

# BRYANT ADMIN RENOVATION

BRYANT SCHOOL DISTRICT  
1511 NORTH REYNOLDS ROAD BRYANT, AR  
72022



## PROJECT INFORMATION

DRAWINGS AND PROJECT MANUAL APPROVED AND IDENTIFIED AS PARTS OF THE OFFICIAL CONTRACT DOCUMENT

OWNER: BRYANT SCHOOL DISTRICT  
FACILITY: BRYANT ADMIN RENOVATION  
LOCATION: 1511 NORTH REYNOLDS ROAD BRYANT, AR 72022

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

ARCHITECT: LEWIS, ELLIOTT, MCMORRAN, VADEN,  
RAGSDALE, & WOODWARD INCORPORATED  
ADDRESS: 11225 HURON LANE, SUITE 104  
LITTLE ROCK, ARKANSAS 72211

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROJECT NUMBER: 23001  
DRAWINGS AND PROJECT MANUAL DATED: 02-02-2023

## DESIGN DATA

**GENERAL CODES:**  
INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION

**SEISMIC:**  
SEISMIC RISK CATEGORY 2021 IBC  
SEISMIC DESIGN CATEGORY

**ACCESSIBILITY STANDARDS**  
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010 EDITION

**OCCUPANCY CLASSIFICATION:**  
BUSINESS IBC 305

**BUILDING CONSTRUCTION TYPE:**  
V-B-UNSPRINKLED IBC TABLE 601

**ALLOWABLE BUILDING HEIGHT AND AREA:**  
GROUP B - TYPE VB 2 STORY/40 FT TALL/9,000 SQ. FT. PER FLOOR  
FRONTAGE INCREASE +6,750 SF PER FLOOR

**TOTAL BUILDING SQUARE FOOTAGE:**  
TOTAL SQUARE FOOTAGE 10,433 SQ. FT.  
RENOVATION SQUARE FOOTAGE 4,486 SQ. FT.

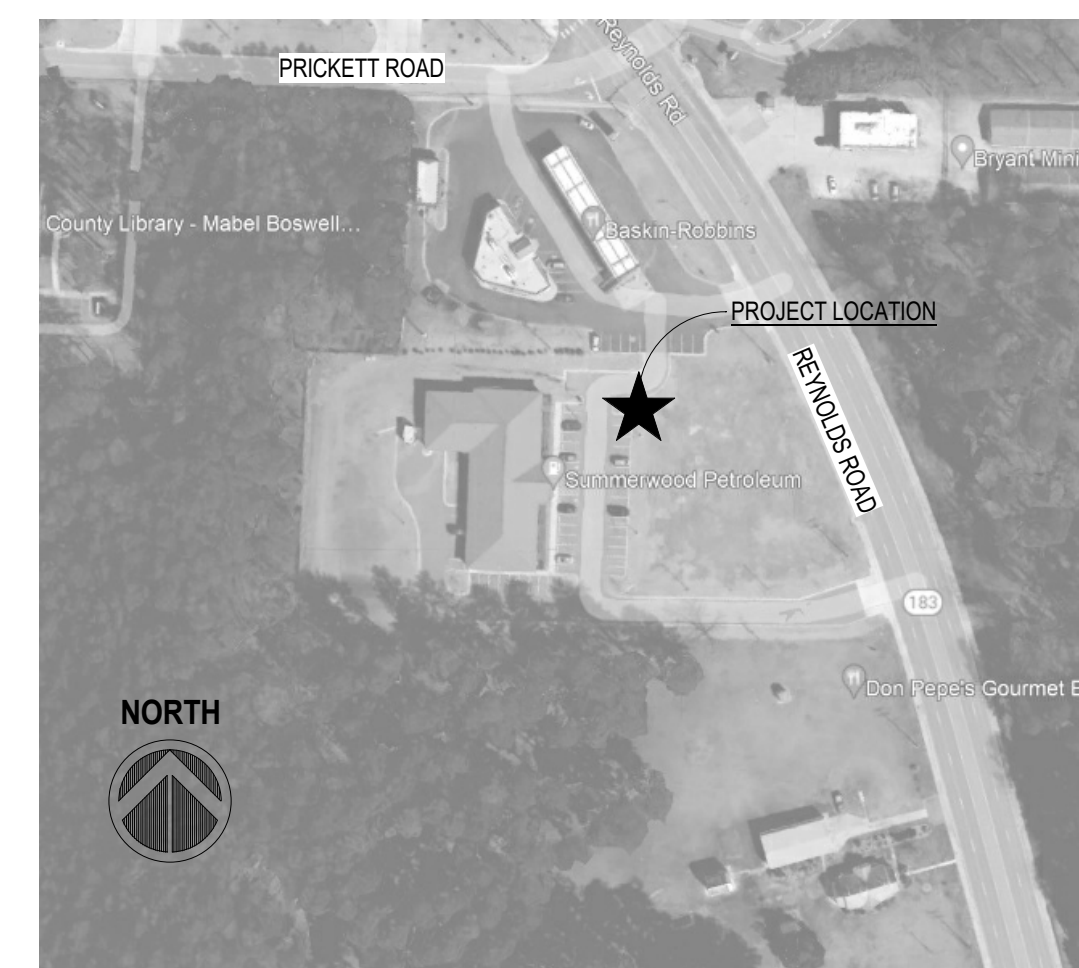
**FIRE PROTECTION**  
PORTABLE FIRE EXTINGUISHERS NFPA 10

**CERTIFICATION STATEMENT:**  
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION, I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE "ARKANSAS FIRE PREVENTION CODE" FOR THE STATE OF ARKANSAS.

