

Bryant, Arkansas

Heart of Bryant Area Development Code



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GATEWAYPLANNING
A VIALTA GROUP PARTNER



Horsley Witten Group
Sustainable Environmental Solutions



Heart of Bryant Area Development Code

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- 6: Open and Public Space Types
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Using this document

- Review Table 4-1 (pg. 14) to determine allowable uses.
- Locate the property on the Regulating Plan (Attachment 1 on pg. 71) and determine whether the property is located in the Mixed-Use or Mixed Residential area and what type of frontage it has (Pedestrian Priority/Pedestrian Friendly/General Frontage/Open Space).
- Refer to sections noted in Tables 3-1 and 3-2 (pg. 9) for particular situation to determine applicability.

1.0 Introduction

In 2013, the Heart of Bryant was selected as an Imagine Central Arkansas Jump Start Initiative project, administered by MetroPlan. The Jump Start Initiative consultant team created a plan and implementation tool for the redevelopment of Old Town Bryant along Reynolds Road from North 4th Street to South 4th Street and along the Union Pacific Rail Road from South Laurel Street to South Oak Street.

A comprehensive community process resulted in a long-term redevelopment vision from a low-density, auto-oriented corridor to a walkable thoroughfare supportive of a small town urban center that incorporates local neighborhood businesses and a mix of housing types.

This document provides the regulatory tools for new development and redevelopment consistent with the illustrative vision for the Heart of Bryant. Excerpts (concept plans, sketches and renderings) from the Illustrative Vision are used throughout the document to provide guidance to property owners, applicants, and developers on the development intent and are not to be construed as regulatory.

1.1 Purpose and Intent

The purpose of the Heart of Bryant Area Development Code (HOB) is to implement the vision for a more walkable, vibrant Heart of Bryant Area (hereinafter, “HOB”) with a mix of uses by:

- (a) Coordinating public and private investments for the greatest effect;
- (b) Providing more mobility options;
- (c) Creating equitable, sustainable, and affordable development options.

Therefore, the goals of the HOB are to promote a more functional and attractive community through the use of recognized urban design principles and allow property owners flexibility in land use, while prescribing a higher level of detail in building design and form than in the current City Zoning Regulations (ZR) and Subdivision Regulation standards. The standards in this code are not intended to stifle creativity nor over-regulate building design, but rather encourage better functional urbanism to create higher quality pedestrian environments along most streets.

2.0 Components of the Code

2.1 The Regulating Plan

The Heart of Bryant Regulating Plan map (herein known as the Regulating Plan; Attachment 1) is hereby adopted as the official zoning map for the HOB. Within any area subject to the approved Regulating Plan, this HOB becomes the exclusive and mandatory regulation. It shall establish the following development standards for all properties within the Plan Area:

- (a) **Establishment of Character Zones** – The Plan Area is distinguished into different “Character Zones.” Each Character Zone is intended to create a distinct urban form based on the illustrative vision for different sections within the Plan Area. Each Character Zone shall establish use and building form standards, including standards for building height, bulk, location, functional design, and parking. The Regulating Plan classifies all lots within the Plan Area into one of following four (4) Character Zones:
- 1) **Main Street Mixed-Use (MSMU)** – The Main Street Mixed-Use Character Zone creates a more flexible zone that allows a range of commercial and residential uses that can transition over the long-term in conjunction with the reconstruction of Reynolds Road into a Context-Sensitive Street. The Main Street Mixed-Use blocks are, at the time of this code drafting, typically blocks of single use, auto-oriented development that are opportunities for redevelopment. Development standards within this Character Zone specifically address this unique aspect of redevelopment by allowing interim auto-oriented or hybrid development to continue over the short term while waiting for the market to support higher density, pedestrian-oriented development.
 - 2) **Neighborhood Transition (NT)** – The Neighborhood Transition Character Zone provides for a range of urban residential (live-work, townhomes, duplexes, patio homes, etc.) transitions between the Main Street Mixed-Use Area and adjoining single-family neighborhoods or neighborhood zones. Development standards in this Character Zone emphasize smaller scale urban residential uses and establish building transition standards to adjoining neighborhoods.
 - 3) **Neighborhood Residential (NR)** – The Neighborhood Residential Character Zone provides for multiple types and sizes of residential in Old Town. Development standards in this Character Zone emphasize mixed residential uses and establish standards for appropriate residential redevelopment.
 - 4) **Civic** – The Civic Character Zone provides for development patterns common within a civic center context. Because of the existing park and city services existing in this area, this zoning is intended to allow these buildings to be maintained but sets a pattern for development for any appropriate redevelopment or additional buildings needed in the future.
- (b) **Street Designations** – The Streets within HOB shall be classified in two different ways.
- 1) *Street Cross Sections* shall address vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards. These standards are laid out in Section 7.0.
 - 2) *Street Priority* shall establish the phasing significance (Required or Recommended) of different street segments within the Plan Area. Refer to Section 7.0 Street Design Standards.
- (c) **Building Frontage Standards** – Building Frontage designations shall classify different block frontages based on the pedestrian priority goals of the Illustrative Vision on the Regulating Plan (Attachment 1). They shall be classified into one of three frontage designations: (i) Pedestrian Priority Frontage with the highest quality standards for

pedestrian-oriented building design; (ii) Pedestrian-Friendly Frontage that balances pedestrian-oriented building design standards while accommodating some service and parking functions; and (iii) General Frontage which mainly accommodates service, utilities, and parking functions.

- 2.2 Development Standards:** The text portion of this Code enumerates the development standards with text and graphics for Character Zones, Frontage Types, building form, landscape, building design, open space, signage, and lighting.

3.0 Administration

3.1 Applicability

- (a) The uses and buildings on all properties within the Plan Area shall conform exclusively to this Code unless specifically referenced as otherwise in this Code.
- (b) Table 3-1 (Applicability Matrix) shall be used as a guide to which of the different sections of the HOB apply to any proposed development.
- (c) In addition, Table 3-2 shall be used as a guide as to which sections of the HOB apply at which time in the development review process such as Subdivision Review, Site Plan Review, or Building Permit Review.
- (d) Provisions of this HOB are activated by “shall” when required; “should” or “may” when recommended or optional.
- (e) Terms used throughout this Code are defined in *Section 4. Definitions*. For those terms not defined in *Section 4. Definitions*, Definitions in various sections of the City of Bryant Zoning Regulations shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.
- (f) Where in conflict, numerical metrics shall take precedence over graphic metrics.

3.2 Relationship to other city ordinances

- (a) For all properties in the HOB Plan Area, the standards in this document shall supersede standards under the City of Bryant Zoning and Subdivision Regulations.
- (b) Development standards not addressed in this ordinance shall be governed by the City of Bryant Zoning Regulations to the extent they are not in conflict with the intent or text of the HOB.

3.3 Development Review Process

- (a) **Pre-submittal Meeting Required:** At the pre-submittal meeting, the Planning staff shall provide information on the requirements for development and submittal within the HOB Plan Area.
- (b) A list of required materials shall be provided to applicant at a pre-proposal meeting with the City’s Planning Department. The applicant shall provide documents and graphics that adequately demonstrate compliance with all applicable sections of the.
- (c) **Site Plan Required:** An Administratively Approved Site Plan shall be required unless specified as a Conditional Use under Section 3 of this Code.
- (d) **Administrative Review:** Projects that comply with all standards of the Code and shall be processed by the Planning and Development Review Committee (DRC). Refer to Attachment 4: Site Plan and Building Permit Review flow chart for information on the development review process.
- (e) **Allowable adjustments for projects:** The DRC may approve allowable adjustments to standards in this Code per the criteria set in Table 3.3 below. The allowable adjustments process may be used only to authorize a less restrictive standard and may not be used to impose a higher standard than is established under this Code on the subject property. In no circumstance shall the DRC approve an allowable adjustment that results in:

- i. An increase in overall project intensity, density, height or impervious cover; or
- ii. A change in permitted uses or mix of uses.

Table 3-1: HOB Section Applicability for Commercial Use

		HOB Sections						
		4	5	6	7	8	9	10
Commercial	Change of Use/Expansion of Existing Use	•	•				•	•
	Addition/Expansion of Existing Building	•	•	•	•	•	•	•
	Addition ≤10 Parking Spaces		•					
	Addition >10 Parking Spaces		•		•		•	
	New Construction	•	•	•	•	•	•	•

Commercial – retail, office, restaurant, lodging, mixed-use building, apartment/multi-family building (5 or more units per lot), and live-work units

Table 3-2: HOB Section Applicability for Residential Use

		HOB Sections						
		4	5	6	7	8	9	10
Residential	Change of Use/Expansion of Existing Use	•	•					•
	Remodel of Existing Building			•				
	Addition/Expansion of Existing Building	•	•	•			•	
	New Construction	•	•	•		•	•	•

Residential – single-family, attached and detached; duplex, 2 units per lot; and mansion home buildings, 3-4 units per lot

Table 3-3: HOB Section Applicability by Type of Review

	HOB Sections						
	4	5	6	7	8	9	10
Subdivision Plan	•	•		•	•	•	
Site Plan Review	•	•	•	•	•	•	
Building Permit Review		•	•				•

HOB Sections KEY

Only the subsections highlighted above are listed in this key. Use the page numbers below to find all subsections.

- 4 Permitted Use Criteria**
- 5 Building Form & Site Development Standards**
- 6 Building Design Standards**
- 7 Street Design Standards**
- 8 Open Space Standards**
- 9 Streetscape and Landscape Standards**
- 10 Sign Standards**

Table 3-4: Administrative Modifications Table

Code Standard	Extent of Administrative Modification Permitted	Criteria
1. Building Form and Development Standards		
a. Build to Zones/Setbacks	No more than a 20% change in the maximum or minimum setback applicable or 5 feet, whichever is greater.	<p>Changes to the build-to-zones and setbacks may only occur when there is cause by one or more of the following:</p> <ul style="list-style-type: none"> i. A change to the street cross-sections established in Section 8 and Attachment 5; or ii. Need to accommodate existing buildings and structures on the lot that meet the overall intent and vision for redevelopment in the Plan Area; or iii. Need to accommodate other required modes of transportation (transit, bike, pedestrian), storm water drainage, water quality, or low impact development (LID) elements on the site; or iv. Need to accommodate overhead or underground utilities and/or easements; or v. Need to preserve existing trees on the property.
b. Building Frontage	No more than a 15% reduction in the required building frontage along each block or subject lot with Pedestrian Priority Frontage designation or no more than a 25% reduction in the required building frontage along each block or subject lot of a Pedestrian-Friendly Frontage designation.	<p>Any reduction in the required building frontage shall be to address one or more of the following:</p> <ul style="list-style-type: none"> i. To accommodate porte-cocheres for drop-off and pick-up, or ii. To accommodate existing buildings and site elements, or iii. To accommodate other required transit, bike and pedestrian related, storm water drainage, water quality, or low impact development (LID) elements on the site.
c. Corner Lot Building Frontage	Reduction of building frontage requirements for lots with two or more Pedestrian Priority frontages	Frontage requirement along <u>one</u> Pedestrian Priority designated frontage may be replaced with the corresponding standard for Pedestrian-Friendly frontage designation instead. In determining which Pedestrian Priority frontage may be changed to a Pedestrian-Friendly frontage, precedence shall be given to matching any existing building Pedestrian Priority frontages of adjoining blocks or lots on either side of the street.
	Reduction of building frontage requirements for lots with two or more Pedestrian-Friendly frontages.	Frontage requirement along <u>one</u> Pedestrian-Friendly designated frontage may be replaced with the corresponding standard for General Frontage designation instead. In determining which Pedestrian-Friendly frontage may be changed to a General Frontage, precedence shall be given to matching any existing building Pedestrian-Friendly frontages of adjoining blocks or lots on either side of the street.
d. Sidewalk and Streetscape Standards	Sidewalks, street tree planting, street lighting, and other streetscape standards may be adjusted based on the development context and street cross section.	Any changes to the streetscape standards shall be based on specific development context such as existing vegetation, natural features, drainage, and fire access and is subject to approval by the City.

Table 3-4: Administrative Modifications Table		
Code Standard	Extent of Administrative Modification Permitted	Criteria
e. Required Parking Spaces	Reduction in the number of required parking spaces	Reduction in the number of parking spaces shall be based on one or more of the following: <ul style="list-style-type: none"> i. A shared parking plan for parking within 1,320 feet of the subject property; or ii. A parking study for the uses proposed on the site; or iii. A combination of the above; or iv. When developer is constructing roadway improvements that include on-street parking adjacent to the property, a 25% reduction in parking requirement shall be awarded. Developer must build road for the entire block and is permitted to receive fee in lieu reimbursements from other benefitting developments/properties, collected through the City.
2. Other		
a. Any other numerical standard in the code	A modification up to 10% (increase or decrease)	<ul style="list-style-type: none"> i. A modification of a numerical standard is needed to accommodate existing conditions. ii. The proposed development still meets the intent of the Code.
b. Phased Developments	Deferment of building frontage standards	<ul style="list-style-type: none"> i. Phased developments may defer building frontage requirements as long as they meet the build-to-zone and parking setback requirements

(f) **Modifications:**

- i. The Planning Commission (PC) shall first review projects that request a modification beyond the standards in the HOB authorized above (see Attachment 4).
- ii. The PC shall review only the modification that exceeds the allowable adjustment within the HOB and shall rule only in the case that this modification meets the following criteria:
 - 1. The goals, intent, and vision of the adopted Illustrative Vision for the HOB Area;
 - 2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 3. The extent to which the proposal provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit;
 - 4. The extent to which the proposal does not hinder future opportunities for higher intensity development; and
 - 5. Considerations of health and welfare of the general public.

- iii. If PC denies the requested modification, applicant must perform a redesign of the plan in order to meet the standards or request other modifications through PC.
- iv. If PC denies any part of the requested modifications, the applicant may request review and hearing before the City Council (Council) for the City of Bryant for review of the plan. During review of the plan, Council must review the plan for its merits. The Council may approve of the modifications, not approve the modifications, or may offer alternative modifications for approval.

Review Considerations for Council-In reviewing any plans after a modification request to standards in this Code, the Council shall use the following criteria:

1. The goals, intent, and vision of the adopted Illustrative Vision for the Heart of Bryant Area;
2. The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
3. The extent to which the proposal provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit;
4. The extent to which the proposal does not hinder future opportunities for higher intensity development; and
5. Considerations of health and welfare of the general public.

3.4 Plat Approval Process: The applicant shall follow the process of the City of Bryant Subdivision Regulations, for the plat approval subject to the requirements for public infrastructure per this Code.

3.5 Amendments to the Code: Amendments and changes to the Regulating Plan, text, and property boundaries beyond those expressed permitted under this Code shall be in accordance with the procedure set out in the City of Bryant ZR.

4.0 Schedule of Permitted Uses

4.1 Applicability: Due to the emphasis on urban form over land uses in the HOB Zoning District, general use categories have been identified by Character Zone (Table 4-1).

Table 4-1: HOB Zoning District Land Use Table

P = Permitted | C = Conditional | -- = Prohibited | P/AC = Permitted with Additional Criteria in Table 4.2

Character Zones	Main Street MU	Neighborhood Transition	Neighborhood Residential	Civic	Additional Requirements
Uses					
					Residential Uses
Bed & Breakfast	P	P	P	--	
Condominium Residential	P	--	--	--	
Duplex Residential	--	P	P	--	
Mansion Home	--	P	P	--	
MF Residential	P/AC	P/AC	--	--	See Table 4-2
Retirement Housing (Small site)	P	P	P	--	
Retirement Housing (Large site)	--	--	-	--	
SF Attached Residential (Duplex)	--	P	P	--	See Table 4-2
SF Residential (Detached)	--	P	P	--	
Townhouse Residential	--	P	P	--	See Table 4-2
Live/Work	--	P	--	--	
Home Occupation	P	P	P	--	
					Commercial Uses
Admin and Business Offices	P	P*	P*	--	*Less than 6,000 sq.ft. in Neighborhood Transition Zone
Art Gallery	P	P*	P*	--	
Art Workshop	P	P*	P*	--	
Automotive Rentals	--	--	--	--	
Automotive Repair Services	--	--	--	--	
Automotive Sales	--	--	--	--	
Automotive Washing (of any type)	--	--	--	--	
Building Maintenance Services	P/AC	--	--	--	See Table 4-2
Business or Trade School	P	--	--	--	
Business Support Services	P	--	--	--	
Commercial Off-Street Parking	P/AC	--	--	--	See Table 4-2
Communication Services	P	--	--	--	
Construction Sales and Services	--	--	--	--	
Consumer Convenience Services	P	--	--	--	
Consumer Repair Services	P	--	--	--	
Convenience Storage	--	--	--	--	
Drop-Off Recycling Collection Facility	--	--	--	--	See Table 4-2

Table 4-1: HOB Zoning District Land Use Table

P = Permitted | C = Conditional | -- = Prohibited | P/AC = Permitted with Additional Criteria in Table 4.2

Character Zones	Main Street MU	Neighborhood Transition	Neighborhood Residential	Civic	Additional Requirements
Electronic Prototype Assembly	P	--	--	--	
Electronic Testing	P	--	--	--	
Equipment Repair Services	P	--	--	--	See Table 4-2
Equipment Sales	P	--	--	--	See Table 4-2
Exterminating Services	P	--	--	--	See Table 4-2
Financial Services	P	--	--	--	
Food Preparation	P	--	--	--	
Food Sales	P	P*	--	--	*Less than 6,000 sq.ft. in Neighborhood Transition Zone
Funeral Services	P	P	--	--	See Table 4-2
General Retail Sales (Convenience)	P	P*	--	--	*Less than 6,000 sq.ft. in Neighborhood Transition Zone
General Retail Sales (General)	P	P*	--	--	
Hotel/Motel	P	P	--	--	
Indoor Entertainment	P	--	--	--	
Outdoor Entertainment	P*	--	--	--	*No direct frontage of outdoor entertainment uses along Reynolds Road
Indoor Sports and Recreation	P	--	--	--	
Kennels	P*	--	--	--	*Completely enclosed; no outside runs
Laundry Services	P	--	--	--	
Medical Offices – 5,000 SF+ (including Wellness Clinics)	P	--	--	--	
Medical Offices -- less than 5,000 SF (including Wellness Clinics)	P	P	--	--	
Off-Site Accessory Parking	P	--	--	--	
Outdoor Sports and Recreation	P	--	--	--	
Personal Improvement Services	P	P*	--	--	* Permitted as part of a Live/Work building
Personal Services	P	P*	--	--	
Pet Services	P	P*	--	--	
Plant Nursery	P	--	--	--	
Printing and Publishing	P	P*	--	--	* Permitted as part of a Live/Work building
Professional Office	P	P*	--	--	
Research Assembly Services	P	P*	--	--	
Research Services	P	P*	--	--	
Research Testing Services	P	--	--	--	
Research Warehousing Services	--	--	--	--	
Restaurant (General)	P	--	--	--	
Restaurant (Limited)	P	--	--	--	
Service Station	P/AC	--	--	--	
Software Development	P	P*	--	--	* Permitted as part of a Live/Work building
Theater	P	--	--	--	
Veterinary Services	P	--	--	--	

Table 4-1: HOB Zoning District Land Use Table

P = Permitted | C = Conditional | -- = Prohibited | P/AC = Permitted with Additional Criteria in Table 4.2

Character Zones	Main Street MU	Neighborhood Transition	Neighborhood Residential	Civic	Additional Requirements
Uses					
Any use with a drive through window or drive up service (including banks and financial institutions; pharmacy; dry cleaning and pressing shop; funeral homes and mortuaries; retail store; restaurant)	P/AC	--	--	--	See Table 4-2
Civic Uses					
Administrative Uses	P	P	--	P	
Club or Lodge	P	P	--	--	
College or University Facilities	P	--	--	--	
Communication Service Facilities	P	--	--	--	
Community Recreation (Private)	P	P	--	--	
Community Recreation (Public)	P	P	P	P	
Counseling Services	P	--	--	--	
Cultural Services	P	--	--	--	
Day Care Services	P	P	--	--	
Employee Recreation	P	--	--	--	
Group Home	P	--	--	--	
Guidance Services	P	--	--	--	
Hospital Services	P	--	--	--	
Local Utility Service	P/AC	P/AC	P/AC	P/AC	See Table 4-2
Maintenance & Service Facilities	--	--	--	--	
Major Utility Facilities	--	--	--	--	
Park & Rec Services	P	P	P	P	
Postal Facilities	P	--	--	P	
Educational Facilities	P	P	--	P	
Community Garden	P	P	P	P	
Railroad Facilities	P	--	--	--	
Religious Assembly	P	P	P	P	
Safety Services	P	--	--	P	
Telecommunication Tower	p*	p*	p*	p*	*Located on top of a building or architectural component only
Transitional Housing	--	--	--	--	
Transportation Terminal	P	--	--	--	
Industrial Uses					
Basic Industry	--	--	--	--	
Custom Manufacturing	P	--	--	--	
General Warehousing & Distribution	--	--	--	--	
Light Manufacturing	--	--	--	--	

Table 4-1: HOB Zoning District Land Use Table

P = Permitted | C = Conditional | -- = Prohibited | P/AC = Permitted with Additional Criteria in Table 4.2

Character Zones	Main Street MU	Neighborhood Transition	Neighborhood Residential	Civic	Additional Requirements
Uses					
Limited Warehousing & Distribution	--	--	--	--	
Recycling Center	--	--	--	--	
Other Uses					
Urban Farm	--	p*	p*	p*	*For the purpose of cultivating agriculture or small animal farming.
Adult-Oriented Businesses	--	--	--	--	*Subject to Sexually Oriented Business Ordinance.

4.2 Additional Use Criteria: All uses listed as P/AC in Table 4-1 shall also meet the following standards in Table 4-2.

Table 4-2 Additional Use Criteria Table		
Use	Character Zone	Location & Design Criteria
Residential Uses		
MF Residential Attached Residential Townhouse Residential	Main Street MU Neighborhood Transition NT	i. No residential uses shall be permitted on the ground floors of building with direct ground floor frontage along Reynolds Road. ii. Ground floors along all designated Pedestrian Priority frontages shall be built to Commercial-Ready standards.
Commercial Uses		
Service Station	Main Street MU	i. Automotive drive through lanes, service bays, and/or gas station canopies shall meet the design standards in Section 6, Building Design Standards of this code. ii. Outdoor storage of vehicles or other products sold shall NOT have direct frontage along Pedestrian Priority Streets. Outdoor storage of vehicles and/or other products sold shall be screened with a required street screen along Pedestrian-Friendly Streets and General Streets (see Section 9 for standards).
Commercial Off-Street Parking	Main Street MU	i. New surface parking lots shall be permitted as an interim use of property if they are the primary use of property ii. Applications for new surface lots shall include in-fill building concepts on the lot with a site plan that meets the build-to-zone and building frontage standards of the specific character zone. iii. New surface parking shall be set back a minimum of 30' from the edge of the right-of-way of Pedestrian Priority Streets. iv. New surface parking shall not be located at a street intersection (of any Pedestrian Priority and Pedestrian-Friendly Streets only) for minimum of 30' from the intersection along each street.
Drop-off Recycling Collection Facility	Main Street MU	All recycling storage, driveway/drop-off access, and service areas shall have frontage along a General Street only and shall also be screened with a street screen at least as high as the equipment along all street frontages per Section 9.
Equipment Repair Services Equipment Sales Exterminating Services	Main Street MU	i. Outdoor storage of vehicles, equipment, service vehicles, or other products sold or fleet vehicles utilized shall NOT have direct frontage along Pedestrian Priority Streets. ii. Outdoor storage of vehicles, equipment, and/or other products sold shall be screened with a required street screen along Pedestrian-Friendly Streets and General Streets (see Section 10 for standards).
Funeral Services	Main Street MU	i. Pick-up and drop-off lanes, storage of vehicles, service areas, and drive through facilities shall NOT have direct frontage along Pedestrian Priority Streets. ii. All such areas along other streets shall be screened with a required street screen (see Section 9 for standards).
Any use with a drive through window or drive up service (including banks and financial institutions; dry cleaning and pressing shop; funeral homes and mortuaries; retail store; restaurant)	Main Street MU	Drive through or drive-up facilities shall meet the design standards in Section 6, Building Design Standards of this code.
Civic Uses		
Local Utility Service	All Zones	i. Outdoor storage of fleet vehicles, service areas, utility boxes and equipment shall NOT be permitted located along Pedestrian Priority Streets. ii. All such areas along other streets shall be screened with a required street screen (at least as high as the equipment being screened) (see Section 10 for standards).

