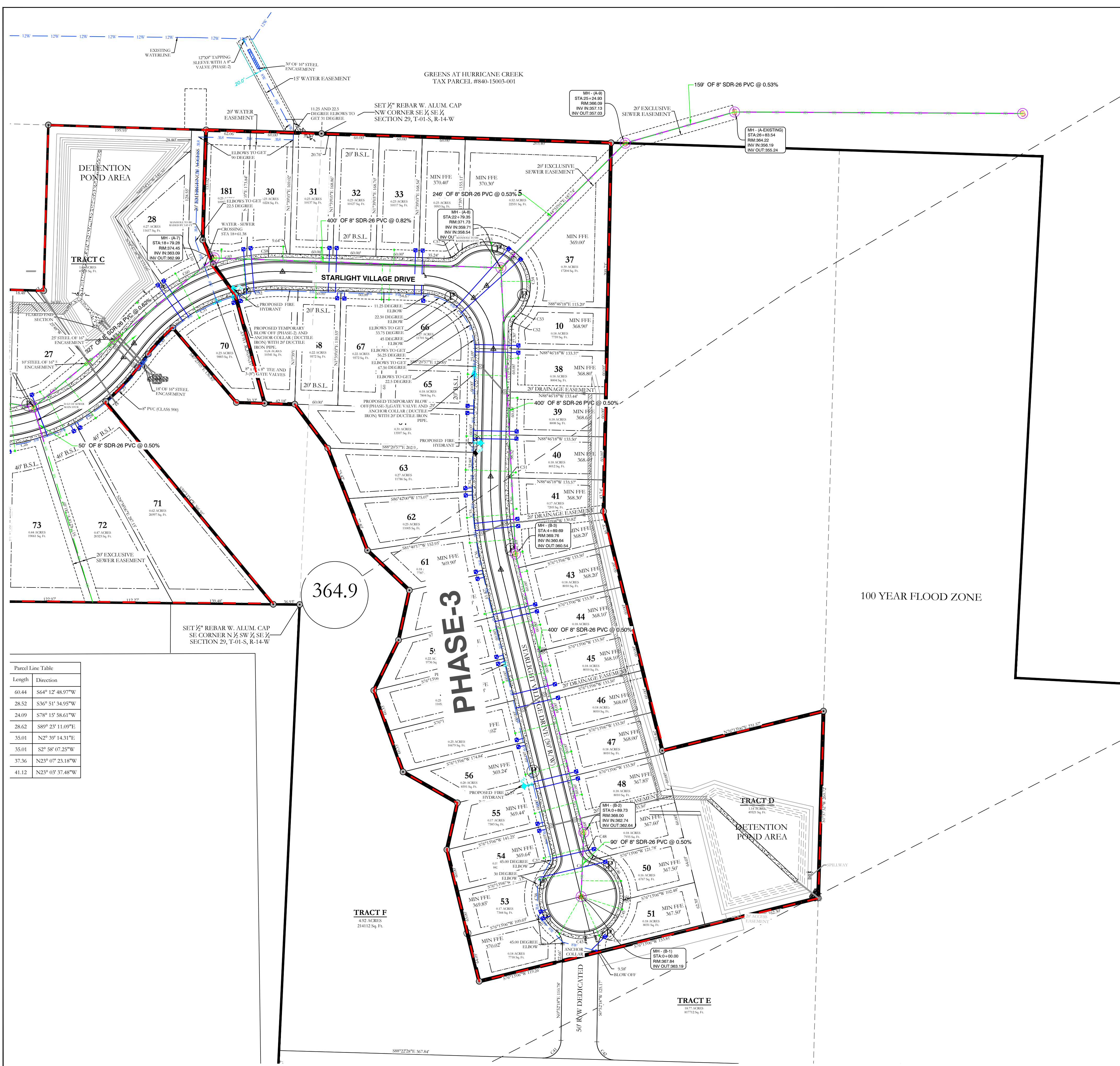
WATER LEGEND:	
	DUAL WATER METERS
	SINGLE WATER METER
	GATE VALVE
	45° FITTING
	90° FITTING
	TEE FITTING
	CROSS FITTING
	FIRE HYDRANT

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FOR USE AND BENEFIT OF:			
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC			
THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 UTILITY PLAN			
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:	
REVISION: 12-22-2023	CHECKED BY:	19-0238	
SHEET: C-2.0	SCALE:		
500	1S	15W	0 34 230 62 1762

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Parcel Line Table

Length	Direction
60.44	S64° 12' 48.97\"/>
28.52	S36° 51' 34.95\"/>
24.09	S78° 15' 58.61\"/>
28.62	S89° 23' 11.09\"/>
35.01	N2° 39' 14.31\"/>
35.01	S2° 58' 07.25\"/>
37.36	N23° 07' 23.18\"/>
41.12	N23° 03' 37.48\"/>

Tract Data

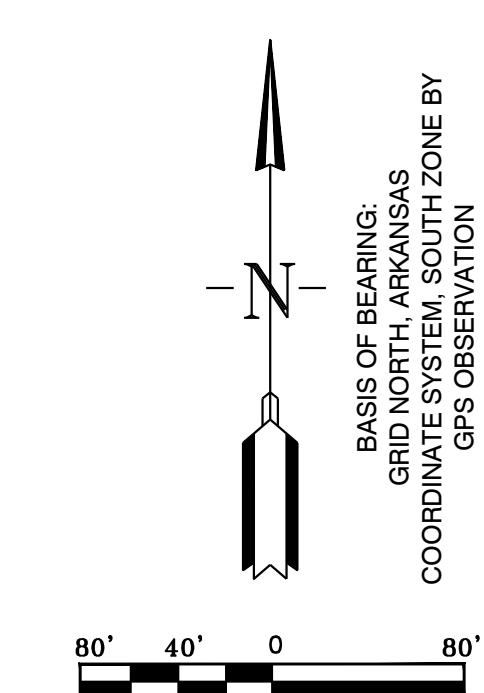
Tract	Area (Sq. Ft.)
TRACT C	114,345
TRACT D	122,748
TRACT E	107,724
TRACT F	214,112

- WATER & SEWER UTILITY NOTES:**
- ALL NEW 8-INCH WATER MAINS TO BE CLASS 900.
 - ALL WATER MAINS LARGER THAN 8\"/>

- SEWER CONSTRUCTION NOTES:**
- ALL SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE CITY OF BRYANT \"STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION\".
 - ALL SEWER LINES CROSSING UNDER ALL CONCRETE STORM DRAINS OR ANY STORM DRAIN 30-INCH DIAMETER AND LARGER, OR ALL STORM DRAINS WITH MULTIPLE PIPE RUNS, SHALL BE STEEL ENCASED A MINIMUM OF 5 FEET EITHER SIDE OF THE STORM DRAIN.

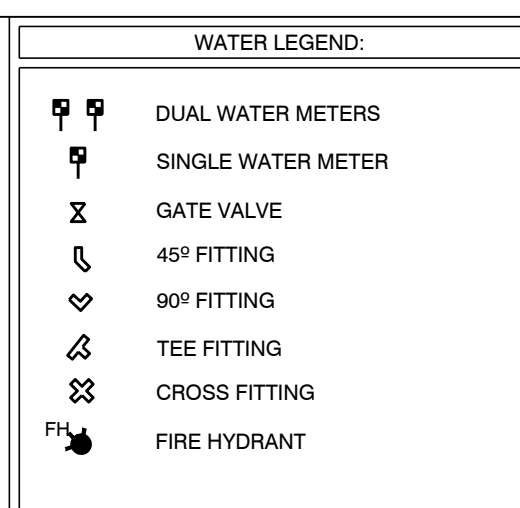
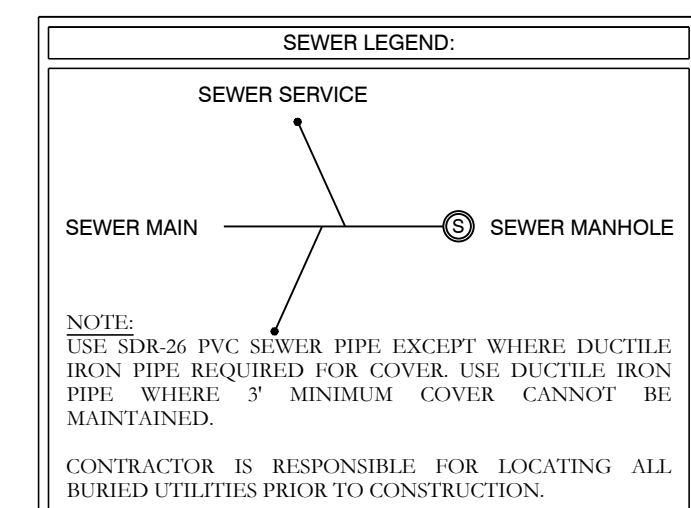
VERTICAL SEPARATION OF WATER AND SANITARY SEWER NOTE:

WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACT EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWER MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE. IF THIS DISTANCE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18-INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASUREMENT REQUIREMENT.



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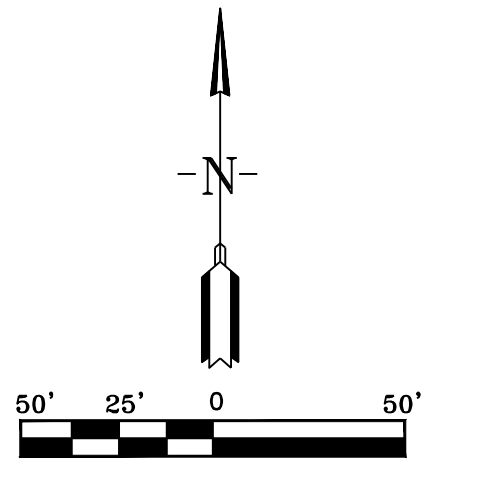
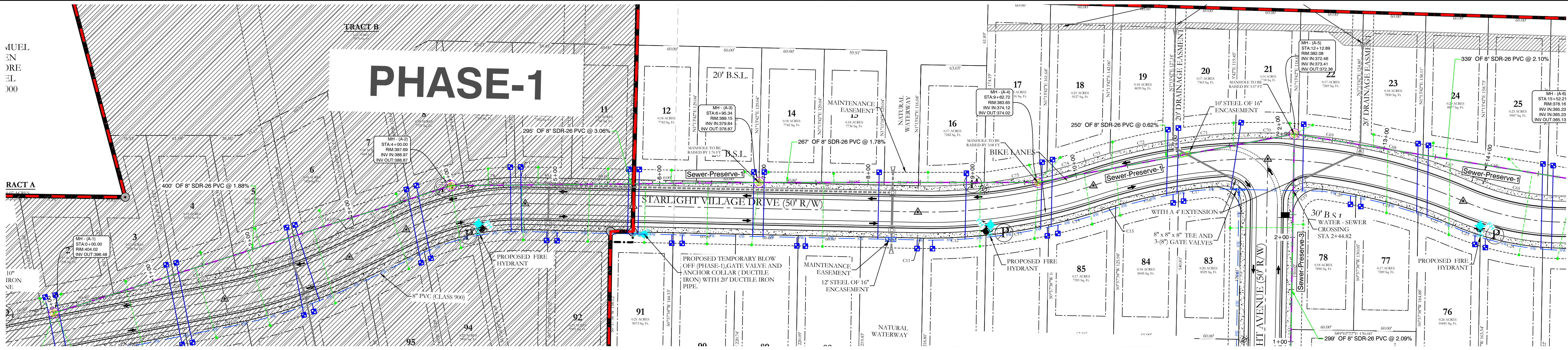
**THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
UTILITY PLAN**
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 12-22-2023	CHECKED BY:	19-0238
SHEET: C-2.1	SCALE:	

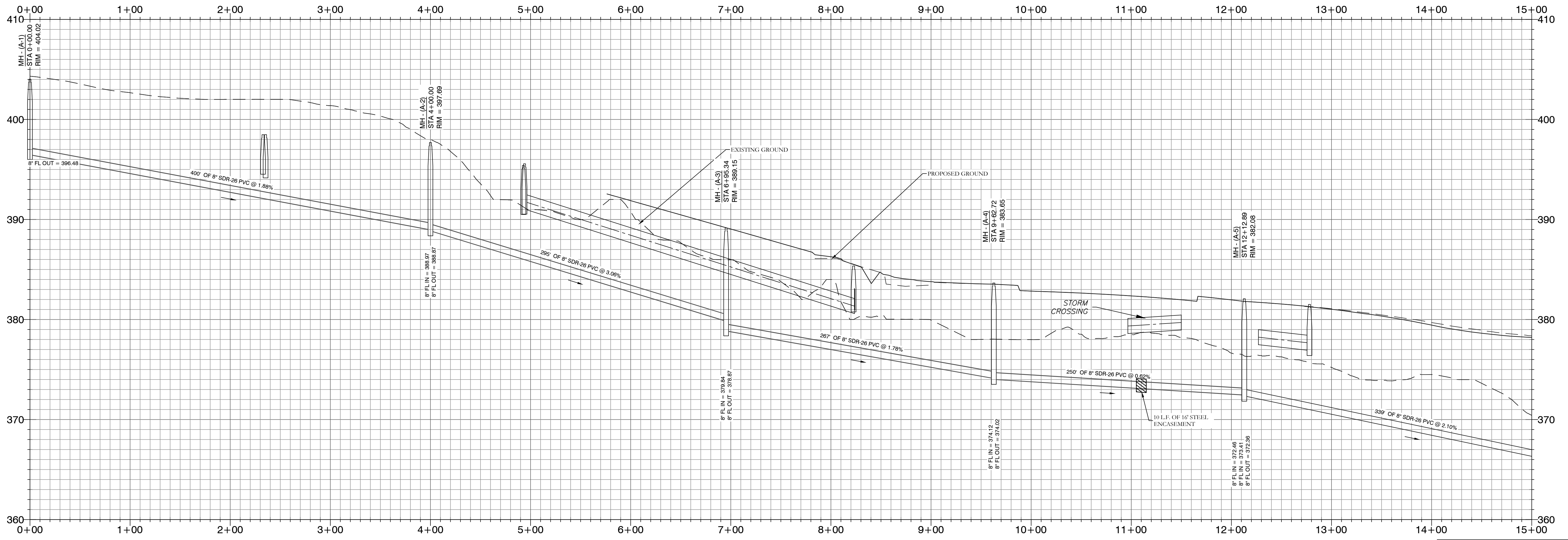
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Sewer-Preserve-1 PROFILE



----- HDPE

———— RCP

--- PHASE BOUNDARIES

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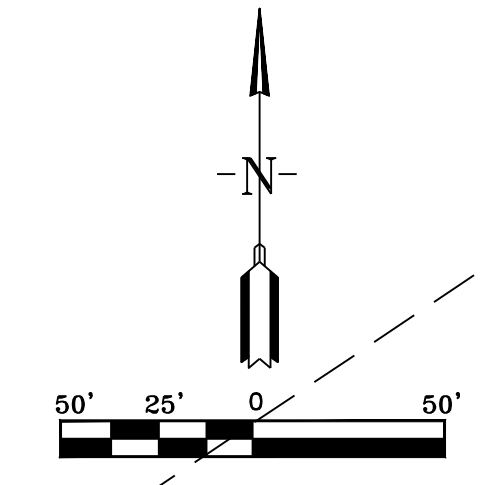
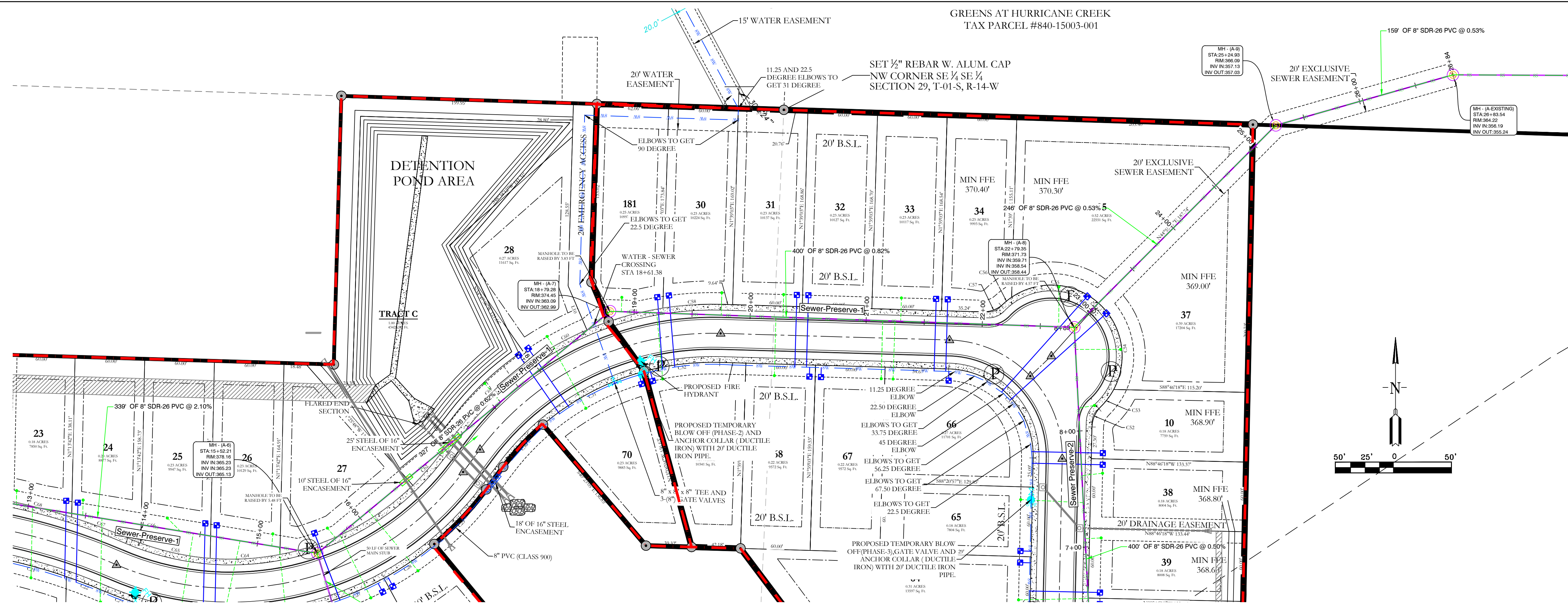
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FOR USE AND BENEFIT OF: WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC		
THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 SEWER PLAN AND PROFILE A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 12-22-2023	CHECKED BY:	19-0238
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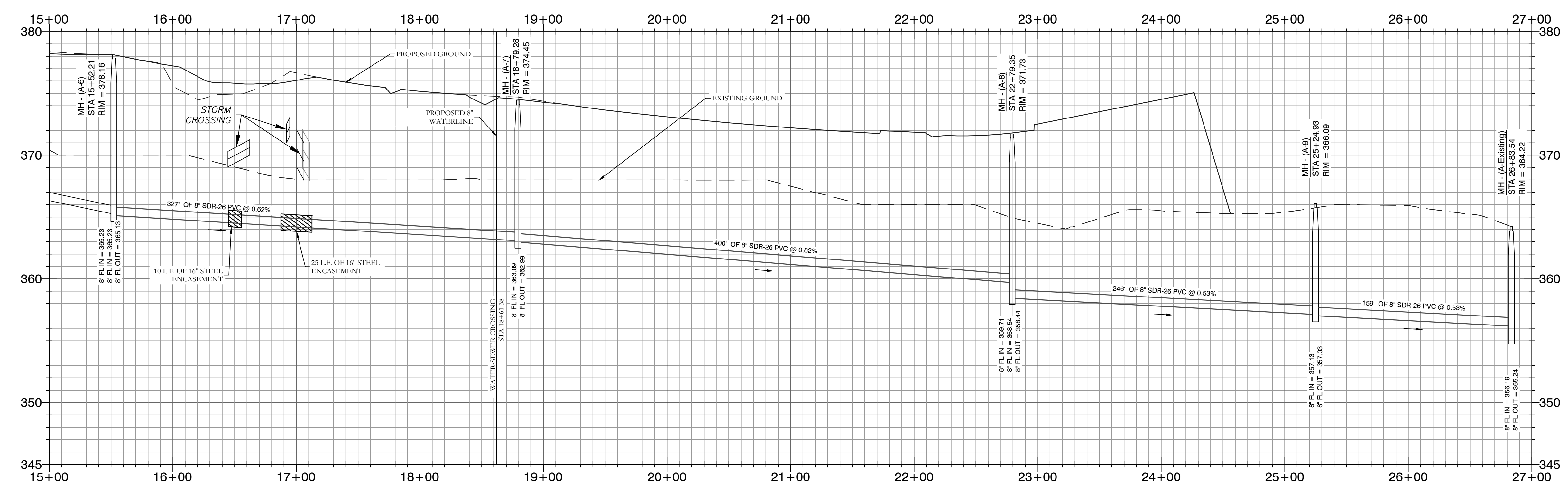
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GREENS AT HURRICANE CREEK
TAX PARCEL #840-15003-001



Sewer-Preserve-1 PROFILE

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- RCP
- - - - - PHASE BOUNDARIES