LEWIS, ELLIOTT, MCMORRAN, VADEN, RAGSDALE, & WOODWARD, INCORPORATED

*[Signature]* 2.7.23

## VICINITY MAP



## INDEX OF DRAWINGS

T1.1 TITLE SHEET

### ARCHITECTURAL

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- A2.0 DEMO PLAN
- A2.1 FLOOR PLAN
- A3.1 BUILDING ELEVATIONS
- A4.1 BUILDING SECTIONS
- A5.1 WALL SECTIONS
- A6.1 REFLECTED CEILING PLAN
- A7.1 ROOF PLAN
- A8.1 DOOR & WINDOW SCHEDULES/DETAILS
- A9.1 FINISH SCHEDULE & MILLWORK ELEV./DETAILS

### STRUCTURAL

- S1.1 PARTIAL FOUNDATION & ROOF FRAMING PLANS, STRUCTURAL NOTES
- S2.1 STRUCTURAL DETAILS
- S2.2 STRUCTURAL DETAILS

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- P1.1 FLOOR PLAN - PLUMBING
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### MECHANICAL

- M1.1 FLOOR PLAN - HVAC
- M2.1 SCHEDULES
- M3.1 DETAILS

### ELECTRICAL

- E0.1 SITE PLAN - ELECTRICAL
- E1.0 DEMOLITION PLAN - ELECTRICAL
- E2.1 FLOOR PLAN - LIGHTING
- E3.1 FLOOR PLAN - POWER & SYSTEMS
- E4.1 ELECTRICAL SCHEDULES, DETAILS, AND RISERS
- E5.1 ELECTRICAL LEGENDS, DETAILS, AND NOTES

## MATERIAL LEGEND

- MASONRY (PLAN)
- METAL STUD FRAMING (PLAN)
- GYPSUM PANELS
- WOOD BLOCKING CONTINUOUS (SECTION)
- WOOD BLOCKING AS NEEDED (SECTION)
- WOOD FINISHED FACE OR SOLID WOOD
- WOOD PLYWOOD (SECTION)
- CONCRETE (SECTION)
- RIGID INSULATION (SECTION)
- BATT INSULATION (SECTION)
- FILL MATERIAL (SECTION)
- REPLACED SOIL (SECTION)

## SYMBOL LEGEND

- DOOR MARK, SEE DOOR SCHEDULE
- CASEWORK ELEVATION MARK
- WINDOW / STOREFRONT FRAME MARK
- CLASSROOM** → ROOM NAME
- ROOM NUMBER
- ROOM CEILING HEIGHT
- CEILING FINISH
- DETAIL / SECTION NUMBER
- SHEET NUMBER

## ABBREVIATIONS

- AFF ABOVE FINISH FLOOR
- AT ALUMINUM THRESHOLD
- CEJC CEILING EXPANSION JOINT COVER
- CJ CONTROL JOINT
- CLG CEILING
- CONC CONCRETE
- CONT CONTINUOUS
- DTL DETAIL
- FD FLOOR DRAIN
- FEC FIRE EXTINGUISHER CABINET
- FEJ FLOOR EXPANSION JOINT
- FLR FLOOR
- GB GRAB BAR
- MECH MECHANICAL
- NHO NORMALLY HELD OPEN
- NTS NOT TO SCALE
- OPG OPENING
- REQ REQUIRED
- SHT SHEET
- SIM SIMILAR
- STO STORAGE
- TYP TYPICAL
- WEJC WALL EXPANSION JOINT COVER

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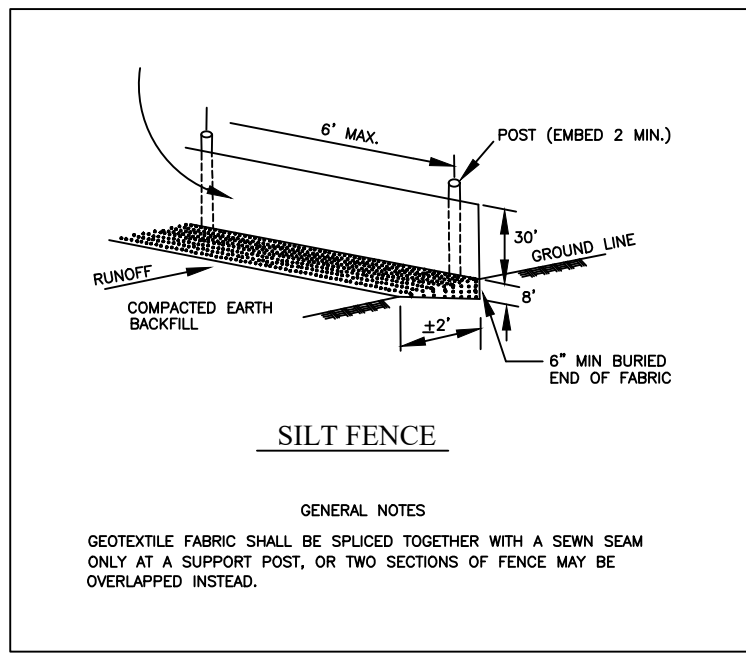
LEWIS  
ARCHITECTS  
ENGINEERS