5.0 Building Form and Site Development Standards

All parcels within the Plan Area are assigned to one of four Character Zones:

1. Main Street Mixed-Use
2. Neighborhood Transition
3. Neighborhood Residential
4. Civic

In addition to standards that apply to all Character Zones, Building Form and Site Development standards applicable to each Character Zone are described in Sections 5.2 – 5.4.

The images and graphics in the first subsection of each character zone standards are provided as illustrative of intent and are advisory only without the power of law. Refer to the standards on the following pages for the specific Building Form and Site Development Standards.

In addition, the graphics used to illustrate the building form and development standards in each character zone are NOT intended to indicate exact conditions within each Character Zone. Rather illustrations are conceptual and standards are to be applied based on the specific frontage types designated along the subject property or site. For example, a specific site may not have frontages along all streets as indicated in the illustrations and only the standards applicable to designated building frontages on the property should be used. In addition, the illustrations may depict other site elements to establish context and only the standards regulated by the specific subsection shall apply. For example, the Building Placement graphics may depict sidewalks for context purposes only and the graphic should only be used to establish standards for building placement on the site. Building form graphics in these sections are NOT TO SCALE.

5.1 General to All Character Zones

- (a) **Building Frontage Designations:** The Building Frontage designations are established on the Regulating Plan (Attachment 1) to specify certain building form and site development standards along each street based on the priority placed on pedestrian-orientation. The Regulating Plan illustrates the Building Frontage designations within the Plan Area. For the purposes of this code, all Building Frontages are classified into one of the following three categories:
 - i. **Pedestrian Priority Frontages –** Pedestrian Priority Frontages are intended to provide the most pedestrian-friendly and contiguous development context. Buildings and sites along Pedestrian Priority Frontages shall be held to the highest standard of pedestrian-oriented design and few, if any, gaps shall be permitted in the ‘Street Wall.’ Breaks in the street wall may be permitted for courtyards, forecourts, sidewalk cafes, and pedestrian connections between the individual sites and the public sidewalk. These street frontages are the main retail, restaurant, entertainment streets or are important neighborhood connectors as identified in the Regulating Plan.
 1. **Specific to Pedestrian Priority Frontages:** The area between the building facade and property line or edge of any existing sidewalk along any street with Pedestrian Priority Frontage shall be designed such that the sidewalk width shall be the minimum of the designated street cross section and the remainder of any setback area shall be paved flush with the public sidewalk. Sidewalk cafes, public art, landscaping within tree-wells or planters may be incorporated within this area.

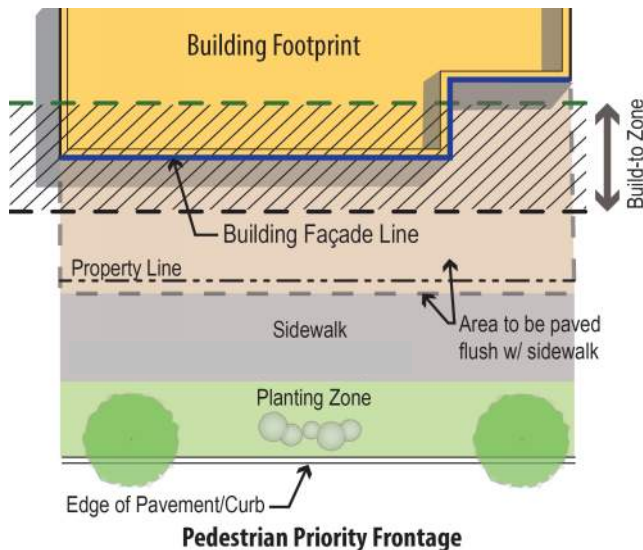
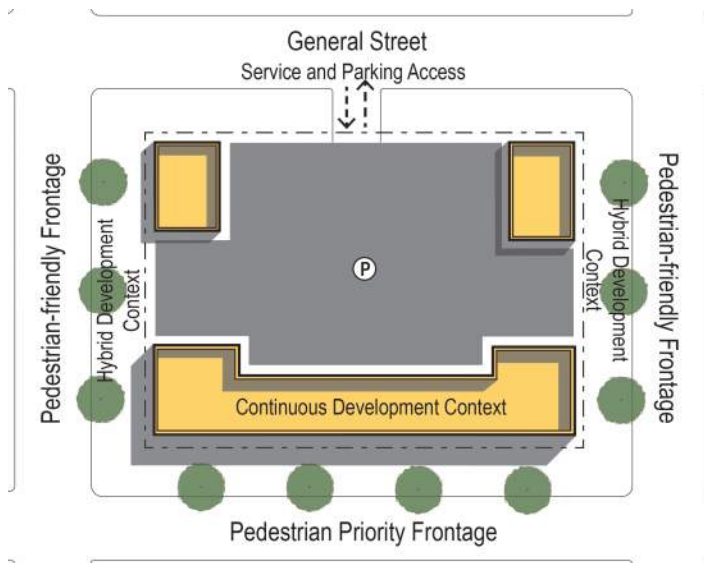


Illustration showing requirements along Pedestrian Priority Frontages

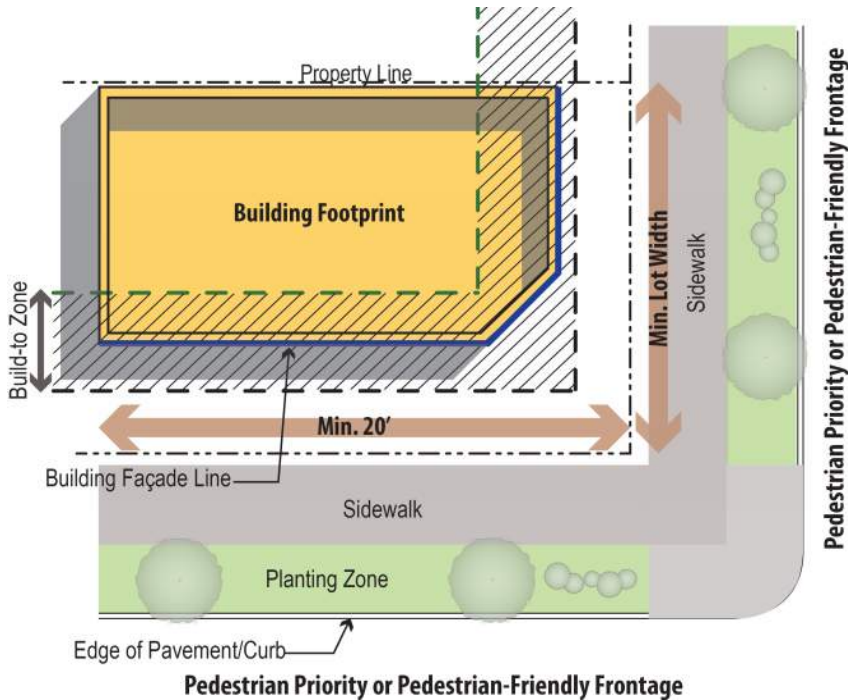
- ii. **Pedestrian-Friendly Frontages** – Pedestrian-Friendly Frontages are also intended to be pedestrian-oriented with a mostly contiguous development context. However, in some locations, where access to a General Frontage street or Alley is not available, Pedestrian-Friendly Frontages may need to accommodate driveways, parking, service/utility functions, and loading and unloading. In such cases, Pedestrian-Friendly Frontages may balance pedestrian orientation with automobile accommodation. Typically, they shall establish a hybrid development context that has a more pedestrian-supportive development context at street intersections and accommodates auto-related functions and surface parking in the middle of the block. Surface parking shall be screened from the roadway with a street wall or living fence. Pedestrian-Friendly Frontages are designated on the Regulating Plan.
- iii. **General Frontages** – General Frontages are intended to accommodate more auto-oriented uses, surface parking, and service functions on a site with a more suburban/automobile orientation. The General Frontages shall be building frontages not designated as either a Pedestrian Priority or Pedestrian-Friendly Frontage on the Regulating Plan.



Graphic Illustrating the Application of Street Type Designation Based on the Development Context

(b) Treatment of Street Intersections:

- i. Corner building street facades along intersections of Pedestrian Priority Frontages and Pedestrian-Friendly Frontages shall be built to the BTZ for a minimum of 20' from the intersection along each street or the width of the corner lot, whichever is less and regardless of the building frontage percentage required along that street. This requirement shall not prohibit incorporation of curved, chamfered building corners or recessed entries, or civic/open spaces at such intersections. In addition, this standard shall apply regardless of the frontage requirement along the intersecting street even if it is a General Street.



Pedestrian Priority or Pedestrian-Friendly Frontage

Illustration showing minimum frontage requirements at street intersections

- ii. Corner Building Height Allowance: Corner buildings may exceed the maximum building height by 25% along no more than 20% of the building's frontage along each corresponding street façade.

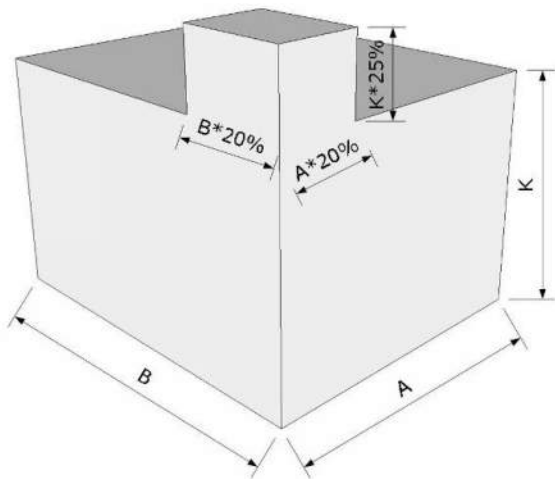


Illustration showing Corner Building Height Allowance

(c) Parking and Service Access:

- i. Location of parking (both structured and surface) shall be per the Character Zone specific building form standards (Section 5.2 – 5.4).
- ii. Required off-street parking spaces: shall be provided per Table 5-1 below

Table 5-1 Parking Ratios

Character Zone	MSMU	NT	NR	Additional Criteria
Min. Off-Street Vehicular Parking Requirement				
All Non-Residential uses and ground floor Commercial Ready spaces	1 space per 400 sq.ft. of building area	1 space per 300 sq.ft. of building area	NA	1. Landscaping within surface parking lots shall meet standards in Section 9.0 of this Code. 2. A shared parking plan or alternative parking plan may be approved by the Director as an Administrative Modification (See Section 3). 3. On-street parking located directly adjacent to the property shall count towards the required parking.
Residential uses	1.0 space per each dwelling unit	1.0 space per each dwelling unit	1.0 space per each dwelling unit	
Lodging uses (hotels and motels)	0.5 spaces per guest room; all other areas shall be parked at the non-residential rate above	0.75 spaces per guest room; all other areas shall be parked at the non-residential rate above	NA	

iii. Driveways, Alleys and Service Access:

- 1. Unless otherwise specified in the specific Character Zone standards in Sections 5.2 through 5.4, driveways and off-street loading and unloading may be located with access along a Pedestrian-Friendly Frontage street only if the property has no access to either an alley, General Frontage street or joint use easement to an adjoining property with direct driveway access to any other street.
- 2. Unless otherwise specified in the specific Character Zone standards in Sections 5.2 through 5.4, driveways and off-street loading and unloading may be located with access along a Pedestrian Priority Frontage street only if the property has no access to either an alley, Pedestrian-Friendly or General Frontage Street or joint use easement to an adjoining property with direct access to any other Street.
- 3. Along Pedestrian Priority and Pedestrian Friendly Frontages, driveway spacing shall be limited to one driveway per each block face or per 200 feet of block face for blocks greater than 400 feet in length.
- 4. Shared driveways, joint use easements or joint access easements shall be required for adjoining properties when driveway and service access is off a Pedestrian Priority Frontage or Pedestrian-Friendly Frontage.
- 5. Service and loading/unloading areas shall be screened per standards in Section 9.
- 6. Unless required to meet minimum fire access or service access standards all commercial and mixed use driveways/alleys shall be a maximum of 20' in width. Service driveways/alleys shall be a maximum of 30' in width. Driveways wider than 24' in width shall only be located off of General Frontage streets. Driveways/alleys along State controlled roadways shall meet Arkansas Highway and Transportation Department (AHTD) Standards or the City's adopted regulations.
- 7. Residential Driveways:

- a. Unless required to meet minimum fire access or service access standards, driveways for Residential Use Buildings shall be a maximum of 12' in width.
 - b. Garages for Residential Buildings shall be located on streets with General Frontage, Alleys or at the rear of residential buildings with pull-through garages where the garage door is set back behind the rear façade of the main structure. If front-loaded garages or carports are utilized on residential uses, the garages and carports shall be no greater than to fit 2 cars and set back at least 20 feet measured from the Building Façade Line of the primary structure. This restriction does not apply for J-swing garages.
 - c. Front-loaded garages on residential lots less than 40' wide shall not be allowed. Townhomes and courtyard apartments shall utilize garages with access from streets with General Frontage, Alleys, or joint use easement to an adjoining property with direct access to any other Street.
- (d) Street Screen Required:**
- i. Any lot frontage along Pedestrian Priority frontages and Pedestrian-Friendly frontages with surface parking shall be defined by a Street Screen. This required Street Screen shall be located at the street edge of the BTZ. Refer to the Section 8, Open Space Standards of this code for more specifications.
- (e) Commercial Ready Standards:** Shall meet the standards in Section 6.4
- (f) Fire Separation Requirement:** Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable. Fire separation building setbacks shall not be required for individual units if single family attached dwellings are proposed, but units must have a "party wall" condition and meet other fire separation requirements.
- (g) Recessed Entry Setbacks:** Building façade lines on recessed entries and arcade buildings shall be measured from the Building Façade Line with the recessed entry or arcade (see Attachment 7 Definitions for illustration).
- (h) Measuring heights:**
- i. Chimneys, vents, elevator and stair enclosures, screened HVAC equipment, other mechanical enclosures, tanks, solar energy systems and similar elements are exempt from the height limit.
 - ii. Internal building height shall be measured from finished floor to the bottom of the structural members of the ceiling.
 - iii. Floor-to-floor heights shall not apply to parking structures or civic buildings.
 - iv. Permitted corner tower elements are exempt from the height limit, except to the extent of the permitted tower height as denoted in Section 5.1 (b) ii of this Code.
- (i) Encroachments:**
- i. Encroachments into R-O-W:
 1. Maximum of 50% of the depth of the sidewalk when there is no vertical support for the object (except blade signs which shall encroach no more than 6' from the building façade line).
 2. Maximum of 100% of the depth of the sidewalk when using a gallery, arcade or colonnade system.
 3. Minimum vertical clearance from the finished sidewalk shall be 8'.
 4. In no case shall an encroachment be located over an on-street parking, travel lane or landscaping/street trees.
 5. Encroachments over AHTD roadways shall adhere to AHTD policy.

- ii. Encroachments over Required Setbacks: Canopies, awnings, galleries, and balconies may encroach over any required setback areas per standards established in each character zone as long as the vertical clearance is a minimum of 8' from the finished sidewalk elevation.

(j) **Phased Developments:** Due to the infill nature of development within the HOB, certain building form and site development standards may be deferred for phased development projects meeting the following criteria:

- i. Submission of a site plan that illustrates how development and any related private improvements will be phased over time. Each phase of the site plan shall independently comply with all applicable standards of the HOB Zoning District unless an Administrative Modification is granted.
- ii. Required private landscaping and open space amenities may also be phased with the building to permit final landscaping when adjacent buildings are finished.

(k) **Required Public Improvements:**

- i. All site plans that require public improvements such as sidewalk, streetscape, and utility improvements may be deferred through the payment of a proportional fee-in-lieu and fee shall be calculated based on the street type cost at the time of submittal.
- ii. Where a developer decides to make the required street improvements, the entire block or linkage, in the case of utility improvements, shall be completed in whole. The developer will be eligible to receive the fees in-lieu to date and later collect fees in-lieu that are collected by the City for the benefitting properties of the developer's improvements.
- iii. Details of the fee in-lieu process will be handled through a development agreement between the Developer and the City of Bryant.

5.2 Main Street Mixed-Use (MSMU)

(a) Illustrations and Intent



The Main Street Mixed-Use (MSMU) Zone creates a flexible zone that allows a range of commercial and residential uses which can transition over the long-term in conjunction with the reconstruction of Reynolds Road into a Context Sensitive Street. The MSMU blocks are, at the time of this code drafting, typically larger blocks of single use, auto-oriented development that will redevelop over a long time frame.

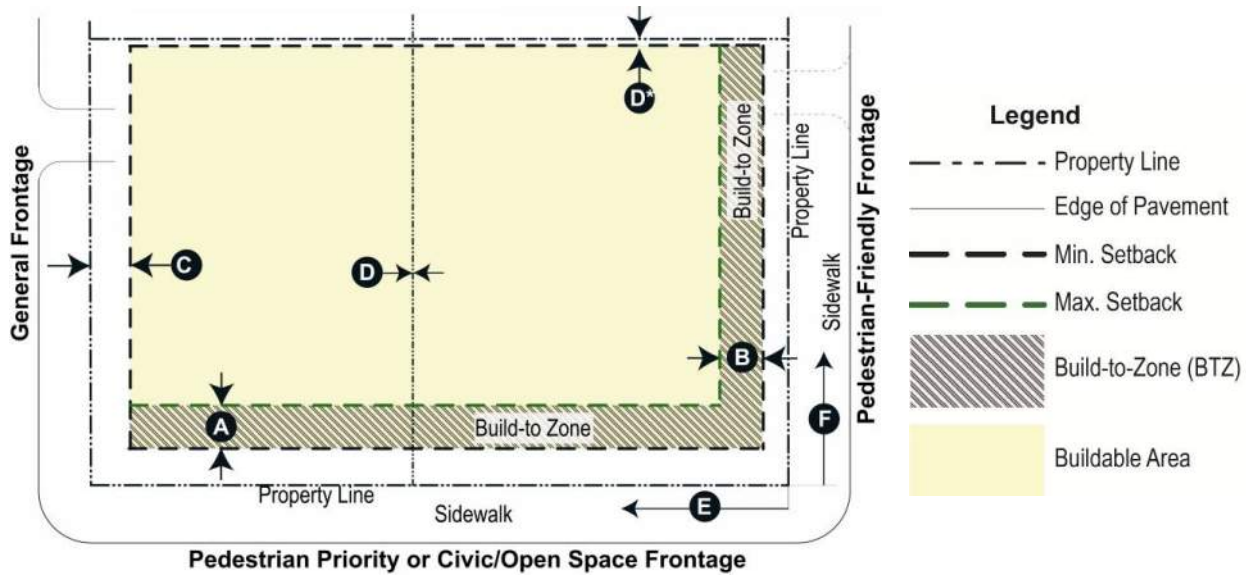
Development standards within this Character Zone specifically address this unique aspect of redevelopment by retaining existing auto-oriented or hybrid development while allowing the real estate market to drive medium density, pedestrian-oriented development. In addition, the standards allow phasing of redevelopment and to encourage the use of existing buildings and parking lots to the extent possible.

Illustrative Vision for the redevelopment of the blocks designated as Main Street Mixed Use



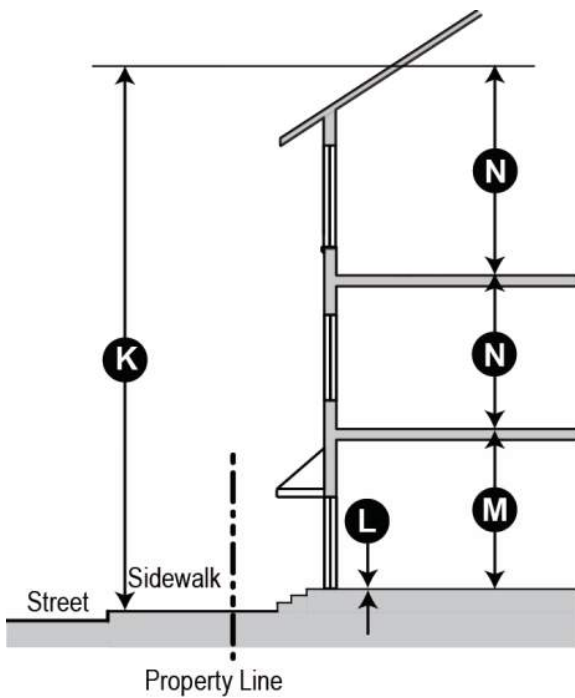
Conceptual rendering of development within the Main Street Mixed Use Zone

(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks (Distance from property line to edge of the zone)		
Pedestrian Priority Frontage /Open Space (BTZ)	5' min. setback – 15' max. setback	A
Pedestrian-Friendly Frontage (BTZ)	5' min. setback – 75' max. setback	B
General Frontage	5' min. setback; no max. setback	C
Side	0' min. setback; no max. setback	D
Rear	0' min. setback; no max. setback	D*
(ii) Building Frontage		
Pedestrian Priority /Open Space Frontage	70% min.	E
Pedestrian-Friendly Frontage	50% min.	F
General Frontage	None Required	

(c) Building Height



(i) Principal Building Standards

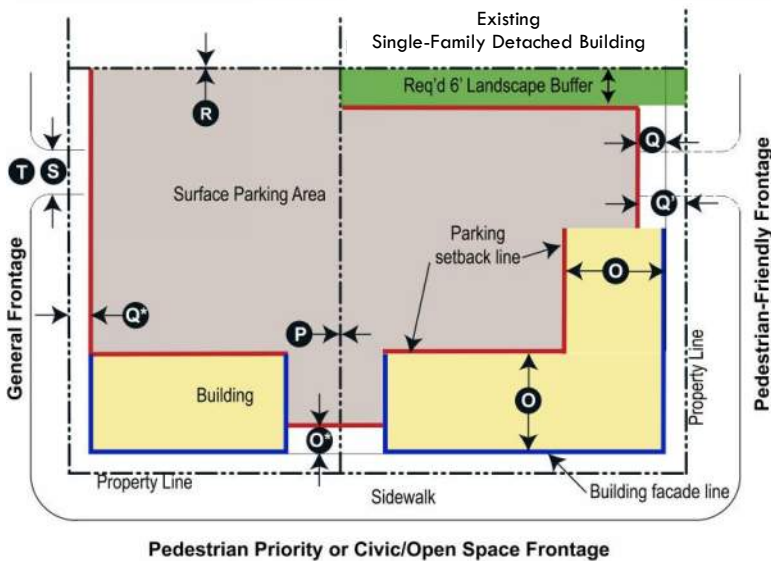
Building maximum	<ul style="list-style-type: none"> 4 stories Transition requirement if adjacent to detached single-family zoned residential (Section 5.2 (e)) 	K
First floor to ceiling height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 12' min. for all frontages 	M
Ground floor finish level	<ul style="list-style-type: none"> Maximum 12" rise for commercial ground floor. 	L
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> 9' min. 	N

(ii) Accessory Building Standards

Accessory buildings shall meet the standards for Principal Building standards in the Main Street Mixed-Use Character Zone.