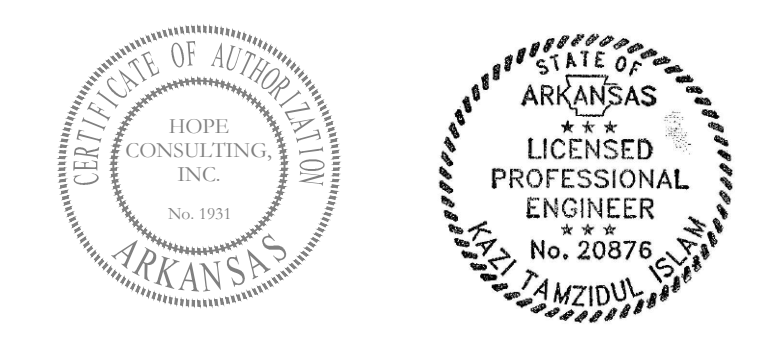
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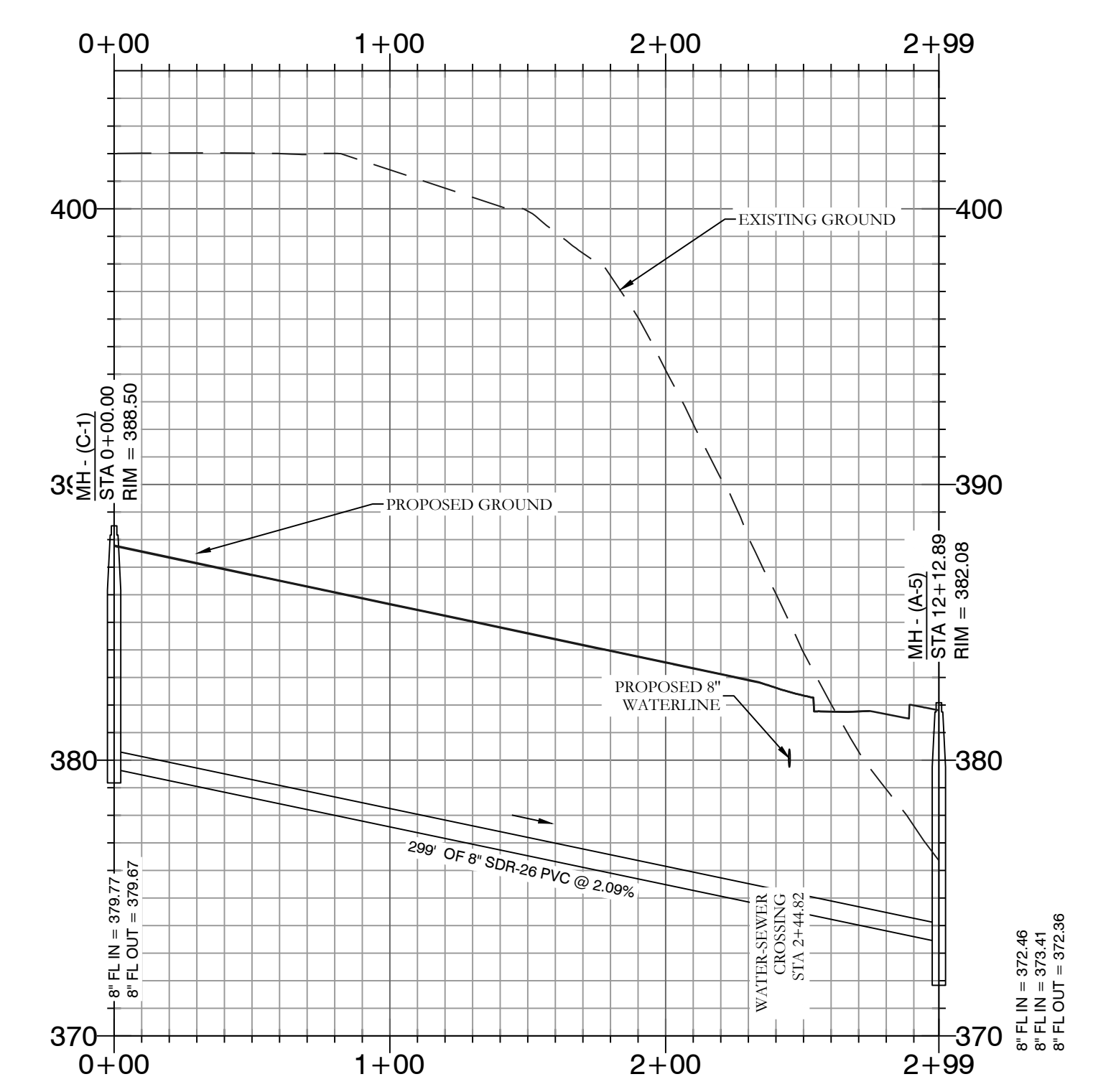
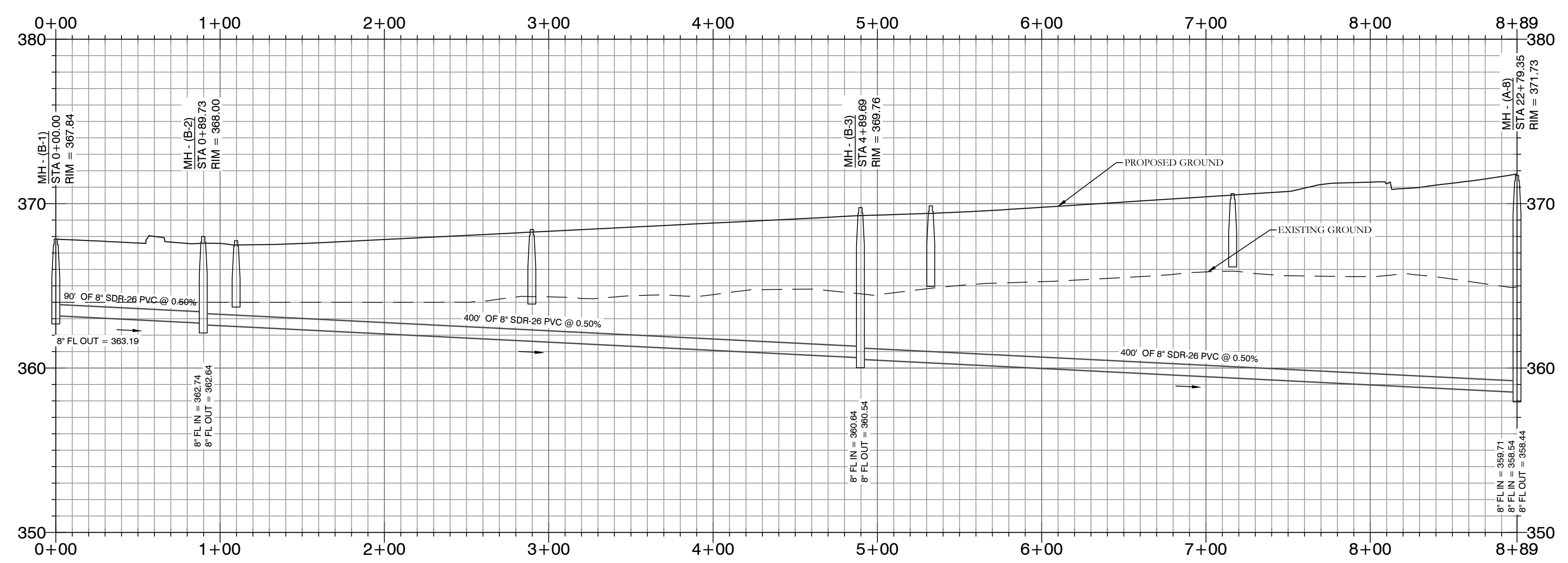
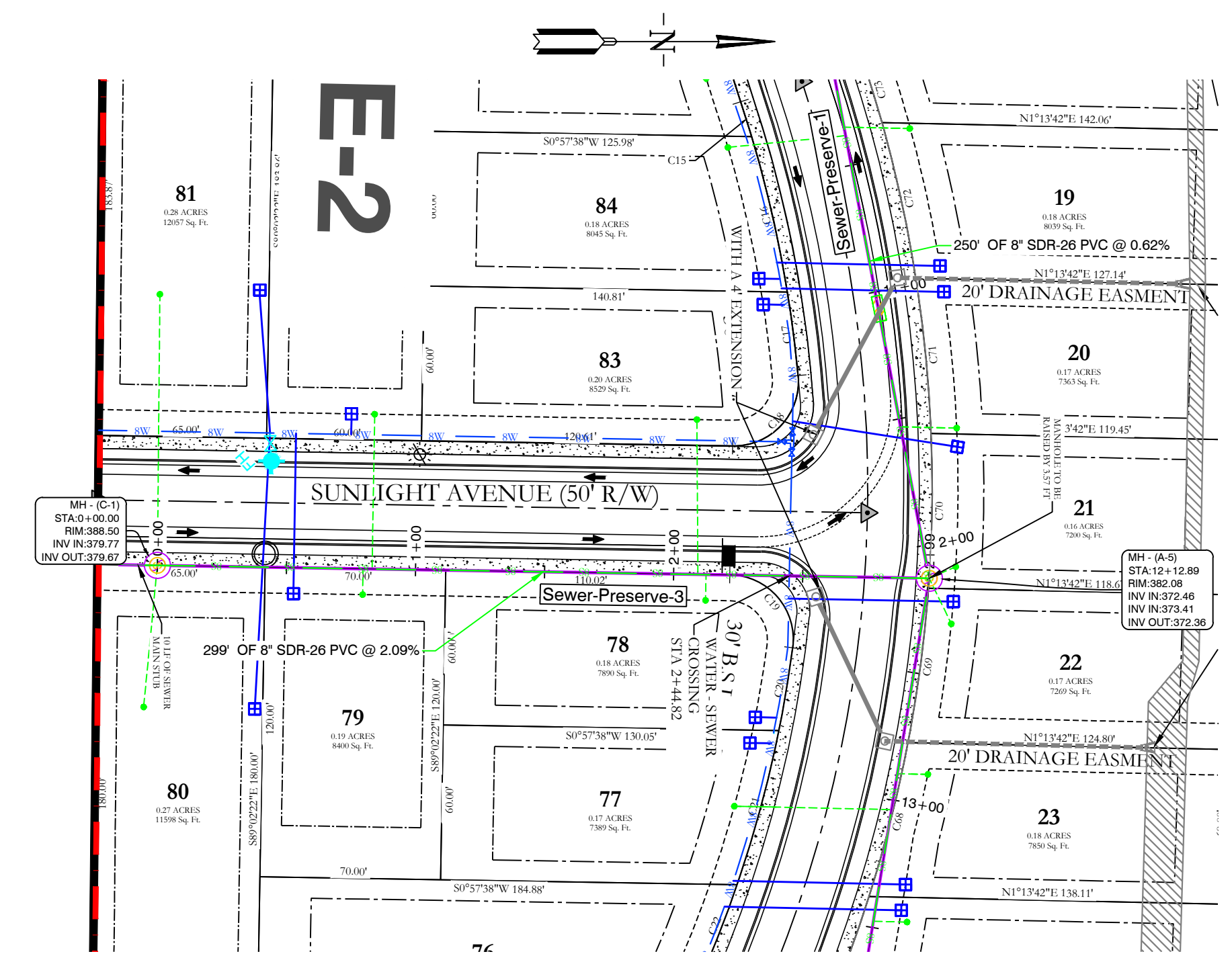
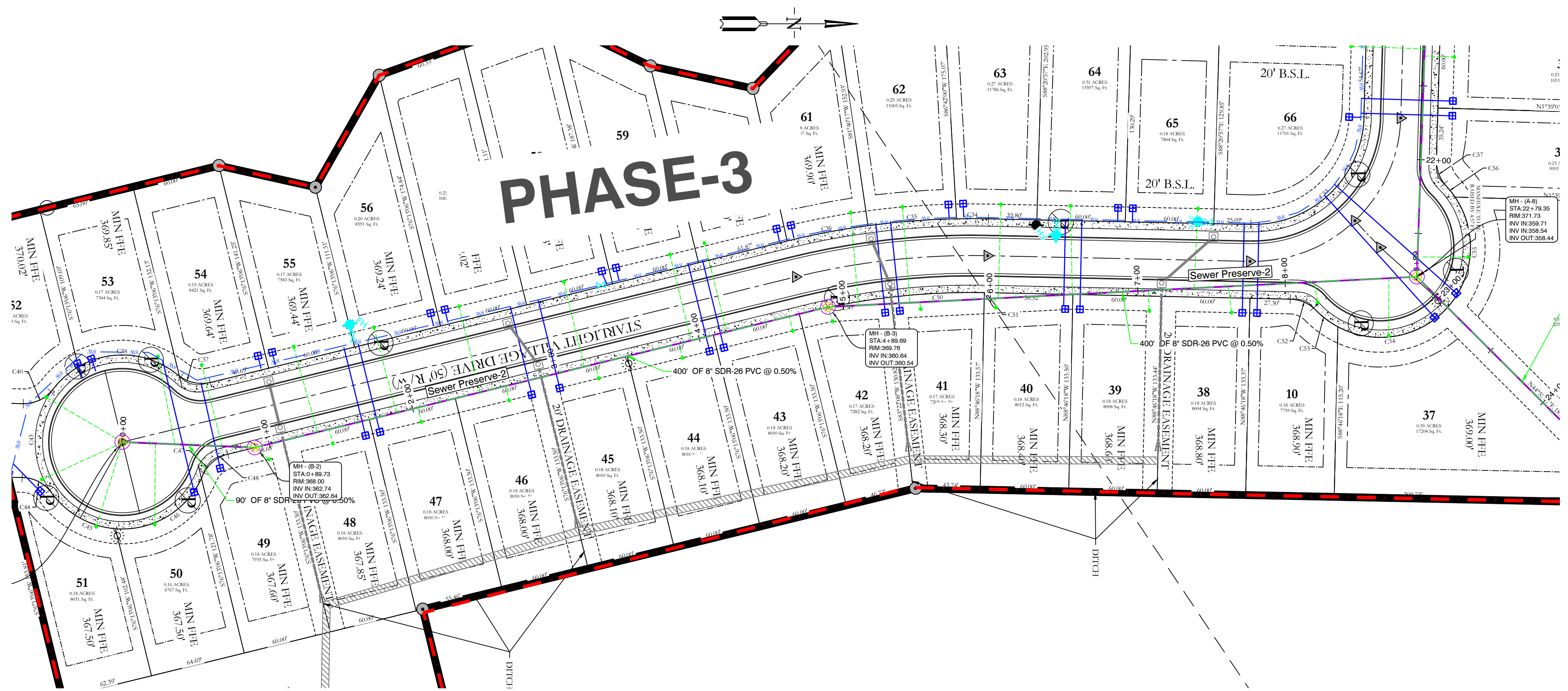
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
SEWER PLAN AND PROFILE
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISION: 3-22-2024	CHECKED BY:	19-0238
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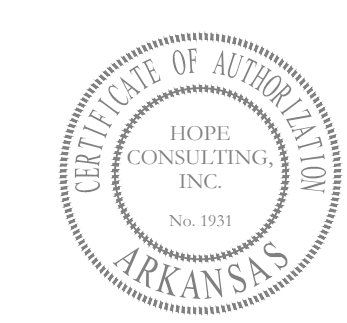




--- HDPE

— RCPC

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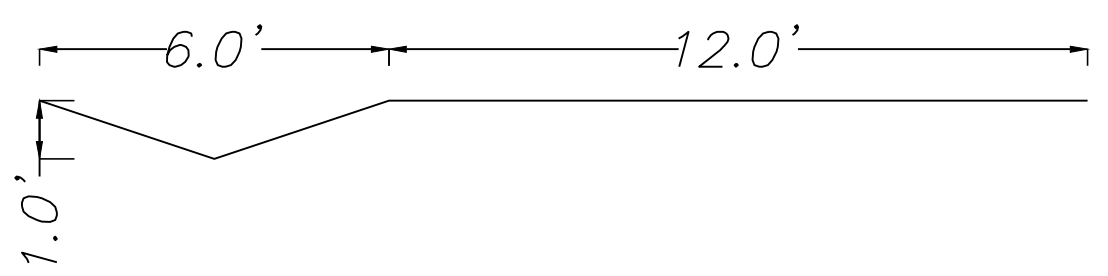
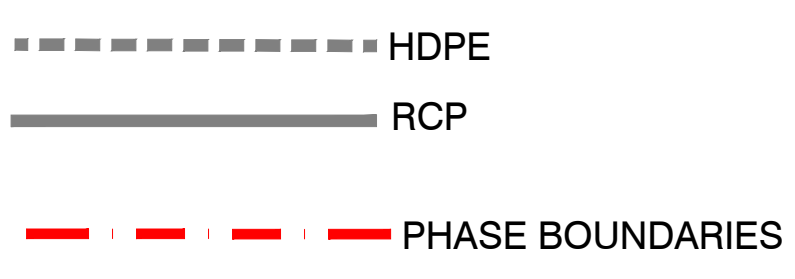
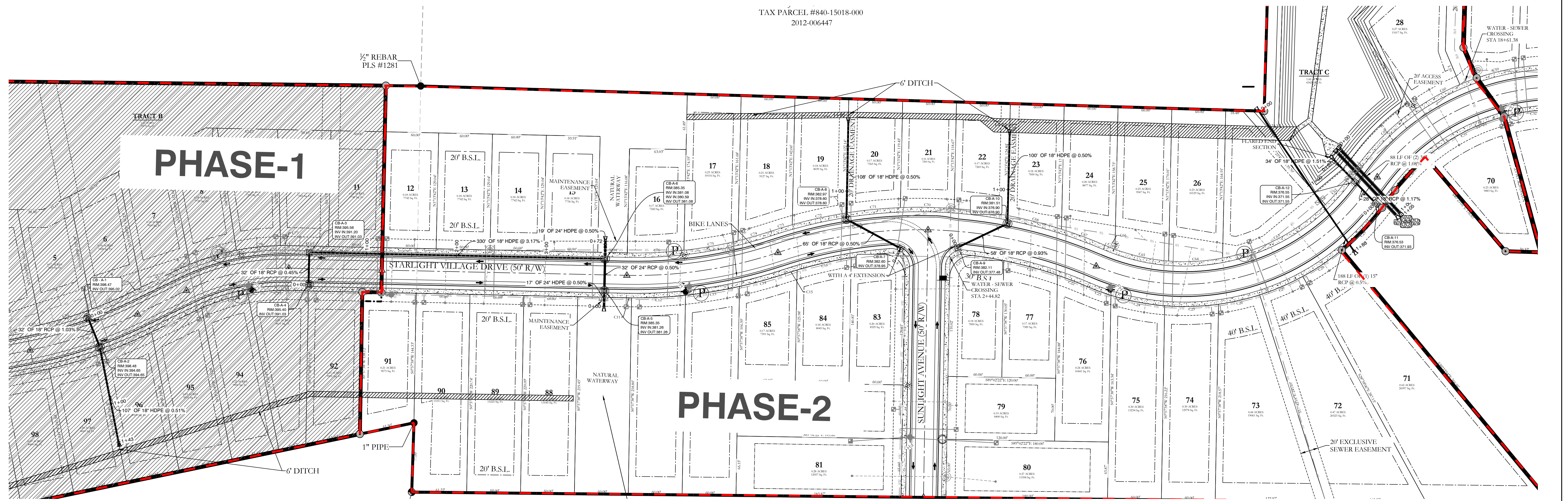
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 SEWER PLAN AND PROFILES A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISION: 12-22-2023	CHECKED BY:	19-0238
SHEET: C-24	SCALE:	
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PHASE-1

