



CONCRETE SIDEWALK

HUNTER LEE DRIVE  
(60' R/W)

**RECORD PROPERTY DESCRIPTION**  
SALINE COUNTY INSTRUMENT DEED 2020-014886

LOT 23, ANDRES WOODS, AN ADDITION TO THE CITY OF BRYANT,  
SALINE COUNTY, ARKANSAS

**RECORD PROPERTY DESCRIPTION**  
SALINE COUNTY INSTRUMENT DEED 2019-003948

LOT 22, ANDRES WOODS, AN ADDITION TO THE CITY OF BRYANT,  
SALINE COUNTY, ARKANSAS

**SURVEY DETAILS AND NOTES:**

OWNER OF RECORD: MELAPU VENKATA K & SRAVANTHI JOGINIPELLI  
PHYSICAL ADDRESS: 1101 HUNTER LEE DR  
COUNTY PARCEL TAX ID: 840-00910-022, 840-00910-023

ALL DIMENSIONS LISTED ARE AS MEASURED BY THIS SURVEYOR UNLESS OTHERWISE NOTED. FOR RECORD DIMENSIONS SEE DOCUMENTS OF RECORD.

OWNERSHIP INFORMATION, IF SHOWN, IS LISTED AS PUBLISHED BY THE LOCAL COUNTY TAX ASSESSOR AND IS LISTED FOR REFERENCE ONLY. NO STATEMENTS OF OWNERSHIP, RIGHTS, OR INTERESTS ARE MADE.

**CERTIFICATE OF OWNER:**

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

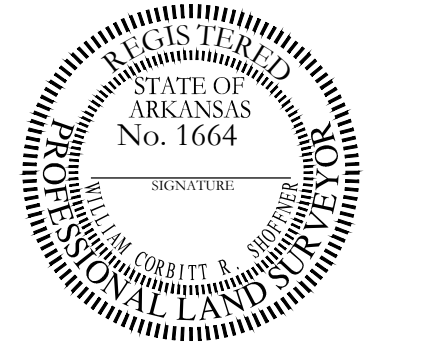
Date of Execution \_\_\_\_\_ Name: \_\_\_\_\_

Source of Title: DEED 2019-003948, DEED 2020-014886

**CERTIFICATE OF FINAL SURVEYING ACCURACY:**

I, William Corbett R. Shoffner, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property sides.

Date of Execution \_\_\_\_\_  
William Corbett R. Shoffner  
Registered Professional  
Land Surveyor No. 1664 Arkansas



**CERTIFICATE OF FINAL PLAT APPROVAL:**

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held \_\_\_\_\_, 20\_\_\_\_. All Documents are hereby accepted, and this certificate is hereby executed under the authority of said rules and regulations.

Date of Execution \_\_\_\_\_  
Name  
Bryant Planning Commission Chairman

LOT 24  
840-00910-024  
CROFT SCOT & TOMMYE

**FLOOD ZONE INFORMATION**  
NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP LISTED BELOW:  
PANEL # 05125C0380E, DATED: 06/05/2020

**HOPE CONSULTING**  
ENGINEERS - SURVEYORS  
129 North Main Street | Benton, Arkansas 72015  
Office: (501) 315-2626 | Fax: (501) 315-0024  
www.HopeConsulting.com

LOT 22R

A REPLAT OF LOTS 22 & 23,  
ANDRES WOODS, AN  
ADDITION TO THE CITY  
OF BRYANT, SALINE  
COUNTY, ARKANSAS

FOR USE AND BENEFIT OF:

GC HOMES LLC  
1101 HUNTER LEE DR., BRYANT, ARKANSAS, 72022

DATE: 06/25/2024	CAD BY: OV	PROJECT NUMBER:
REVISED:	CHECKED BY:	24-0481
SHEET: 1 OF 1	SCALE: 1" = 30'	

AR STATE LAND SURVEY FILING CODE: 500 - 01S - 14W - 0 - 23 - 310 - 62 - 1664

BRYANT PARKWAY (R/W VARIES)

S06°27'51"E 13.10' (M)  
S05°57'29"E 13.10' (P)  
FND. 1/2" REBAR  
P.L.S. 1141

29.6'