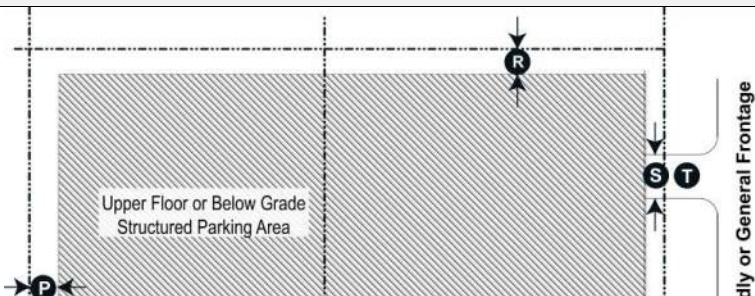
(d) Parking & Service Access

(i) Surface Parking Setbacks



Pedestrian Priority or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that street 	<p>○*</p> <p>○</p>
Pedestrian-Friendly Frontage	<ul style="list-style-type: none"> Min. 3' behind the building façade line along that street or Min. 6' behind the property line along that street (if no buildings along the street frontage) 	<p>○</p> <p>○'</p>
General Frontage	<ul style="list-style-type: none"> Min. 3' behind the property line along that street 	<p>○*</p>
Side	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	<p>○</p>
Rear	<ul style="list-style-type: none"> 6' (min) only if adjacent to any single-family detached residentially zoned lot; 0' for all other adjacencies 	<p>○</p>

(ii) Structured Parking or Below Grade Parking Setbacks



Pedestrian Priority / Civic/Open Space Frontage	<ul style="list-style-type: none"> Ground floor - Shall be min. of 30' from the property line Upper Floors – may be built to the façade line along that street 	<p>○</p>
Pedestrian-Friendly Frontage or General Frontage	<ul style="list-style-type: none"> May be built up to the building façade line along a that street; or If no building is located along the street frontage; then the structured parking shall meet the setback 	

Standards for **S** and **T** in the illustrations above are referenced in standards for Driveways, Alleys and Service Access section below.

	standards along that specific frontage.
Side	<ul style="list-style-type: none"> 10' (adjacent to SF-detached residentially zoned lot) 0' (all other adjacencies)
Rear	<ul style="list-style-type: none"> 10' (adjacent to SF-detached residentially zoned lot) 0' (all other adjacencies)
(iii) Partially Below Grade Parking	
May be built up to the Building Façade Line along all Pedestrian-Friendly Frontages and General Frontages.	

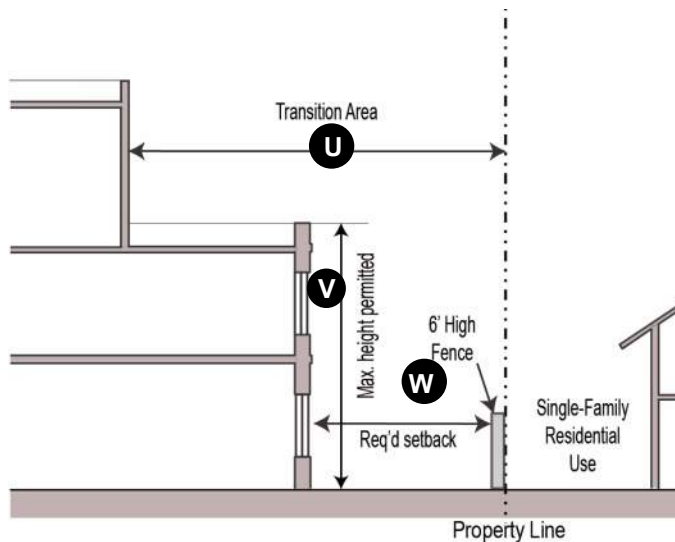
(iv) Driveways, Alleys and Service Access		
1. Parking driveway width	Section 5.1 shall apply	S
2. Driveways, alleys and off-street loading and unloading	Section 5.1 shall apply	T

(e) Residential Transition Standards

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to existing single-family detached residentially zoned lot. This requirement shall NOT apply if an alley or other similar R-O-W separates the subject lot and the existing single-family detached residential lot.

i. Transition Area	25' min.	U
ii. Max. Building Height at/within Transition Area	2 stories	V
iii. Required setback	Min. 10'	W

A Residential Transition Area fence (minimum 6 feet and maximum 8 feet high) shall be required when adjacent to an existing single-family detached residentially zoned lot and shall be optional for all other adjacencies. The required fence shall NOT be chain link or vinyl. A 6-foot wide landscape buffer with evergreen shrubs planted at 3' on center and 6' min. in height at maturity shall also be required to be planted within the landscape buffer parallel to the SF-residential lot line. (see surface parking setbacks illustration)



5.3 Neighborhood Transition (NT)

(a) Illustrations and Intent

The Neighborhood Transition Character Zone creates appropriate transitions between high visibility and high traffic corridors and established residential neighborhoods by providing opportunities for small scale office, retail, live-work, and urban residential infill. Development standards in this character zone emphasize smaller scale urban residential and low intensity office and retail uses while establishing appropriate building transition standards to adjoining neighborhoods. Typically, the NT Zone is the area between Main Street Mixed-Use Zone and the Neighborhood Residential Zone.

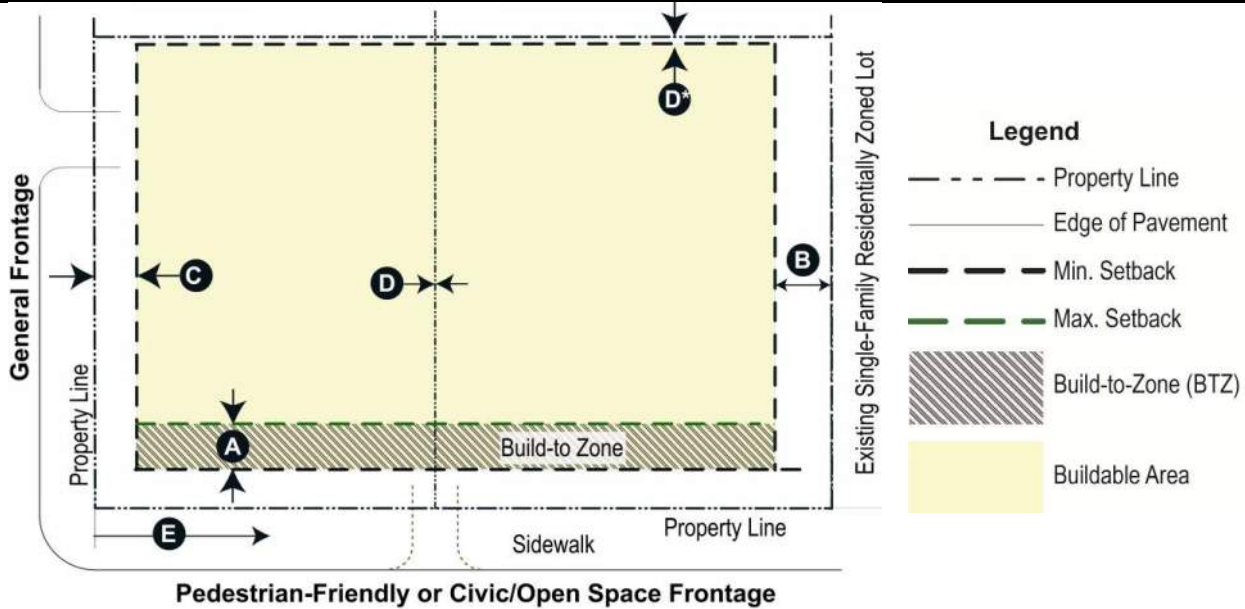
Development standards also emphasize keeping with the scale of adjoining residential development by facilitating existing residential buildings to be repurposed for lower intensity mixed uses.



Conceptual photograph of building type within the Neighborhood Transition Zone. Illustrative Vision for the redevelopment of the Neighborhood Transition Zone Blocks



(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks

Pedestrian-Friendly or Civic/Open Space Frontage (BTZ)	5' min. setback – 20' max. setback	A
General Frontage	5' min. setback; no max. setback	C
Side Adjacent to SF-detached residentially zoned lot All other adjacencies	10' min. setback; no max. setback 0' min. setback; no max. setback	B
Rear Adjacent to SF-detached residentially zoned lot All other adjacencies	10' min. setback; no max. setback 0' min. setback; no max. setback	D*

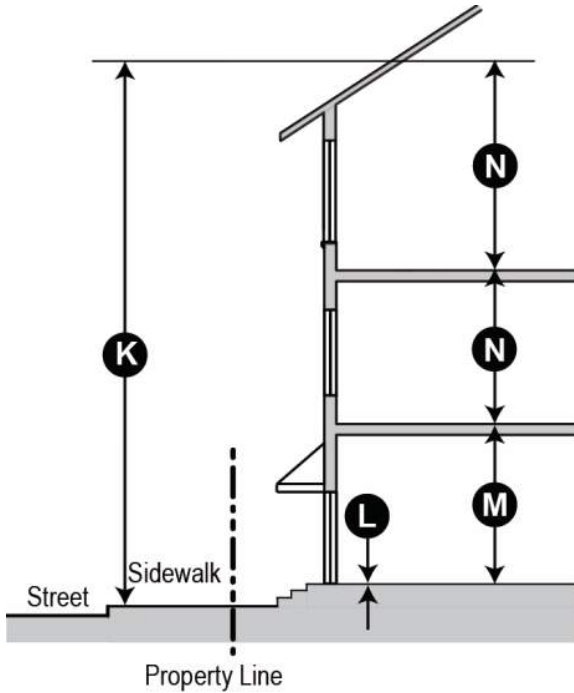
(ii) Building Frontage

Pedestrian-Friendly Frontage	50% min.	E
General Frontage	None Required	

(c) Lot Standards

Lot Width	<ul style="list-style-type: none"> ▪ Min. 18' for single-family attached/townhome buildings ▪ Min. 40' for single-family detached buildings ▪ No min. for commercial and mixed use buildings ▪ Alley corner clips shall not exceed 5' from the corner of the lot.
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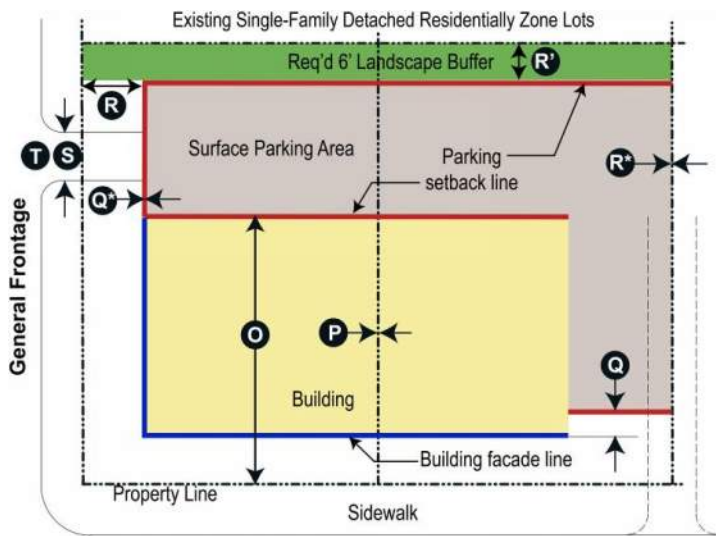
(d) Building Height



(i) Principal Building Standards	
Building maximum	<ul style="list-style-type: none"> ▪ 3 stories ▪ Transition requirement if adjacent to detached single-family zoned residential (Section 5.3 (e)) <div style="text-align: right; font-weight: bold; border: 1px solid black; border-radius: 50%; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;">K</div>
First floor to floor height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> ▪ 10' min. for all frontages <div style="text-align: right; font-weight: bold; border: 1px solid black; border-radius: 50%; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;">M</div>
Ground floor finish level	<ul style="list-style-type: none"> ▪ 18" min. above sidewalk for ground floor residential uses along Pedestrian-Friendly Frontages that are also setback less than 10' from the front property line ▪ 12" maximum for non-residential <div style="text-align: right; font-weight: bold; border: 1px solid black; border-radius: 50%; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;">L</div>
Upper floor(s) height (fin. floor to structure of ceiling)	<ul style="list-style-type: none"> ▪ 9' min. <div style="text-align: right; font-weight: bold; border: 1px solid black; border-radius: 50%; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center;">N</div>
(ii) Accessory Building Standards	
Building Height	2 stories max.
BTZ/Setbacks	Shall be placed behind the front façade of the principal building along Pedestrian-Friendly Frontages. If the principal building has no Pedestrian-Friendly Frontage, then the accessory building shall be placed behind the Building Façade Line of the primary building along a General Frontage street.

(e) Parking & Service Access

i. Single-Family Residential Use



Pedestrian-Friendly or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that frontage 	O	Q
General Frontage	<ul style="list-style-type: none"> At or behind the building façade line along that frontage; or Min. 6' behind the property line along that street 	Q*	R
Side / Rear	<ul style="list-style-type: none"> Adjacent to SF-detached residentially zoned lot 6' min. 	R'	
Side / Rear	<ul style="list-style-type: none"> All other adjacencies 0' min 	P	R*

Pedestrian-Friendly or Civic/Open Space Frontage

Standards for S and T in the illustrations above are referenced in standards for Driveways, Alleys and Service Access section below.

ii. Driveways and Service Access

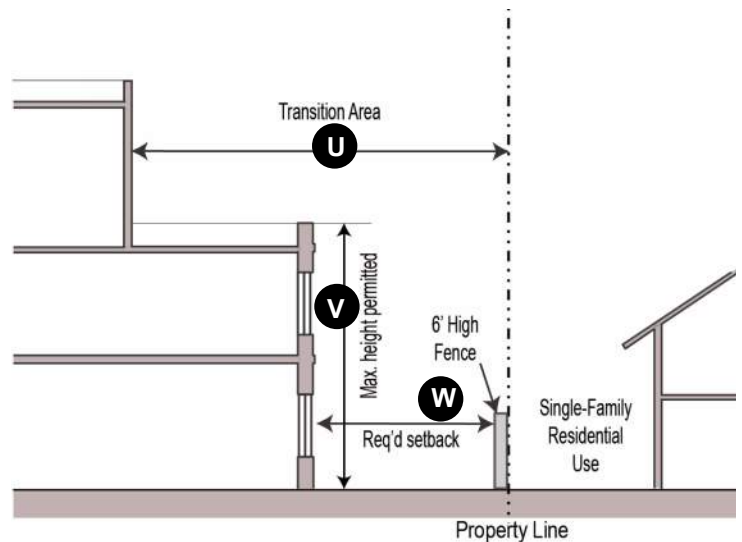
1. Parking driveway width (at the throat)	Section 5.1 shall apply	S
2. Driveways and off-street loading and unloading	Section 5.1 shall apply	T

(f) Residential Transition Standards

The following transition standards shall apply to all new building construction and all upper story additions to existing buildings located adjacent to existing single-family detached residentially zoned lot. This requirement shall NOT apply if an alley or other similar R-O-W separates the subject lot and the existing single-family detached residential lot.

- i. Transition Area 20' min. **U**
- ii. Max. Building Height at within Transition Area 2 stories **V**
- iii. Required setback Min. 10' **W**

A Residential Transition Area fence (minimum 6 feet and maximum 8 feet high) shall be required when adjacent to an existing single-family detached residentially zoned lot and shall be optional for all other adjacencies. The required fence shall NOT be chain link or vinyl. A 6-foot wide landscape buffer with evergreen shrubs planted at 3' on center and 6 min. in height at maturity shall also be required to be planted within the landscape buffer parallel to the SF-residential lot line. (see surface parking setbacks illustration)



5.4 Neighborhood Residential (NR)

(a) Illustrations and Intent

The Neighborhood Residential (NR) Character Zone provides for a range of residential uses and building types (live-work, townhomes, duplexes, patio homes, etc.). Standards in this Character Zone emphasize small scale urban residential uses.

Development standards also emphasize keeping the scale, block, and lot patterns of adjoining single-family development by a variety of housing types and sizes to be interspersed with existing single-family homes in order to increase the opportunities for affordable and attainable housing choices.

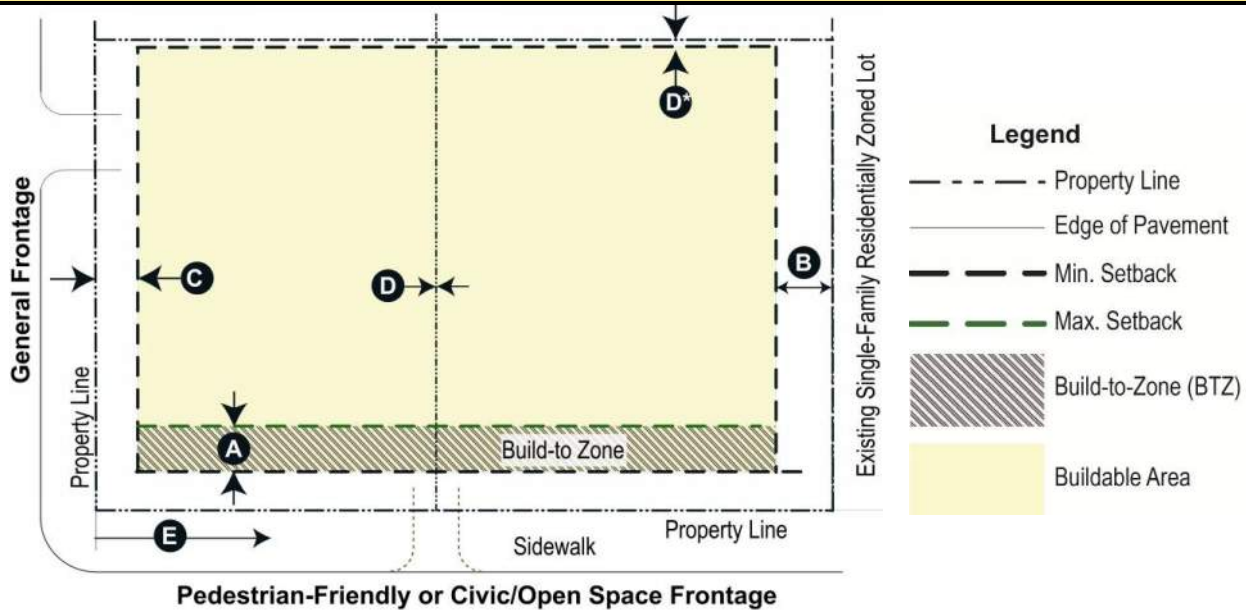
Illustrative Vision for the redevelopment of the blocks within the Neighborhood Residential Zone



Illustrative Vision for the redevelopment of the blocks within the Neighborhood Residential Zone.



(b) Building Placement



(i) Build-to Zones (BTZs) and Setbacks

Pedestrian-Friendly or Civic/Open Space Frontage (BTZ)	5' min. setback – 15' max. setback	A
General Frontage	5' min. setback; no max. setback	C
Side	0' min. setback; no max. setback	B
Rear	0' min. setback; no max. setback	D*

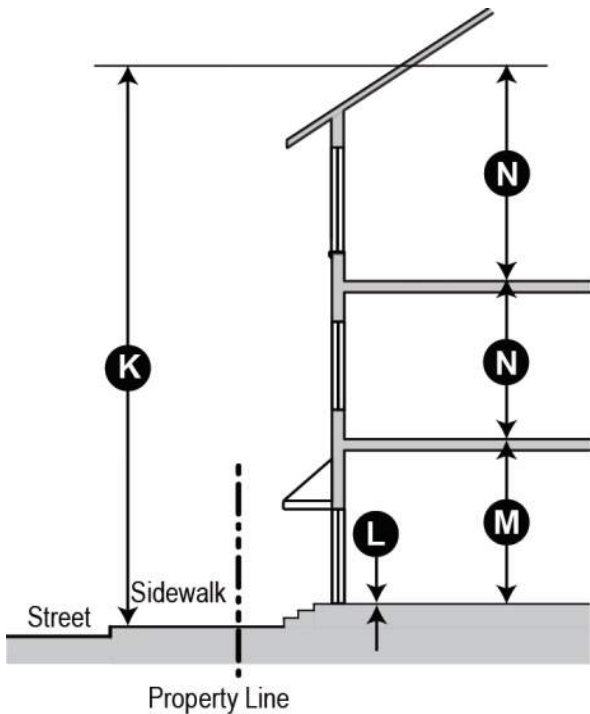
(ii) Building Frontage

Pedestrian-Friendly Frontage	40% min.	E
General Frontage	None Required	

(c) Lot Standards

Lot Width	<ul style="list-style-type: none"> Min. 18' for single-family attached/duplex/townhome buildings Min. 40' for single-family detached buildings Alley corner clips shall not exceed 5' from the corner of the lot.
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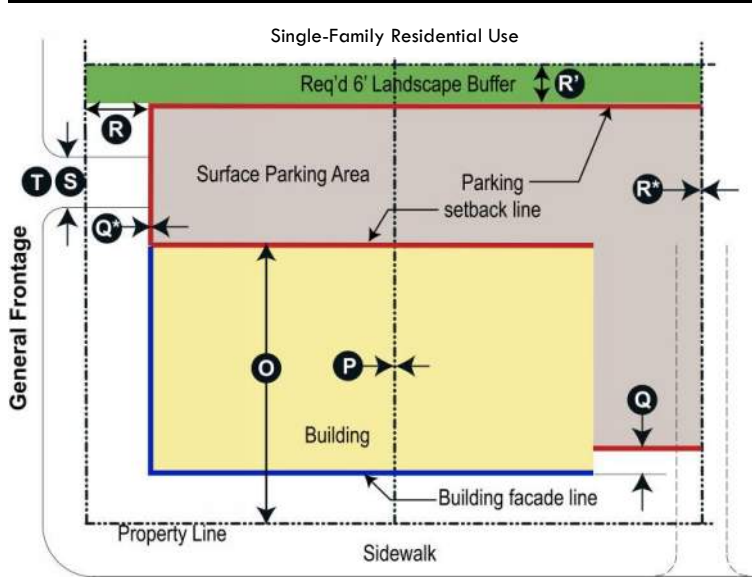
(d) Building Height



(i) Principal Building Standards		
Building maximum	▪ 3 stories	K
First floor to floor height (fin. floor to structure for ceiling)	▪ 10' min. for all frontages	M
Ground floor finish level	▪ 18" min. above sidewalk for ground floor residential uses along Pedestrian-Friendly Frontages that are also setback less than 10' from the front property line	L
Upper floor(s) height (fin. floor to structure of ceiling)	▪ 9' min.	N
(ii) Accessory Building Standards		
Building Height	2 stories max.	
BTZ/Setbacks	Shall be placed behind the front façade of the principal building along Pedestrian-Friendly Frontages. If the principal building has no Pedestrian-Friendly Frontage, then the accessory building shall be placed behind the Building Façade Line of the primary building along a General Frontage street.	

