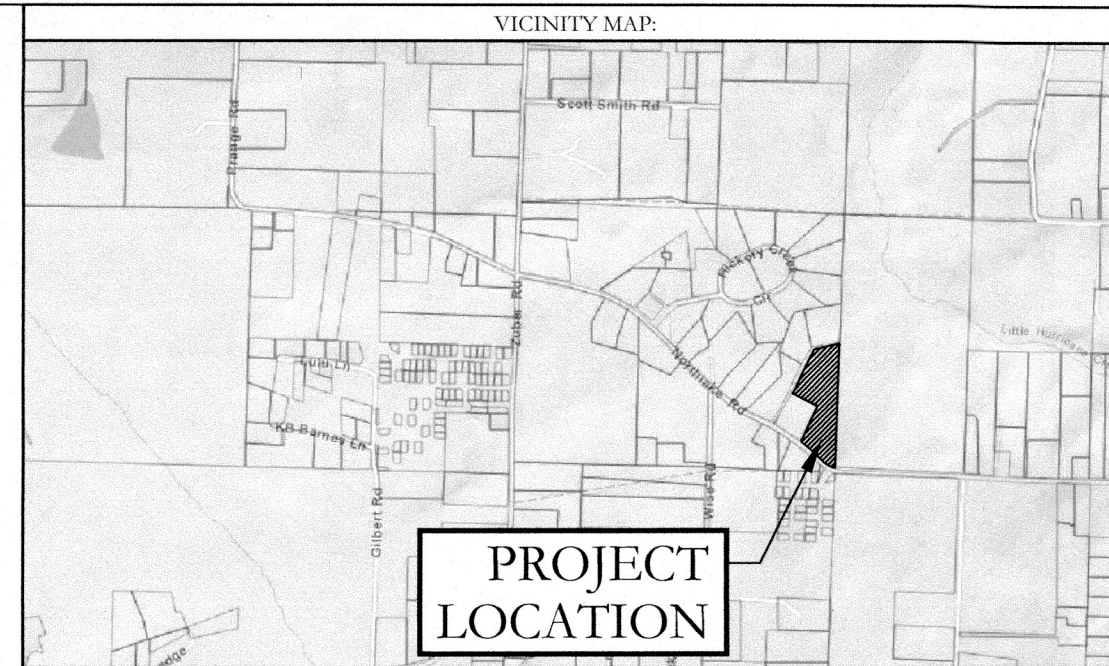


HIGHFILL JEFFERSON JR & ELIZABETH SALINE COUNTY TAX PARCEL #840-11623-013

END UTILITY POLE FENCE CORNER NE CORNER OF THE SW/4 OF THE NE/4, S-07, T-1-S, R-14-W



PROJECT LOCATION

LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS; MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7; THENCE N 02°25'55" E, ALONG THE EAST LINE THEREOF, A DISTANCE OF 15.10 FEET TO A POINT ON THE CENTERLINE OF NORTHLAKE ROAD BEING THE POINT OF BEGINNING OF HEREIN DESCRIBED TRACT OF LAND; THENCE N01°57'47" E, A DISTANCE OF 35.86 FEET TO A POINT ON AN EXISTING FENCE; THENCE ALONG SAID FENCE LINE THE FOLLOWING CALLS: N01°57'30" E 648.56 FEET; THENCE N02°08'28" E, A DISTANCE OF 633.36 FEET TO A UTILITY POLE FENCE CORNER, ACCEPTED AS THE NORTHEAST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7; THENCE LEAVING SAID FENCE LINE, S 77°42'07" W, A DISTANCE OF 295.64 FEET TO A 1.5 INCH SHAFT; THENCE S 27°20'16" W, A DISTANCE OF 492.79 FEET TO A 1/2 REBAR AND CAP (PS #1081); THENCE S 62°12'40" E, A DISTANCE OF 318.91 FEET TO A POINT IN THE CENTER OF NORTHLAKE ROAD; THENCE ALONG THE CENTERLINE OF NORTHLAKE ROAD THE FOLLOWING COURSES: S 54°12'24" E 119.54 FEET; THENCE S 45°52'00" E 181.70 FEET; THENCE S 53°37'24" E 93.64 FEET; THENCE S 68°03'06" E A DISTANCE OF 86.69 FEET TO THE POINT OF BEGINNING, CONTAINING 409,353 SQUARE FEET OR 9.40 ACRES, MORE OR LESS.