BRYANT ADMIN RENOVATION  
BRYANT SCHOOL DISTRICT  
1511 NORTH REYNOLDS ROAD  
BRYANT, AR 72022

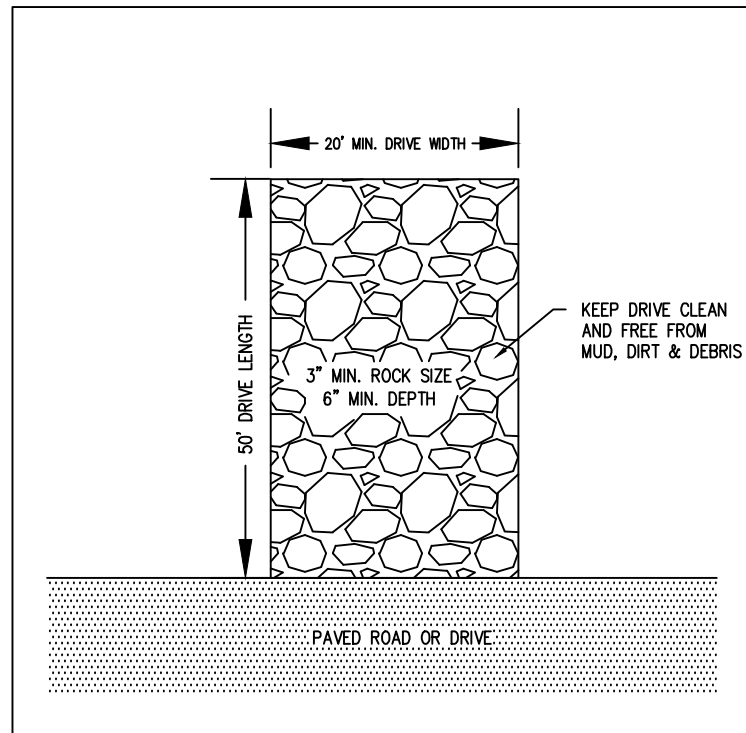


DATE: 02-02-2023  
PROJECT NO: 23001  
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REVISION:

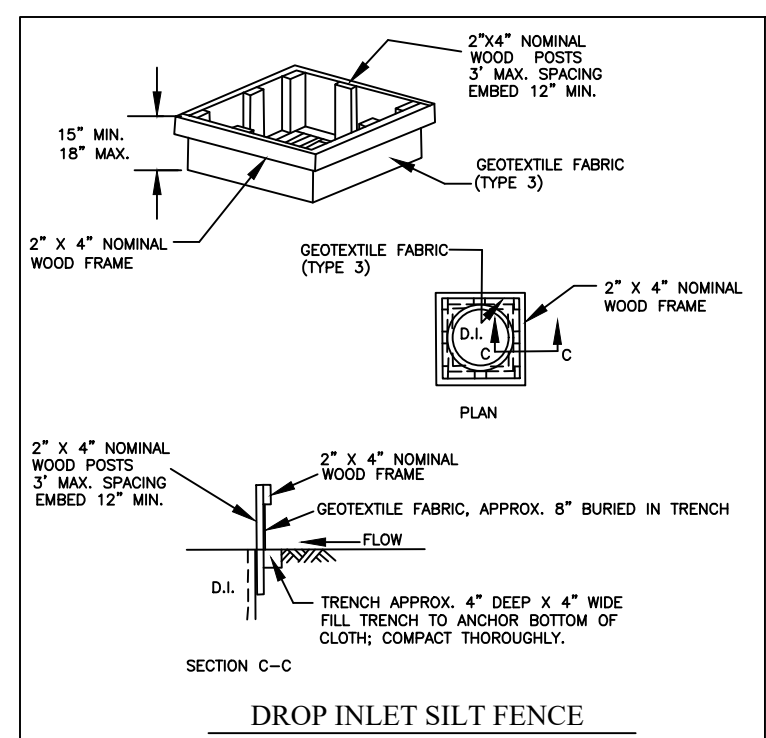
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1 OF 1



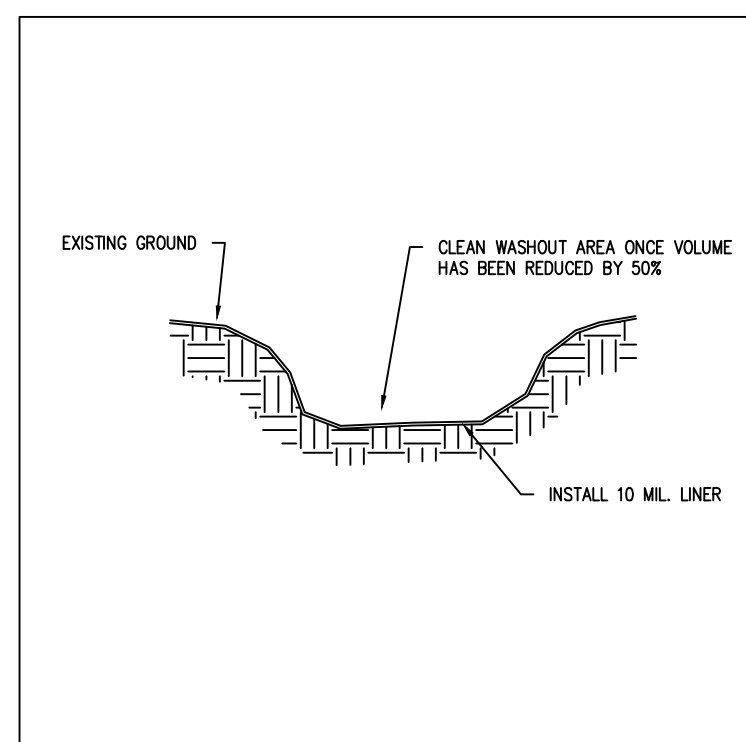
2  
C1.0 **SILT FENCE DETAIL**  
SCALE: N.T.S.