(e) Parking & Service Access

i. Surface Parking Setbacks



Pedestrian-Friendly or Civic/Open Space Frontage

Standards for **S** and **T** in the illustrations above are referenced in standards for Driveways, Alleys and Service Access section below.

Pedestrian-Friendly or Civic/Open Space Frontage	<ul style="list-style-type: none"> Shall be located behind the principal building along that street frontage; or Min. 3' behind the building façade line along that frontage 	O Q
General Frontage	<ul style="list-style-type: none"> At or behind the building façade line along that frontage; or Min. 6' behind the property line along that street 	Q* R
Side / Rear	<ul style="list-style-type: none"> Adjacent to SF-detached residentially zoned lot 6' min. 	R'
Side / Rear	<ul style="list-style-type: none"> All other adjacencies 0' min 	P R*

ii. Driveways, Alleys and Service Access

1. Parking driveway width (at the throat)	Section 5.1 shall apply	S
2. Driveways and off-street loading and unloading	Section 5.1 shall apply	T

6.0 Building Design Standards

6.1 Purpose and Intent

The Building Design Standards for the Heart of Bryant Area Development Code shall establish a coherent urban character to encourage enduring and attractive development. Site and/or building plans shall be reviewed by the Development Review Committee for compliance with the standards below (see Table 6-1 for more detail).

The key design principles establish essential goals for the redevelopment within the Heart of Bryant Plan Area to be consistent with the vision for Reynolds Road to become a vibrant Context Sensitive Street that serves a range of commercial, civic, educational and residential uses that benefit the neighborhood and the region. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- (a) New and redeveloped buildings and sites shall utilize building and site elements and details to achieve a pedestrian-oriented public realm with appropriate glazing, shading, and shelter;
- (b) Design compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
- (c) Strengthen and celebrate the history of the Heart of Bryant area;
- (d) Building facades shall include appropriate architectural details and ornament to create variety and interest;
- (e) Open space(s) shall be incorporated to provide usable public areas integral to the urban environment; and
- (f) Increase the quality, variety, adaptability, and sustainability in Bryant’s building stock

Table 6-1: Review Process for Building Design Standards

Applicable Subsection	6.2 Building Orientation & Entrances	6.3 Façade Composition	6.4 Commercial Ready Standards	6.5 Shading Requirements	6.6 Building Materials	6.7 Design of Auto-Oriented Site Elements	6.8 Design of Parking Structures	6.9 Building Types Permitted in the Commercial Transition and Neighborhood Transition Zones
Site Plan Review	●		●	●		●	●	●
Building Permit Review	●	●	●	●	●	●	●	●

6.2 Building Orientation and Entrances

- (a) Buildings shall be oriented towards Pedestrian Priority Frontages, where the lot has frontage along Pedestrian Priority Frontages. If a building has no frontage along a Pedestrian Priority Frontage, then it shall front a Pedestrian-Friendly Frontage. All other buildings may be oriented towards General Streets or Civic Spaces.
- (b) Primary entrances to buildings shall be located on the street along which the building is oriented (See Figure 6-1). At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection. Building entrances shall be provided for all separate ground floor commercial use tenant spaces that are located along Pedestrian Priority or Pedestrian-Friendly Frontage.

- (c) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from parking areas or alleys.
- (d) Primary Entrance Design: Primary building entrances along Pedestrian Priority and Pedestrian-Friendly Frontages shall consist of at least two of following design elements so that the main entrance is architecturally prominent and clearly visible from that street (see Figures 6-1):
 - i. Architectural details such as arches, friezes, awnings, canopies, arcades, tile work, murals, or moldings; or
 - ii. Integral planters or wing walls that incorporate landscape or seating elements; or
 - iii. Prominent three-dimensional, vertical features, such as belfries, chimneys, clock towers, domes, spires, steeples, towers, or turrets; or
 - iv. A repeating pattern of pilasters projecting from the façade wall by a minimum of eight inches or architectural or decorative columns.

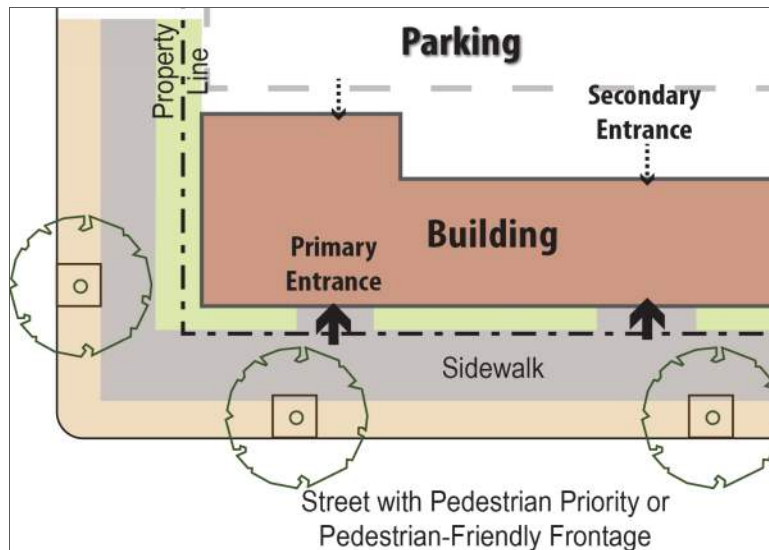


Figure 6-1 Figure showing required building orientation and location of primary entrances



Images showing appropriate transparency required along Pedestrian Priority and Pedestrian-Friendly Frontages

6.3 Façade Composition

- (a) Commercial Use and Mixed-Use Buildings:
 - (i) Facades greater than 60' in length along all Pedestrian Priority Frontage, Pedestrian-Friendly Frontages and Civic/Open Spaces shall meet the following façade articulation standards:
 - 1. Include facade modulation such that a portion of the facade steps back or extends forward with a depth of at least 24 inches (see Figure 6-3).
 - 2. The distance from the inside edge of a building projection to the nearest inside edge of an adjacent projection shall not be less than 20 feet and not greater than 60 feet (see Figure 6-3).
 - (ii) All other facades shall be articulated by at least one discernable architectural element every 20 feet. Such architectural elements include, but are not limited to (See Figures 6-4):
 - 1. Changes in material, color, and/or texture either horizontally or vertically at intervals not less than 20 feet and not more than 60 feet; or
 - 2. The construction of building entrances, bay windows, display windows, storefronts, arcades, façade relief, panels, balconies, cornices, bases, pilasters, or columns.

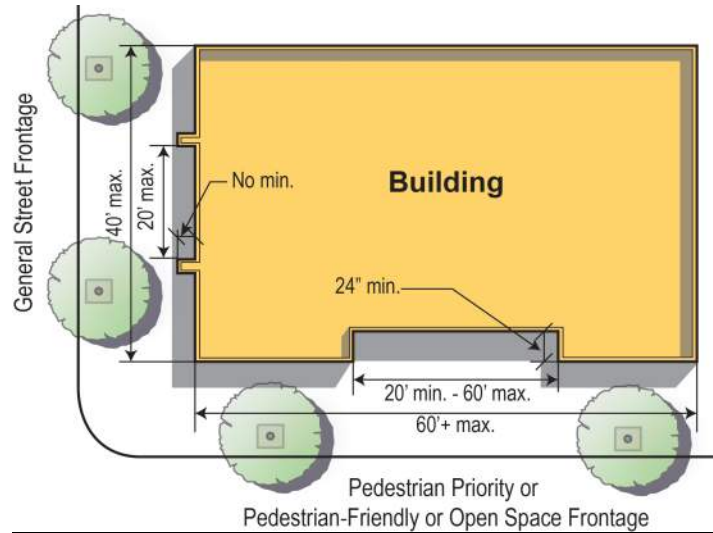


Figure 6-3 Illustration showing building articulation requirement



Images showing examples of appropriate building articulation

(iii) Façade Transparency Required:

1. All facades shall meet the minimum requirement for façade glazing (percentage of doors and windows) as established in Table 6-2 below. Glazing for ground floor commercial use shall be transparent enough for the public to see inside.

Table 6-2 Required Minimum Façade Glazing by Façade Frontage Type

Façade Frontage Type →	Pedestrian Priority or Pedestrian Friendly Frontage	General Frontage	All other façades
Commercial Use or Mixed Use Buildings			
Ground Floor	60% (min.)	None	None
Upper Floor(s)	30% (min)	None	None
Residential Use Buildings			
Ground Floor	40% (min.)	None	None
Upper Floor(s)	20% (min.)	None	None



Images showing appropriate transparency required along Pedestrian Priority and Pedestrian-Friendly Frontages

(b) Residential Use Buildings

- (i) At least one of the following shall be added along residential building facades to add pedestrian interest along the street:
 - porches,
 - forecourts,
 - courtyards,
 - stoops,
 - eaves, or
 - balconies
- (ii) If a residential use building is setback less than 10' from the front property line, the grade of the slab or first floor elevation shall be elevated at least 18 inches above the grade of the sidewalk.
- (iii) Windows and Doors: All building facades of residential use buildings shall meet the glazing requirements established in Table 6-2.



Residential buildings with porches, fencing, balconies, and stoops to add interest along the street.

6.4 Commercial Ready Standards

- (a) Ground floors of all buildings with Pedestrian Priority Frontage designation per the Regulating Plan (Attachment 1) shall be built to Commercial Ready standards. In addition, the following Standards shall apply (See Figure 6-4):
 - i. An entrance that opens directly onto the sidewalk according to Section 6.0;
 - ii. A height of not less than 12 feet measured from the entry level finished floor to the bottom of the structural members of the ceiling;
 - iii. Minimum leasable width of 20 feet wide;
 - iv. A front facade that meets the window glazing requirements in Section 6.0; and
 - v. Off-street surface parking shall be prohibited between the sidewalk and the building along Pedestrian Priority Frontages.

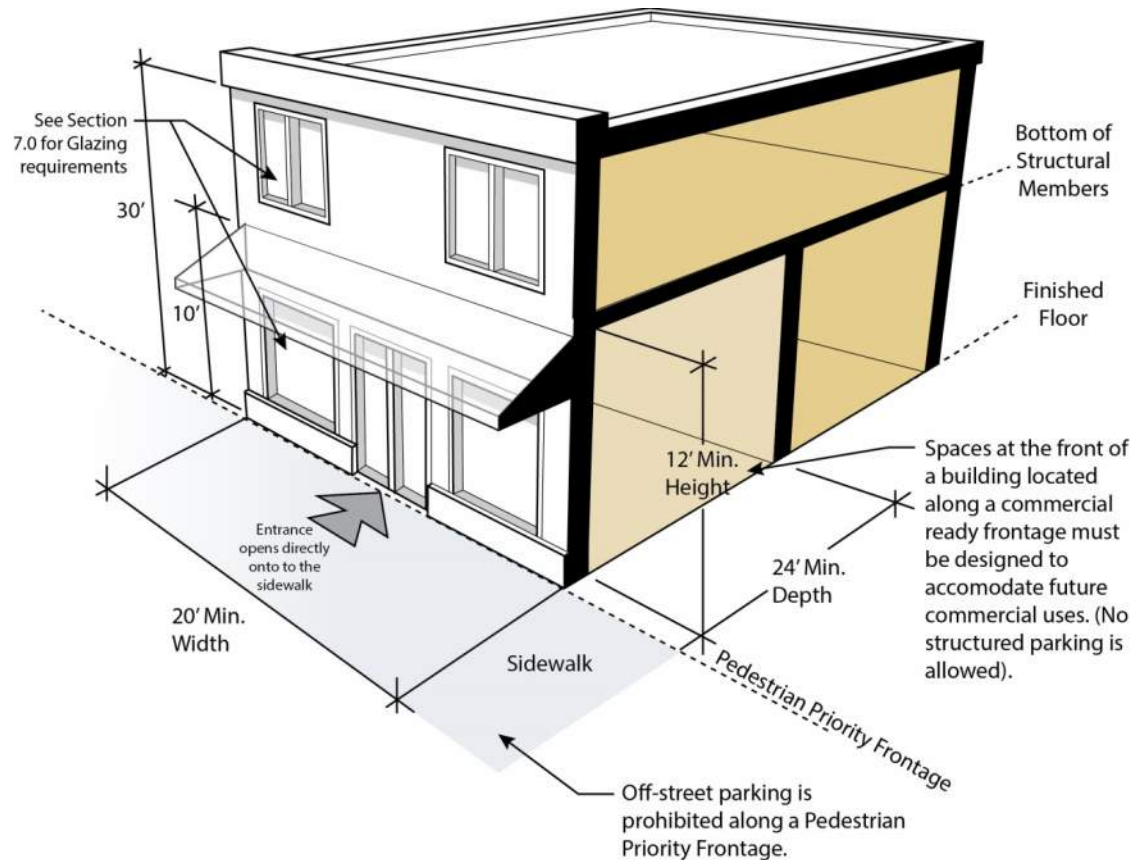


Figure 6-4 Illustration showing application of Commercial Ready Frontage Requirements

6.5 Shading Requirement: Shading of public sidewalks, especially, sidewalks located along Pedestrian Priority and Pedestrian-Friendly Frontages shall be important to implementing the vision for walkable mixed-use along the Corridor. Shading may be achieved through any combination of canopies, awnings, street trees, and other similar devices. To this end, the following standards shall apply (see Figure 6-4):

- (a) Shaded sidewalk shall be provided alongside at least 50 percent of all building facades with Pedestrian Priority Frontage designation per the Regulating Plan (Attachment 1).
- (b) A shaded sidewalk must meet the following requirements:
 - (i) Along a street, a shaded sidewalk shall comply with the applicable sidewalk standards for its designated street type. If not otherwise required, the shaded sidewalk shall provide trees planted no more than 60 feet on center. Exception can be made for the preservation of existing mature trees that provide shading over the sidewalk.
 - (ii) Building entrances along Pedestrian Priority and Pedestrian-Friendly Frontages shall be located under a shade device, such as an awning, portico, or other artificial shade structure, as approved by director.



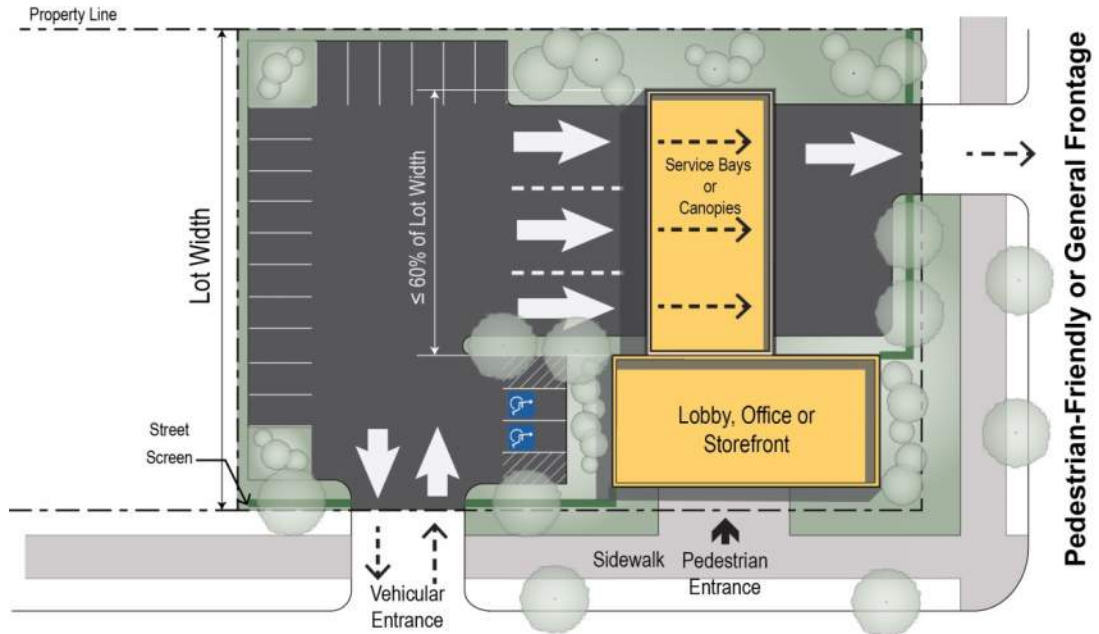
Figure 6-5 Images showing examples of shading along sidewalks

6.6 Building Materials

- (a) Exterior Building Façade Materials (for all buildings)
 1. Exterior Insulation Finish System (EIFS) shall be limited to moldings and architectural detailing on building frontages along any Pedestrian Priority and Pedestrian-Friendly Frontages. On all other facades, it shall only be used on upper floors (min. 10' above the sidewalk).
 2. The following materials shall be limited to no more than 20% of any Pedestrian Priority and Pedestrian-Friendly Frontage façade: Corrugated metal, board and batten, and wood siding.
 3. Specific to MSMU: Cementitious Fiber clapboard (not sheets) shall be limited to upper floor facades only (min. 10' above the sidewalk).

6.7 Design of Automobile Related Building and Site Elements

- (a) Where permitted under Section 4 of this Code, drive-through lanes, auto service bays, and gas station canopies for commercial uses shall not be located with frontage along any Pedestrian Priority Frontage. Drive-through lanes may be permitted along Pedestrian-Friendly frontages only if the property has no General or Alley frontage. Drive-through lanes, auto service bays, and gas station canopies shall be hidden behind a 3' high Street Screen along both Pedestrian-Friendly and General Frontages (see illustrations below). The Street Screen shall be made up of (i) a living screen or (iii) a combination living and primary building material screen (See Section 10 for details).
- (b) No more than 60% of a lot's frontage along a Pedestrian-Friendly Frontage may be dedicated to drive through lanes, canopies, service bays, or other auto-related site elements. There shall be no such limitation along General or alleys frontages.



Pedestrian Priority or Pedestrian-Friendly Frontage

*Image illustrating the appropriate design of auto-related site elements
(Gas stations, auto-service uses, and bank drive-through)*

- (c) Any automobile related retail sales or service use of a site or property with Pedestrian Priority or Pedestrian-Friendly Frontage designation shall have a primary building entrance along its Pedestrian Priority Frontage. A primary building entrance may be along a building's Pedestrian-Friendly Frontage only if the site has no Pedestrian Priority Frontage designation.
- (d) Drive through access (driveways only) may be from a Pedestrian Priority Frontage only if the lot has no access to any Pedestrian Friendly, General or alley frontage. Drive through access may be from a Pedestrian-Friendly Frontage only if the lot has no access to any General Frontage or alley. In cases where drive through access is provided from a Pedestrian Priority Frontage, a joint access easement shall be required to adjoining properties providing alternative access to a Pedestrian-Friendly or General Frontage.

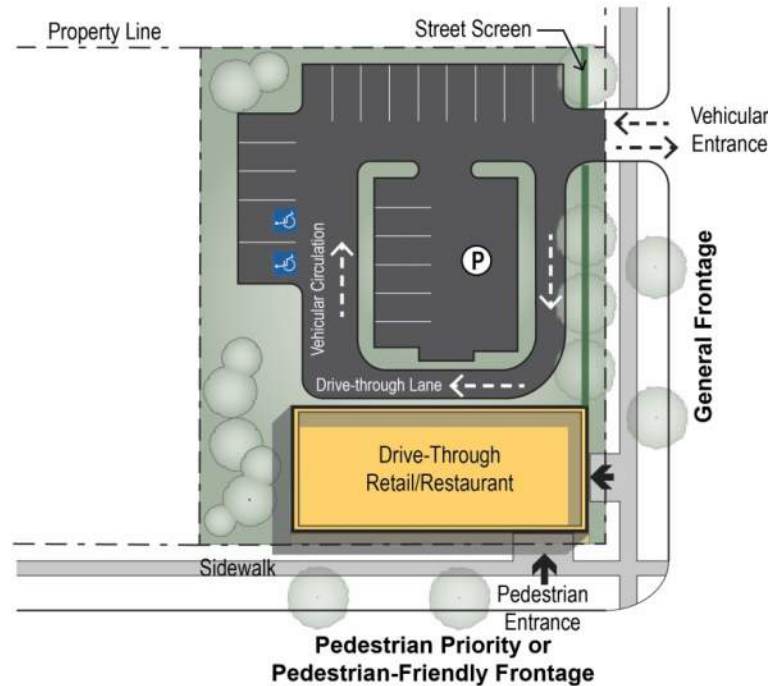


Image illustrating the appropriate design of retail/restaurant drive-through (Corner Lot)

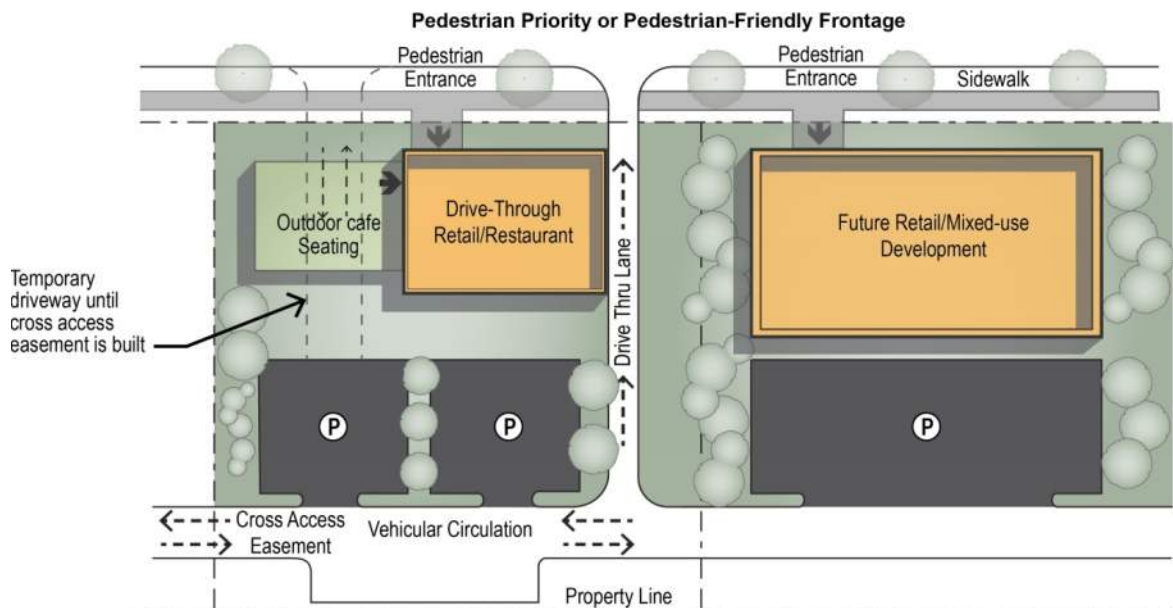
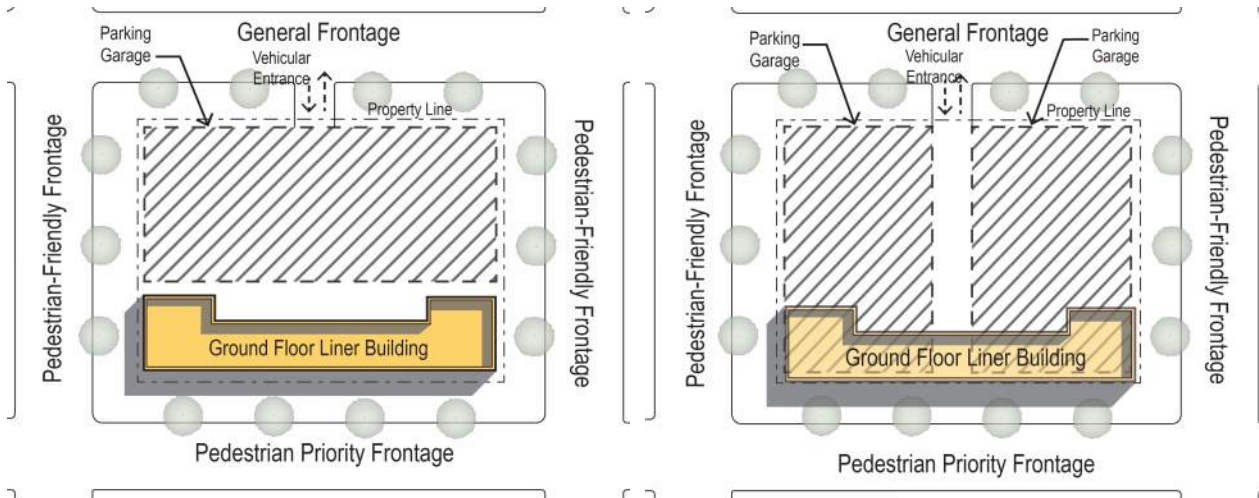


Image illustrating the appropriate design of retail/restaurant drive throughs (Interior Lot)

- (e) All off-street loading, unloading, and trash pick-up areas shall be located along alleys or General Frontages only unless permitted in the specific building form and development standards in Section 6 of this code. If a site has no General frontage or Alley access, off-street loading, unloading, and trash pick-up areas may be permitted along a Pedestrian-Friendly Frontage.
- (f) All off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment. The Street Screen shall be made up of (i) a living screen or (ii) a combination living and primary building material screen.