PHASE-2



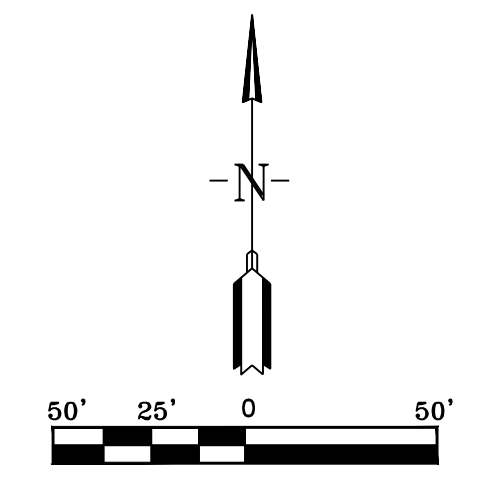
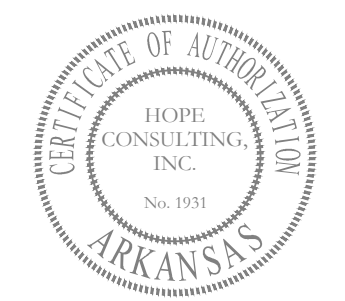
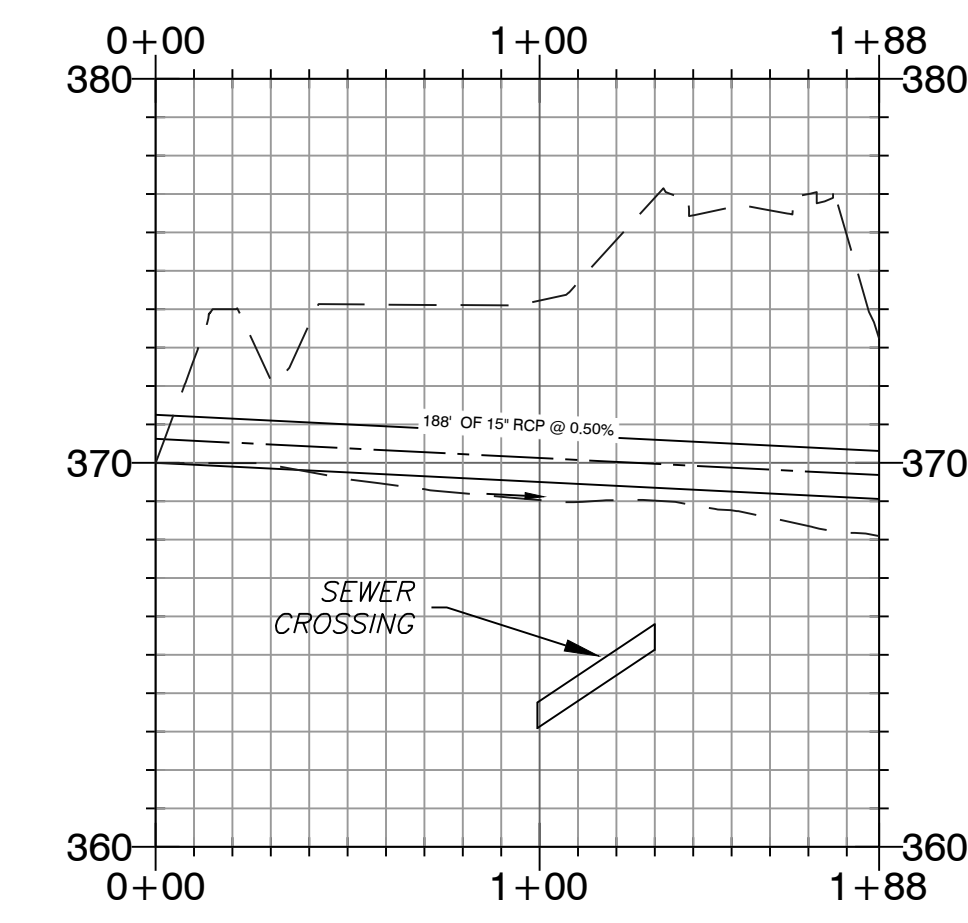
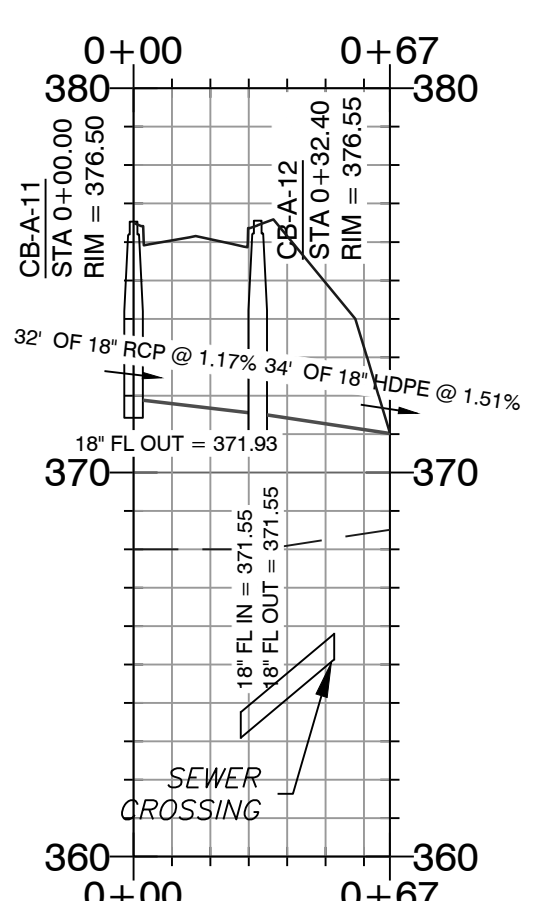
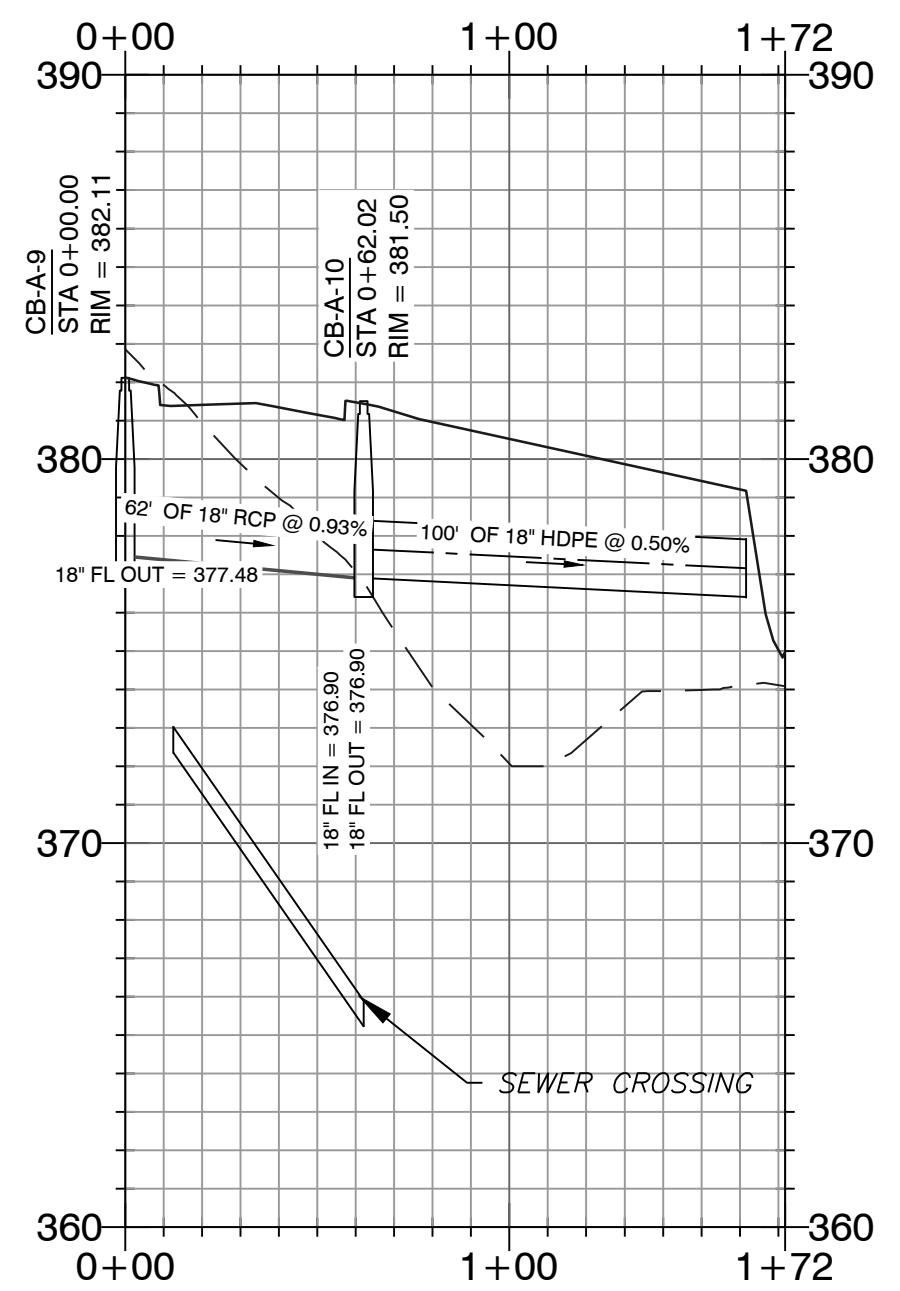
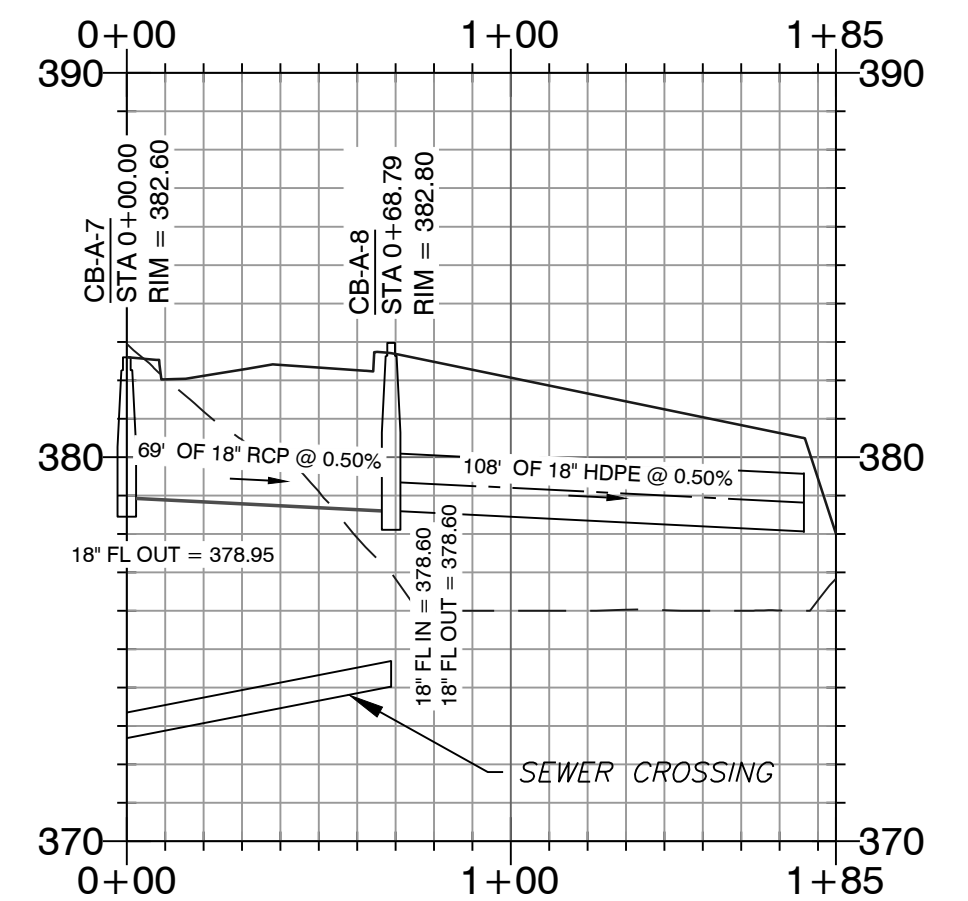
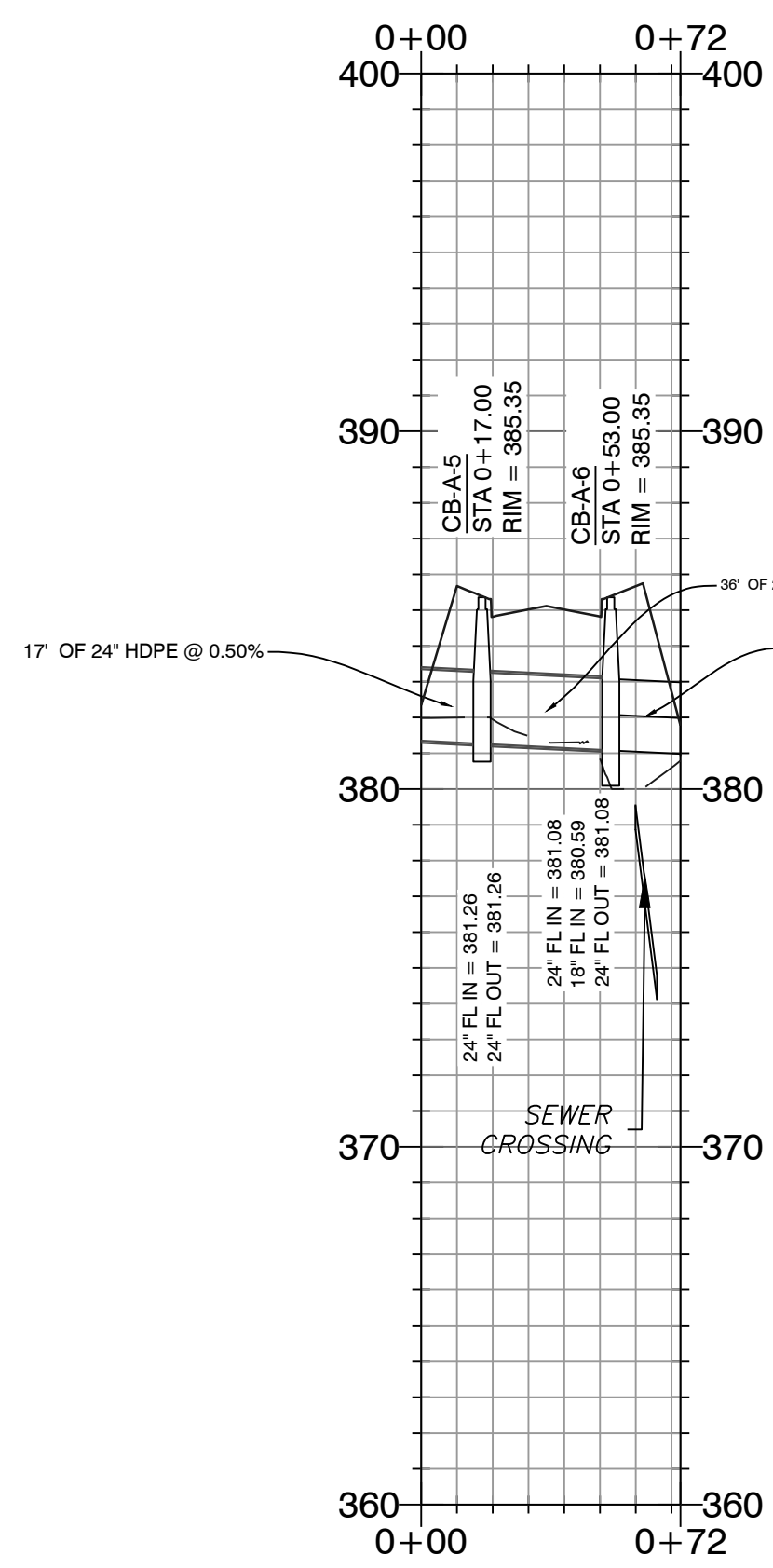
6' DITCH

GENERAL NOTES

- 6' ditches will have a 3:1 slope ratio
- 6' ditches will have solid sod stabilization

NOTE:

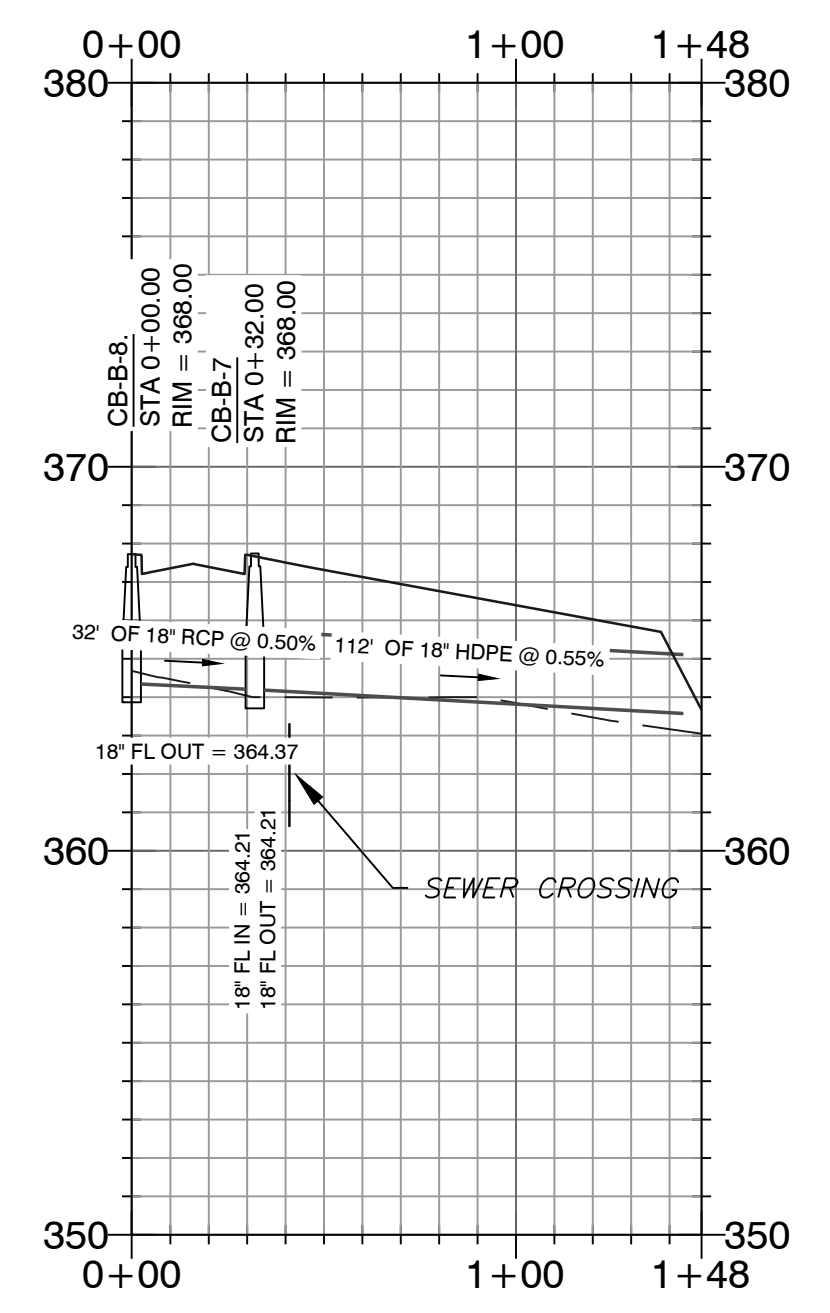
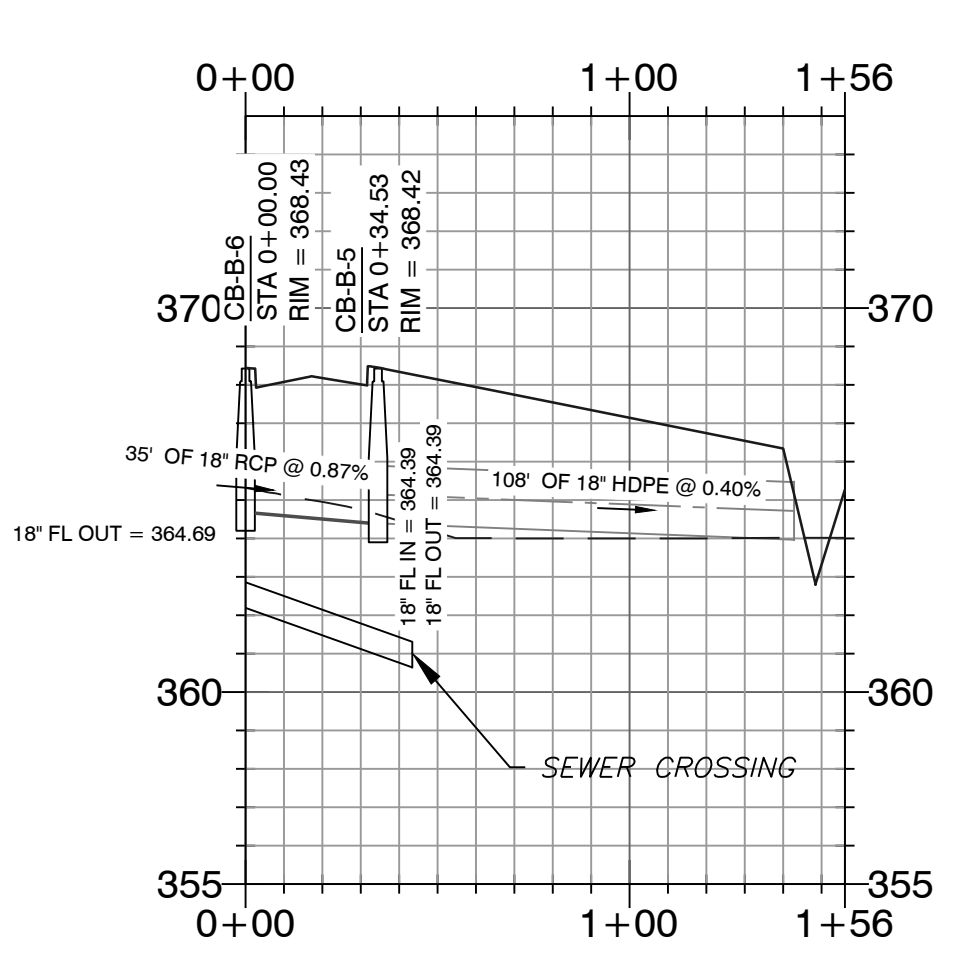
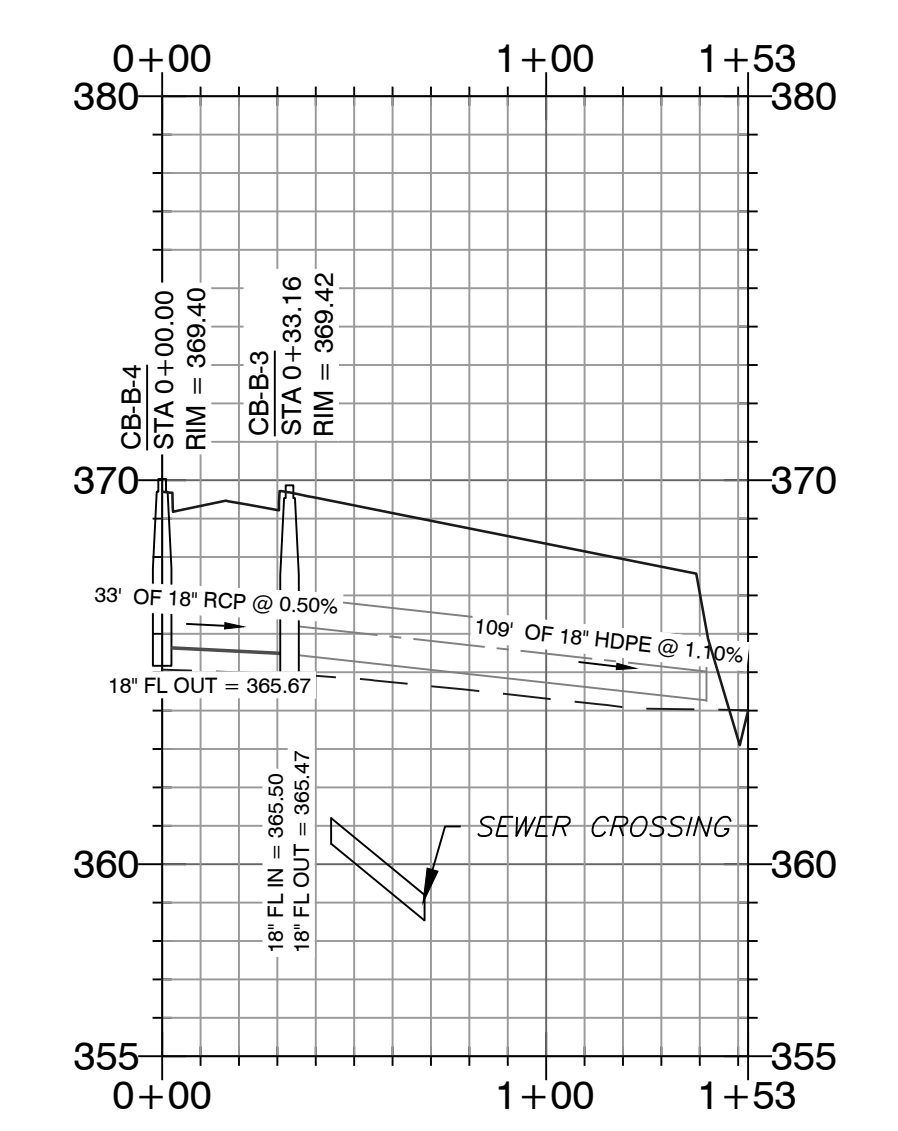
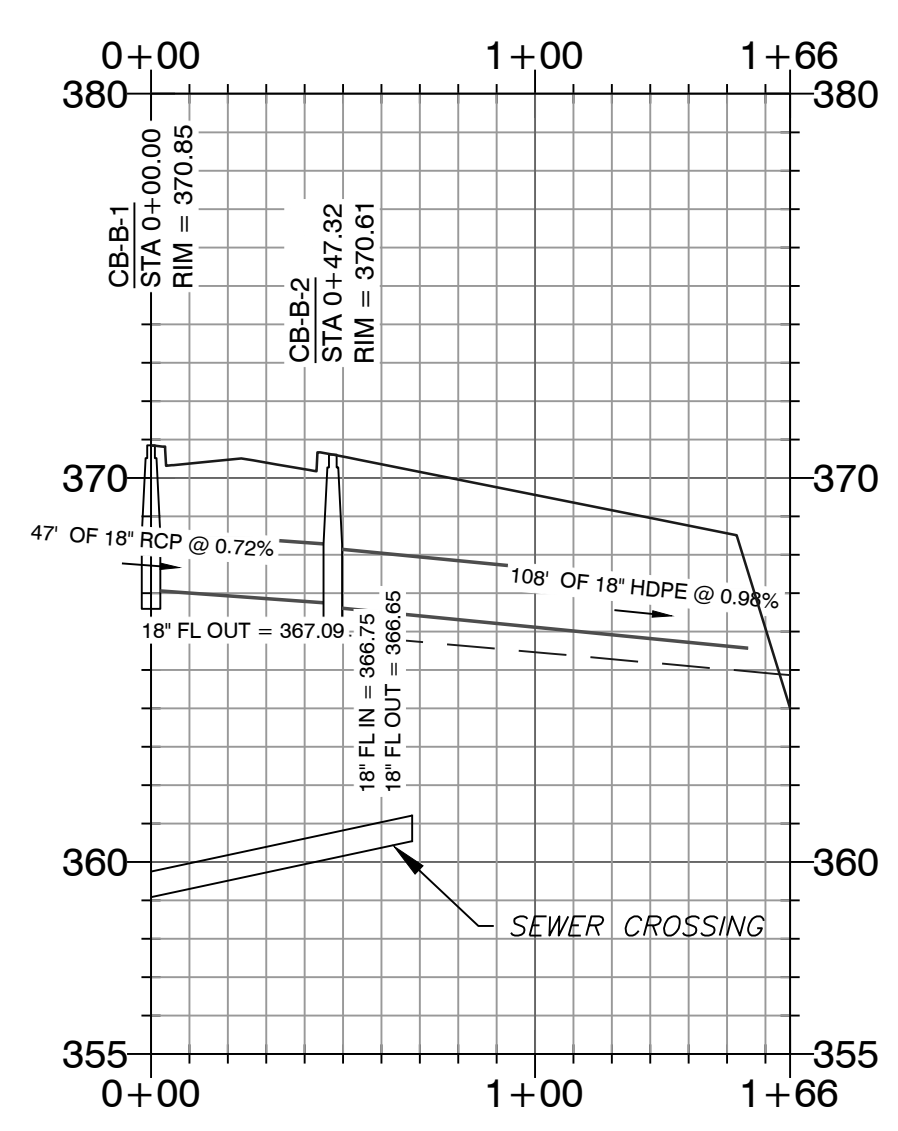
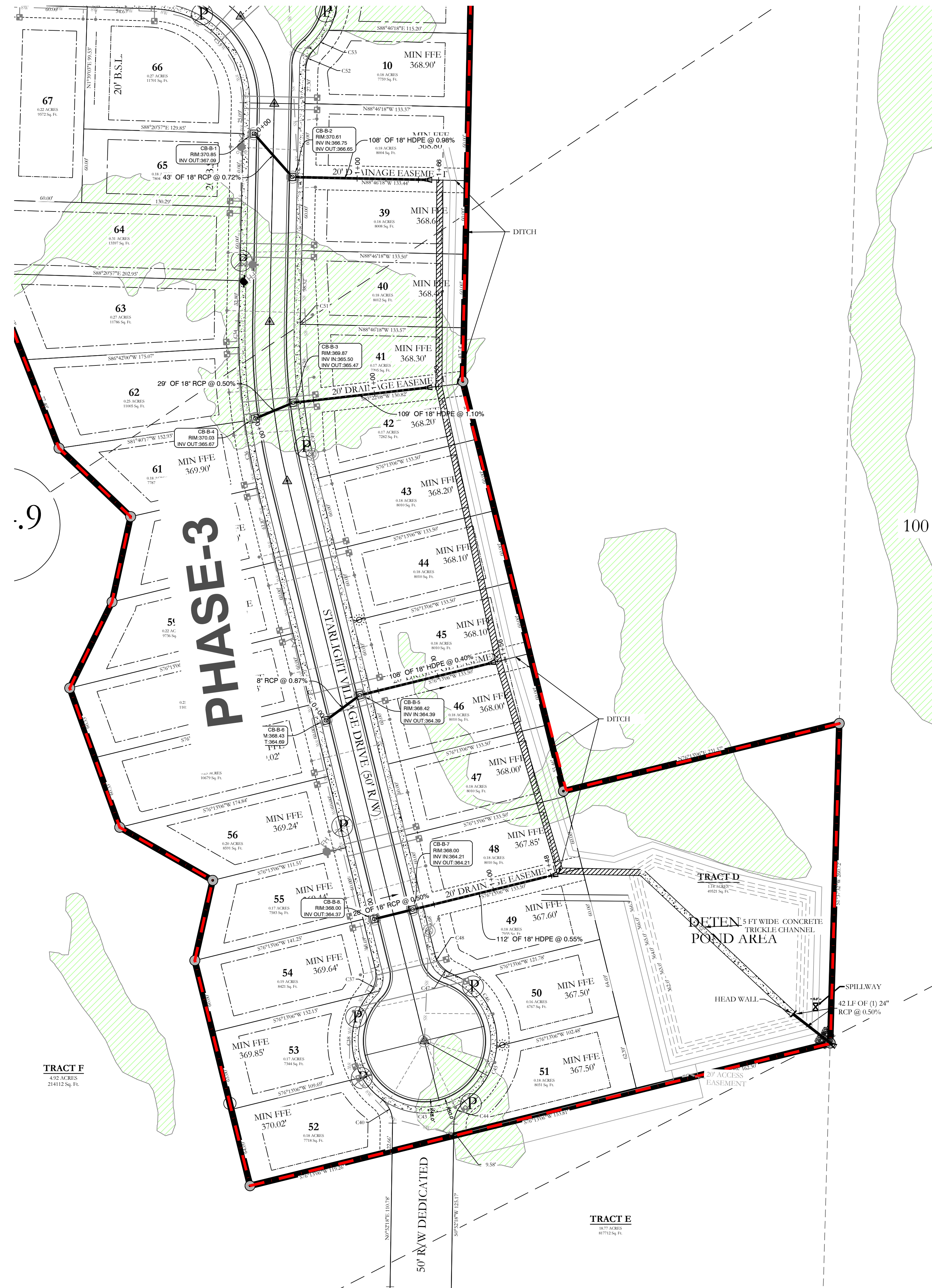
Drainage ditch will require solid sod stabilization