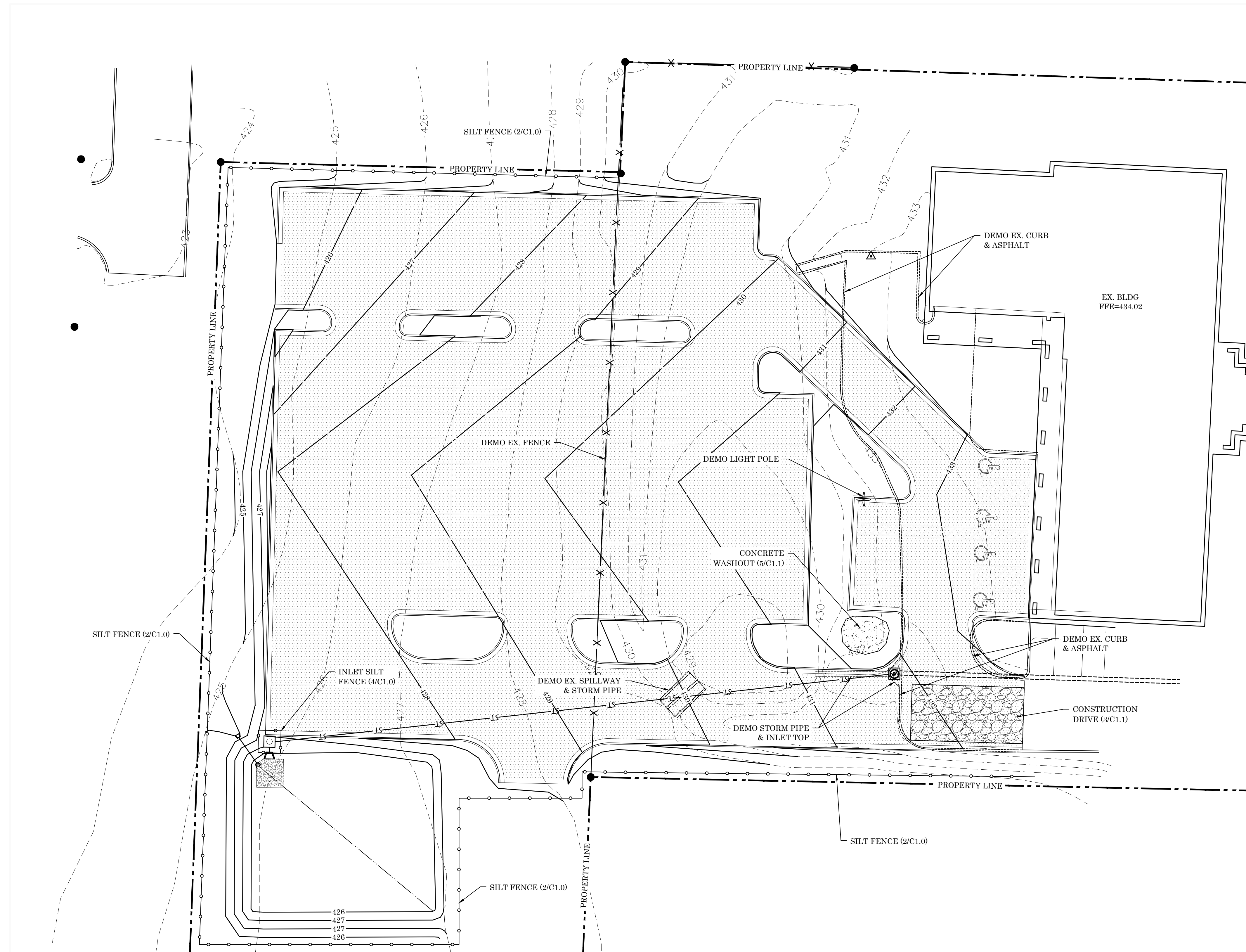
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C1.0 **CONSTRUCTION DRIVE DETAIL**  
SCALE: N.T.S.