6.8 Design of Parking Structures

- (a) All ground floors of parking structures located on Pedestrian Priority Frontages shall be built to Commercial Ready standards to a minimum depth of 30 feet.
- (b) To the extent possible, the amount of Pedestrian Priority frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) of the parking structure along the Pedestrian Priority Frontage edge(s) (see Figures 6-8 for illustrations below).



Figures 6-8 Allowed Parking Garage Configurations

- (c) Where above ground structured parking is located at the perimeter of a building with Pedestrian Priority Frontage, it shall be screened in such a way that cars on all parking levels are completely screened from view (see Figures 6-9 for illustrative images). Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting. Parking garage ramps shall not be visible from any Pedestrian Priority Frontages. Ramps shall not be located along the exterior perimeter of the parking structure.





Figures 6-8 Illustrative Examples of Parking Garage Screening

- (d) Ground floor façade treatment (building materials, windows, and architectural detailing) shall be continued to the second floor of a parking structure along all Pedestrian Priority Frontages (see Figures 6-9).



Figures 6-9 Images showing required façade treatment of parking garages along Pedestrian Priority Frontages

- (e) When parking structures are located at street intersections, corner emphasizing elements (such as towers, pedestrian entrances, signage, glazing, etc.) shall be incorporated.
- (f) Parking structures and adjacent sidewalks shall be designed so pedestrians and bicyclists are clearly visible (through sight distance clearance, signage, and other warning signs) to entering and exiting automobiles.



Images showing appropriate design of Parking Structures

7.0 Street Design Standards

- 7.1 Purpose and Intent:** The Vision for Heart of Bryant Area Plan recognizes the importance of providing adequate public infrastructure, which includes an ultimate Street Network of multi-modal streets, and other needed infrastructure to serve the vision for redevelopment within the Plan Area.

Street design and connectivity is envisioned to support and balance automobile, bicycle, and walking trips in addition to becoming the “civic” space for development. The “civic” nature of streets will not only serve private redevelopment, but the community at large and the people who live in and use it. This section establishes Context Sensitive Solutions for street design and connectivity.

- 7.2 Street Designation Categories:** In order to service multiple modes of transportation within an appropriate redevelopment context, streets within the Plan Area are designated under two major categories:

- (a) **Street Classification:** The Street Classification designation establishes standards for the actual cross-section of the street itself. The Street Classification includes information on automobile, bicycle, pedestrian, and parking accommodation. It typically addresses the space allocation within the public right-of-way and its emphasis towards different modes of transportation. Table 7-1 identifies the Street Classification designations within the Plan Area and provides cross-sections for the different Street Classifications.
- (b) **Street Network:** In addition to Street Classification designations, streets are also identified as either required or recommended to implement the ultimate street network in the Illustrative Vision. The Regulating Plan (Attachment 1) illustrates the Recommended Street Network within the HOB Plan Area.

1. **Required Streets** – these are mainly existing, improved, or new streets that are needed to implement the ultimate street network envisioned in the Vision for the HOB . They shall be mandatory at the time of redevelopment including the requirement to dedicate right-of-way as identified in the Regulating Plan. The alignment of new Required Streets may be modified per Administrative Modifications in Section 3.3 of this Code.
2. **Recommended Connections** – these are new connections that are non-mandatory and only indicate the likely locations for new streets, pedestrian crossings or trail connections. Recommended Connections may be substituted by pedestrian passages (see Attachment 6), alleys, or public cross-access easements based on the specific redevelopment context.

- 7.3 Street Standards:** Table 7-1 and Attachment 5 shall establish standards for all elements within the public right-of-way including travel lane(s), on-street parking, bicycle accommodation, streetscape/parkway standards, and sidewalk standards. The standards in the City’s Subdivision Regulations shall apply to the extent that they do not conflict with the standards in these Attachments and the Illustrative Vision for the HOB Plan Area . Landscaping within the public right-of-way shall be per standards in Section 9. Attachment 5 provides recommended cross sections for public streets within the HOB Plan Area based on available right-of-way and intended development context per the Illustrative Vision.

Table 7-1: Street Classification Table

Street Classification	Reynolds Road	Boone Road	Mixed-Use Street	Neighborhood Street	Alley
Standard					
Min. Sidewalk width (includes planting zone and clear zone) (feet)	11'-6"	11'	10'	15' (one side)	N/A
Min. Planting Zone width (feet) [Street trees may be in tree wells along Type 'A' frontages]	5'	5'	5'	7'	N/A
Street Trees Req'd (see Section 9.2 for standards)	Yes (Tree wells or bioswale systems)	Yes (Tree wells or planting areas)	Yes (Tree wells or bioswale systems)	Yes (Tree wells or planting areas)	No
Recommended Development Frontage	Pedestrian Priority or Pedestrian-Friendly	Pedestrian Priority or Pedestrian Friendly	Pedestrian Priority or Pedestrian Friendly	Pedestrian Friendly or General	None

8.0 Open Space Standards

8.1 Open Space Approach: The Illustrative Vision for the HOB Plan Area recognizes the importance of providing a network of open spaces with passive and active recreational opportunities. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike, providing desired amenities for residents of Heart of Bryant and adjoining neighborhoods.

The approach to Open Space facilitates the implementation of the Illustrative Vision for the redevelopment of the Plan Area. This vision for redevelopment is based on the City of Bryant’s goal to connect their already extensive range of recreational and cultural locations with new trails, pocket-parks, and plazas. The Open Space approach recognizes that in an urban infill context, the establishment of unique standards is required to ensure quality open spaces that serve both recreational and place making goals of the Illustrative Vision.

8.2 Open Space Classification: For the purposes of this Code, all urban open space shall fall into one of the following 2 major classes.

- (a) **Public Open Space:** Open air or unenclosed to semi-unenclosed areas intended for public access and use. These areas range in size and development and serve to complement and connect surrounding land uses and code requirements.
- (b) **Private Common Open Space:** A privately owned outdoor or unenclosed area, located on the ground or on a terrace, deck, porch, or roof, designed and accessible for outdoor gathering, recreation, and landscaping and intended for use by the residents, employees, and/or visitors to the development.

8.3 Open Space Requirements

- (a) All non-residential development shall provide 4.0 sq.ft. of Public Open Space or Private Common Open Space for every 100 sq.ft. of non-residential space or fraction thereof. This standard shall only apply to all site plans 2 acres in size or larger.
- (b) All residential development within the HOB shall meet the Private Common Open Space standards established in this Section. Table 8-1 establishes the private common open space requirement based on the proposed intensity of residential development. Residential projects numbering less than 8 dwelling units are not required to provide private common open space.

Table 8-1 Private Common Open Space Requirements

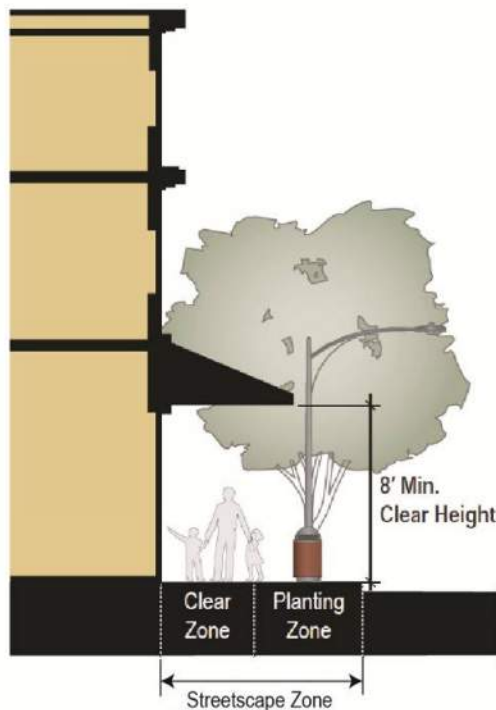
Residential Density (dwelling units per acre)	Private Common Open Space Standard Proposed (area of private common space per dwelling unit)
0 – 7 DU / acre	Not required
8 – 19 DU / acre	Provide minimum of 160 sf per dwelling unit
20 – 29 DU / acre	Provide minimum of 120 sf per dwelling unit
30 – 39 DU / acre	Provide minimum of 80 sf per dwelling unit
40 – 79 DU / acre	Provide minimum of 60 sf per dwelling unit
More than 80 DU / acre	Provide minimum of 40 sf per dwelling unit

- (c) Attachment 6 shall provide the palette of open/civic space types.
- (d) Any off-site dedicated parkland (public or private) per Section 8.0 may be used to meet up to fifty (50) percent of any required publicly accessible Open Space.
- (e) Any on-site dedicated parkland (public or private) per Section 8.0 may be used to meet up to one hundred (100) percent of any required publicly accessible Open Space.

9.0 Streetscape and Landscape Standards

9.1 Sidewalks. Public sidewalks are required for all development under this code and shall meet the standards of Table 9-1 and shall be based on the Street Classification per Table 7-1 and Attachment 5. The minimum sidewalk width requirement shall apply regardless of the available right-of-way. If necessary to meet the required sidewalk width, the sidewalk shall extend onto private property to fulfill the minimum requirement, with a sidewalk easement provided. Sidewalks shall consist of two zones: a planting zone located adjacent to the curb, and a clear zone (see Figures 9-1).

- (a) **Planting Zone:** The planting zone is intended for the placement of street trees, if required, and street furniture including seating, street lights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility (see Figure 9-1).
- (b) **Clear Zone:** The clear zone shall be hardscaped, shall be located adjacent to the planting zone, and shall comply with ADA and any local accessibility standards and shall be unobstructed by any permanent or nonpermanent element for the required minimum width and a minimum height of eight (8) feet (see Figure 9-1). Accessibility is required to connect sidewalk clear zones on adjacent sites.
- (c) **Fee In-Lieu Option:** An applicant may opt to pay a proportional fee in-lieu for the required sidewalk if the development project is phased or the sidewalk improvements need to match the timing of a programmed City capital project affecting that street frontage.



Figures 9-1 Illustrations delineating the Streetscape Zone elements

9.2 Street Trees and Streetscape:

- (a) Street trees shall be required within the Planting Zone.
- (b) Street trees shall be centered within the Planting/Furnishings Zone and be planted a minimum of 3' from the face of curb.
- (c) Spacing shall be an average of 40 feet on center (measured per block face) but may not exceed 60 feet on center along all Streets.
- (d) Each tree shall be planted in a planting area no less than 36 sq. feet.

9.3 Screening Standards

- (a) **Street Screen Required:** Any frontage along all Pedestrian Priority and Pedestrian-Friendly Frontages with surface parking at the BTZ shall be defined by a 3-foot high (minimum; may not exceed 4 feet) Street Screen (see Figure 9-2). Furthermore, along all streets (except alleys), service areas shall be screened in such a manner that the service area shall not be visible to a person standing on the property line on the far side of the adjoining street (see Figure 9-3). Required Street Screens shall be of one of the following:
 - i. The same building material as the principal structure on the lot; or
 - ii. A vegetative screen composed of shrubs planted to be opaque at maturity; or
 - iii. A combination of two below:
 - a. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.
 - b. Street Screens cannot block any required sight triangles along a cross street or driveway.
 - c. Street Screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.

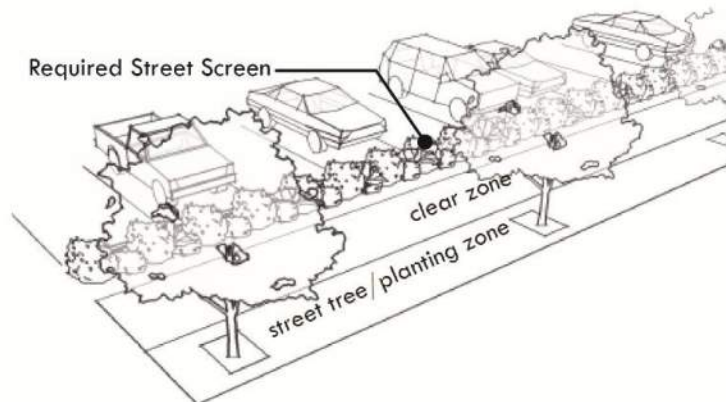


Figure 9-2 Illustration showing required Street Screen along all frontages without a Building within the BTZ

- (b) **Screening of Roof Mounted Equipment:** All roof mounted mechanical equipment (except solar panels) shall be screened from view of a person standing on the property line on

the far side of the adjoining street (see Figure 9-3). The screening material used shall be the same as the primary exterior building material used.

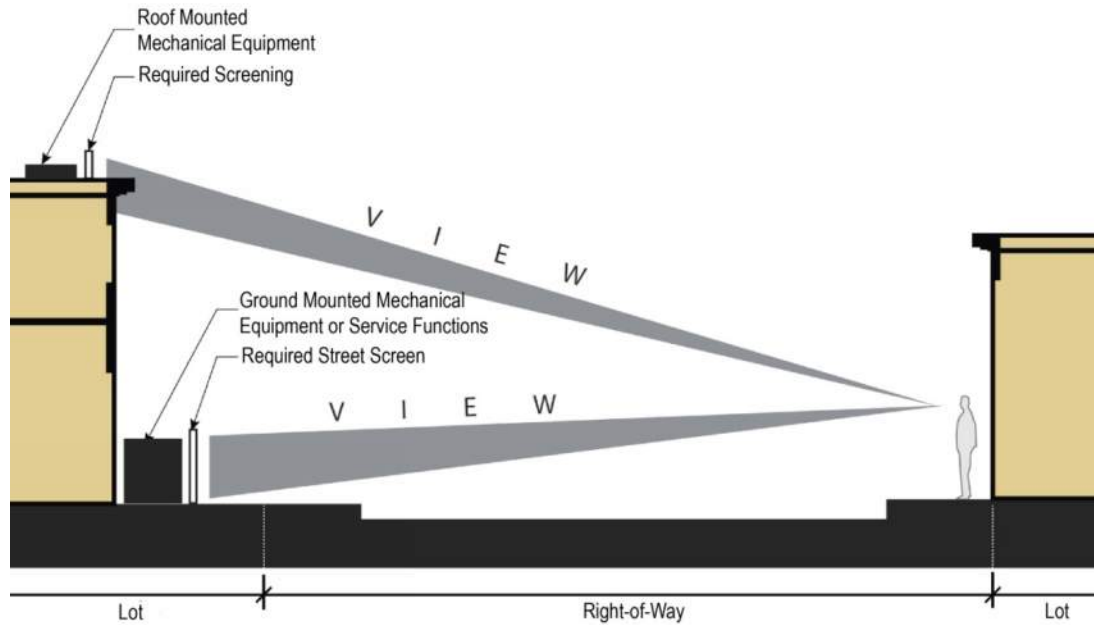


Figure 9-3 Illustration showing required screening of roof and ground mounted equipment

9.4 Street Lighting: Pedestrian scale lighting shall be required along all Pedestrian Priority and Pedestrian-Friendly Frontages within the Plan Area. The following standards shall apply for pedestrian scale lighting:

- (a) They shall be no taller than 20 feet.
- (b) Street lights shall be placed at an average of 80 feet on center or placed on average between every other street tree (whichever is less), a minimum of 3 feet behind the face of curb, preferably lined up with street trees.
- (c) The light standard selected shall be compatible with the design of the street and buildings, but shall be consistent throughout the Plan Area to maintain efficiencies in maintenance.

9.5 Street Furniture

- (a) Street Furniture shall be placed within the Plantings Zone or within the front setback area only. Benches and bike racks will be placed in alignment with light poles and street trees.
- (b) Trash receptacles shall be required for all development along Pedestrian Priority Frontages. Trash receptacles should be placed at street corners, outside of visibility clearance areas per City standards. If development is located mid-block, place the trash can near front entry. This may also be managed through a Public Improvement District (PID), Merchants Association, or other maintenance association.
- (c) Street furniture and pedestrian amenities such as benches are recommended along all Pedestrian Priority Frontages.
- (d) All street furniture shall be located in such a manner as to allow a Clear Zone of a minimum of 5 feet in width. Placement of street furniture and fixtures shall be

coordinated with organization of sidewalks, landscaping, street trees, building entries, curb cuts, signage, and other street fixtures.

- (e) Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance.

9.6 Utilities

- (a) All utility lines within private property (from any building to the property line) shall be underground, where feasible.
- (b) Along Reynolds Road (as defined by Attachment 1), utility lines (electric and telecommunications) within the right-of-way shall NOT be above ground within the Streetscape Zone. They shall be placed underground, relocated to the rear of the site or relocated along an Alley to the extent feasible as determined by the Director (See Figure 9-4).
- (c) Along all other streets (except Alleys), overhead utility lines within the right-of-way are encouraged to be placed underground, relocated to the rear of the site, or relocated along an Alley to the extent feasible as determined by the Director. This shall only occur when activated by applicability table in Section 3.

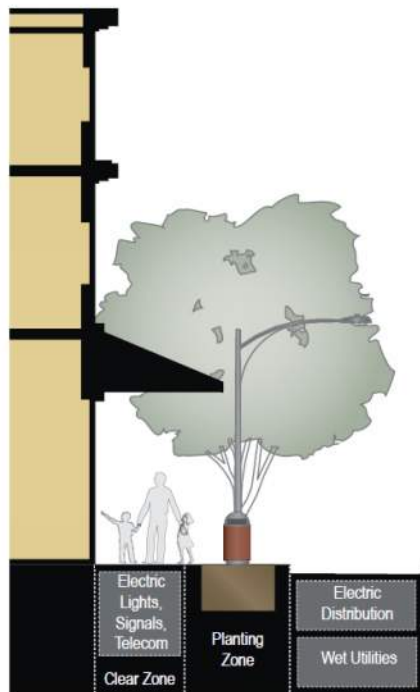


Figure 9-4 Illustrations showing required (along Reynolds Road) and preferred (along all other Streets) utility locations within the Streetscape Zone




- (d) Utility compatible trees (single trunk trees) may be used so that the trees can be located beneath, rather than offset from, the overhead electric utilities if the Director determines that one of the following conditions is met:
 1. The lot depth is 120 feet or less and electric utilities need to remain overhead behind the curb within the right-of-way; or

2. The building façade would have to be setback beyond the maximum setback permitted in the specific Character Zone.
 - (e) Locations on private property must be found for switchgear and transformer pads needed to serve that property. Such locations shall be either along General Frontages or at the side or rear of the property and screened from view of a person standing on the property line on the far side of any adjoining street (see Figure 9-3).
- 9.7 Parking Lot Landscaping:** All surface parking shall maximize permeability by incorporating green infrastructure techniques to allow infiltration on site.

10.0 Sign Standards

- 10.1 Applicability:** Except for sign types, sign dimensional standards, and as specifically listed below, all other signage and sign standards shall comply with the City of Bryant Sign Regulations.
- 10.2 Prohibited Sign:** The following types of Signs shall be prohibited in the HOB:
- (a) Any sign that flashes, blinks, revolves, or is put into motion will not be permitted;
 - (b) Streamers and inflatable mascots;
 - (c) Portable or wheeled signs and advertising devices on the site other than sandwich board signs permitted in Table 10-1.
- 10.3 Sign Types Permitted:** All development to which this Section is applicable shall comply with the Sign Regulations in Table 10-1 below.