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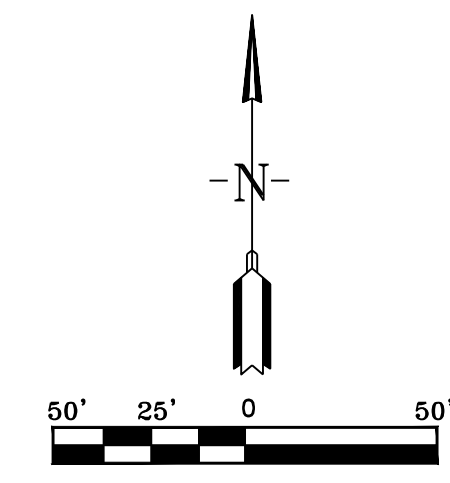
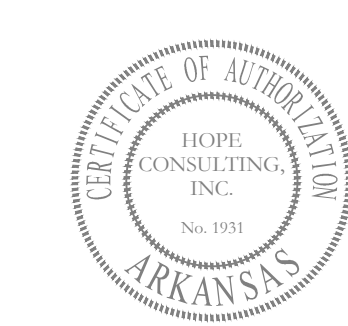
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 STORM DRAINAGE PLAN AND PROFILE A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS		
DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISION: 03-22-2024	CHECKED BY:	19-0238
SHEET: C-30	SCALE:	
500	1S	15W
0	34	230
62	1762	



- - - - - HDPE
 ——— RCP
 - - - - - PHASE BOUNDARIES

NOTE:
Drainage ditch will require solid sod stabilization



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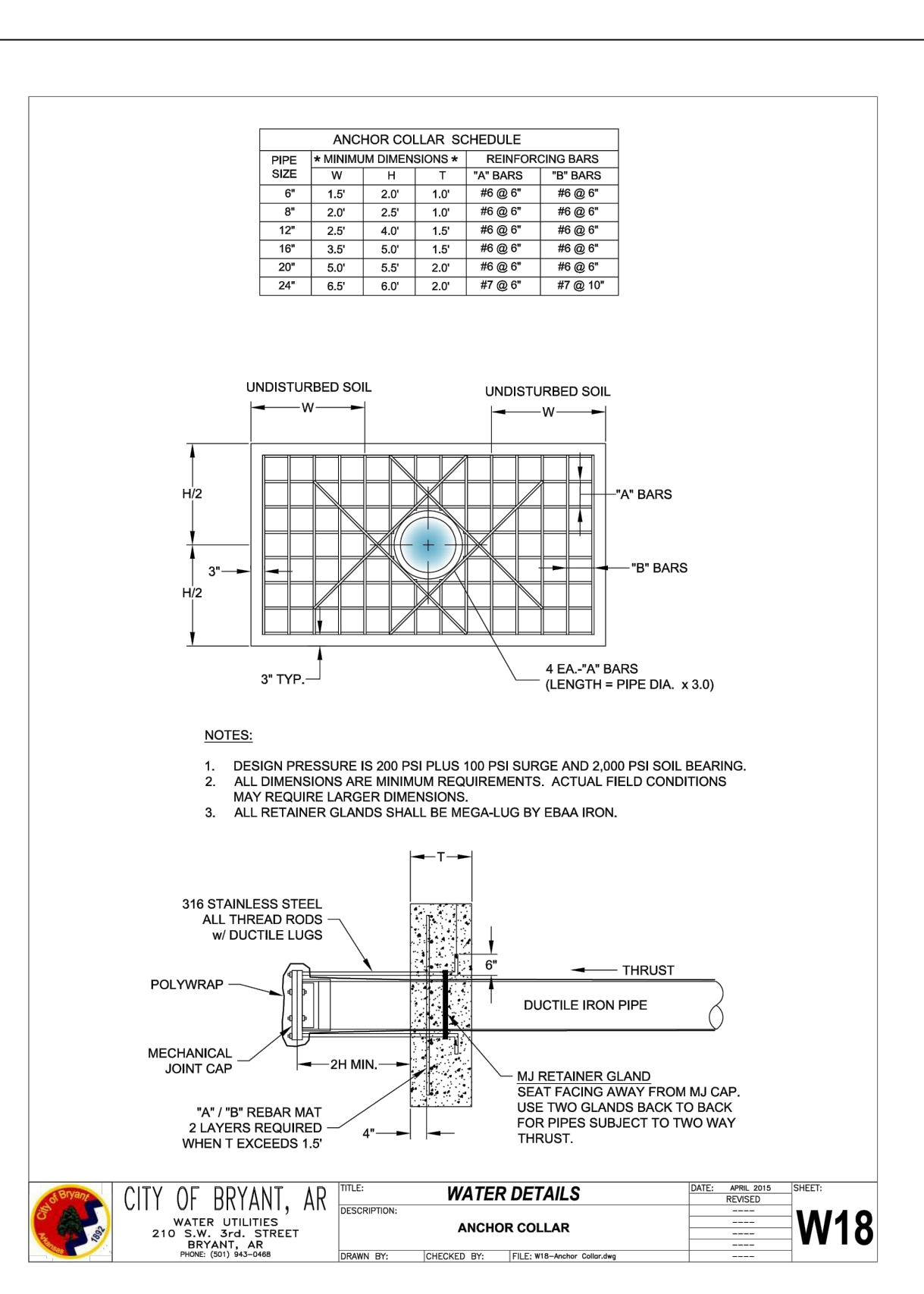
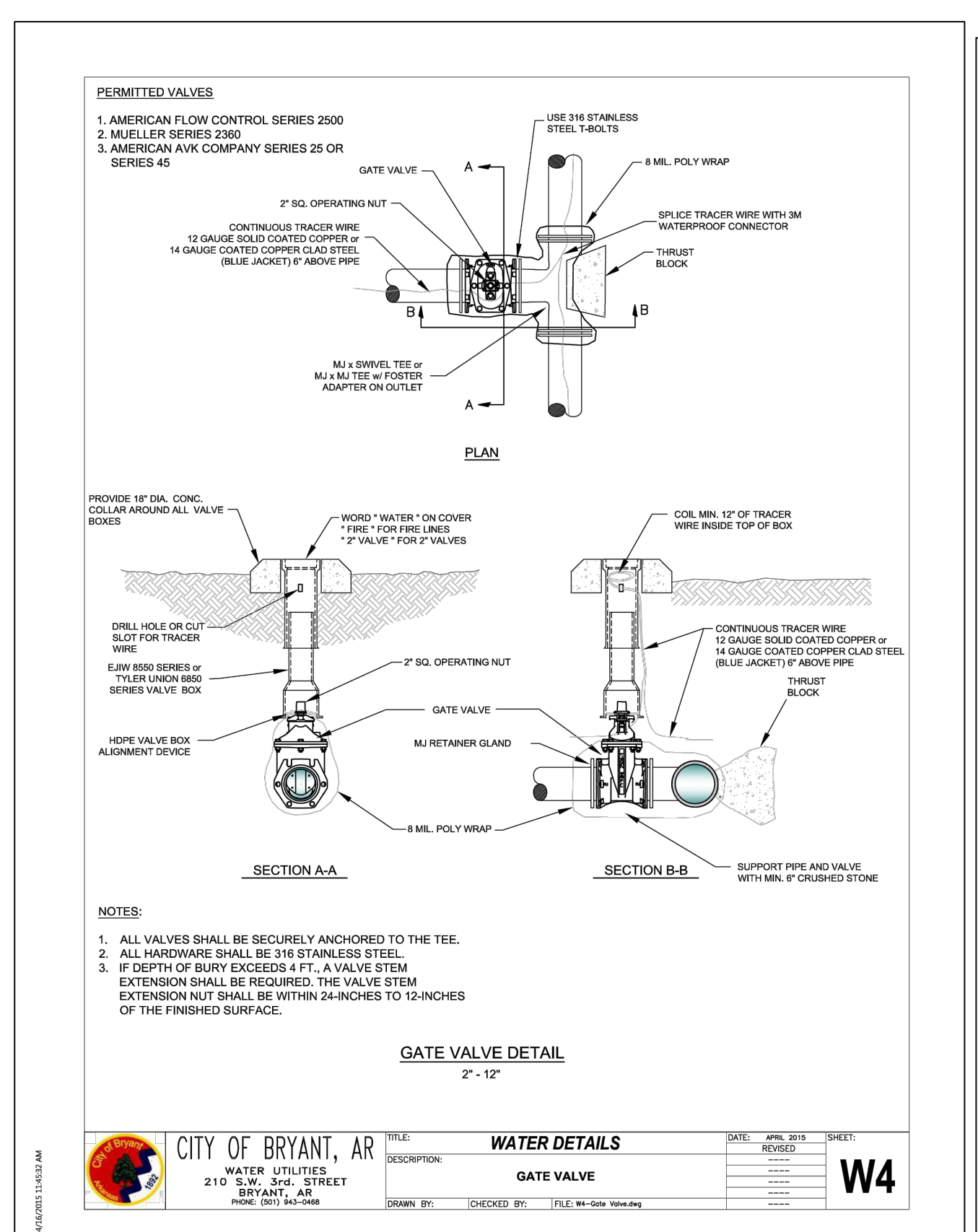
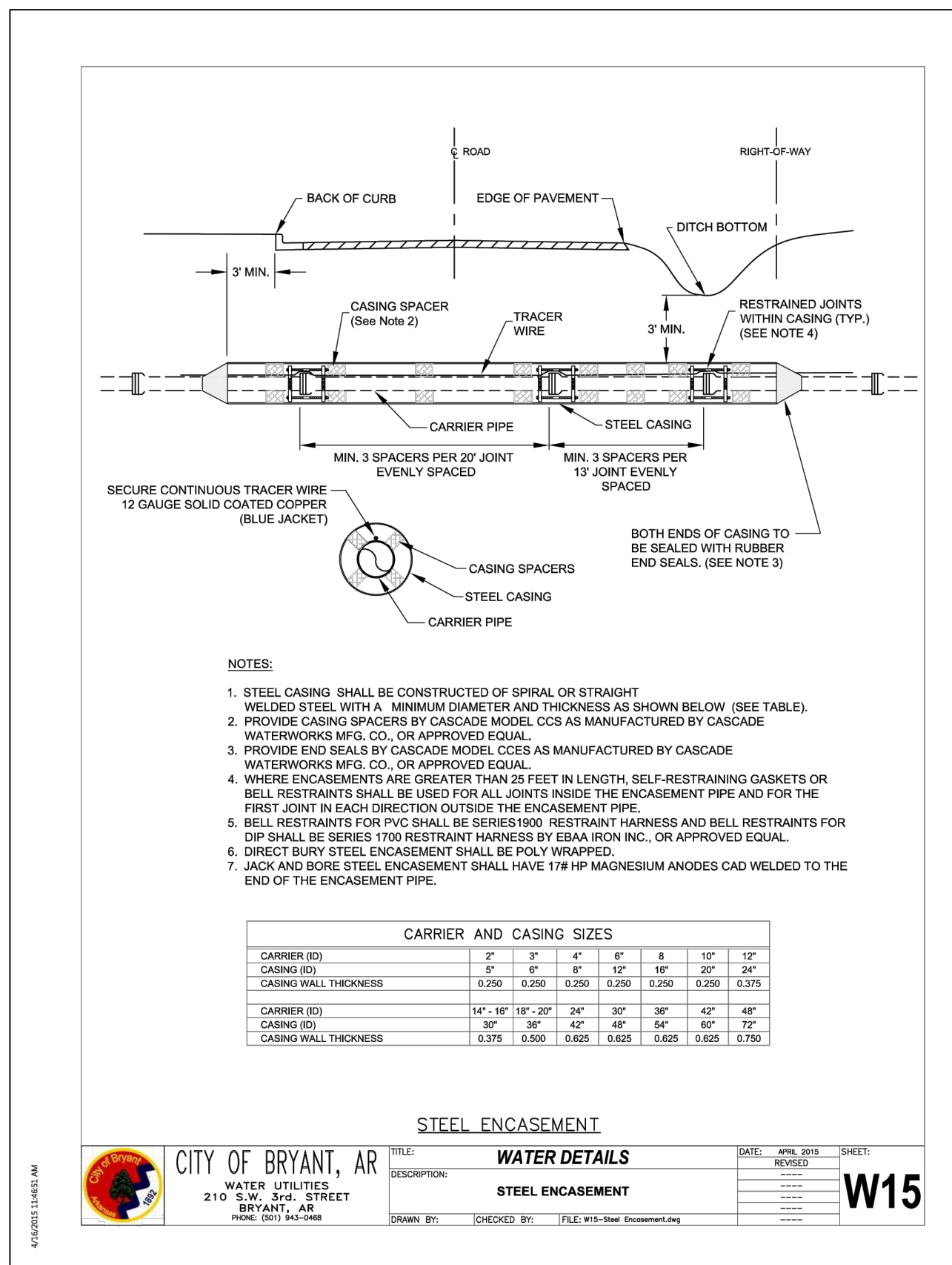
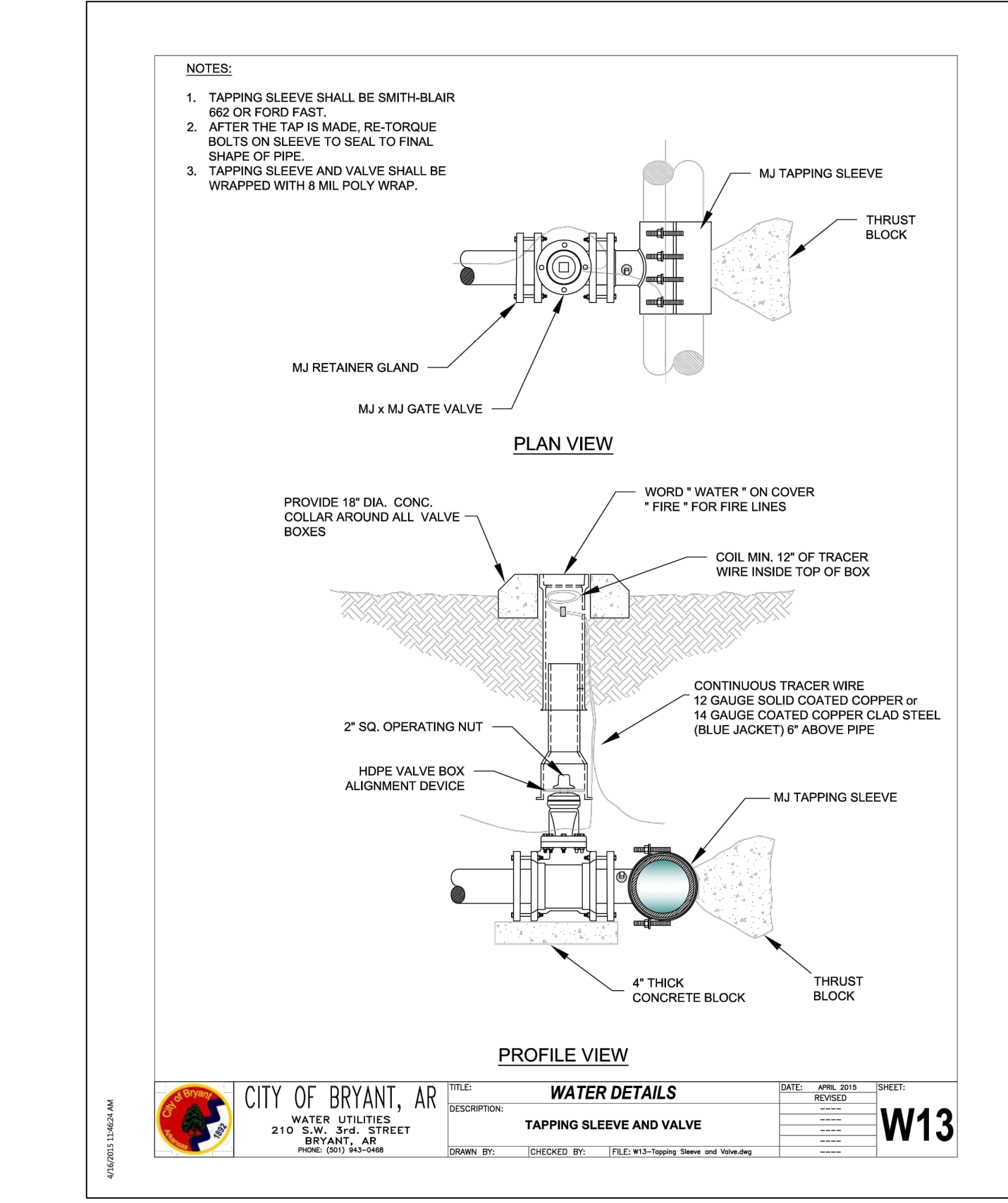
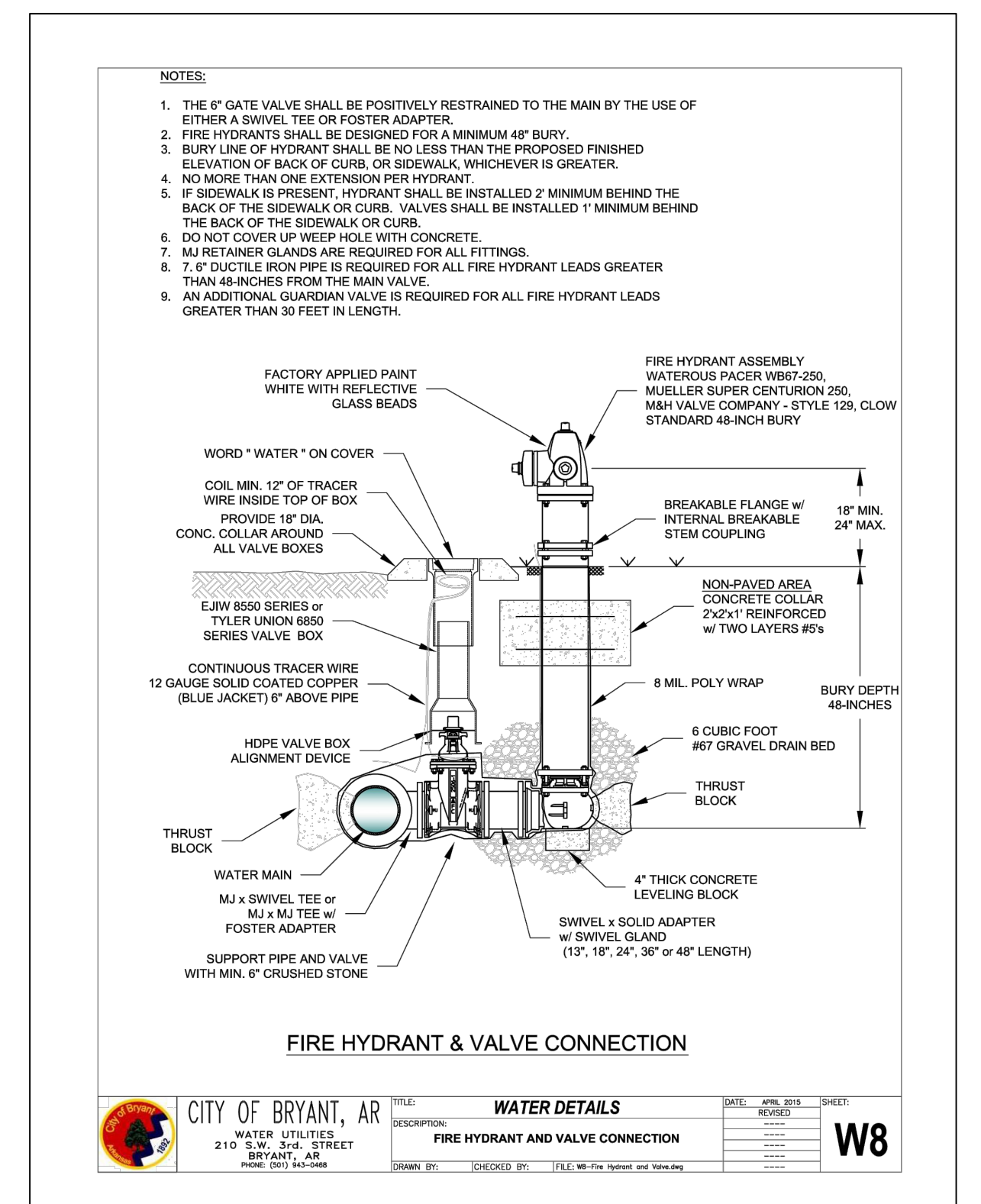
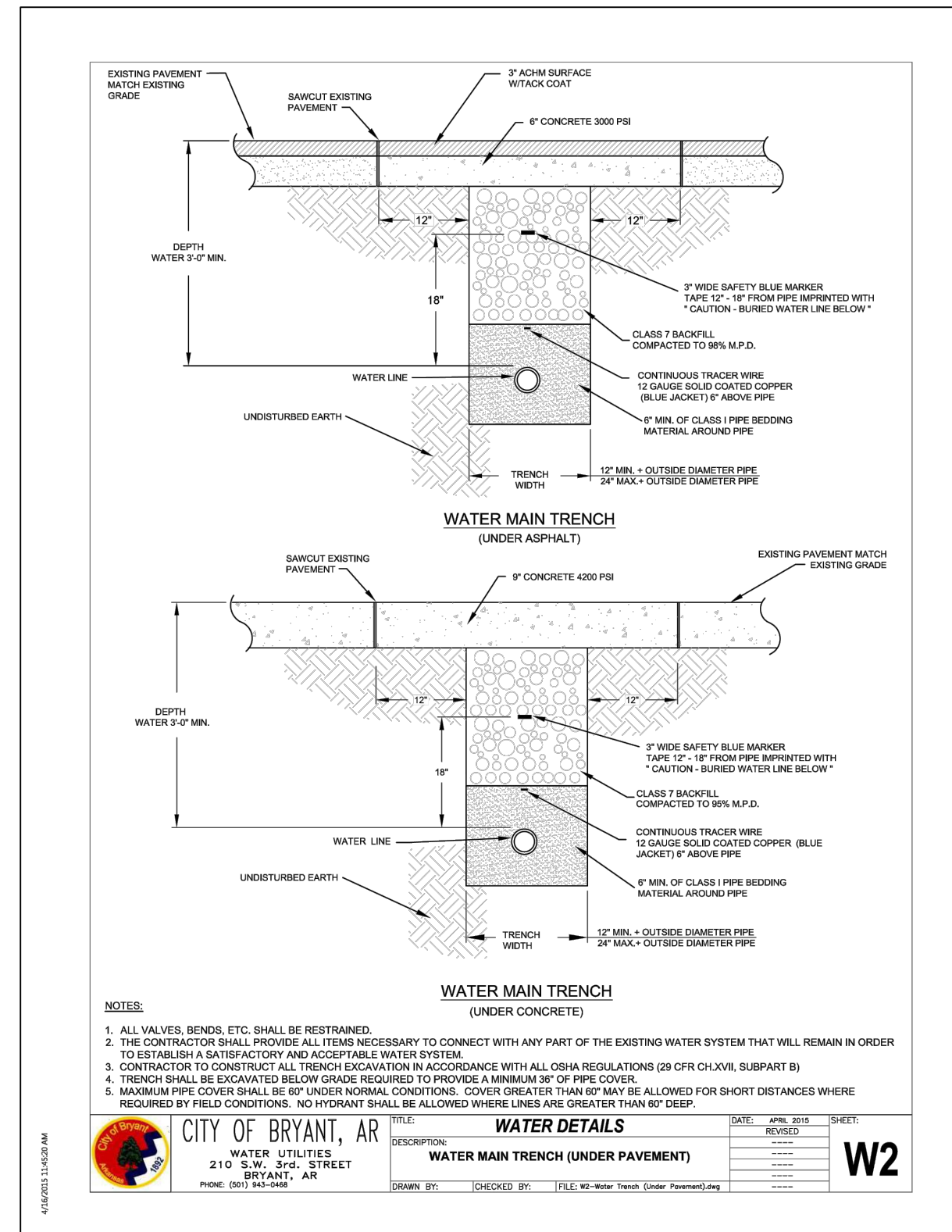
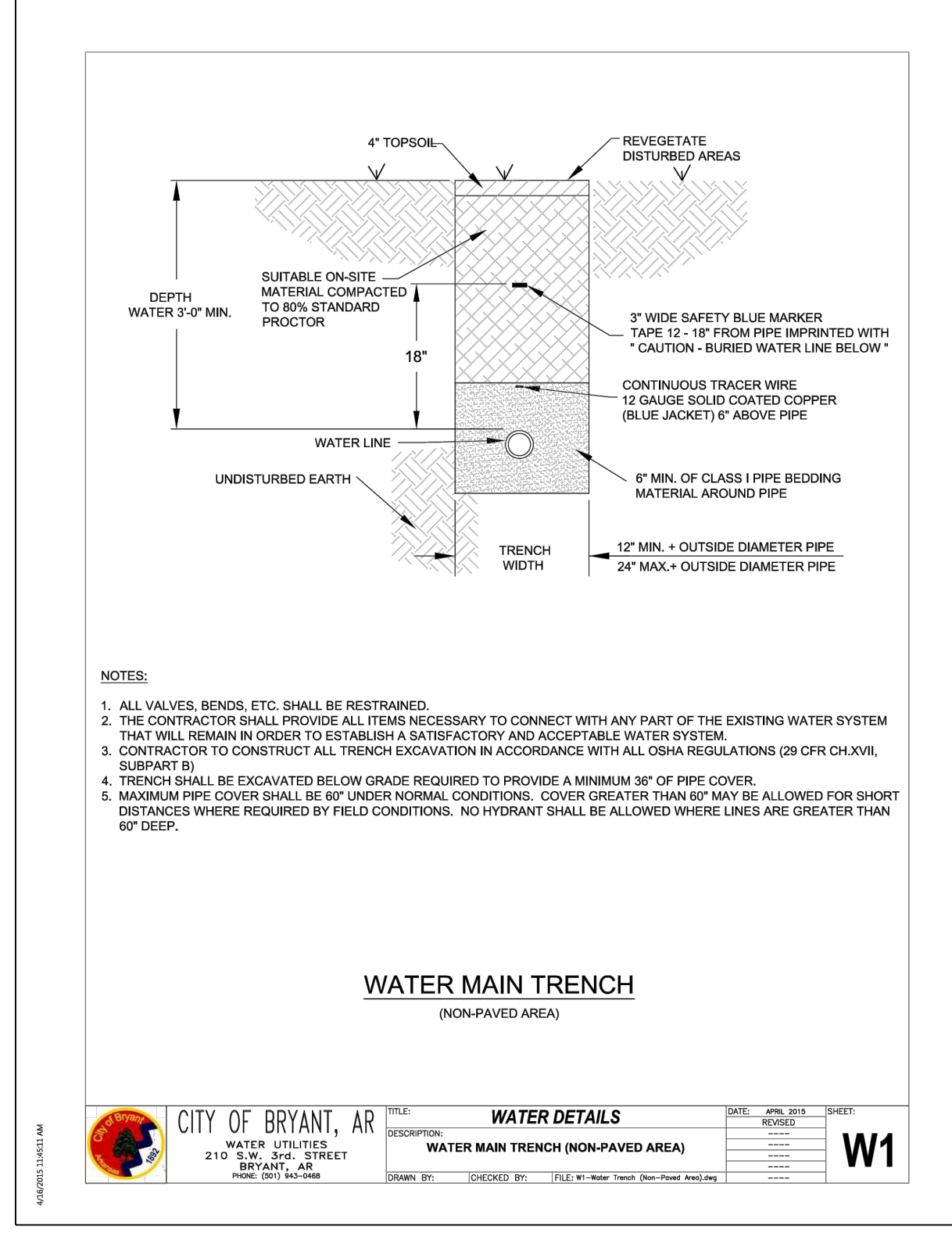
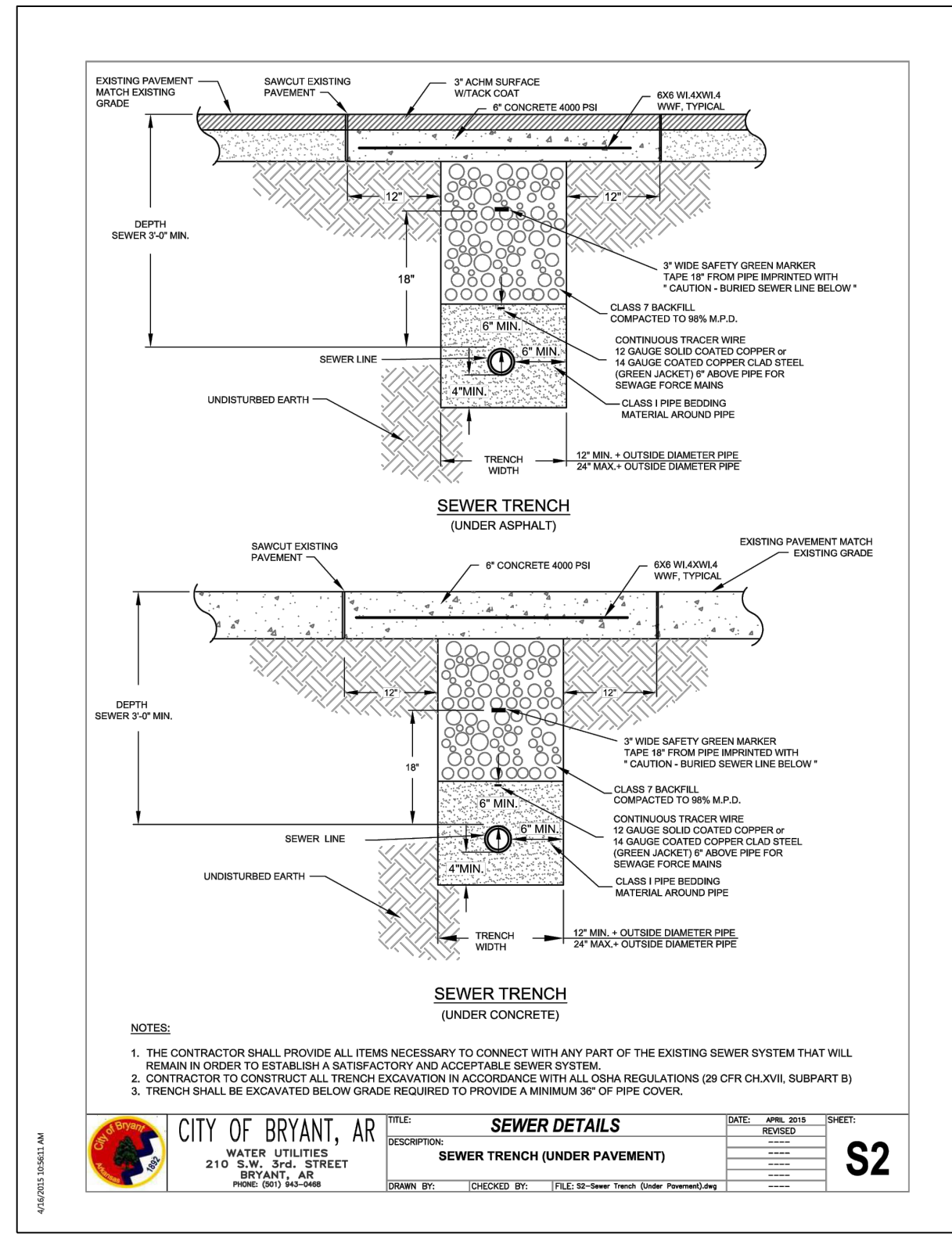
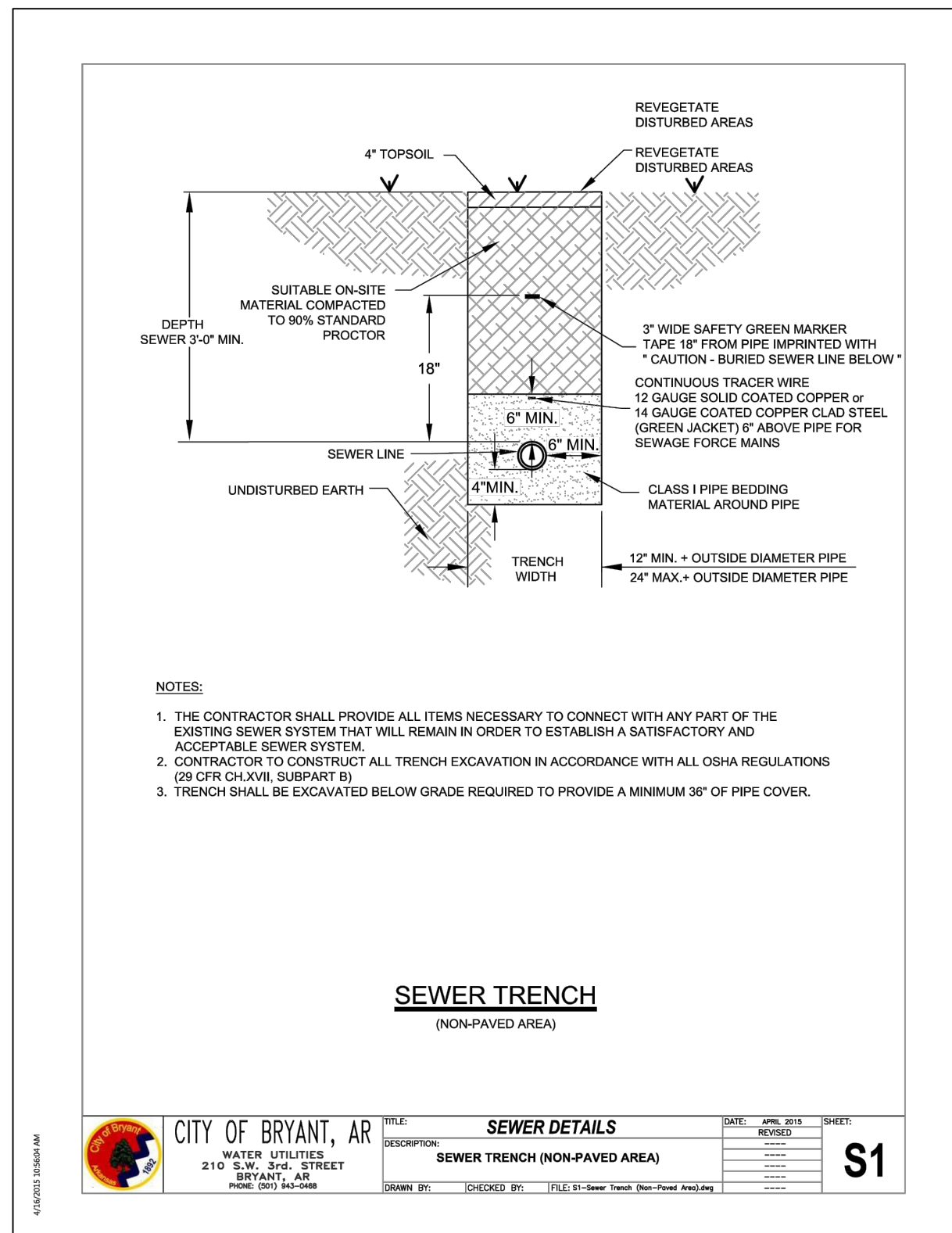
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
 STORM DRAINAGE & PROFILES
 A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 12-22-2023	CHECKED BY:	19-0238
SHEET: C-3.1	SCALE:	