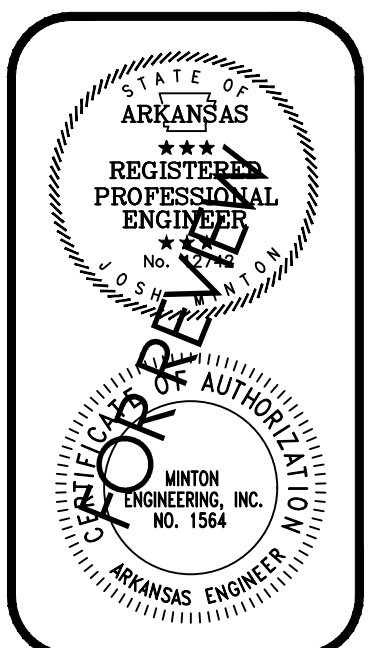
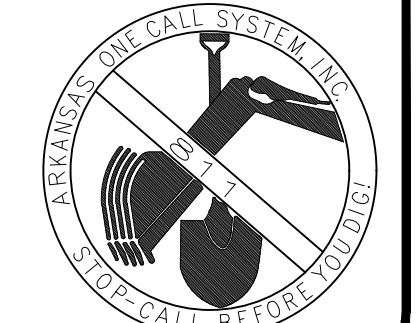
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C1.0 **INLET SILT FENCE DETAIL**  
SCALE: N.T.S.



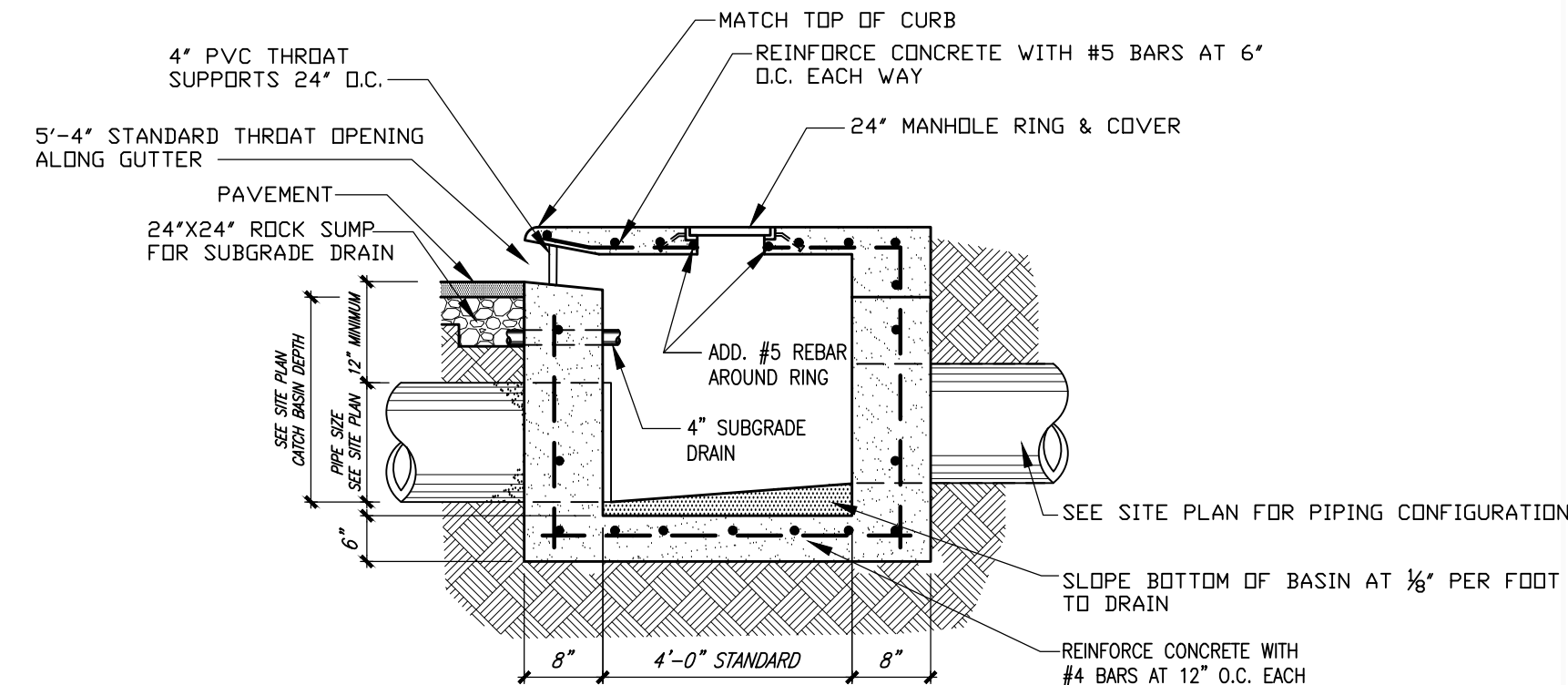
5  
C1.0 **CONCRETE WASHOUT DETAIL**  
SCALE: N.T.S.