Table 10-1 Permitted Sign Types by Character Zone

LEGEND				
MSMU		NT		NR
Main Street Mixed-Use		Neighborhood Transition		Neighborhood Transition
Sign Type	Character Zone Allowed	Description	Image	Standard
Permanent Signs				
CORRIDOR MONUMENT SIGNS	MSMU II	A sign not attached to a building, but permanently supported by a structure extending from the ground and permanently attached to the ground. A Corridor Monument sign shall be smaller than a Highway Monument Sign.		10.4
BUILDING IDENTITY SIGN	MSMU U	A Wall Sign attached to the upper floor of a multiple story building or parapet of single tenant one-story building that provides identification of the entire building. (May be used instead of the Building Projecting Sign)		10.5
STOREFRONT and TENANT WALL SIGNS	MSMU II	Wall Sign attached to a retail storefront or sign band area directly adjacent to the retail storefront within a multi-tenant building. (May be used instead of a Tenant Canopy Sign)		10.6

LEGEND

MSMU




NT

NR

Main Street Mixed-Use

Neighborhood Transition

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
<p>BUILDING PROJECTING SIGNS</p>	<p>MSMU NT</p>	<p>Wall Sign that extends a distance of more than 12” perpendicular from the building façade. Sign is placed on the upper floors of a multiple story building. (May be used instead of the Building Identity Sign)</p>		<p>10.7</p>
<p>ROOF SIGNS</p>	<p>MSMU --</p>	<p>A sign installed over or on the roof of a building.</p>		<p>10.8</p>
<p>TENANT CANOPY SIGNS</p>	<p>MSMU .. NT</p>	<p>A sign mounted to a canopy or awning that is within or directly adjacent to a retail storefront. (May be used instead of a Storefront/Tenant Wall Sign)</p>		<p>10.9</p>

LEGEND

MSMU




NT

NR

Main Street Mixed-Use

Neighborhood Transition

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
<p>TENANT BLADE SIGNS</p>	<p>MSMU ..</p> <p>NT</p>	<p>Wall Sign that extends a distance more than 12” perpendicular from the building façade and is oriented towards the sidewalk. Sign is mounted to a retail storefront or may be mounted under a canopy.</p>		<p>10.10</p>
<p>WINDOW SIGNS</p>	<p>MSMU ..</p> <p>NT</p>	<p>A sign mounted to or intended to be through a window.</p>		<p>10.11</p>
<p>DIRECTIONAL SIGNS</p>	<p>MSMU --</p> <p>NT</p>	<p>A vehicular sign with directional information intended to direct visitors to various destinations within a larger development with multiple buildings.</p>		<p>10.12</p>

LEGEND

MSMU




NT

NR

Main Street Mixed-Use

Neighborhood Transition

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
DIRECTORY SIGNS	All	A pedestrian oriented sign containing a listing and or map of the tenants and destinations within an area, block, building or development.		10.13
SANDWICH BOARD SIGNS	<p>MSMU</p> <p>..</p> <p>NT</p>	A temporary sign with two connected faces usually arranged back to back.		10.14
ADDRESS SIGNS	All	A sign containing only the lot, building or retail tenant address.		10.15

LEGEND

MSMU



NT

NR

Main Street Mixed-Use

Neighborhood Transition

Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
<p>MARQUEE SIGN</p>	<p>MSMU II</p>	<p>A sign placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the (cont. next pg.) event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Projecting signs.</p>		<p>10.16</p>
<p>Temporary Signs</p>				
<p>BANNERS</p>	<p>MSMU ..</p> <p>NT</p>	<p>A temporary fabric or vinyl sign hung from a building façade, catenaries, or utility pole.</p>		<p>10.17</p>

LEGEND

MSMU



NT

NR


Main Street Mixed-Use

Neighborhood Transition


Neighborhood Transition

Sign Type	Character Zone Allowed	Description	Image	Standard
				
<p>TEMPORARY CONSTRUCTION SIGNS</p>	<p>All</p>	<p>A temporary sign mounted to a building, construction fence, or other structure that announces a new business or construction project.</p>		<p>10.18</p>


10.4 Corridor Monument Sign

	Character Zone	Standards
(a)		<ul style="list-style-type: none"> i. Maximum area of 0.5 sq. ft. for each linear foot of street frontage with a maximum of 100 sq. ft. ii. Maximum height of 10 ft. above frontage street pavement grade. iii. One sign per lot iv. For lots fronting two streets, one sign is permitted on each street.

10.5 Building Identity Sign

	Character Zone	Standards
(a)		<ul style="list-style-type: none"> i. May be used for single tenant commercial or institutional buildings only (multiple tenant building shall be subject to 10.6 below). ii. May be used instead of a Building Projecting Sign iii. Maximum area of 150 sq. ft. or 12% of linear frontage of façade, whichever is less. iv. Mount no lower than 25 ft. above finished grade. v. No more than 15% of façade area above 25 ft. can contain Building Identity signs.

10.6 Storefront/Tenant Wall Sign

	Character Zone	Standards
(a)		<ul style="list-style-type: none"> i. May be used for multiple tenant commercial or institutional buildings only (single tenant building shall be subject to 11.5 above). ii. May be used instead of a Tenant Canopy Sign iii. May be located on the ground floor façade only (sign to be mounted below 25 feet as measured from finished grade outside the facade). iv. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along the building's frontage up to a maximum of 100 sq.ft. v. Sign to be located between demising walls of leased storefront. i. Sign shall not overlap architectural features like window lintels, canopy support points, coping, etc. vi. Wall sign may encroach, a maximum of 12", on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. vii. Building signs may be internally or externally lit. <p>Live-Work and Home occupations: One sign limited to an area of 30 sq. ft. max.</p>

10.7 Building Projecting Signs

	Character Zone	Standards
(a)	<div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">MSMU ..</p> <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">NT</p> </div> </div>	<ul style="list-style-type: none"> i. Building Projecting sign may be permitted in place of a Building Identity Sign. ii. Maximum area of 200 sq. ft. or 15% of the façade area, whichever is less iii. Will not obstruct any pedestrian or vehicular way (vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated). iv. Sign may project no more than 50% of the width of the sidewalk or 6 ft. from building façade line (whichever is less). v. Sign may not extend above building parapet line or eaves line. vi. Maximum of one per facade

10.8 Roof Signs

	Character Zone	Standards
(a)	<div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">MSMU</p> </div>	<ul style="list-style-type: none"> i. Roof sign may be permitted instead of a Building Identity Sign. ii. Maximum area of 200 sq. ft. or 15% of linear frontage of façade, whichever is less. iii. One per building. Only permitted on facades that front the Highway. iv. Maximum height of 5 ft. above the building façade or 5 ft. above the maximum height permitted for a freestanding sign, whichever is lower.

10.9 Tenant Canopy Sign

	Character Zone	Standards
(a)	<div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">MSMU ..</p> <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">NT</p> </div> </div>	<ul style="list-style-type: none"> i. May only be used instead of a Storefront/Tenant Wall Sign. ii. One sign per tenant space; area to be calculated at 1.5 sq.ft. per linear foot of tenant space façade along the building's frontage up to a maximum of 100 sq.ft. iii. Sign to be located between demising walls of leased storefront. iv. Sign shall not extend beyond outermost edges of canopy. v. Signs are to be mounted over the canopy, on the face of a canopy or over any awnings

10.10 Tenant Blade Sign

	Character Zone	Standards
(a)	<div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">MSMU ..</p> <div style="border: 1px solid black; padding: 5px; margin: 5px auto; width: fit-content;"> <p style="text-align: center;">NT</p> </div> </div>	<ul style="list-style-type: none"> i. One Blade sign per tenant space ii. May be located on the ground floor façade only (sign to be mounted below 15 feet as measured from finished grade outside the facade) iii. Maximum area of 20 sq. ft. iv. Will not obstruct any pedestrian or vehicular way. Minimum vertical clearance of 8 ft. from the finished sidewalk if it is non-illuminated and 11 ft from the finished sidewalk if it is illuminated. v. Sign may project no more than 3 ft. from building wall or a

		distance equal to 50% of the width of the abutting sidewalk (whichever is less).
--	--	--

10.11 Window Sign

	Character Zone	Standards
(a)	<div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: fit-content;"> <div style="background-color: #d3d3d3; padding: 2px; text-align: center; margin-bottom: 2px;">MSMU</div> <div style="background-color: #f4a460; padding: 2px; text-align: center;">NT</div> </div>	<ul style="list-style-type: none"> i. No permit is required for small-scale (under 1.0 sq. ft. in total area) signs placed at the pedestrian eye level. These exempted signs include: tenant logo and name, website or other social media address store hours and address, and public safety decals as required by applicable codes or government regulations. ii. Window signs include any signage attached to the storefront glazing or located on storefront interior within 3 ft. of the storefront and intended to be viewed from the storefront exterior. iii. Maximum area of 25% of overall glazed storefront, including doors.

10.12 Directional Signs

- a. Permitted only for multi-tenant commercial and mixed-use developments with multiple building within one development.
- b. Applies only to signs located at lot entrances accessible from public streets.
- c. Maximum size of 60 sq. ft.
- d. Maximum height of 8 ft. above frontage street pavement grade.
- e. One sign permitted per development entrance. Maximum of two signs per street frontage.
- f. Signs located on interior of site and not intended to be viewed or utilized by traffic on public streets do not require a permit.

10.13 Directory Signs

- a. Signs located on interior of lot and not intended to be viewed or utilized by traffic on public streets do not require a permit. In such cases, any sign lettering or logos used must be less than 2" (max.).

10.14 Sandwich Board Signs

- a. Permitted only for retail, service, or restaurant tenants.
- b. Maximum area of 8 sq. ft. per sign face
- c. Maximum height of 4 ft.
- d. One per storefront.
- e. Sign shall not interfere with any pedestrian way and a minimum of 6 ft. of sidewalk shall remain clear.
- f. Chalkboards may be used for daily changing of messages. Reader boards (electronic and non-electronic) shall be prohibited.
- g. Sign shall be removed every day after the business is closed.

10.15 Address Signs

- a. Allowed per City of Bryant sign regulations.

10.16 Marquee Signs

- a. Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more
- b. Marquee signs shall be attached to the building or located above or below a canopy only
- c. Area = 100 sq ft. maximum
- d. Message board may be changeable copy (non-electronic).
- e. Electronic message boards shall be permitted with an Administrative Modification.

10.17 Banners

- a. Allowed per City of Bryant sign regulations.

10.18 Temporary Construction Signs

- a. Allowed per City of Bryant sign regulations.

10.19 For Sale/Lease Signs

- a. Allowed per City of Bryant sign regulations.

10.20 Additional Standards

- a. Signs located on interior of a lot and not intended to be viewed or utilized by traffic on public streets do not require a permit.
- b. Retail, service, and restaurant business that wrap a building corner creating two or more storefronts will be permitted to place signs on each storefront.
- c. Any encroachments into the public right-of-way may require additional license agreements with the city.

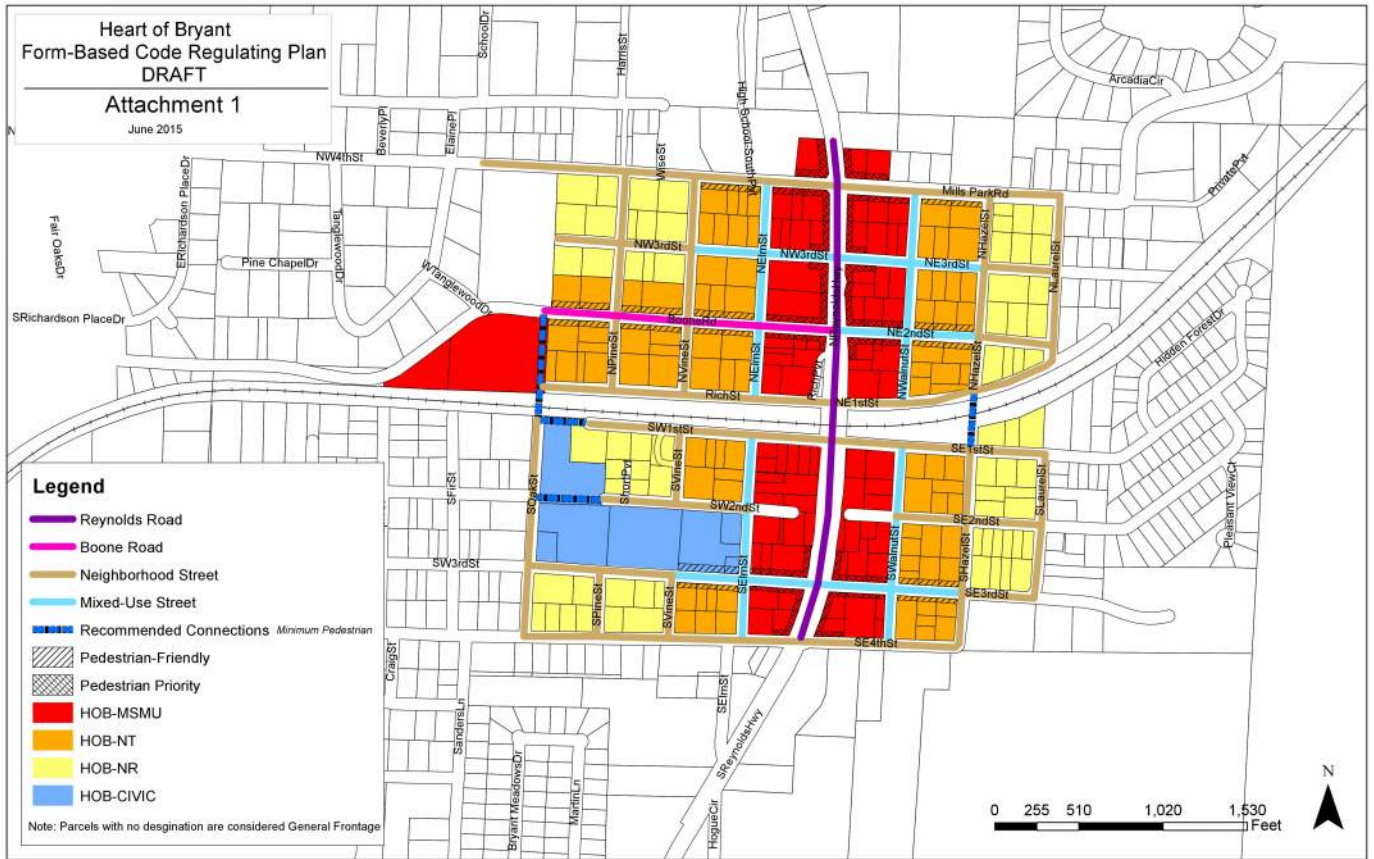
**Heart of Bryant
Specific Plan District**

ATTACHMENTS

Table of Contents

- 1: Regulating Plan
- 2: Illustrative Vision
- 3: Illustrations of Changes to Non-Complying Structures
- 4: Site Plan/Building Permit Review Process
- 5: Street Cross Sections
- 6: Open and Public Space Types
- 7: Definitions

Attachment 1: Regulating Plan



Attachment 2: Illustrative Vision

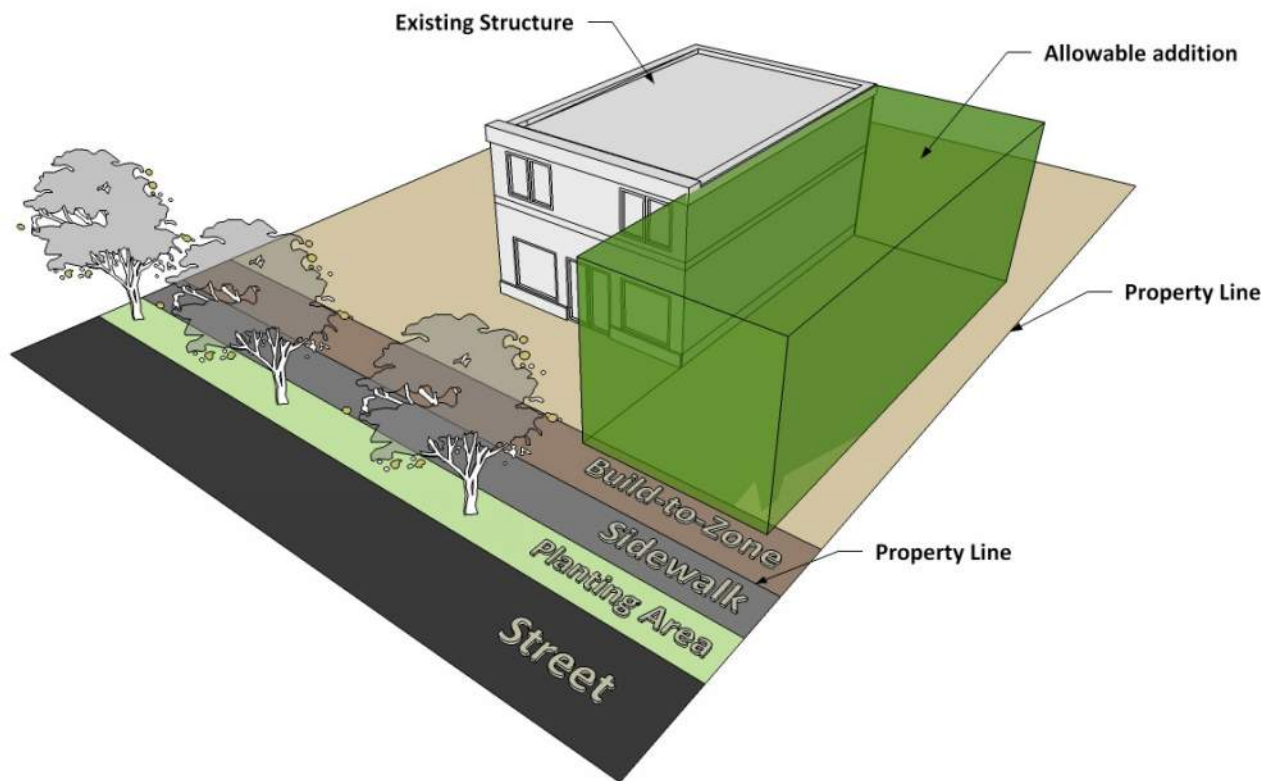


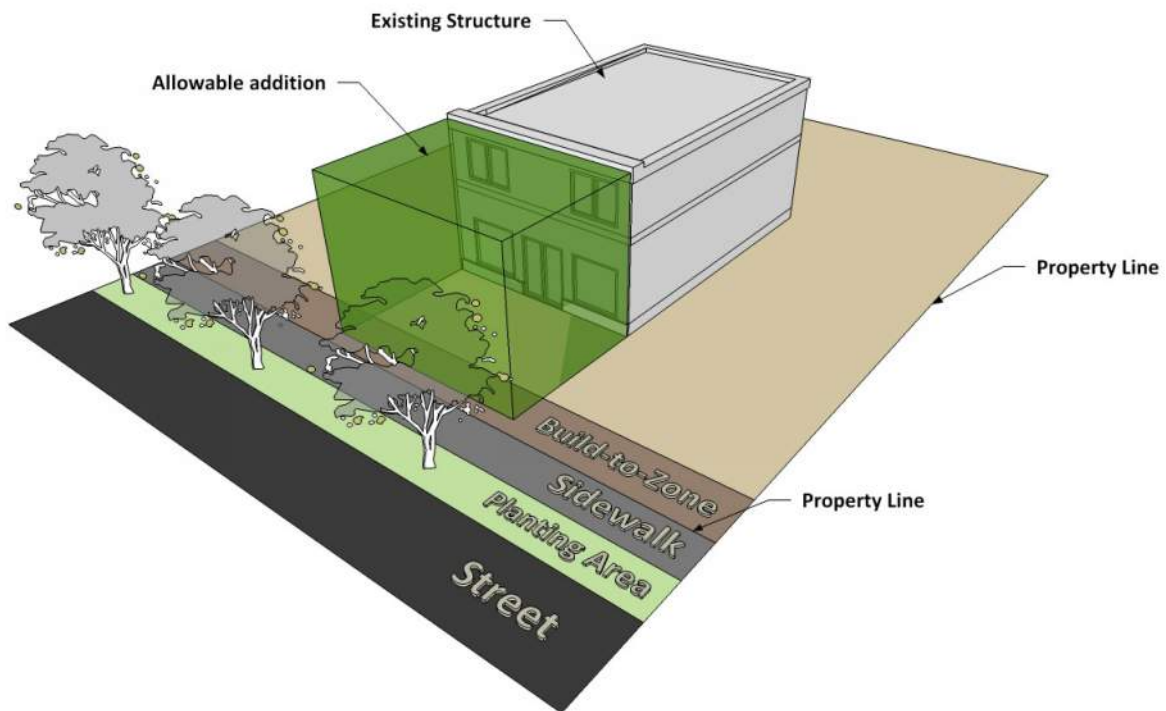
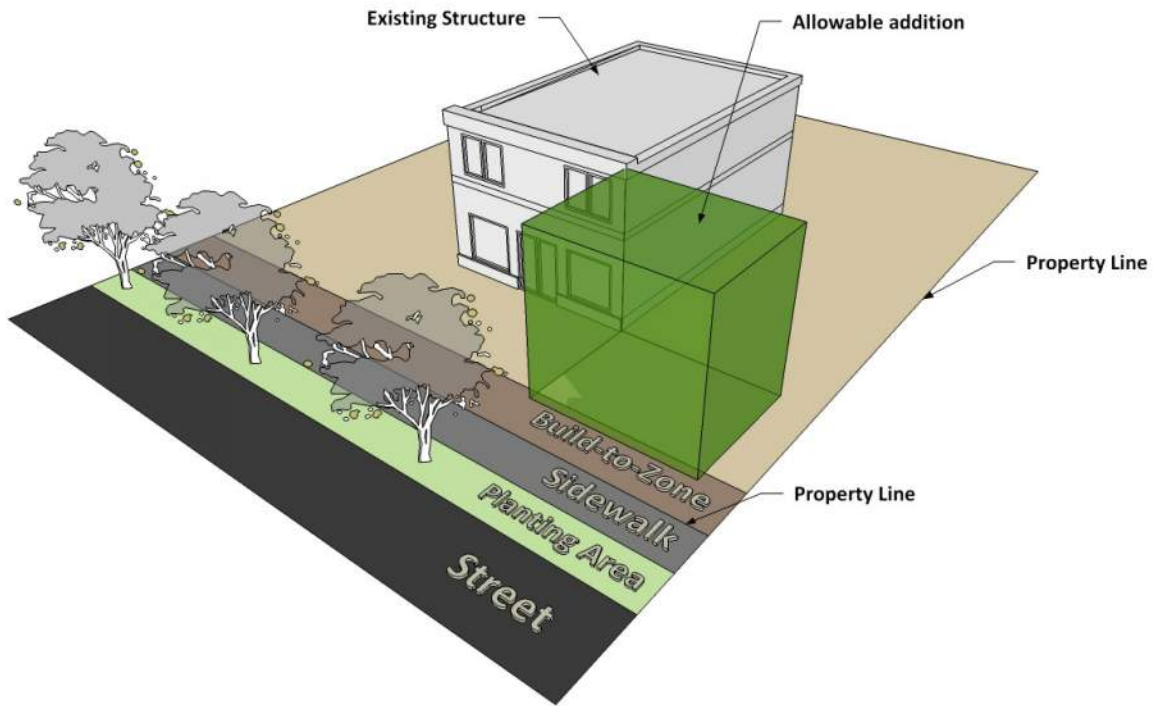
Attachment 3

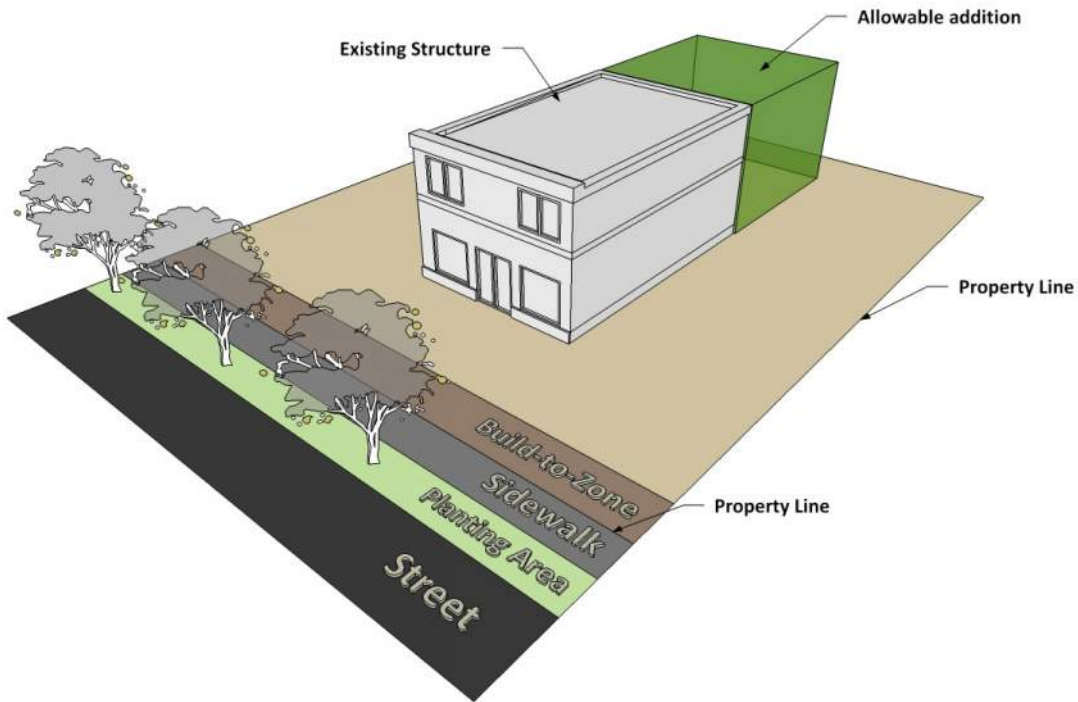
Illustrations of Changes to Non-Complying Structures

The following illustrations shall provide guidance to property owners on the allowed and prohibited modifications to existing non-complying structures and sites within the HOB.