500	1S	15W	0	34	230	62	1762
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 TRENCH DETAILS
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 4/2/2024	C.A.D. BY:	DRAWING NUMBER:
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SHEET: C-4.0	SCALE:	
500	1S	15W 0 34 230 62 1762

ISLAND PROJECTS 2004 SUBDIVISIONS 2019/19-0238 STARLIGHT VILLAGE SUBDIVISION CONSTRUCTION PLANS 03-20-2024.DWG

Inside Diameter of Manhole	Minimum Wall Thickness	Base Thickness	Minimum Ring & Cover Size
4 DIA	5"	6"	24"
5 DIA	7"	8"	(< or Equal to 24" Pipes)
6 DIA	7"	8"	36"
			(> 24" Pipes)

MANHOLE INFORMATION TABLE

MANHOLE FLOW CHANNEL

- A-LOK OR KORAN-SEAL BOOT, OR APPROVED EQUAL IS REQUIRED WHERE PIPES PASS THROUGH MANHOLE WALLS (TYP)
- INSTALL PER MANUFACTURER'S INSTRUCTIONS. DETAILS AT RIGHT.
- CENTER LINES OF PIPES ENTERING AND EXITING MANHOLES ARE REQUIRED TO PASS THROUGH THE CENTER OF THE MANHOLE.
- PROVIDE AS LARGE A CURVE AS POSSIBLE IN THE FLOW CHANNEL.

CONNECTION DETAILS

- EXTERIOR ADJUSTMENT BAND
- DO NOT FILL VOID
- GROUT INTERIOR VOID TO SPRINGLINE OF PIPE
- A-LOK SEAL OR APPROVED EQUAL
- DO NOT FILL VOID
- GROUT INTERIOR VOID TO SPRINGLINE OF PIPE
- A-LOK SEAL OR APPROVED EQUAL

PRECAST MANHOLE SECTION

- RAINCATCHER
- STANDARD MH RING & LID (REQUIRED)
- WRAP RING EXTENSIONS WITH 6-INCH WIDE BUTYL WRAP OR TROWELABLE BUTYL MASTIC.
- WHEN SETTING PRECAST MH SECTION TO PRECAST SECTION, USE RFS PRE-LUBRICATED GASKETS BY PRESS-SEAL GASKET CORPORATION, OR APPROVED EQUAL (REQUIRED).
- FRAME SHALL BE INSTALLED AT THE JOBSITE.
- USE TWO ROWS EZ-STIK JOINT SEALANT, OR APPROVED EQUAL (REQUIRED).
- 18" MAX.
- 5" MIN. WALL THICKNESS
- 24" MIN. 30" MAX.
- VARIES
- USE 8" BUTYL JOINT WRAP AROUND ALL EXTERIOR JOINTS (REQUIRED).
- A-LOK OR APPROVED EQUAL (REQUIRED)
- 24" VERTICAL MAX. DIFFERENCE FL IN & FL OUT
- SELECT BACKFILL
- BENCH
- MH BASE (TABLE ABOVE)
- 8" MIN.
- UNYIELDING SUBGRADE (REPLACE WITH STONE AS REQUIRED)
- NOTE: BENCH SHALL SLOPE FROM SPRINGLINE OF PIPE TO MANHOLE WALL. OUTLET CHANNEL SHALL BE FULL DEPTH "U" FROM CENTER OF MANHOLE TO WALL.

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TITLE: **SEWER DETAILS**
 DESCRIPTION: **PRECAST MANHOLE**
 DATE: APRIL 2015
 SHEET: **S5**

CLOSED PICK SLOT DETAIL

COVER DETAIL

1. MINIMUM WEIGHT OF RING: 100 POUNDS
2. MINIMUM WEIGHT OF COVER: 110 POUNDS
3. COVERS ARE FURNISHED WITH TWO CLOSED PICK SLOTS.
4. CASTINGS SHALL BE "MADE IN USA"

* DIMENSIONAL TOLERANCES SHALL NOT EXCEED 1/16 INCH PER FOOT

FRAME AND COVER DETAIL

- 23-1/2"
- 6" ± 1/4"
- 22" Opening
- 32" ± 1/2"
- NON-ROCKING OR MACHINED SURFACE
- RAIN CATCHER WITH 1" WOVEN STRAP

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 BRYANT, AR
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TITLE: **SEWER DETAILS**
 DESCRIPTION: **MANHOLE FRAME AND COVER**
 DATE: APRIL 2015
 SHEET: **S6**

MANHOLE JOINT WRAP

STANDARD MH FRAME & COVER.

GRADE

WRAP FRAME EXTENSIONS

8" WIDE JOINT WRAP IS REQUIRED FOR ALL EXTERIOR MANHOLE JOINTS.

PLACE 8" x 8" SQUARE WRAP OVER ALL LIFTING HOLES (TYP.)

COLD JOINTS

SEWER PIPE

SEWER PIPE

UNYIELDING SUBGRADE (REPLACE WITH STONE AS REQUIRED)

NOTE:
 JOINT WRAP TO BE USED:
 • ON OUTSIDE OF COLD JOINTS
 • ON EXTERIOR OF ALL PRECAST MANHOLE JOINTS
 • ON LIFT HOLES / SOCKETS

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 BRYANT, AR
 PHONE: (501) 843-0488

TITLE: **SEWER DETAILS**
 DESCRIPTION: **MANHOLE JOINT WRAP**
 DATE: APRIL 2015
 SHEET: **S9**

THE INSTALLATION SHALL BE DYE TESTED FOR ACCEPTANCE.

INTERIOR VIEW

CONCRETE MANHOLE ADAPTER (CMA) IS REQUIRED.

MANHOLE CORING DETAILS

- CORE DRILLED HOLE
- CONCRETE MANHOLE WALL
- SEWER PIPE
- NON-SHRINK GROUT
- CONCRETE MANHOLE ADAPTER (CMA) IS REQUIRED.

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 BRYANT, AR
 PHONE: (501) 843-0488

TITLE: **SEWER DETAILS**
 DESCRIPTION: **MANHOLE CORING**
 DATE: APRIL 2015
 SHEET: **S11**

CITY OF BRYANT STANDARD FRAME & COVER

PICKHOLE DETAIL

PICKBAR DETAIL

COVER BACK

COVER SECTION

REVERSIBLE FRAME
 EST. WEIGHT 360 POUNDS

NOTE:
 ALL CASTINGS SHALL BE "MADE IN USA"

CITY OF BRYANT, AR
 WATER UTILITIES
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 BRYANT, AR
 PHONE: (501) 843-0488

TITLE: **SEWER DETAILS**
 DESCRIPTION: **36-INCH MANHOLE FRAME AND COVER**
 DATE: APRIL 2015
 SHEET: **S8**

NOTES:

1. MODIFIED RISER LATERAL SHALL BE USED WHEN DEPTH OF COVER EXCEEDS 7'-0"
2. PLACE CLASS "A" CONCRETE UNDER EACH WYE BRANCH TO PREVENT CRACKING OR TWISTING UNDER EARTH LOADS.
3. SERVICE LATERAL STUBS SHALL TERMINATE AT LEAST 2 FEET INSIDE THE PROPERTY LINE BUT IN NO CASE SHALL THE SERVICE LATERAL STUB TERMINATE AT A DISTANCE LESS THAN 8 FEET FROM THE SANITARY SEWER MAIN.
4. BURY A 1/2" x 4" STEEL TEE FENCE POST AT END OF SERVICE LATERAL STUB AND BACKFILL TO FINISHED GRADE OF PROPERTY.
5. 4" DUCTILE IRON PIPE, LINED FOR SANITARY SEWER AND 4" DUCTILE IRON M.J. FITTINGS, LINED FOR SANITARY SEWER, SHALL BE INSTALLED FOR SERVICES BURIED AT DEPTHS OF 14 FEET AND GREATER.

PROFILE

PLAN

SEWER MAIN

WYE BRANCH

SCH 40 PVC CAP

1/2" x 4" FENCE "TEE" POST

CLASS "A" CONCRETE

ROTATE BENDS AS REQUIRED TO ALIGN SERVICE BRANCH WITH SERVICE PIPE.