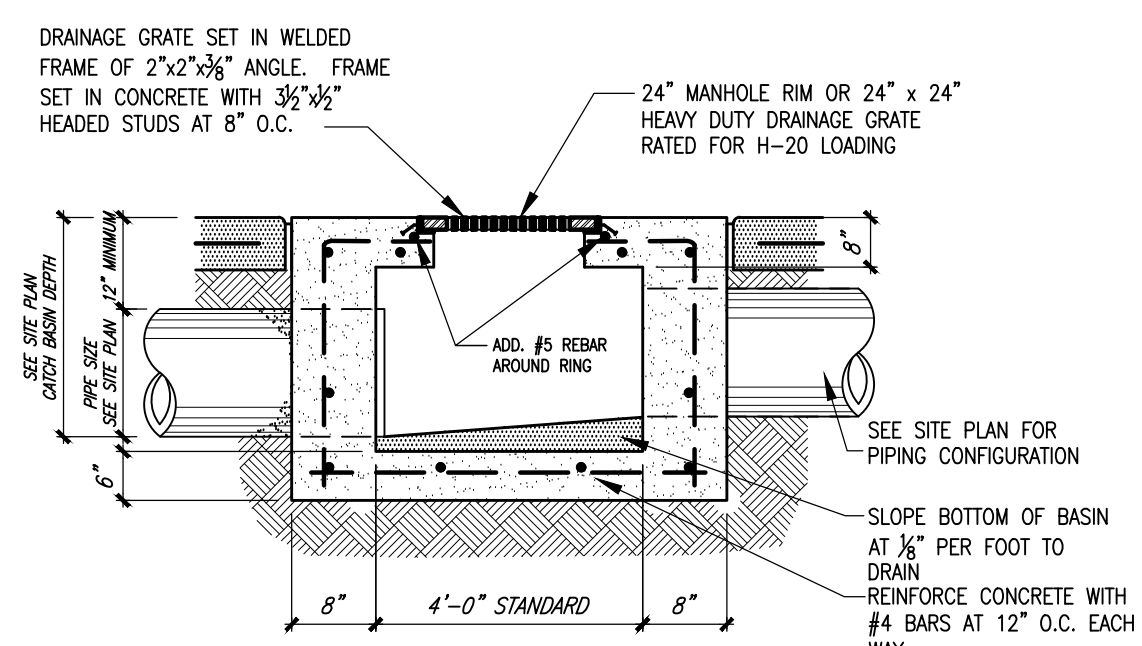
- GENERAL EROSION CONTROL NOTES:**
1. THE CONTRACTOR WILL PRODUCE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT MEETS THE REQUIREMENTS SET FORTH BY THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY & THE CITY OF BENTON.
  2. THE CONTRACTOR WILL FILL OUT INSPECTION REPORTS AND LOG RAINFALL DATA AS REQUIRED BY THE SWPPP.
  3. THE CONTRACTOR WILL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING DIRTWORK ACTIVITIES ON THIS SITE.
  4. THE CONTRACTOR WILL IMMEDIATELY CLEAN UP ANY SEDIMENT THAT LEAVES THIS SITE.
  5. THE CONTRACTOR WILL RE-ESTABLISH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SWPPP.
  6. THE CONTRACTOR WILL REMOVE ALL EROSION CONTROL MEASURES ONCE THE SITE HAS BEEN RE-ESTABLISHED.



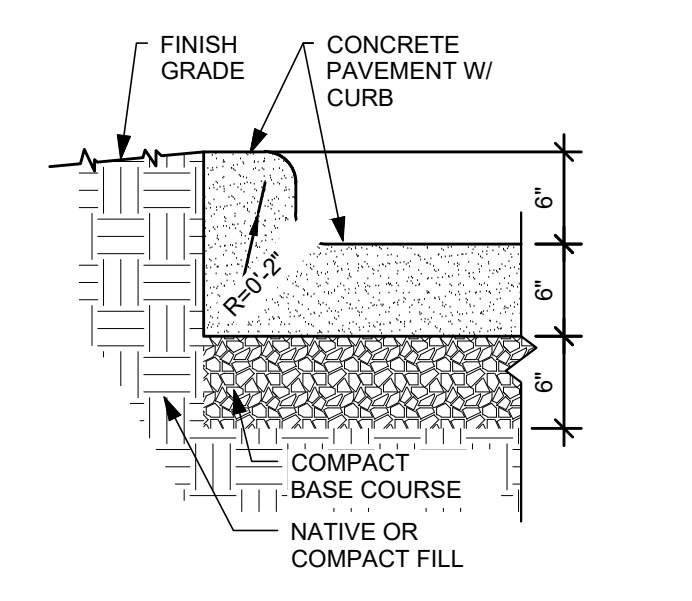
DATE: FEB. 20, 2023  
PROJECT NO: 23001  
DRAWN BY: JM  
REVISION:



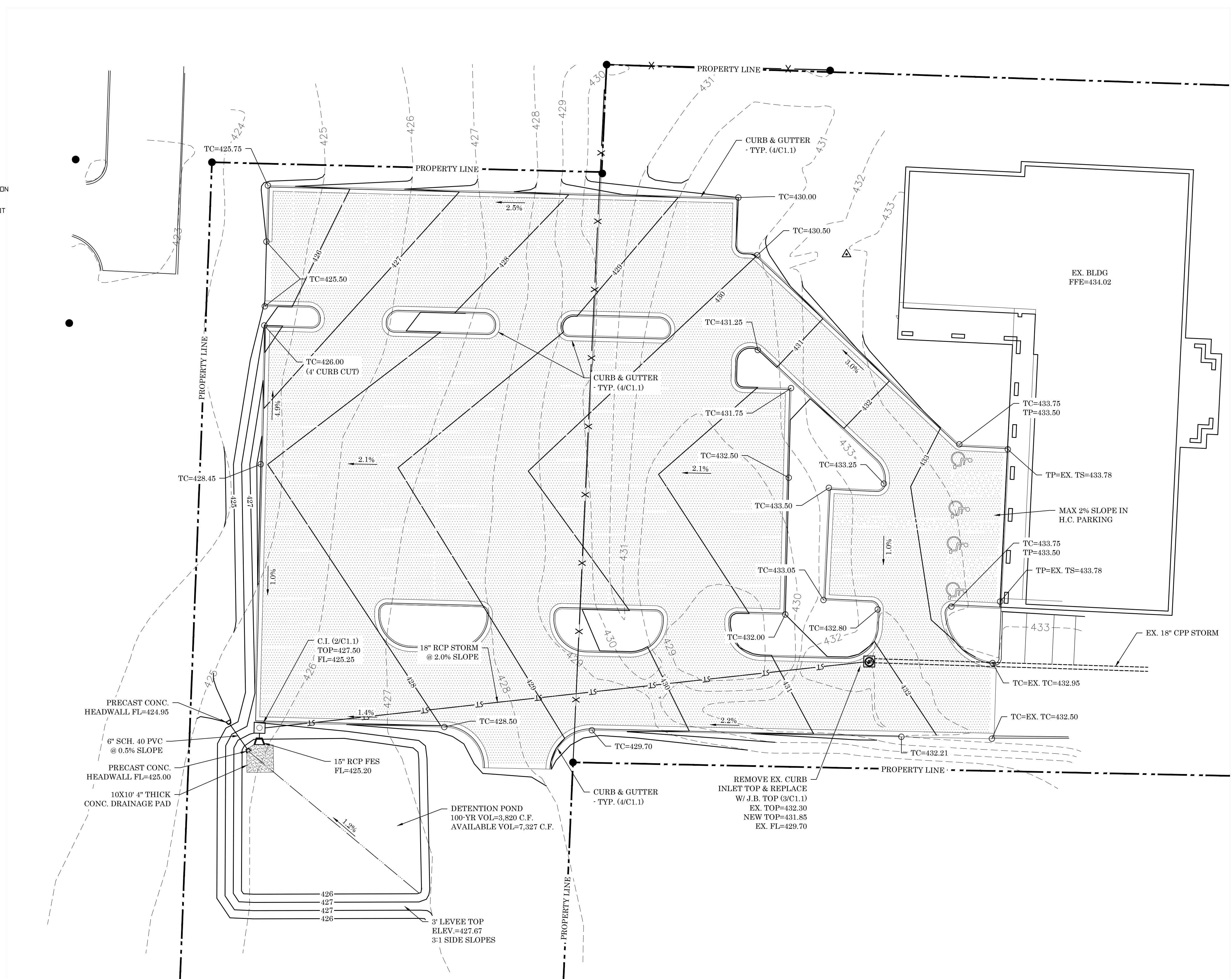
2 STORM DRAINAGE CURB INLET (C.I.) DETAIL  
C1.1 NOT TO SCALE



3 STORM DRAINAGE JUNCTION BOX (J.B.) DETAIL  
C1.1 NOT TO SCALE



4 CURB & GUTTER DETAIL  
C1.1 NOT TO SCALE

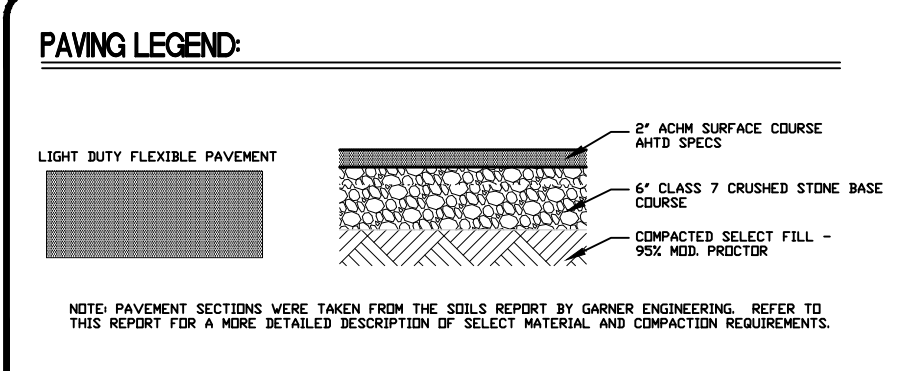


1 NORTH SITE GRADING & STORM DRAINAGE PLAN  
SCALE: 1" = 20'  
0 20 40

- GENERAL SITE GRADING NOTES**
- ALL BIDDERS SHALL FIELD VERIFY EXIST SITE CONDITIONS SO AS TO BE FAMILIAR WITH PROJECT PRIOR TO BIDDING WORK INCLUDED IN THIS CONTRACT. ANY DISCREPANCIES SHALL BE ADDRESSED PRIOR TO BIDDING.
  - CONTRACTOR TO VERIFY AND MARK ALL EXISTING UTILITIES PRIOR BEFORE ANY DEMOLITION OR NEW CONSTRUCTION WORK COMMENCES.
  - ALL WORK SHALL CONFORM TO LOCAL & STATE CODES, ELECTRICAL & PLUMBING LINES SHALL BE INSTALLED BY PROFESSIONALS LICENSED BY THE STATE OF ARKANSAS.
  - FIELD VERIFY EXACT LOCATION OF ALL EXISTING TREES, EXIST TREES NOT IN CONSTRUCTION AREA TO BE PROTECTED WITH 2" WOOD PLANKS CONT. IN LINE WITH DRIP EDGE OF TREE, SECURED TOGETHER & FLAGGED WITH ORANGE TAPE, HEAVY EQUIPMENT TO WORK AS FAR AS POSSIBLE FROM EXIST TREES TO PREVENT DAMAGE TO FEEDER ROOTS, CONTRACTOR WILL BE REQUIRED TO COMPENSATE OWNER FOR ANY EXISTING TREES WHICH ARE DAMAGED OR DIE DUE TO CONSTRUCTION WORK.
  - THE GENERAL CONTRACTOR SHALL HAVE THE GEOTECHNICAL ENGINEER EMPLOYED TO OBSERVE SITE WORK MEET WITH THE GEOTECHNICAL ENGINEER THAT PROVIDED THE SOIL'S REPORT. THIS MEETING SHOULD OCCUR AT OR BEFORE THE PRE-CONSTRUCTION MEETING TO INSURE THE AMOUNT OF UNDERCUT THAT MAY BE REQUIRED FOR THE PROJECT. RECOMMENDATIONS BY GEO-TECHNICAL ENGINEER SHALL NOT BE IMPLEMENTED INTO WORK WITHOUT AUTHORIZATION FROM OWNER & ARCHITECT. NOTIFY ARCHITECT IMMEDIATELY IF UNDESIRABLE SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR WILL REFERENCE THE GEOTECHNICAL REPORT FOR A MORE DETAILED DESCRIPTION OF EARTHWORK AND COMPACTION REQUIREMENTS.
  - SEQUENCE OF DIRTWORK ACTIVITIES (REFERENCE GEOTECH REPORT):  
1) THE SITE WILL BE CLEARED OF ALL TREES NECESSARY FOR SITE CONSTRUCTION. SEE CLEARING LIMITS.  