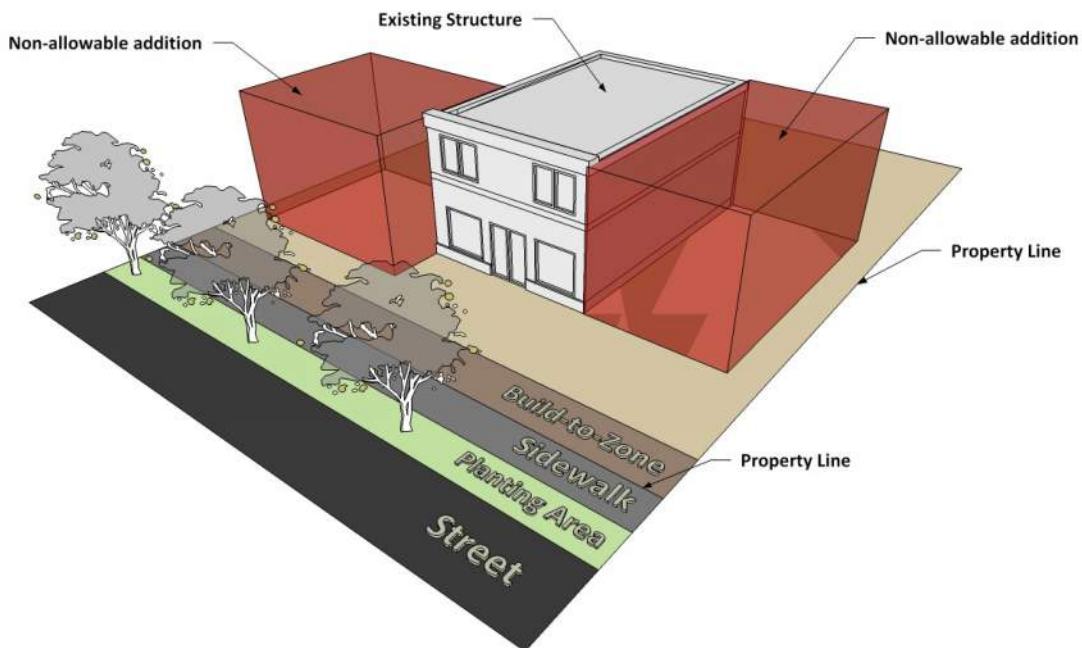
- (a) **Allowable Additions:** The following illustrations show potential allowable additions to noncomplying structures and sites. Additions shall meet the build-to-zone standards of the character zone they are located in.





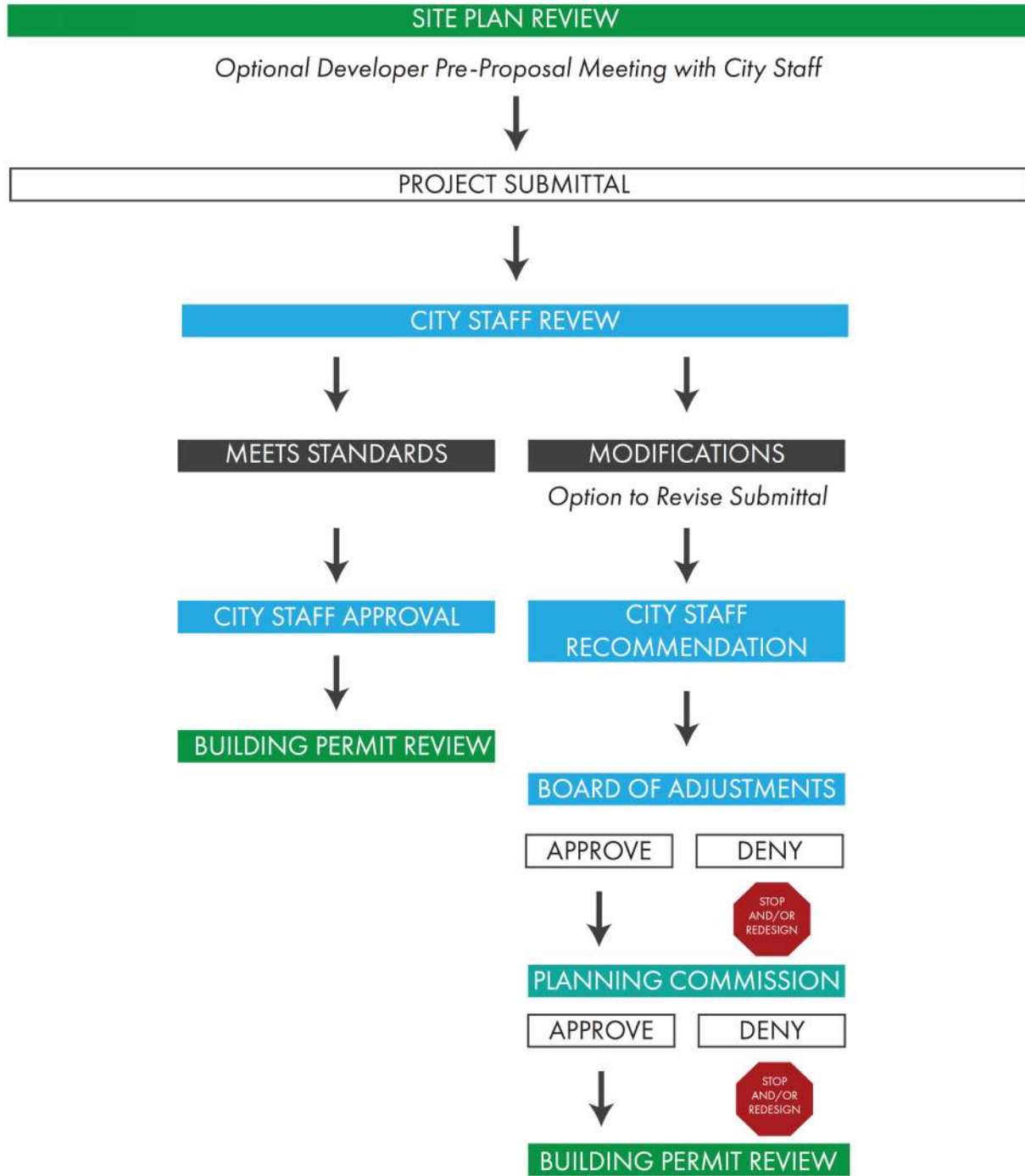


(b) **Non-Allowable Additions:** The following illustrations show potential non-allowable additions to noncomplying structures and sites since the additions do not comply with the build-to-zone standards of the character zone.



Attachment 4

Site Plan and Building Review Process

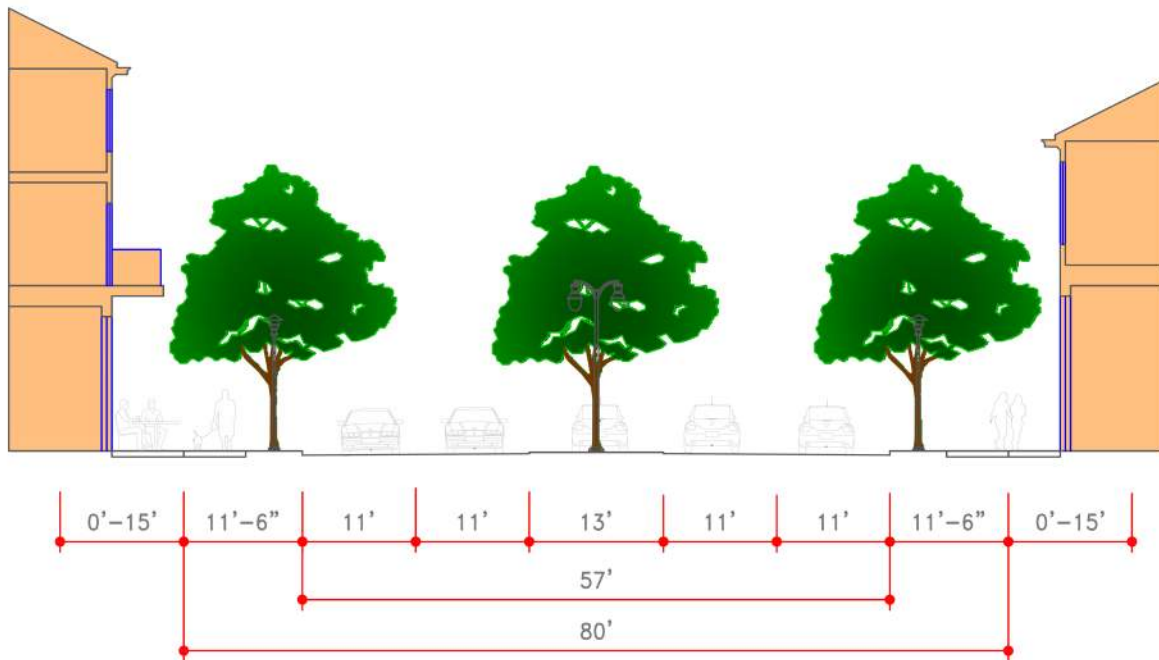


Attachment 5

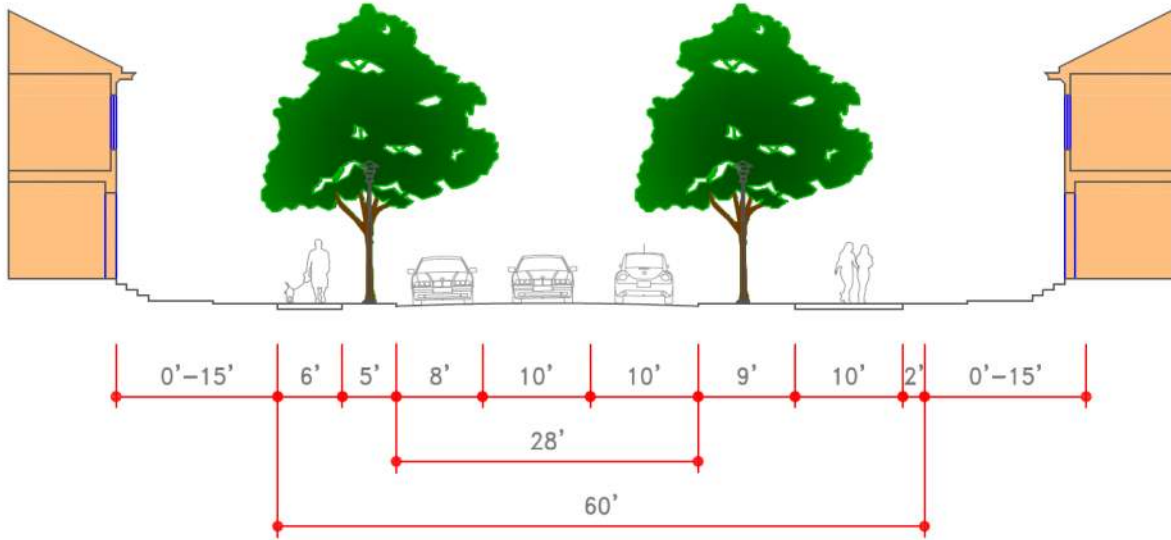
Recommended Street Cross Sections

The following street cross sections are established for the Street Types as established in Regulating Plan for HOB. The cross sections (including vehicular lane and on-street parking configurations, street tree placement, etc.) may be adjusted to fit existing contexts or other development contexts consistent with the vision for the Neighborhood with the approval of the City Engineer. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

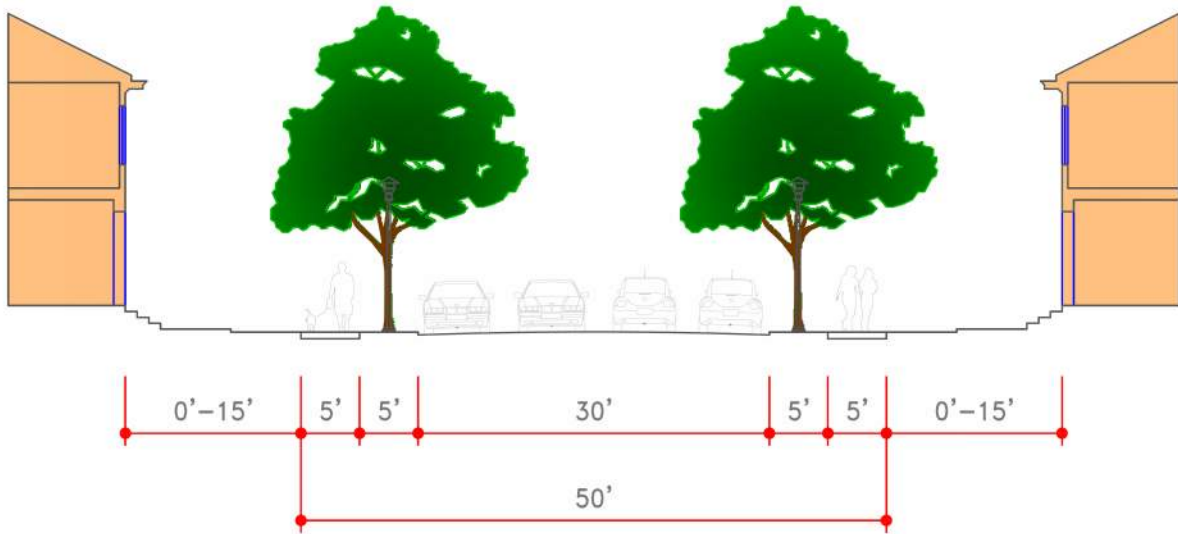
Reynolds Road:



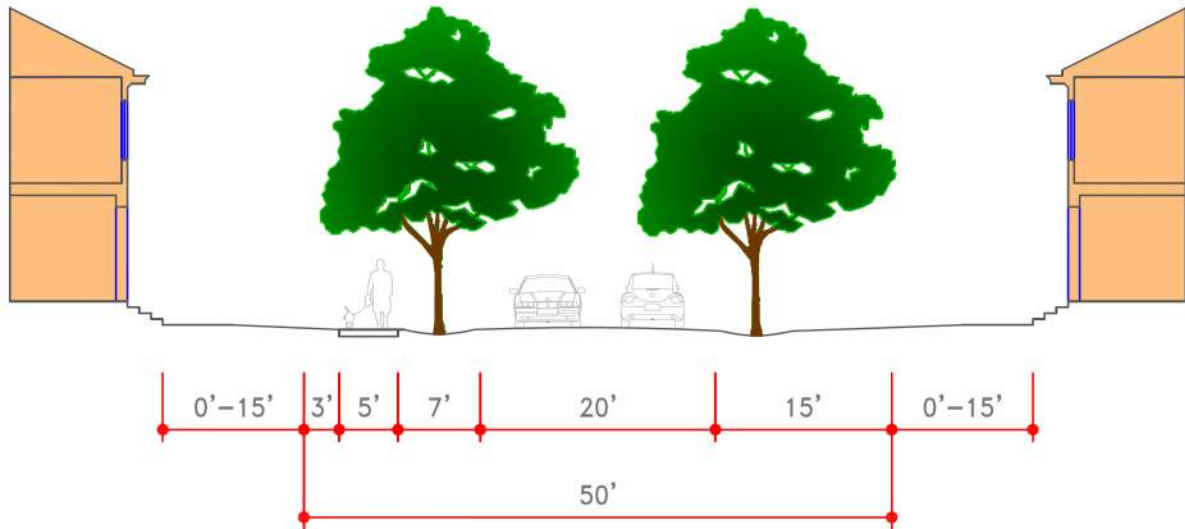
Boone Road:



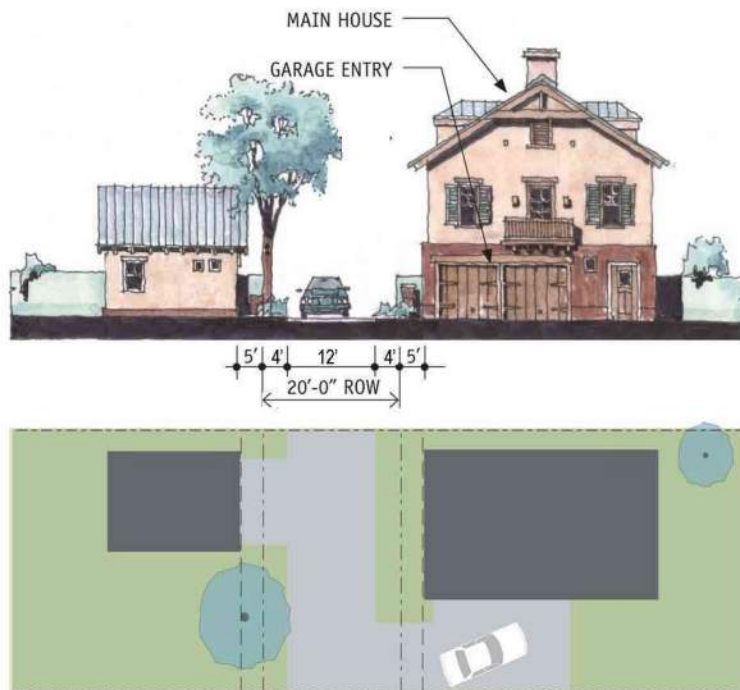
Mixed-Use Street:



Neighborhood Street:



Residential Alley:



Attachment 6

Open and Public Space Types

The Open Space Types and Standards contained herein shall be used as a guide to fulfill the required and recommended Open Space requirements of Section 8 of the HOB. These open space types may be Public or Private Common Open Spaces. The following section provides a description of these open space types including the design context and criteria consistent with the Vision for HOB Neighborhoods.

1. Public Open/Civic Space Types

(a) Pocket Park Standards



Pocket Parks are small scale public urban open spaces intended to provide recreational opportunities where (publicly accessible/park) space is limited. Typically, pocket parks should be placed within the Mixed-Use and Neighborhood Transition Zones. They are often located between buildings and developments; on single vacant lots; and on small irregular pieces of land. Low maintenance landscaping and facilities is recommended in order to support multiple pocket parks in a park system.

Development may include pavilions, picnic tables, small performance stage, seating areas, gathering areas, family play areas, gazebos, small game areas, small community gardens, dog parks, and interactive art. Shade and lighting is desired.

Typical Characteristics

General Character

Small urban open space responding to specific user groups and space available.

Range of character can be for intense use or aesthetic enjoyment. Low maintenance is essential.

Location and Size

0.25 – 1.99 acres

Within walking distance of either a few blocks or up to a ¼ mile of residences

Typical Uses

Varies per user group

(b) **Green Standards**



A Green is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the Green.

A Green shall be adjacent to a public right of way and be spatially defined by buildings which shall front onto and activate this space.

Typical Characteristics

General Character

- Open space
- Spatially defined by street and building frontages and landscaping
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

Location and Size

- 0.25 – 4 acres
- Minimum width – 25'
- Minimum pervious cover – 80%
- Minimum perimeter frontage on public right of way – 50%

Typical Uses

- Unstructured recreation
- Casual seating
- Commercial and civic uses
- No organized sports

(c) **Square Standards**



A square is a public urban open space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, or fountain may be provided within the square.

Typical Characteristics

General Character

- Formal open space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Abundant seating opportunities

Location and Size

- 0.25 – 4 acres
- Minimum width – 25'
- Minimum pervious cover – 60%
- Minimum perimeter frontage on public right of way – 60%
- Located at important intersections

Typical Uses

- Unstructured and passive recreation – no organized sports.
- Community gathering
- Occasional commercial and civic uses

(d) **Plaza Standards**



A plaza is a public urban open space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, to benches, to tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets. A minimum of one public street frontage shall be required for plazas.

Typical Characteristics

General Character

Formal open space

A balance of hardscape and planting

Trees important for shade

Spatially defined by building frontages

Location and Size

0.1 – 1 acre

Minimum width – 30'

Minimum pervious cover – 20%

Minimum perimeter frontage on public right of way – 25%

Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

Commercial and civic uses

Formal and casual seating

Tables and chairs for outdoor dining

Retail and food kiosks

(e) **Pocket Plaza Standards**



A pocket plaza is a small scale public urban open space that serves as an impromptu gathering place for civic, social, and commercial purposes. The pocket plaza is designed as a well-defined area of refuge separate from the public sidewalk. It is frequently located in a building supplemental zone next to the streetscape.

These areas contain a lesser amount of pervious surface than other open space types. Outdoor dining with café tables and chairs, water features, public art and other shaded amenities are appropriate uses.

Typical Characteristics

General Character

- Formal open space for gathering
- Defined seating areas
- Refuge from the public sidewalk
- Spatially defined by the building configuration

Location and Size

- Min. 300 s.f.
- Min. width – 15' / Max. width 20'
- Minimum pervious cover – 10 %
- Minimum perimeter frontage on public right of way – 25%
- Located at important intersections, at vista termini, or at entrances to public/civic buildings

Typical Uses

- Civic and commercial uses
- Formal and casual seating

(f) **Pedestrian Passage (Paseo) Standards**





Pedestrian passages or paseos are linear public urban open spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways provide direct pedestrian access to residential or other commercial addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm.

Pedestrian passages should consist of a hardscape pathway with pervious pavers activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Shade is required for the success of the paseo.

Typical Characteristics

General Character

Hardscape pathway with pervious pavers

Defined by building frontages

Frequent side entries and frontages

Shade Required

Minimal planting and potted plants

Maintain the character of surrounding buildings

Standards

Min. Width 15 feet

Typical Uses

Pedestrian connection and access

Casual seating

(g) Multi-Use Trail Standards



A multi-use trail is a linear public urban open space that accommodates two or more users on the same, undivided trail. Trail users could include pedestrians, bicyclists, skaters, etc. A trail frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Trails within greenways or neighborhood parks shall be naturally disposed with low impact paving materials so there is minimal impact to the existing creek bed and landscape.

Pedestrian amenities add to recreational opportunities, particularly in an urban setting. These include drinking fountains, scenic view posts, fitness stations, and directional signs, and may be spread along the trail or grouped in a trailhead area.

Typical Characteristics

General Character

Multi-use trail in Neighborhood Park:

Naturally disposed landscape

Low impact paving

Trees lining trail for shade

Appropriately lit for safety

Formally disposed pedestrian furniture, landscaping and lighting

Multi-use trail along Forest Ridge Dr.:

Paved trail with frequent gathering spaces and regular landscaping.

Standards

Min. Width 12 feet

Typical Uses

Active and passive recreation

Casual seating

(h) Family-friendly Play Area Standards



Family-friendly play areas are areas within urban open spaces that are conducive to the recreational needs of families with children. Family-friendly play areas range in style from urban pocket parks within mixed use developments to playscapes within neighborhood parks.