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 WATER UTILITIES
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TITLE: **SEWER DETAILS**
 DESCRIPTION: **SEWER SERVICE LATERAL**
 DATE: APRIL 2015
 SHEET: **S15**

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FOR USE AND BENEFIT OF:
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
 SEWER DETAILS
 A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 4/2/2024
 C.A.D. BY:
 REVISIONS:
 CHECKED BY:
 SHEET: C-4.1
 SCALE:
 DRAWING NUMBER:
 19-0238

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TEE
REDUCER
HORIZONTAL RUN
90° BEND
VERTICAL RUN
CROSS WITH PLUG
TEE WITH PLUG

11 1/4" 22 1/2" AND/OR 45° BEND
USE 2 1/2" BENDS IN PLACE OF 90° BEND
END PLUG, CAP OR BLIND FLANGE

THRUST BLOCK SCHEDULE									
BEARING AREA OF THRUST BLOCKS IN SQ. FT. (HORIZONTAL BENDS)					VOLUME OF THRUST BLOCK IN CU. FEET (VERTICAL BENDS)				
PIPE DIA.	PIPE WALL THICKNESS	THRUST BLOCK DIA.	THRUST BLOCK WALL THICKNESS	BEARING AREA	THRUST BLOCK DIA.	THRUST BLOCK WALL THICKNESS	THRUST BLOCK VOLUME	MIN. SPACING	MAX. SPACING
2, 3, 4, 6	1/8	2 1/2	1/4	0.7	0.4	2, 3, 4, 6	0.5	10.0	10.0
8	3/8	3 1/2	3/8	1.1	0.8	8	0.8	10.0	10.0
12	1/2	4 1/2	1/2	1.8	1.2	12	1.2	10.0	10.0
16	5/8	5 1/2	5/8	2.5	1.6	16	1.6	10.0	10.0
20	3/4	6 1/2	3/4	3.5	2.2	20	2.2	10.0	10.0
24	7/8	7 1/2	7/8	4.7	3.0	24	3.0	10.0	10.0

THRUST BLOCK NOTES:

- CONCRETE FOR THRUST BLOCKS - CLASS A CONCRETE SHALL DEVELOP NOT LESS THAN 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND BE PLACED AGAINST UNDISTURBED SOIL.
- ALL BENDS, BOTH HORIZONTAL AND VERTICAL, SHALL BE BACKED WITH CONCRETE. VERTICAL BENDS SHALL BE PLACED ON CONCRETE PADS WHERE BENDS TURN UP, OR LOADED WHERE BENDS TURN DOWN.
- WRAP PIPE JOINTS IN 6 MIL "POLYETHYLENE" BEFORE PLACING CONCRETE.
- BEARING AREA SHOWN IN TABLE IS BASED UPON A 2000 LB/SQ. FT. SOIL BEARING, AND UPON A PIPELINE PRESSURE OF 200 PSI PLUS 100 PSI WATER HAMMER. AREAS SHOWN SHALL BE ADJUSTED, SHOULD FIELD CONDITIONS VARY.
- MJ RESTRAINTS ARE REQUIRED FOR ALL FITTINGS.
- USE LONG-RADIUS FITTINGS, WHEREVER POSSIBLE.
- ALL BOLTS FOR FITTINGS SHALL BE 316 STAINLESS STEEL.
- ALL DUCTILE IRON FITTINGS SHALL BE FUSION-BONDED EPOXY COATED INSIDE AND OUTSIDE IN ACCORDANCE WITH ANSI/AWWA C115/C211.1E.
- UNIT WEIGHT OF CONCRETE FOR VERTICAL THRUST BLOCKS IS 150 LBS/CU. FT.

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BRYANT, AR
PHONE: (501) 844-4448

DATE: APRIL 2023
SHEET: W16

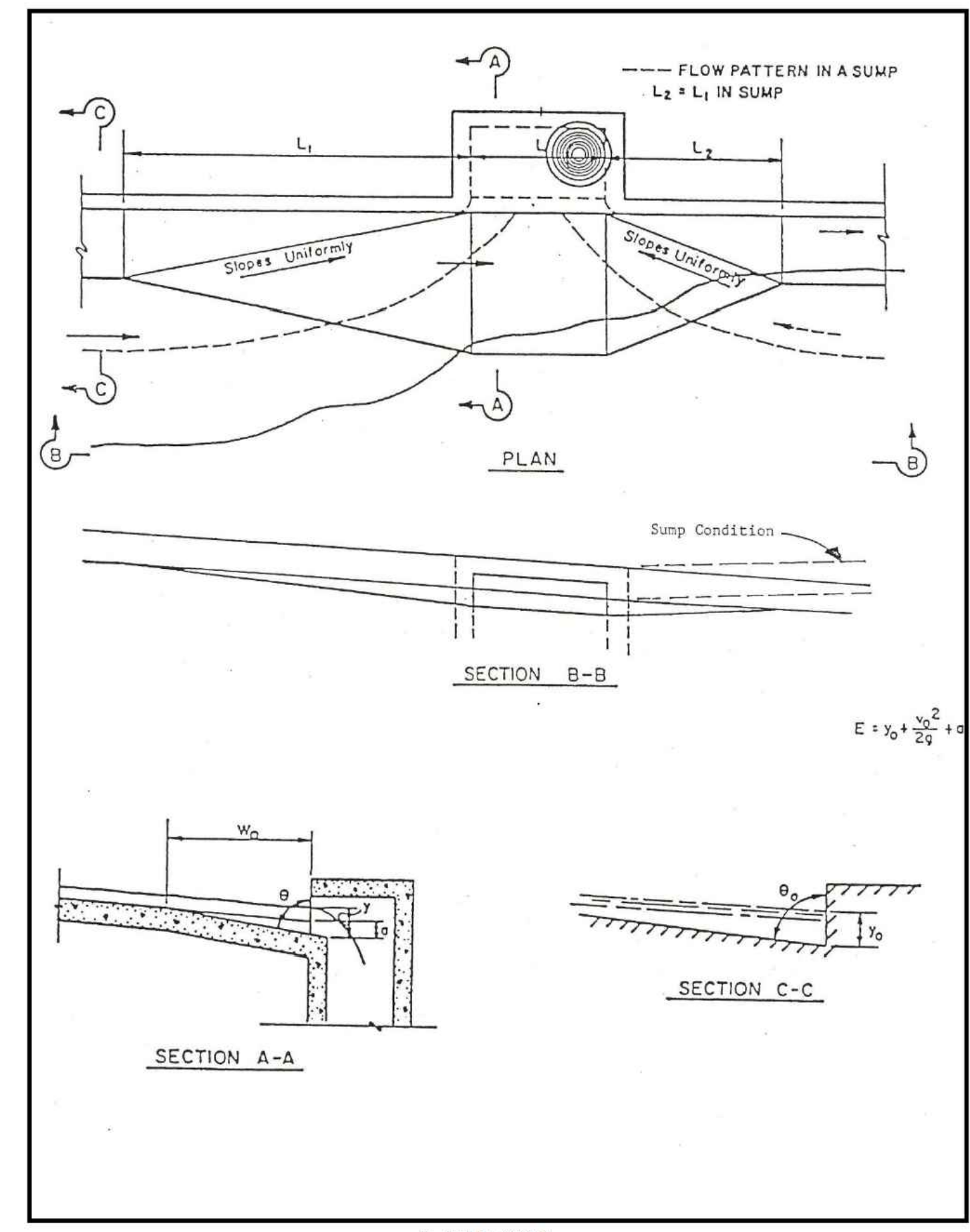
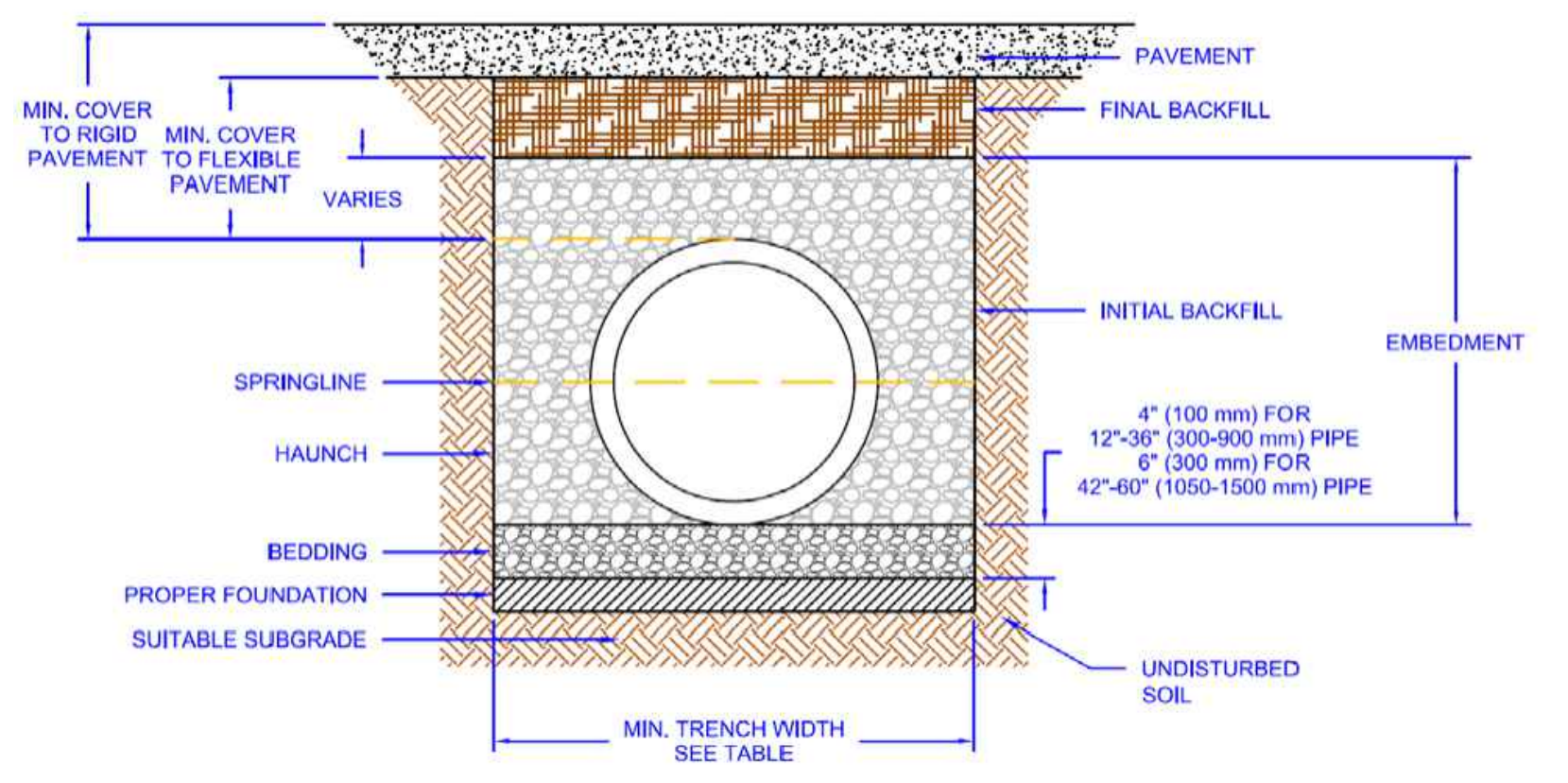
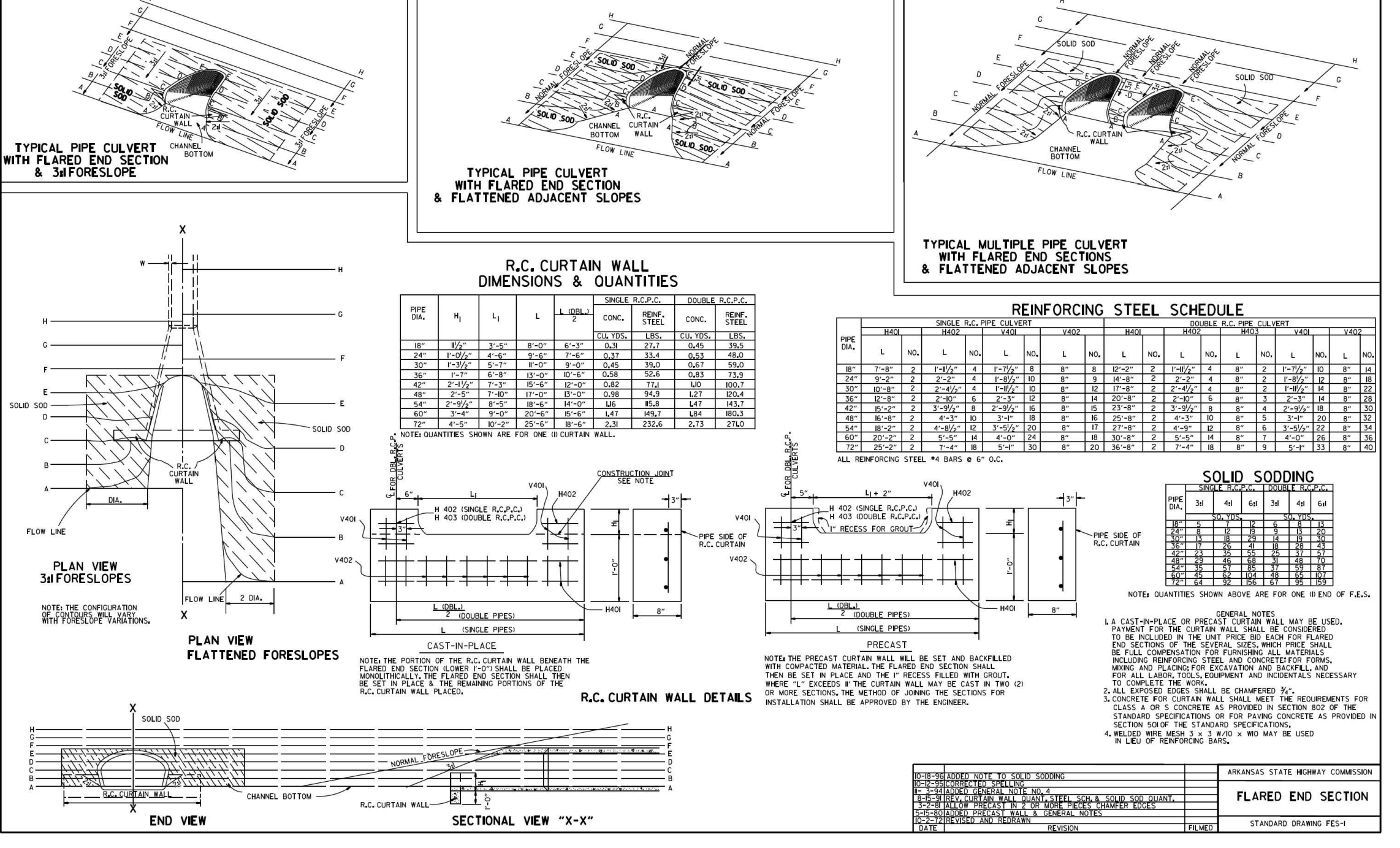
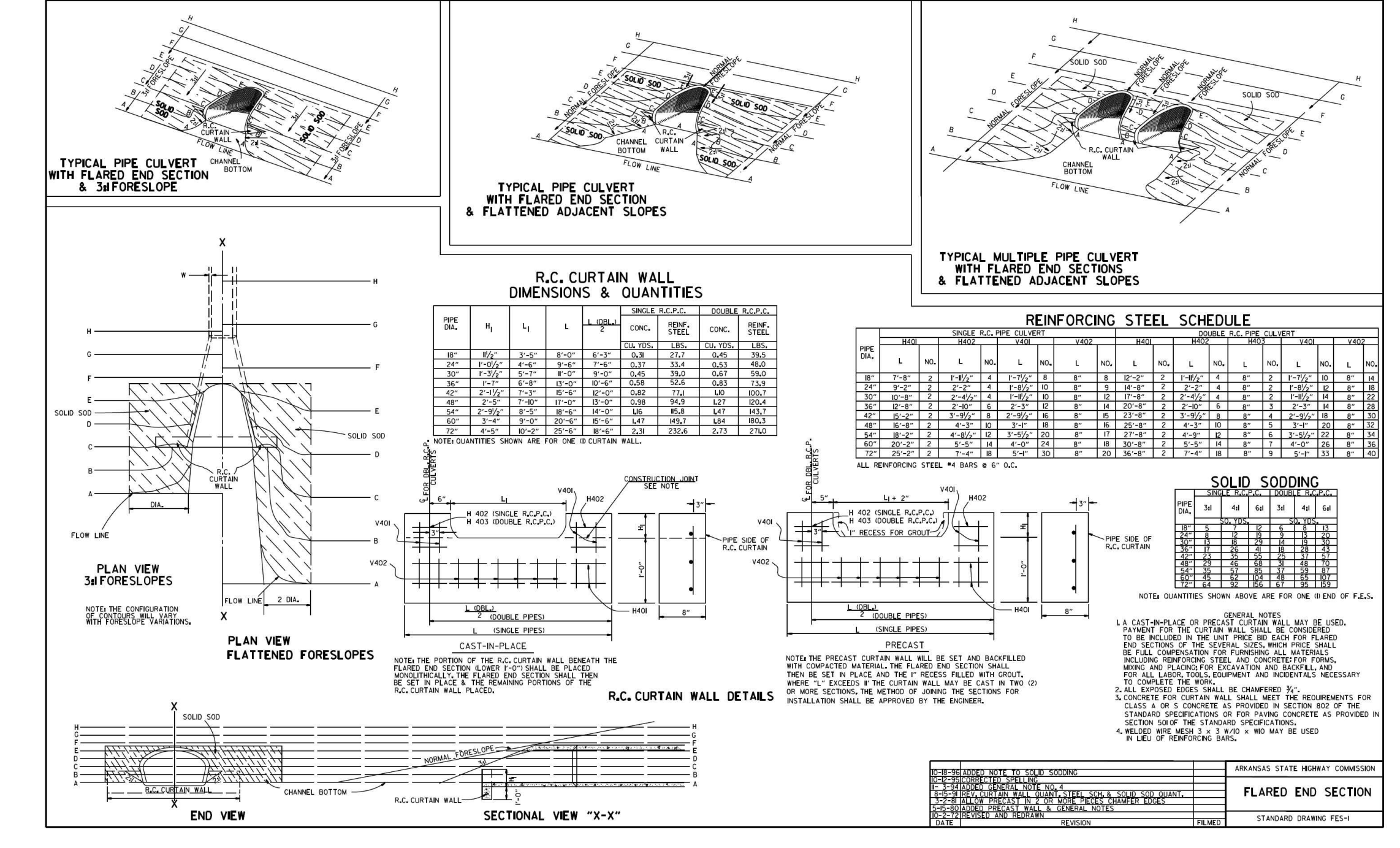
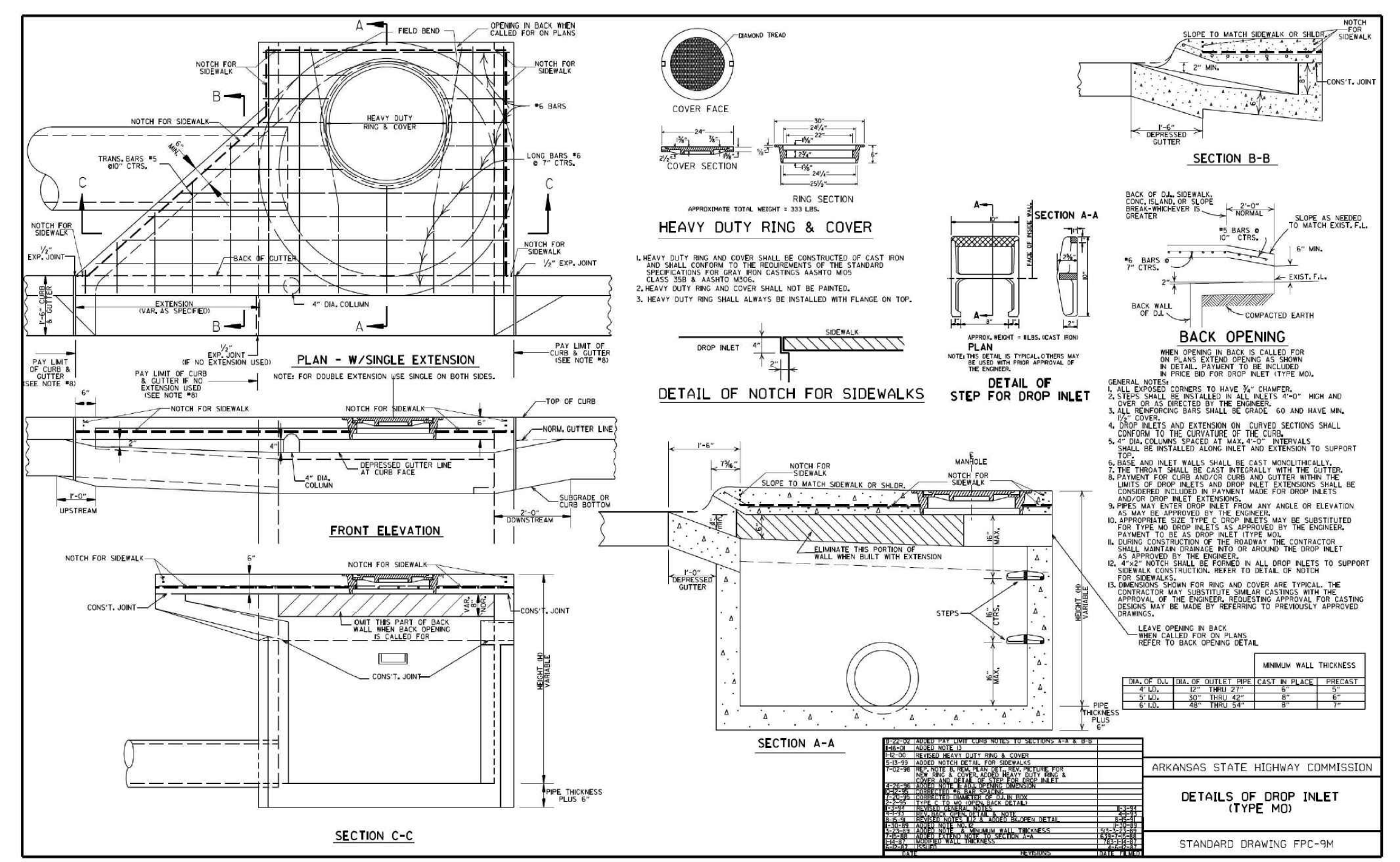


Exhibit 800-1
Depressed Curb Opening Inlet (Type A-1 and Type C-1)



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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
DETAILS