15' BUILDING SETBACK LINE

GRAVEL DRIVEWAY

20' STREET DRAINAGE, SIDEWALK & UTILITY EASEMENT  
25' BUILDING SETBACK LINE

LOT 22  
840-00910-022  
MELAPU VENKATA K &  
SRAVANTHI JOGINIPELLI

DWELLING

PROPOSED GARAGE

RETAINING WALL

DWELLING

PROPOSED DWELLING

POOL

LOT 22R  
2.98 AC  
129711.1 SF

34.8'

25' BUILDING SETBACK LINE

10' DRAINAGE & UTILITY EASEMENT

N88°03'53"W 275.57' (P)  
S87°52'21"E 275.50' (M)

FND. 5/8" REBAR

LOT 23  
840-00910-023  
MELAPU VENKATA K &  
SRAVANTHI JOGINIPELLI

PREVIOUS LOT LINE

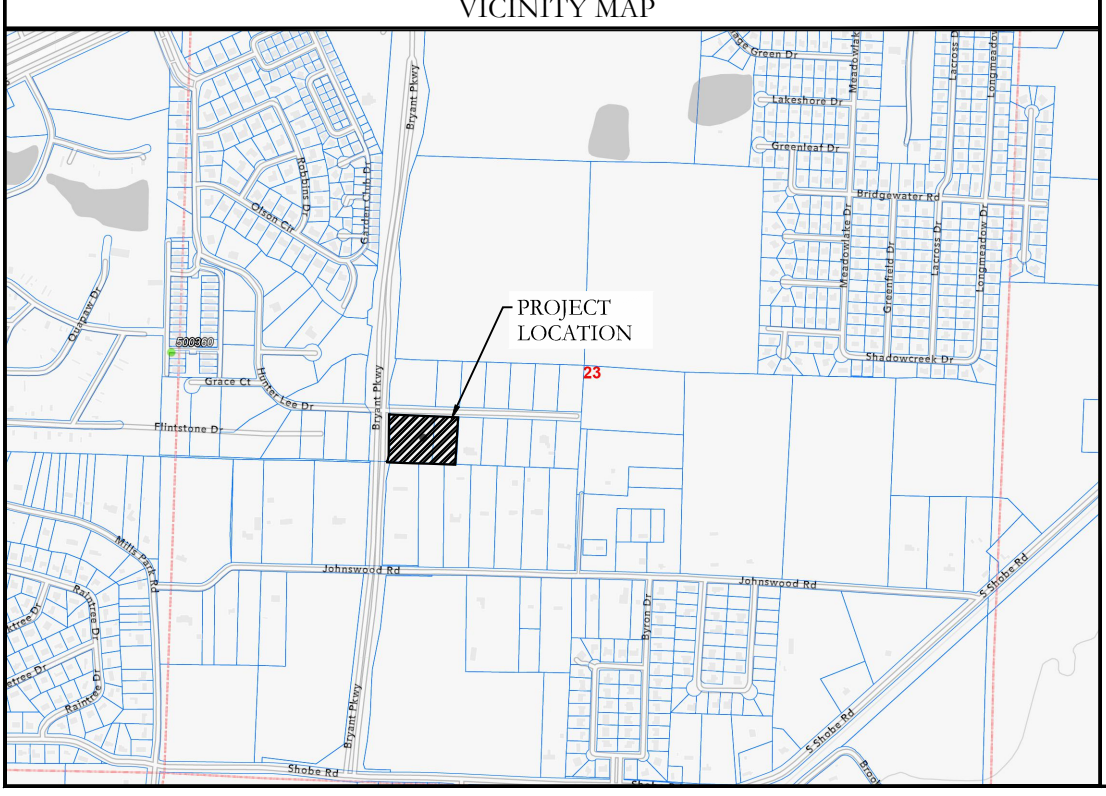
S03°19'22"W 300.33' (M)  
S03°04'02"W 300.68' (P)

8' BUILDING SETBACK LINE

FND. 5/8" REBAR

N88°03'53"W 155.03' (P)  
S87°39'47"E 154.87' (M)

**VICINITY MAP**



**LEGEND**

- Found Monument
- Set 1/2" Rebar #1664
- △ Computed Point Location
- (M) Measured by Surveyor
- (R/D/P) Record/Deed/Plat Measurements
- BSL Building Setback Line Restriction
- U.E./D.E. Utility/Drainage Easement
- Property Boundary Line
- Fence Lines
- Centerlines
- Paved Lines/Misc Lines