These play areas should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major streets to access. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided for ease of supervision.

Playscape equipment and design must be reviewed and approved by the City prior to installation. The need for fencing depends on the surrounding environment.

A larger playground may be incorporated into a neighborhood park, whereas a more intimate family oriented design may be incorporated into a pocket park.

Typical Characteristics

General Character

Focused toward family-friendly needs

Fencing depends on surroundings

Open shelter

Shade and seating provided

Play structure, interactive art or fountains

Standards

Min. Size 300 sq.ft.

Max. Size N/A

As described by open space type in which playground is located

Protected from traffic

No service or mechanical equipment

Typical Uses

Active and passive recreation

Unstructured recreation

Casual seating

2. Private Common Open Space Types

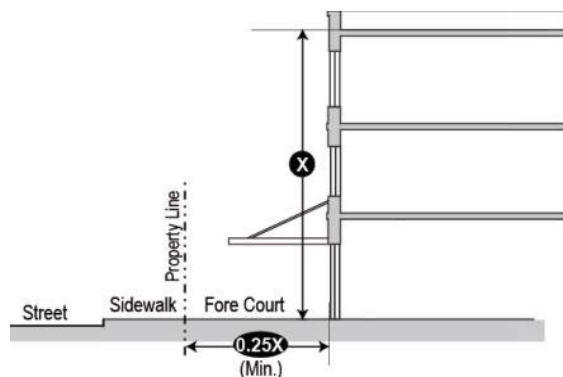
(a) Forecourt Standards



Forecourt is a small scale private common open space surrounded on at least two sides by buildings. A forecourt is typically a building entry providing a transition space from the sidewalk to the building. The character serves as a visual announcement of the building to visitors with additional amenities such as signage, water features, seating, planting, etc.

Forecourts should be laid out proportionate to building height with a 1:4 (min.) ratio (see figure below). In order to offset the impact of taller buildings, the detail of the forecourt level should seek to bring down the relative scale of the space with shade elements, trees, etc.

The hardscape should primarily accommodate circulation. Seating and shade are important for visitors. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.



Typical Characteristics

General Character

- Small scale private common open space
- Defined by buildings on at least 2 sides with connection to public sidewalk
- Size of court should be proportionate to building height
- Hardscape should accommodate entry circulation
- Trees and plants are critical
- Enhance the character of surrounding buildings

Standards

- Min. Width 25'
- Minimum Size Depth: Based on building height ratio; Width: min. of 50% of the building's frontage along that street

Minimum pervious cover – 30%

Typical Uses

- Building Entry Circulation
- Visual building announcement

(b) Courtyard Standards



Courtyards are small scale private common open spaces surrounded on at least three sides by buildings with a pedestrian connection to a public sidewalk. Courtyards maintain the character and style of the surrounding buildings.

Courtyards should be laid out proportionate to building height between 1:1 and 2:1 ratio. In order to offset the impact of taller buildings, the detail of the courtyard level should seek to bring down the relative scale of the space with shade elements, trees, etc. Transition areas should be set up between the building face and the center of the court.

The hardscape should accommodate circulation, gathering, seating, and shade. Trees and plantings are critical to create a minimum of 30% pervious cover and offset the effect of the urban heat island.

Typical Characteristics

General Character

Small scale private common open space

Defined by buildings on at least 3 sides with connection to public sidewalk

Size of court should be proportionate to building height

Hardscape should accommodate circulation, gathering, and seating.

Trees and plants are critical

Maintain the character of surrounding buildings

Standards

Min. Width 25'

Minimum Area 650 s.f.

Minimum pervious cover – 30%

Typical Uses

Gathering

Casual seating

(c) Roof Terrace Standards





A Roof Terrace is a private common open space serving as a gathering space for tenants and residents that might not be at grade.

Up to 50% of the required private common open space may be located on a roof if at least 30 % of the roof terrace is designed as a Vegetated or Green Roof. A Vegetated or Green roof is defined as an assembly or system over occupied space that supports an area of planted beds, built up on a waterproofed surface.

Private common open space on a roof must be screened from the view of the adjacent property. The hardscape should accommodate circulation, gathering, seating, and shade.

Typical Characteristics

General Character

Small scale private common open space on roof top

Screened from view of adjacent property

Vegetated portion critical

Hardscape should accommodate gathering, seating, shade

Provides common open space that might not be available at grade

Standards

Min. Area 50% of the roof top

Planted area – 30% min.

Typical Uses

Gathering for tenants and residents

Green Roof

Attachment 7: Definitions

Many terms used in this Document are defined in the Zoning Regulations. Definitions are only included here if not defined in the ZR, or if the definition for this Document differs from the ZR. In case of a conflict between the definitions under this Section and the ZR, the definitions in this section shall supersede.

A

Accessory Unit

A Secondary/ Garage Apartment Building Type is an accessory structure typically located at the rear of a lot. This structure typically provides either a small accessory residential unit or home office space that may be above a garage or at ground level. This Building Type is important for providing affordable housing opportunities within Reynolds Road.



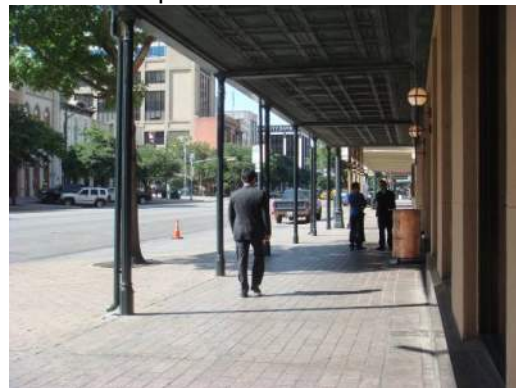
Image of an accessory unit over a garage.

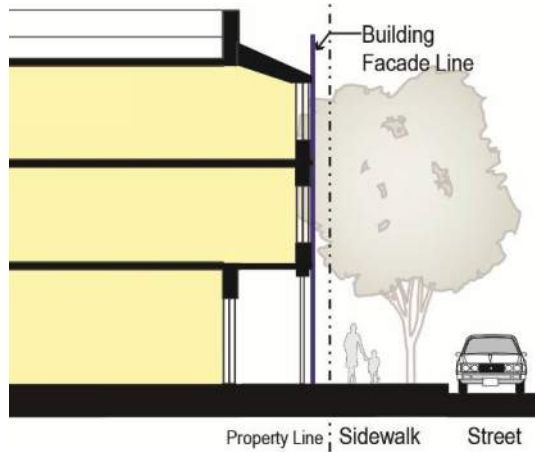
Allowable Adjustment

Means a requested adjustment allowed in the HOB standards per the Allowable Adjustments provision of Section 3.0 - Administration. The Director shall have the authority to administratively approve a request for an allowable adjustment.

Arcade or Colonnade

A portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and may be one or two stories. The ground floor area within the arcade may be conditioned or non-conditioned space.





Images of arcade frontages

B

Build-to Zone (BTZ)

Is the area between the minimum and maximum front setbacks from the property line. The principal building façade line shall be located within this area.

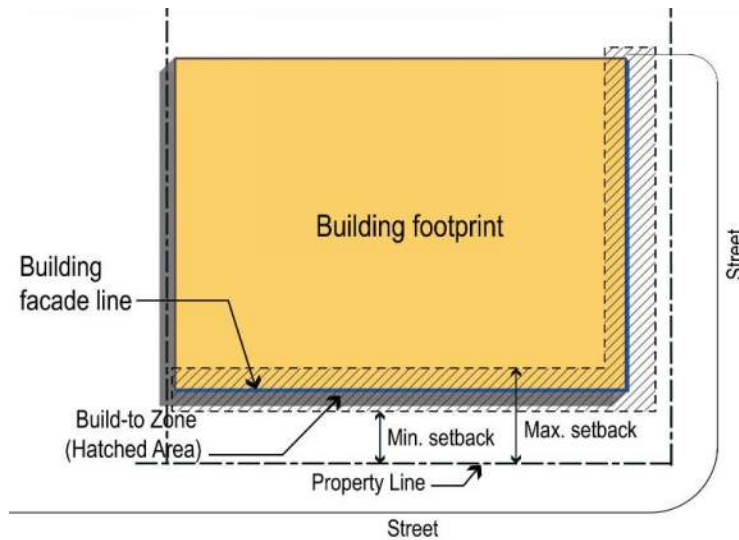


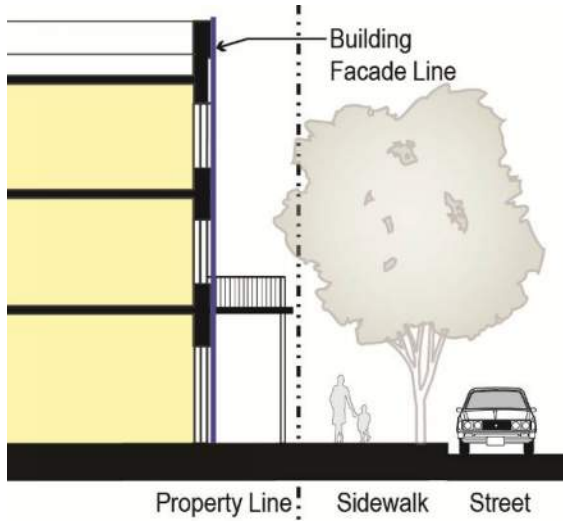
Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line.

Building Form and Site Development Standards

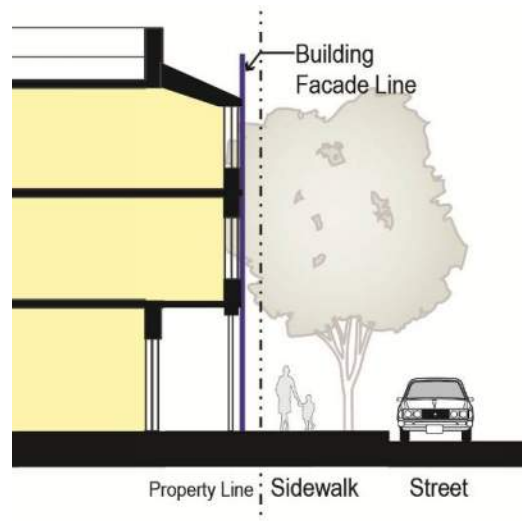
Standards established for each Character Zone including but not limited to building placement, building height, parking, service access, and other functional design standards.

Building Façade Line

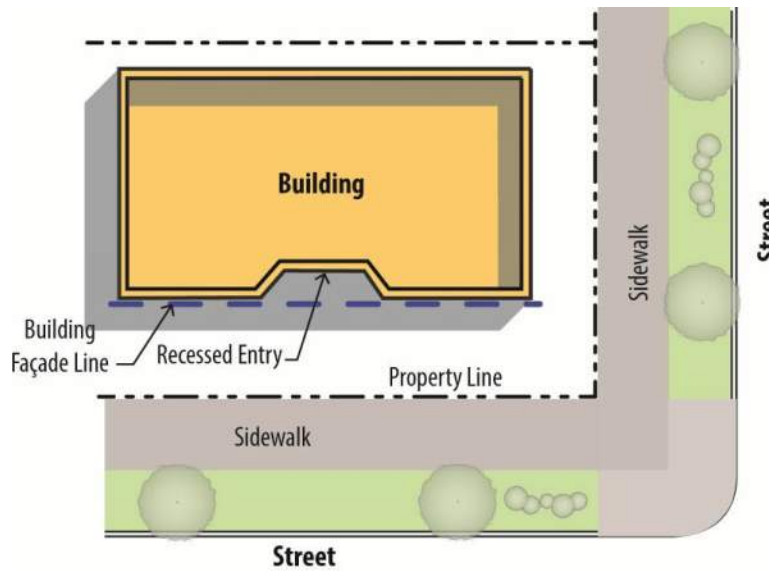
The location of the vertical plane of a building along a street frontage.



Section View – Gallery Frontage



Section View – Arcade Frontage



Plan View

Building Façade Line Illustrations

Building Frontage

The percentage of a building’s façade line that is required to be located within the Build-to-Zone (BTZ) as a proportion of the lot’s width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building frontage.

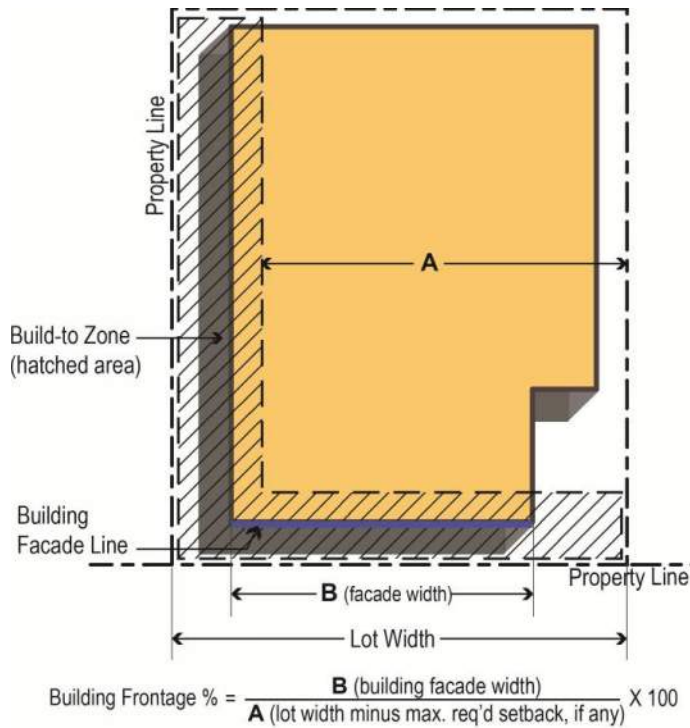


Image showing Building Frontage calculation

Building Step-Back

Building step-back is the setting back of the building façade line away from the street at a specific floor or height.

C

Character Zone

Means an area within the HOB Zoning District that is intended to preserve and/or create an urban form that is distinct from other areas within the Plan Area. Character Zones are identified in the Regulating Plan.

Commercial Use or Mixed-Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses). Standards for Commercial Ready frontage are in Section 6.4. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction codes for commercial uses. The intent of Commercial Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Complete Street

Means a street that not only accommodates various modes of transportation such as automobiles, transit, bikes, and pedestrians, but also establishes a design context that is conducive for redevelopment along the street.

Cottage Court

The Cottage Court building type consists of a series of small, detached structures, providing multiple units arranged to define a shared court that is typically perpendicular to the street. The shared court takes the place of a private rear yard and becomes an important community-enhancing element of this type. This type is appropriately scaled to fit as transitions between single-family neighborhoods and commercial corridors. It enables appropriately-scaled, well-designed infill residential and is important for providing a broad choice of housing types and promoting walkability.



Image of a cottage court.

Cottage

The Cottage building type consists of small, one-story single-family detached residential units that are built close to the street and each other. They are typically side yard/zero lot line homes with a small yard or patio space. They may also be called patio homes. This type of building enables appropriate infill residential within existing neighborhoods and is important for providing a broad choice of housing types and promoting walkability.



Image of a cottage home.

D

Director

Shall be the Planning and Development Department Director or designee.

Duplex

The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and promoting walkability.



Image of a duplex home type.

E

Encroachment

Means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public right-of-way, or above a height limit.

F

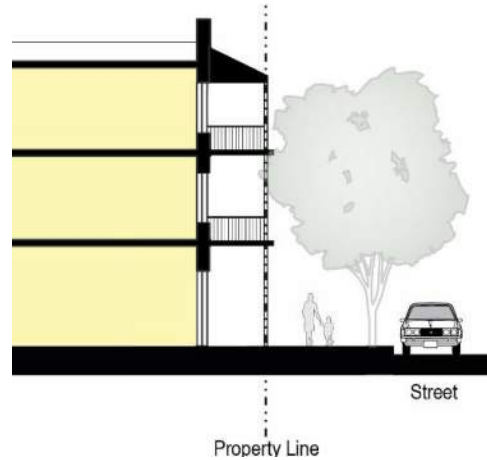
Façade Area

Means the surface area of a building's elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building's ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building's upper floor elevations not counting minor indentations fronting a particular street.

G

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is an unenclosed (non-conditioned) space and may be 2 or more stories tall.



Images of Galleries

H I J

J-Swing Garage

A home with a driveway that loads from the primary street and swings into the side of the home to enter the garage. Two of these homes side-by-side, should share a driveway or a curb-cut to driveways and have garages facing each other.



Images of a home with a J-Swing Garage from the front and side of home.

K L

Live-Work Unit

Means a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the ZR in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.



Image of a live-work building type.

M

Mansion Home

A multi-unit building (2 to 4 units) that is designed to appear as a large home from the exterior, but functions as a multi-unit building on the interior. Mansion Homes have one main front door for the building, but may also have side and rear entries. Parking is accessed from an alley or a driveway to the rear of the lot. Parking does not face a public right-of-way.



Images of Mansion Homes

N

Numerical Standard

Means any standard that has a numerical limit (minimums and maximums) or value as established within both the text and graphic standards of the HOB Code.

O

Heart Of Bryant Area Development Code (HOB) Zoning District

The HOB Zoning District is the zoning designation intended to implement the Illustrative Vision. It facilitates pedestrian-oriented, mixed-use, urban infill redevelopment, providing shopping, employment, housing, and business and personal services. The HOB zoning district supports economic development, a sustainable tax base, and job creation/retention by: (a) providing a

streamlined and simplified approval process; (b) establishing adjacency predictability in the built environment; (c) offering flexibility to changing market conditions; (d) reducing risk to private investment/development; (e) synchronizing private investment/development with public capital investment policies; and (f) calibrating zoning regulations with vision for redevelopment in the Heart Of Bryant Plan Area.

Heart Of Bryant Area Development Regulating Plan (Regulating Plan)

The official Zoning Map for the HOB Zoning District. The Regulating Plan graphically depicts development standards including Character Zones, Street Designations, and Special Requirement(s) applicable to properties within the OTAD Zoning District.

Heart Of Bryant Area Illustrative Vision or Vision

The Illustrative Plan for redevelopment of the Heart Of Bryant Plan Area. The Illustrative Vision serves as a meaningful policy guide for City officials, City staff, property owners, private developers, and citizens when considering development/redevelopment decisions in the Plan Area. The Heart of Bryant Illustrative Vision includes a number of preferred redevelopment concepts such as encouraging adaptive reuse of existing buildings, encouraging new mixed-use and urban residential infill growth, improving pedestrian walkability and connectivity, creating compatible physical scales and transitions, and fostering long-term economic development through the concept of “place.” This Illustrative Vision is a composite of several building scale illustrations of preferred redevelopment concepts.

Open Space

Publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in Section 8.0 of this Code. Open space may be privately or publicly owned and/or maintained.

P

Patio Homes

Single-family detached or attached (duplex) homes of no more than two attached units, each located on a small lot that has at least some private yard space, generally in the back and/or side yards, but also possibly a small front yard. These types of homes may also be called “Villa” or “Zero Lot Line” homes if the homes are located on one of the side property lines.

Parking Setback Line

Means the distance that any surface parking lot is to be set back from either the principal building façade line or property line along any street frontage (depending on the specific standard in the Character Zone). Surface parking may be located anywhere behind the parking setback line on the property.

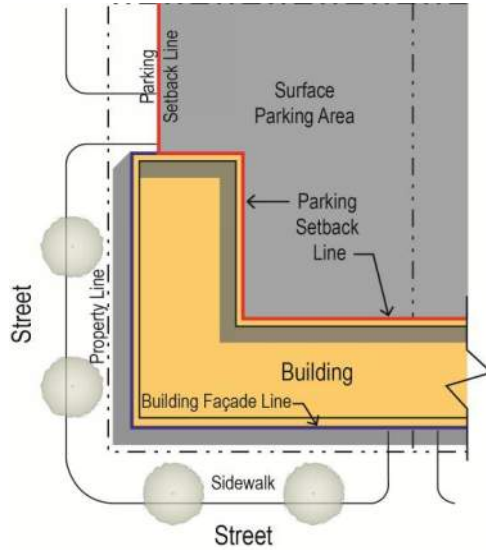


Illustration of a parking setback line

Perimeter Frontage

Means the measurement of a proportion of public street frontage of the total exterior perimeter of a park or open space area.

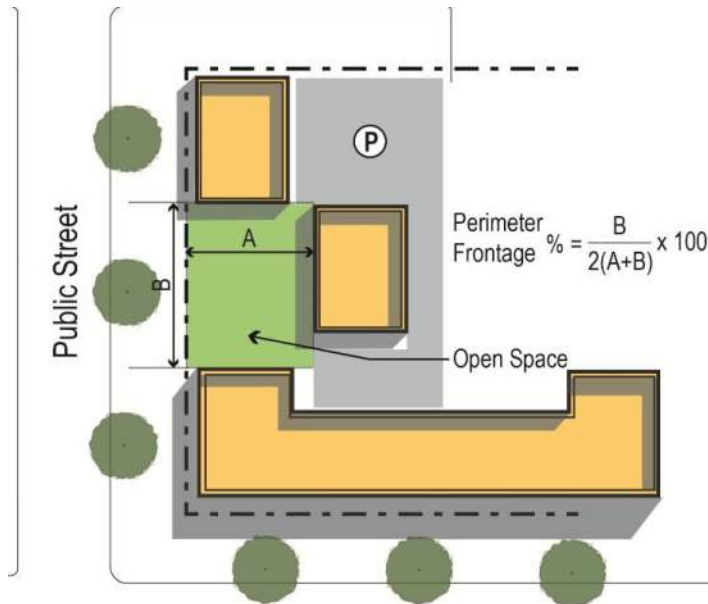


Illustration showing how Perimeter Frontage is calculated for Open Space along a Public Street

Primary Entrance

The public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Q R

Residential Use Building

A building that is built to accommodate only residential uses on all floors of the building, such as a detached single-family home, attached single-family home (i.e. townhome), two-family home (i.e. duplex), mansion home (3 – 4 units), apartment building (5 or more units; under single ownership or under multiple owners within a condominium regime).

S

Service-Related Uses

Means all uses that support the principal use on the lot including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Frontage Designation

As identified on the Regulating Plan, existing and recommended streets in the HOB Plan Area are designated as Pedestrian Priority, Pedestrian-Friendly, or General Streets. Each frontage designation establishes a certain development context in order to improve walkability and pedestrian orientation within the HOB Plan Area.

Street Screen

A freestanding wall, living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a “wall” or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a “void” if there is a surface parking lot or service area adjacent to the sidewalk/street.

T

Townhouse/Row house

The Townhouse or Row house is a small to medium-sized typically attached structure that consists of 2–8 houses placed side-by-side. This type of residential building is typically located in a location that transitions from a primarily single-family neighborhood into a commercial corridor. This type of building enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and promoting walkability.



Image of townhomes.

U V W X Y Z

Urban Home

An Urban Home building type is typically a 2-story single-family dwelling unit on narrow lots. Homes are built close to the street and they may be side yard/zero lot line homes or edge yard homes. This type of building enables appropriate infill residential within existing neighborhoods and is important for providing a broad choice of housing types and promoting walkability.



Image of an urban home type.

Utility Compatible Trees

Trees that are single trunk trees in order to minimize potential conflict with pedestrians. They shall be a minimum of 3" caliper at the time of planting.