A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

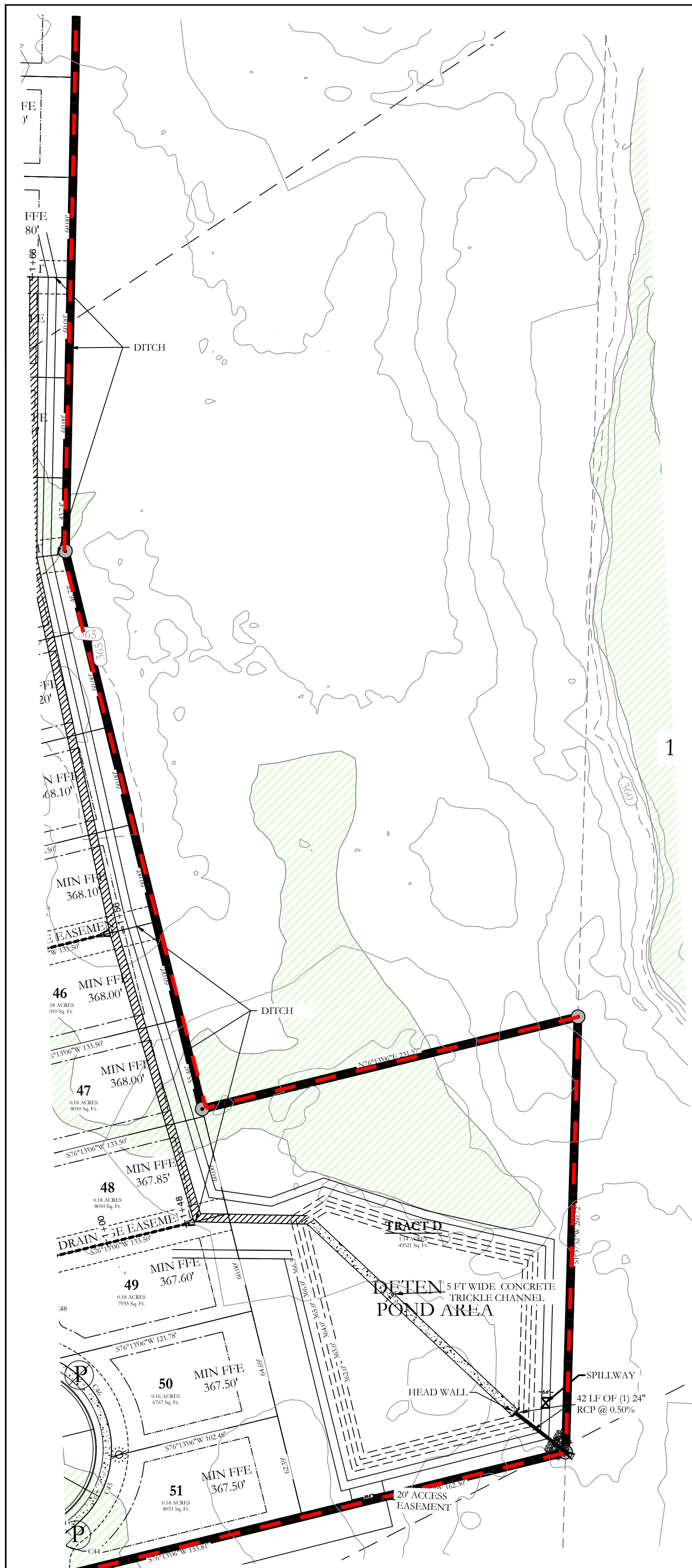
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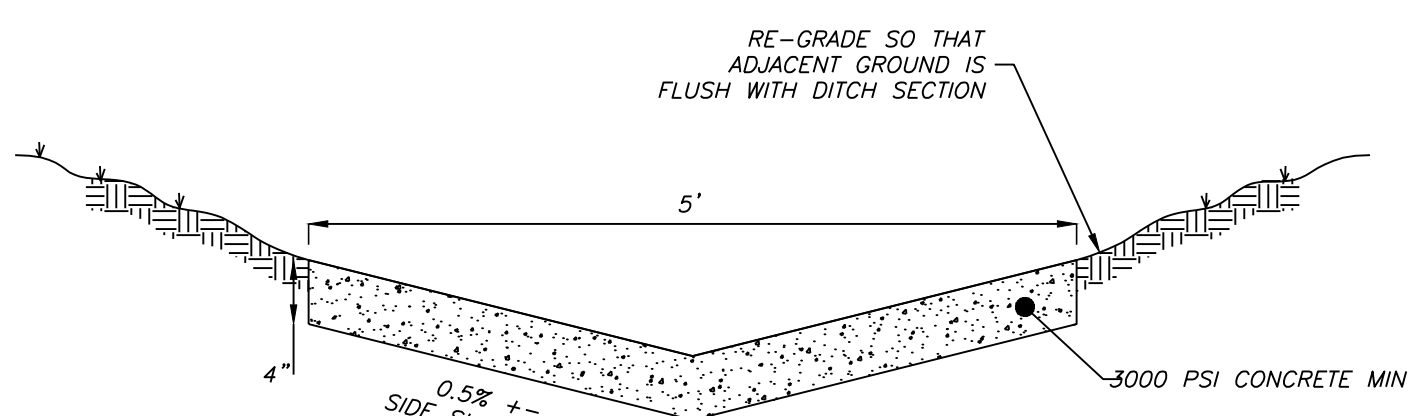
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ARIZONA STATE HIGHWAY COMMISSION
FLARED END SECTION
STANDARD DRAWING PFC-1

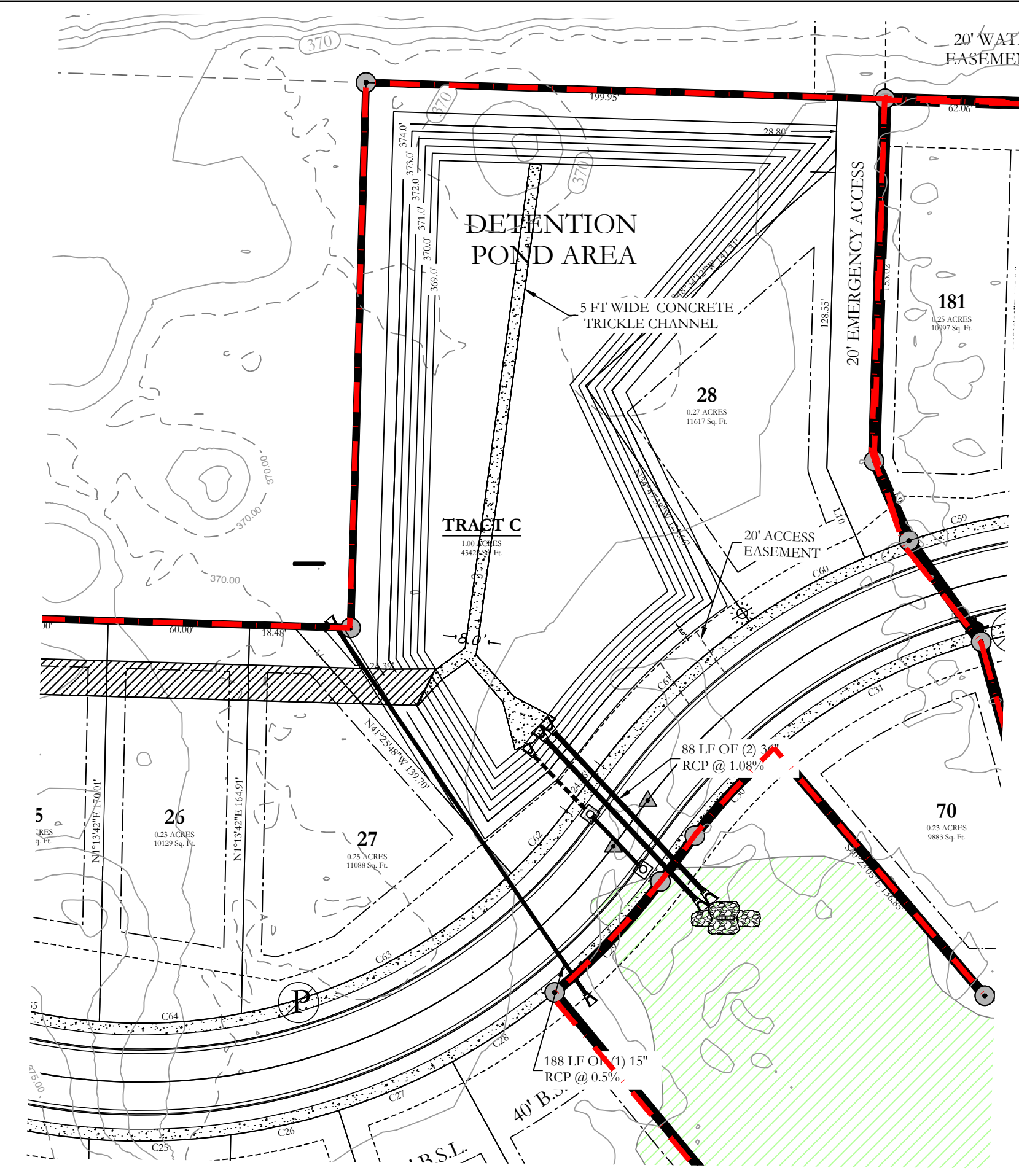


EARTHEN SLOPE NOTE:
 ALL EARTHEN DETENTION POND SLOPES ON BOTH THE INTERIOR AND EXTERIOR OF THE POND SHALL HAVE A MAXIMUM SLOPE OF 3:1.

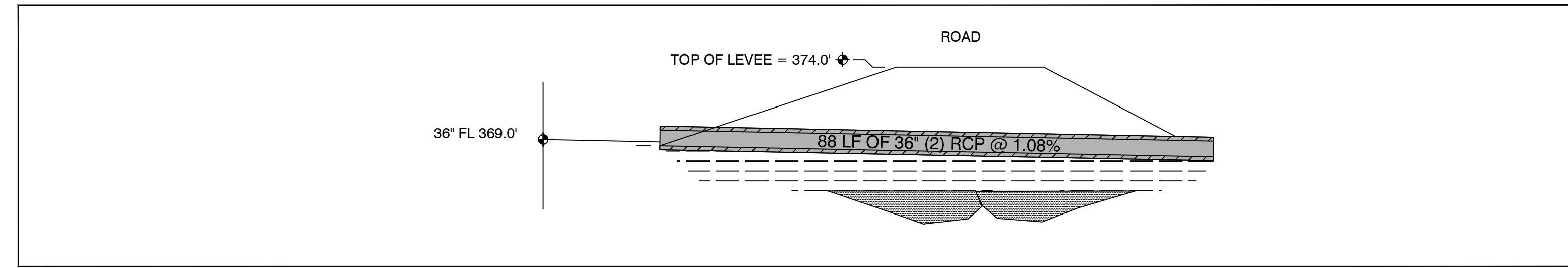
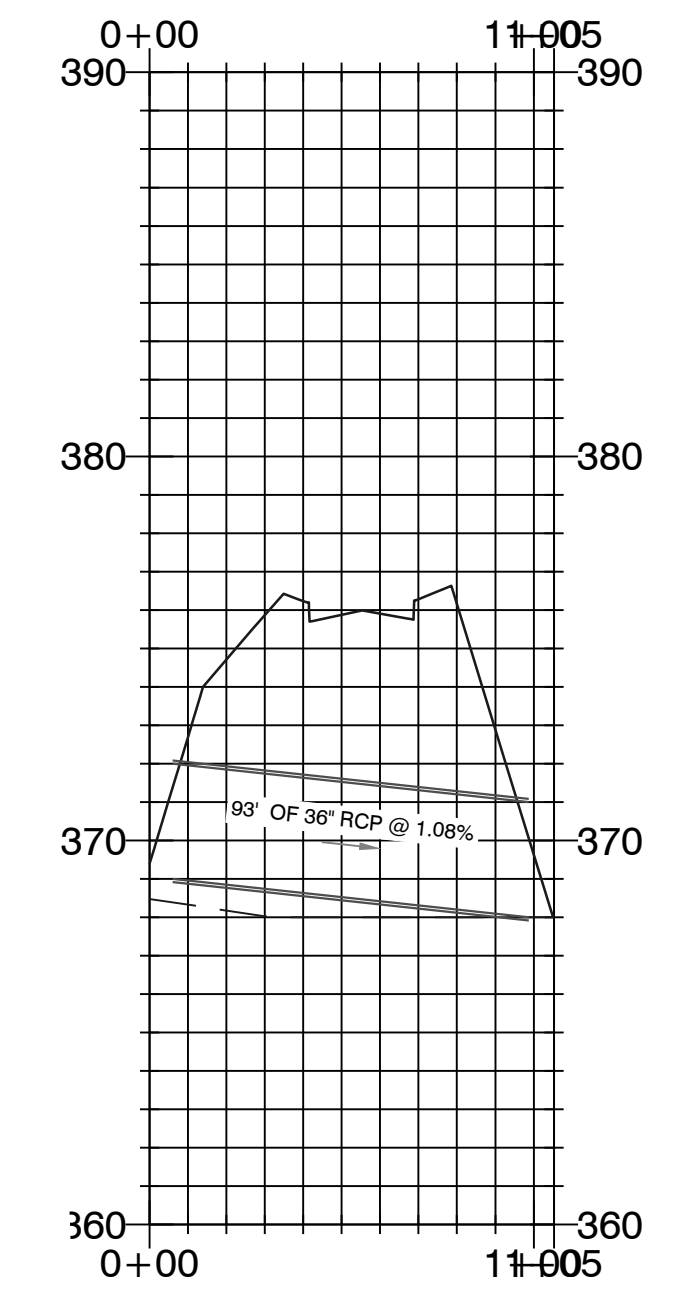
- NOTE:**
1. DETENTION POND WILL BE REQUIRED TO BE STABILIZED WITH SOLID SOD STABILIZATION PER THE STORM WATER MANAGEMENT MANUAL.
 2. DETENTION POND WILL HAVE A 6' WIDE VELEE.
 3. DRAINAGE DITCH LEADING TO NEW DETENTION POND WILL REQUIRE SOLID SOD STABILIZATION PER THE STORM WATER MANAGEMENT MANUAL.
 4. DETENTION POND WILL REQUIRE CONCRETE TRICKLE CHANNELS.



DETAIL (NTS) TRICKLE CHANNEL SECTION



DETENTION POND - PLAN VIEW



DETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
 SCALE: VARIES

DETENTION POND MAINTENANCE PLAN

Background
 The detention ponds (Tract C and D) are located at the North and South side of the subject property. Detention ponds are designed to temporarily detain storm water to meet water quantity criteria before discharging off the property.

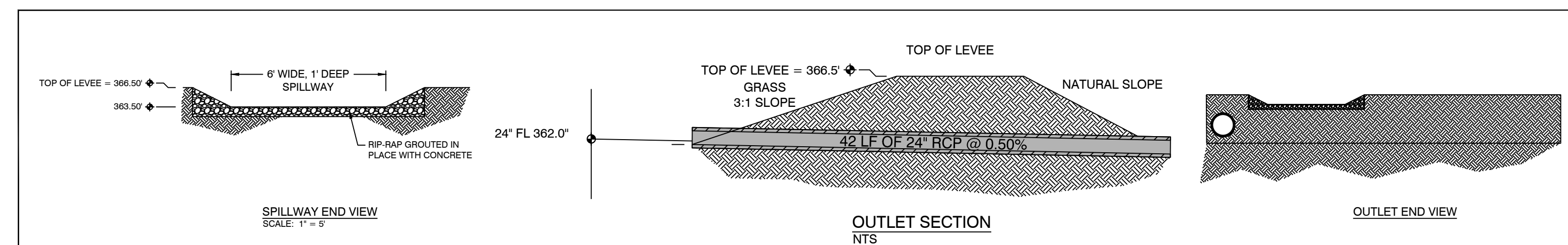
Stabilization of Detention Basin provided with 3-1 slopes with required Sodding.
 6" Swales with required sodding.
 Fences are prohibited in the drainage easement area.
 Maintenance of retention ponds will be conducted by the improvement district.
 Detention Pond Tract C will be constructed in Phase-2.

Routine Maintenance
 Routine maintenance will include but not be limited to:
 -Mowing of the bank slopes and area around the pond on a monthly basis during the growing season and as needed during the cooler months.

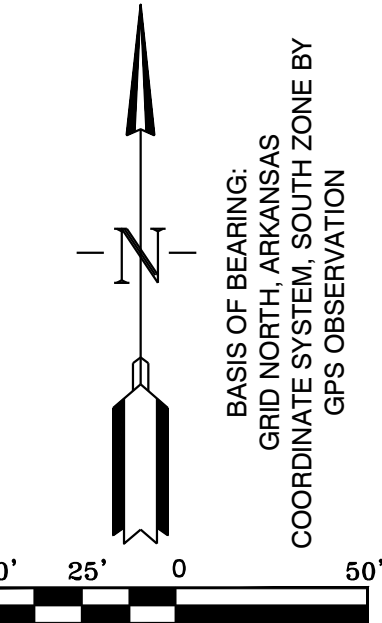
-The outlet pipe from the pond and other areas will be inspected monthly for debris which could inhibit the proper flow of discharge. Any debris will be removed immediately and disposed of or placed in a location to prevent future maintenance and to not cause impact up or downstream of the structure.

-Trash will be removed from around the pond to prevent entering the pond. Generally, the site should be kept free of loose trash which could be carried off site by wind or rain.

- Inspect the pond and outlet pipe for non-routine maintenance need.
- Periodic or Non-Routine Maintenance**
 The routine inspection of the pond area and discharge pipe will identify needed repairs and non-routine maintenance. These items may include but not be limited to:
- Re-growth of trees on or around the pond bank. These should be cut and removed from the pond area.
 - Sediment from the site may accumulate in the pond bottom and reduce the pond to below design volume requirements. The pond should be excavated if the pond bottom elevation reached a level that allows excessive aquatic growth or reduces the pond efficiency such, that the sediments are passing the discharge structure and release off site.
 - Stabilization or re-grading of side slopes may be required periodically or after excessive rain events. Any disturbance of slopes should be reseeded or may require installation of erosion control materials until seeding can reestablish adequate grasses to prevent future erosion.
 - Any other maintenance or repairs which would minimize other maintenance to the pond or outfall structures.



DETENTION POND - OUTLET CROSS-SECTIONS & DETAILS
 SCALE: VARIES



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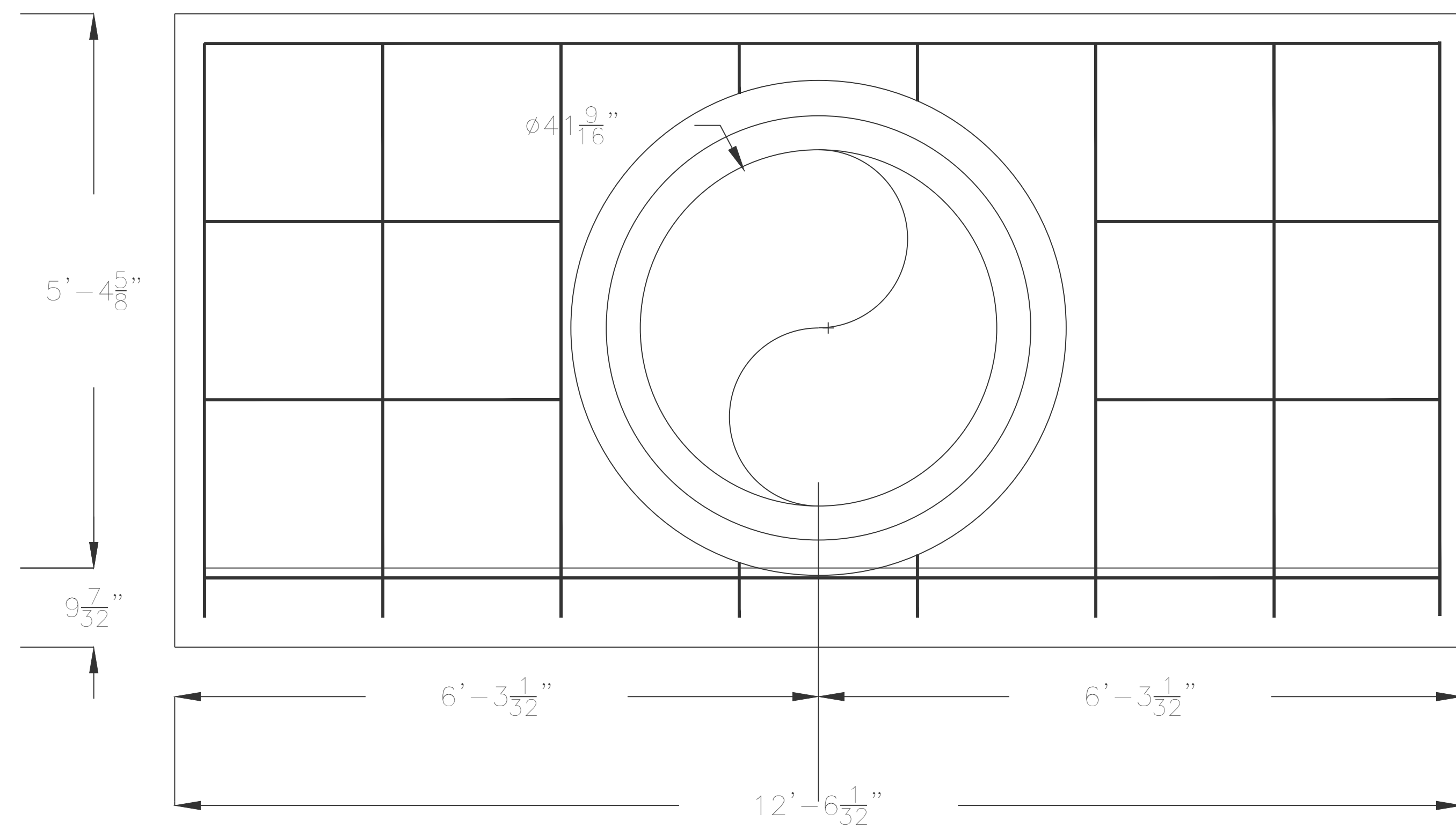
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THE VILLAGES AT MAGNOLIA LANE PHASE 2-3 DETENTION POND
 A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 12-22-2023	CHECKED BY:	19-0238
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500	1S	15W	0	34	230	62	1762
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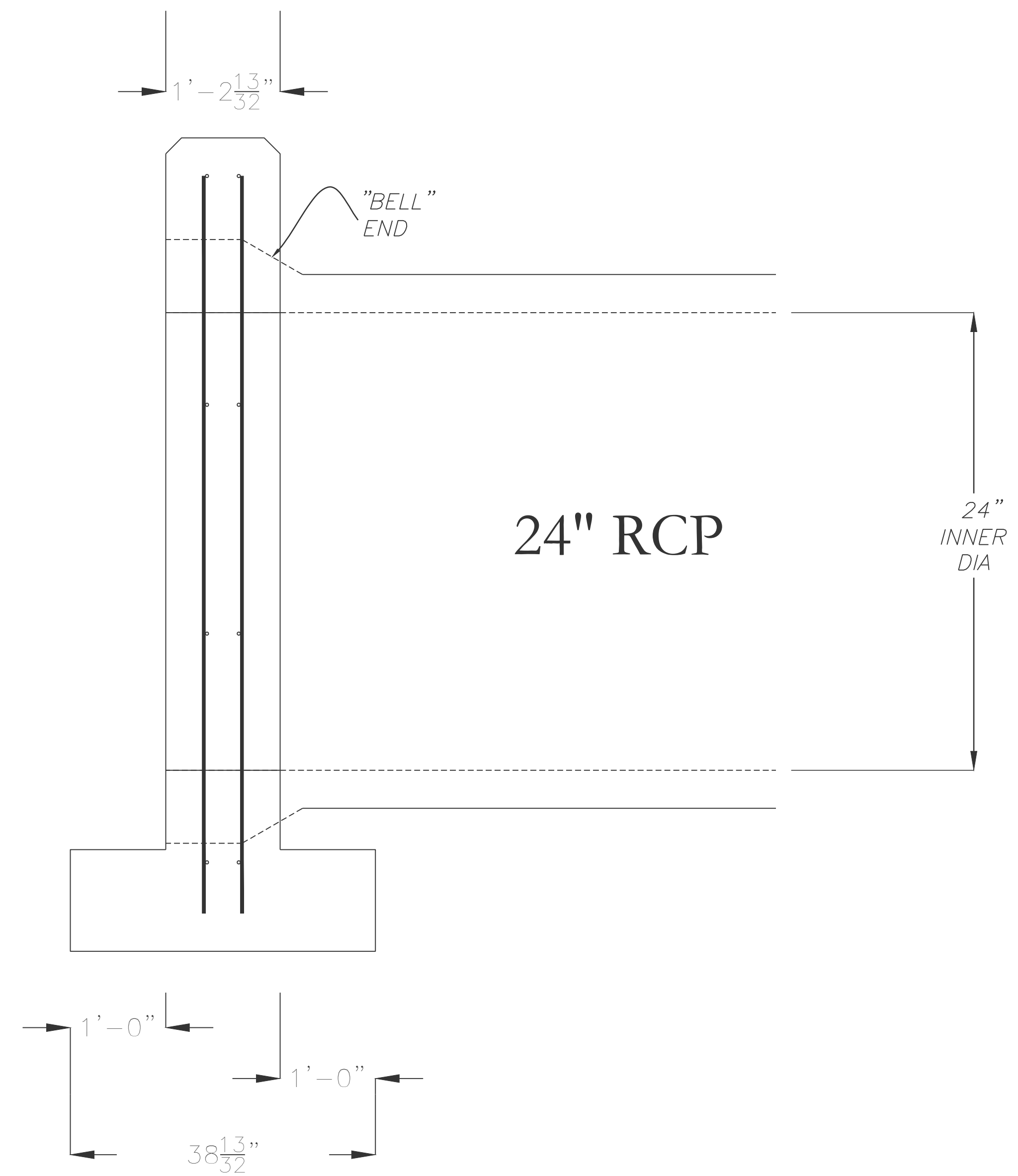
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Front Elevation View for one 24" RCP

Note:

All reinforcing steel #4 bars. all vertical and horizontal tie bars 1'-6" maximum spacing.