2) THE TOP 1" OF SOIL WILL BE STRIPPED UNDER ALL STRUCTURAL ELEMENTS (BUILDINGS, PARKING & DRIVE AREAS). THIS MATERIAL CAN BE USED ON SITE AS UNDESIRABLE FILL (GREEN SPACES).  
3) SITE GEOTECH REPORT FOR UNDERCUT RECOMMENDATIONS. SELECT FILL WILL BE PLACED TO 10' OUTSIDE BUILDING, 5' OUTSIDE THE CURB FOR DRIVES AND PARKING.  
4) PROOF ROLL ALL SUBGRADE PRIOR TO PLACING FILL, REMOVE AND REPLACE WITH COMPACTED SELECT FILL AS DIRECTED BY GEOTECH.  
5) SELECT FILL WILL BE PLACED IN LOTS & COMPACTED TO ASH WORKED PROCTOR WITHIN 2% OPTIMUM MOISTURE CONTENT. SEE GEOTECH REPORT FOR SELECT FILL REQUIREMENTS, ON-SITE MATERIAL BELOW THE 1" STRIPPING MAY BE USED FOR SELECT FILL, VERIFY WITH GEOTECH.
  - ALL HANDICAP PARKING AND ACCESSIBLE ROUTES SHALL MEET ADA REQUIREMENTS. MAXIMUM CROSS-SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 2.0% AND THE MAXIMUM RUNNING SLOPE ON ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 5.0% WITHOUT HANDRAILS AND LANDING AREAS. 5% WITH HANDRAILS AND LANDING AREAS. HANDICAP PARKING AREAS SHALL NOT SLOPE MORE THAN 2.0% IN ANY DIRECTION. EACH HANDICAP PARKING SPOT SHALL HAVE A SIGN. THE CONTRACTOR WILL REFER TO THE "CODE OF FEDERAL REGULATIONS" 28 CFR PART 36 "ADA STANDARDS FOR ACCESSIBLE DESIGN" FOR A MORE DETAILED DESCRIPTION OF SIGNAGES.

**SITE LEGEND:**

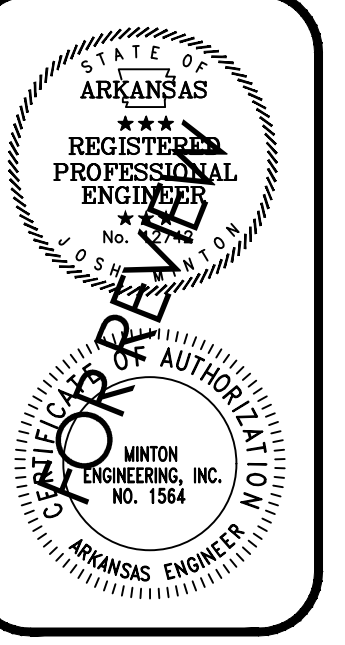
---	EX. CONTOUR LINE
---	PROPERTY LINE
S	EX. SEWER LINE
G	EX. GAS LINE
E	EX. OVERHEAD ELECTRIC
V	EX. WATER LINE
EX. TREE	
PR	PR. CONTOUR
V	PR. WATER
S	PR. SEWER
G	PR. GAS
ST	PR. STORM PIPE
W	PR. WATERLINE BLOCKING
PR	PR. CONCRETE
TS	TOP OF SIDEWALK
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TG	TOP OF GROUND
TT	TOP OF TRACK
RCAP	REINFORCED ARCH CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE
FL	FLDW. LINE
C.D.T.G.	CLEAN OUT TO GRADE
EX	EXISTING
PR	PROPOSED



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**LEWIS ARCHITECTS ENGINEERS**

ADMINISTRATION  
BUILDING RENOVATION  
BRYANT, ARKANSAS



DATE: FEB 20, 2023  
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C1.1  
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