Side Elevation View



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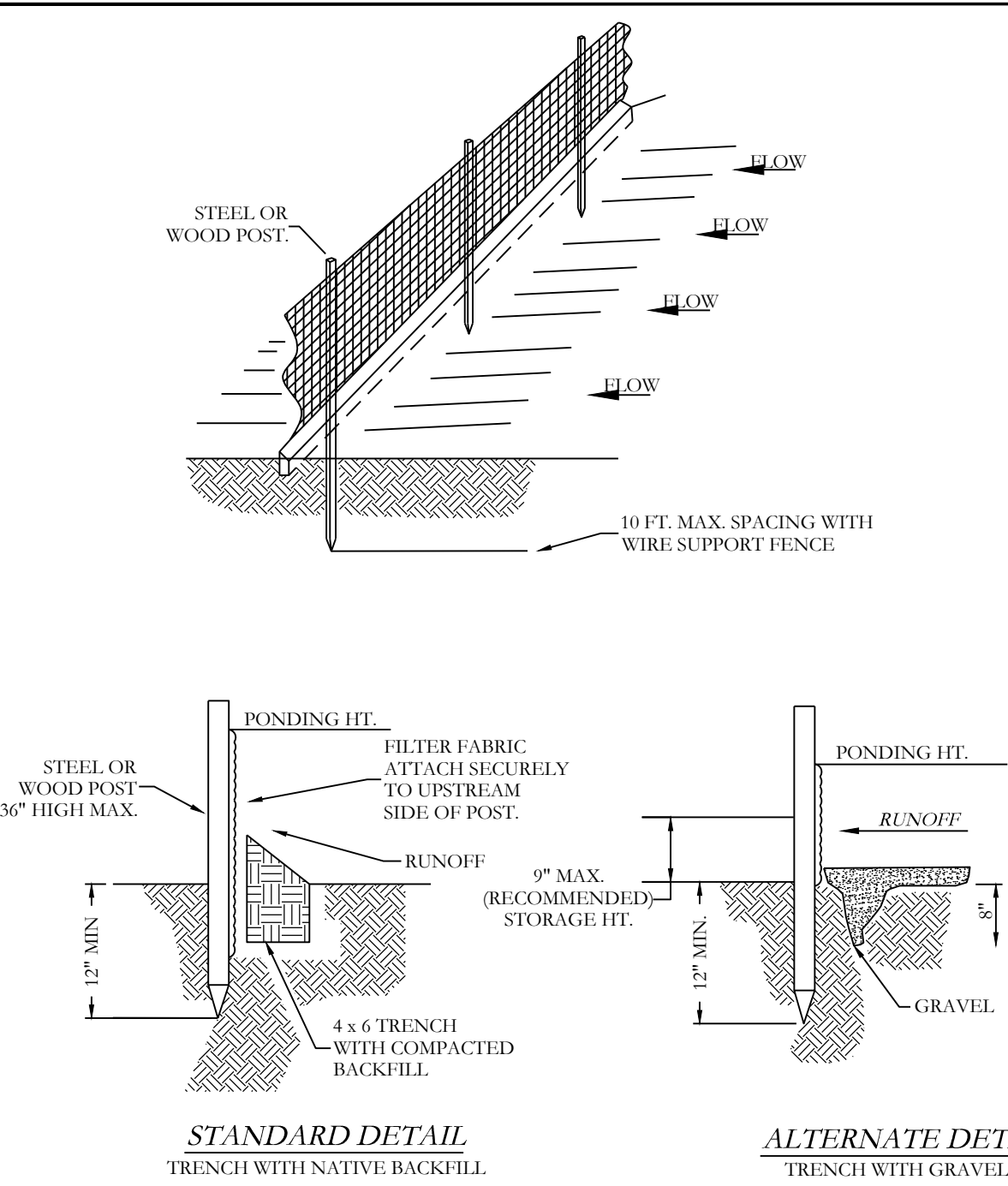
FOR USE AND BENEFIT OF:
WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
HEADWALL DETAILS
A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	10-05-2023	C.A.D. BY:		DRAWING NUMBER:
REVISED:	12-22-2023	CHECKED BY:		19-0238
SHEET:	C-5.1	SCALE:		

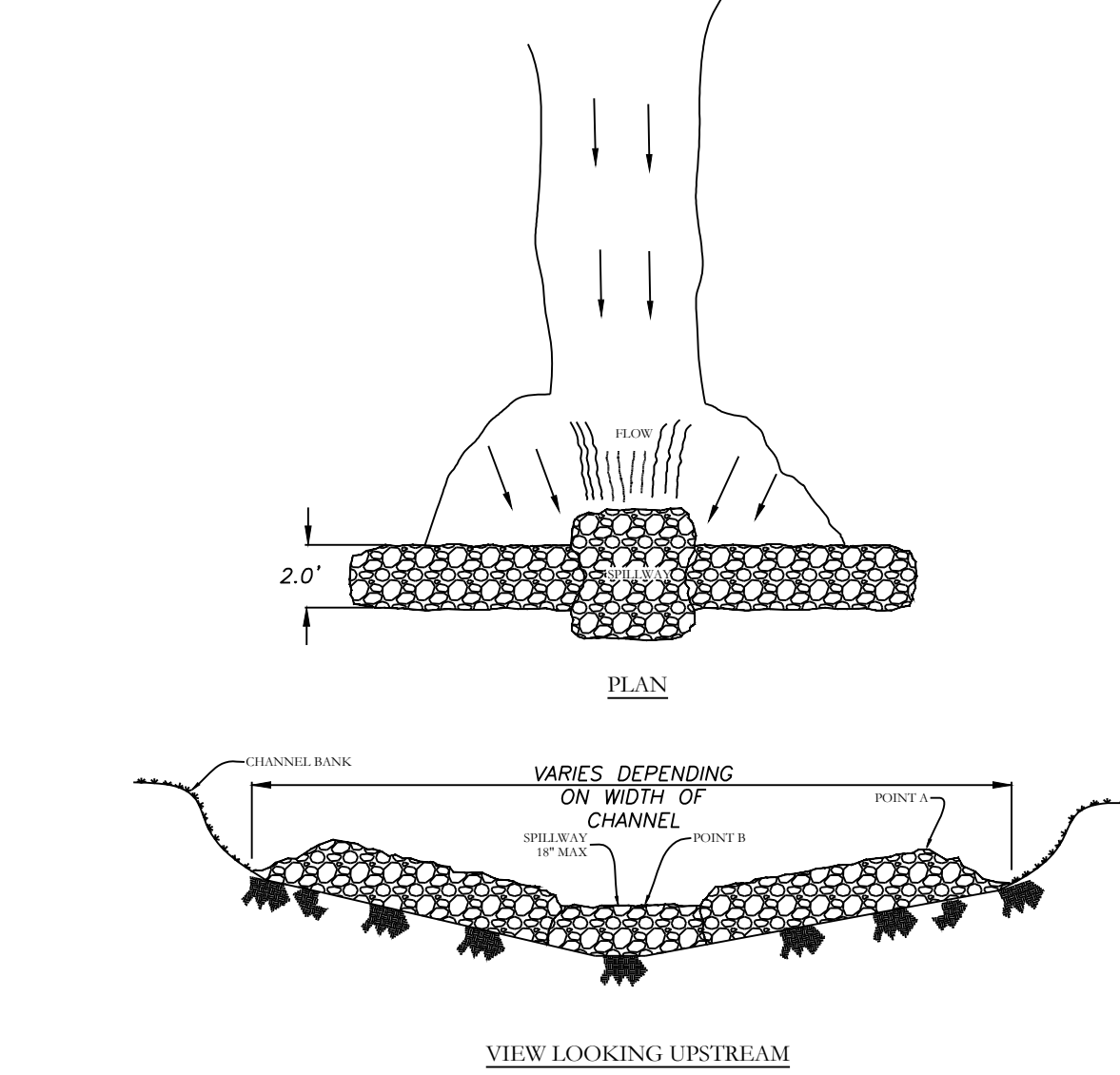
500	1S	15W	0	34	230	62	1762
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K:\LAND PROJECTS\2004 SUBDIVISIONS\2019\19-0238 STARLIGHT VILL. C&S\PLANS\24" RCP HEADWALL\DWG\STARLIGHT VILLAGE SUBDIVISION_CONSTRUCTION_PLANS_19-0238.DWG



SILT FENCE

NOTE:
 1) INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2) REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3) SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4) SILT FENCE SHALL BE WIRE BACKED.



NOTE:
 1) POINT 'A' MUST BE HIGHER THAN POINT 'B' BY AT LEAST 2 FEET.
 2) USE STONE OR RIP-RAP FOR THE DAM BODY. DO NOT USE SAND OR SILT. USE STONE, ROCKS, OR FILTER FABRIC TO FILL ANY GAPS AND TAMP BACKFILL SECURELY TO PREVENT PROTRUSION OR LEAKAGE THROUGH DAM.
 3) SLOPEWAY HEIGHT SHALL NOT EXCEED 18" TO 24".
 4) INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROMPTLY.

EROSION CONTROL NOTES

DETENTION POND AREAS ARE REQUIRED TO BE SOLID SOD STABILIZATION ONLY.

MAXIMUM SLOPE OF 3H:1V ON DETENTION POND LEVEES

CONTRACTOR MUST HAVE INLET PROTECTION MEASURES INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF DRAINAGE INLETS/STRUCTURES IS COMPLETE. SEDIMENT BARRIERS SHALL BE MAINTAINED THROUGHOUT AND INSPECTED THROUGHOUT CONSTRUCTION PROCESS UNTIL PROJECT IS COMPLETE.

RIP-RAP SEDIMENT BARRIERS SHALL BE USED AT ALL STORMWATER DISCHARGE POINTS SHOWN ON PLANS ASAP

CONTRACTOR SHOULD WORK WITH ENGINEER TO ESTABLISH EFFECTIVE AND EFFICIENT PLAN TO PREVENT SEDIMENT RUNOFF BY DETERMINING WHERE SILT FENCING OR OTHER TYPES OF CONTROLS ARE NECESSARY

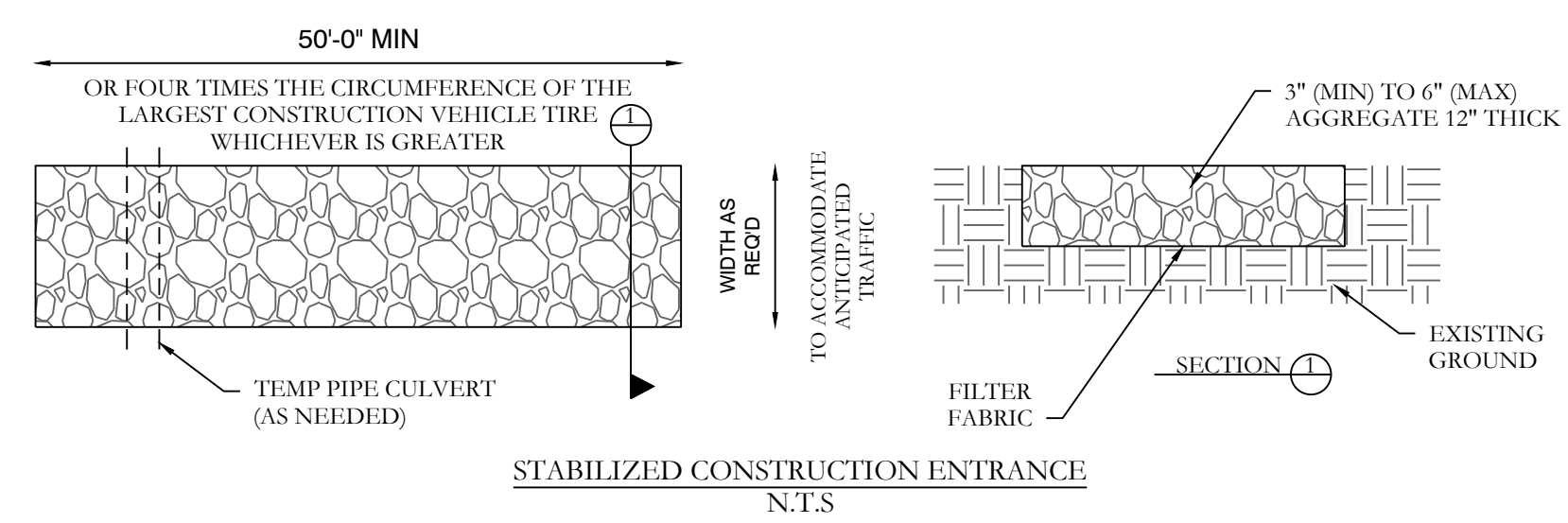
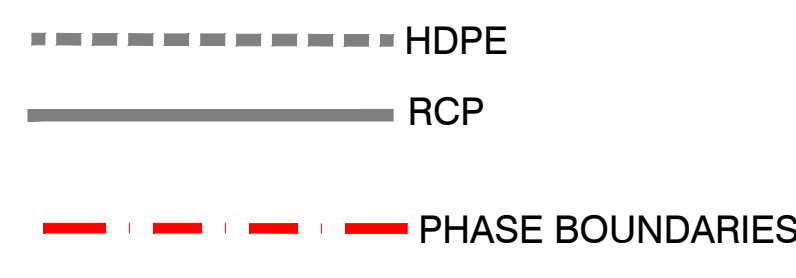
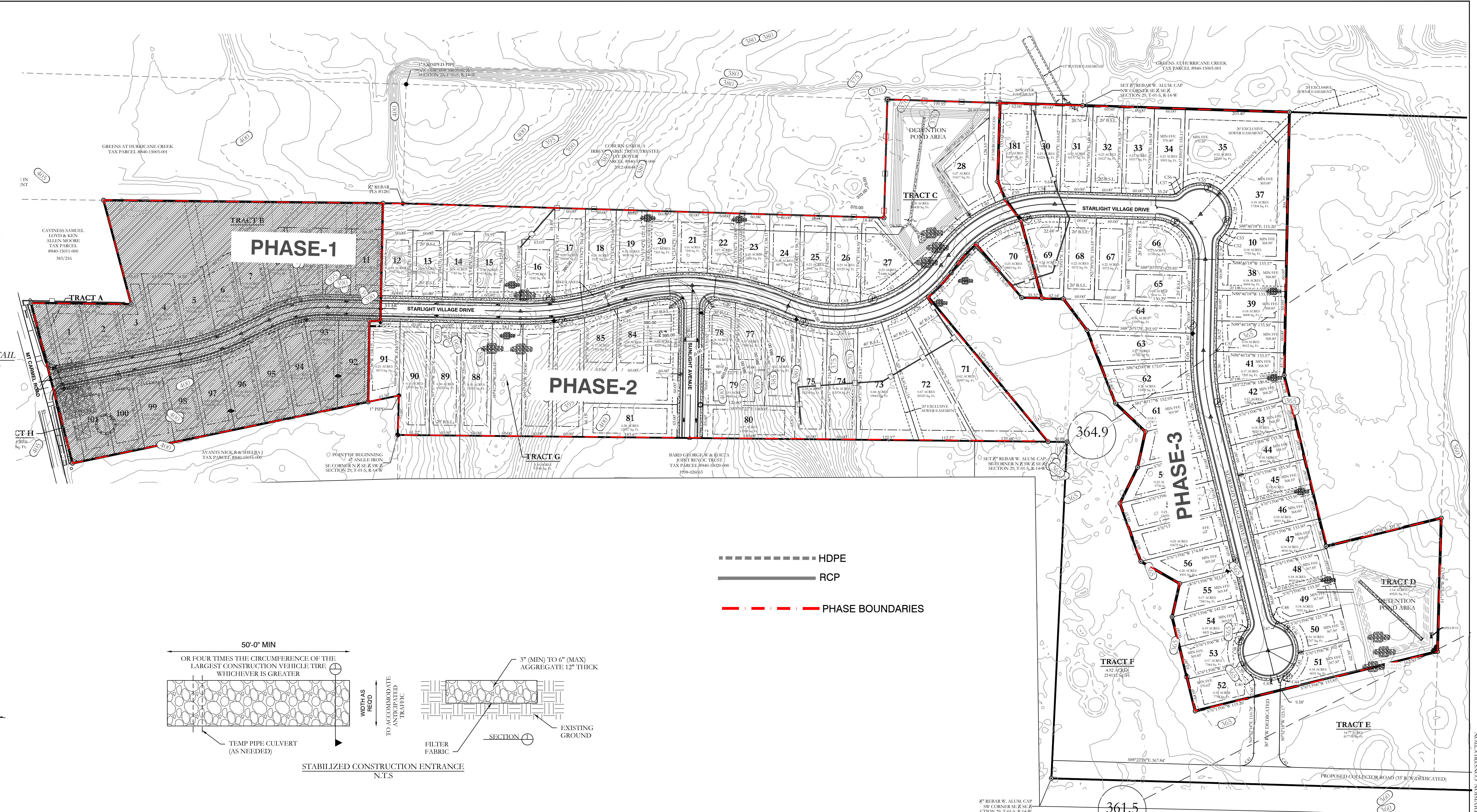
SOME EROSION CONTROL MEASURES, SILT FENCING, OR CHECK DAMS MAY NOT BE NECESSARY DURING INITIAL ROW CLEARING BUT MAY BE NEEDED ONCE LOT CLEARING AND HOME BUILDING BEGINS

EXISTING VEGETATION WILL ONLY BE REMOVED INSIDE ROW AND WITHIN HOUSE FOOTPRINTS AS THEY ARE CONSTRUCTED. ADDITIONAL SILT FENCING WILL BE ADDED TO INDIVIDUAL LOTS AS HOME CONSTRUCTION TAKES PLACE.

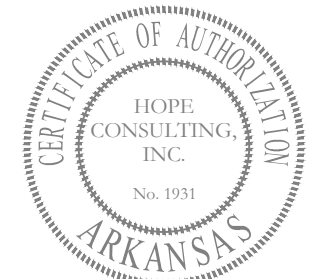
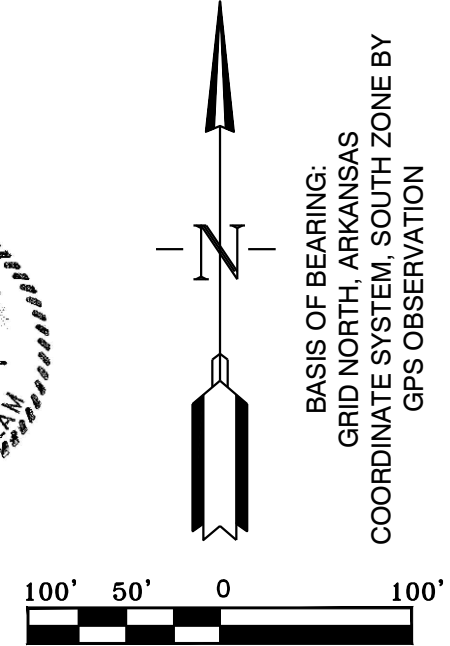
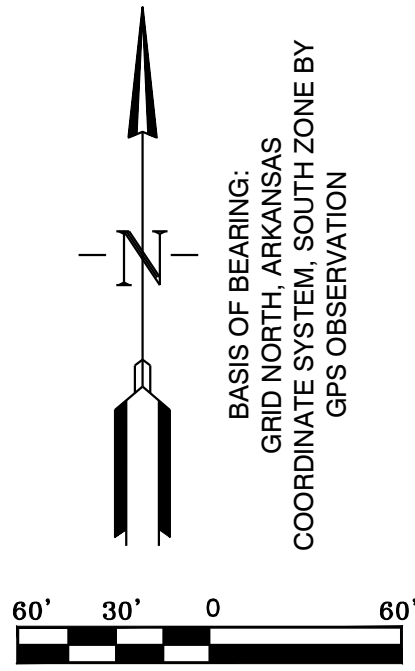
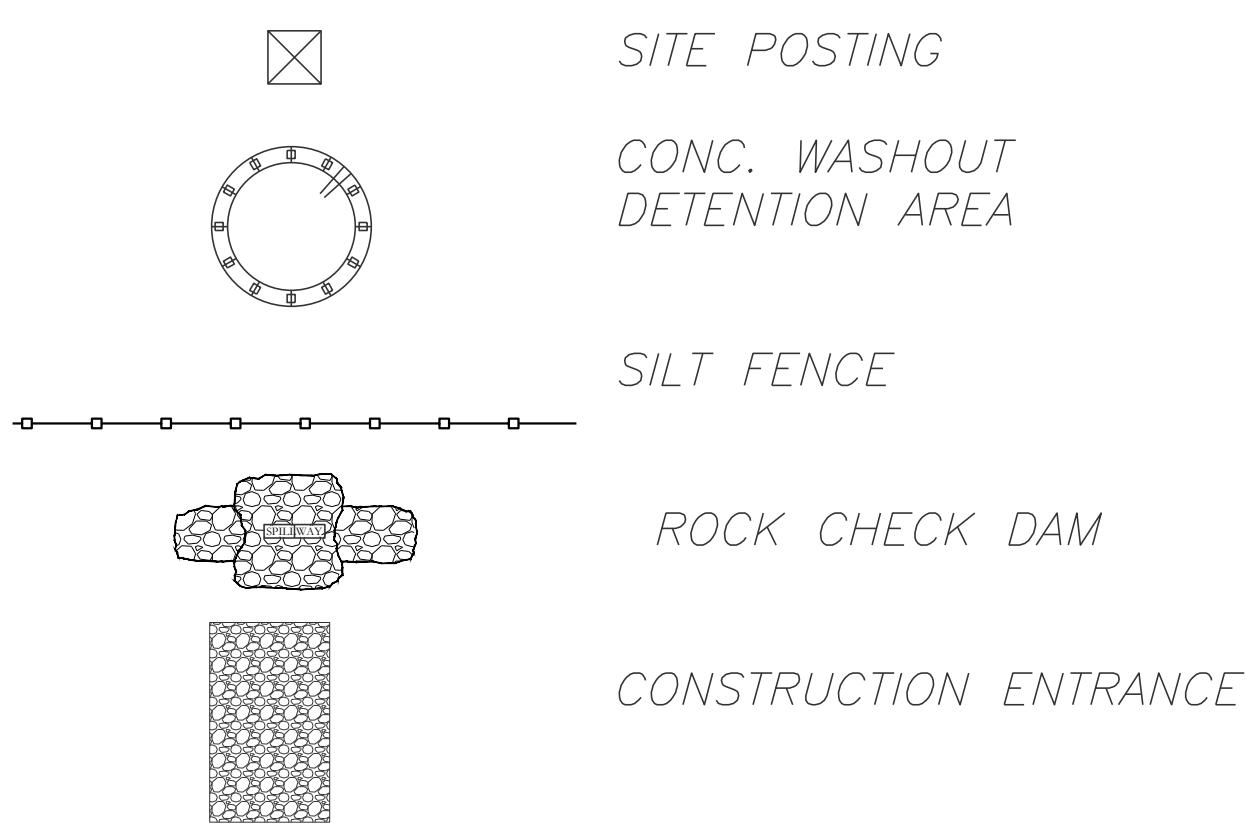
DEADLINES FOR STABILIZATION AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY CEASED.

STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED



ERC LEGEND



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FOR USE AND BENEFIT OF:
 WIGGINS FAMILY REAL ESTATE HOLDINGS, LLC

THE VILLAGES AT MAGNOLIA LANE PHASE 2-3
 EROSION CONTROL PLAN

A SUBDIVISION IN CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 10-05-2023	C.A.D. BY:	DRAWING NUMBER:
REVISED: 03-22-2024	CHECKED BY:	19-0238
SHEET: C-6.0	SCALE:	

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