NOTE:

TRACTS A & B WILL BE AN EASEMENT UTILIZED FOR DRAINAGE, UTILITIES AND ACCESS.

Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	99°45'49"	N75°53'58"E 38.24'	43.53'	25.00'
C2	89°29'06"	N17°28'07"W 70.39'	78.09'	50.00'
C3	40°01'33"	N82°13'26"W 17.11'	17.46'	25.00'
C4	61°00'50"	N71°43'47"W 50.76'	53.24'	50.00'
C5	45°10'47"	N18°37'58"W 38.41'	39.43'	50.00'
C6	63°24'23"	N35°39'37"E 52.55'	55.33'	50.00'
C7	39°33'16"	N47°35'10"E 16.92'	17.26'	25.00'
C8	33°31'47"	N47°11'29"E 34.61'	35.11'	60.00'
C9	49°37'26"	N88°46'06"E 50.36'	51.97'	60.00'
C10	39°41'09"	S46°34'37"E 40.73'	41.56'	60.00'
C11	53°32'50"	S0°02'23"W 54.06'	56.07'	60.00'
C12	80°21'41"	S66°59'39"W 77.42'	84.15'	60.00'
C13	56°53'08"	S78°43'56"W 23.81'	24.82'	25.00'
C14	22°59'17"	S38°47'43"W 9.96'	10.03'	25.00'
C15	89°32'55"	S17°26'12"E 70.43'	78.15'	50.00'
C16	62°47'00"	N58°39'56"E 26.04'	27.39'	25.00'
C17	76°37'16"	N7°26'17"W 31.00'	33.43'	25.00'
C18	37°45'21"	S8°23'46"W 48.53'	49.42'	75.00'
C19	10°20'59"	S84°41'35"W 27.06'	27.10'	150.00'
C20	51°43'45"	S36°20'47"E 65.44'	67.71'	75.00'
C21	44°42'30"	S4°55'03"W 57.05'	58.52'	75.00'
C22	44°42'30"	S4°55'03"W 57.05'	58.52'	75.00'
C25	0°01'40"	S54°12'17"E 0.01'	0.01'	25.00'
C26	99°45'49"	S75°53'58"W 38.24'	43.53'	25.00'

FND. 1/2 REBAR W/CAP, PS 1081

SMITH JOE D & MARSHA C SALINE COUNTY TAX PARCEL #840-11623-018

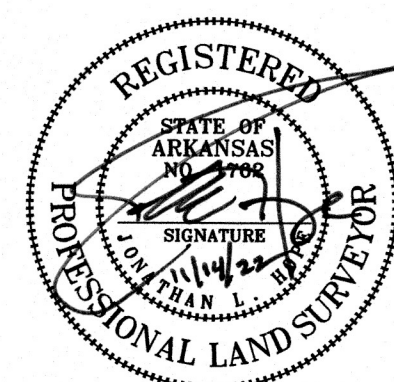
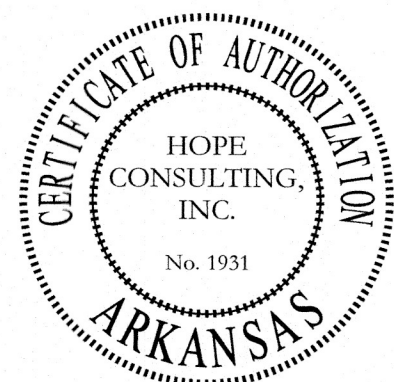
WILHELM OSCAR CLIFFORD & FLOELLA MARIE TRUSTEE SALINE COUNTY TAX PARCEL #840-11623-001

NOTES:
1. NO ABOVE GROUND UTILITIES TO BE CONSTRUCTED WHERE HATCHED AREA IS DRAINAGE & ACCESS EASEMENT.

Line #	Direction	Length
L1	N79°31'05"E	10.52'
L2	N89°52'04"E	12.73'
L3	N72°33'48"E	20.18'
L4	N62°41'55"W	35.06'
L5	S62°12'40"E	21.55'

2022-027345
I certify this instrument was filed on 12/07/2022 11:02:30 AM Myka Bono Sample Saline County Circuit Clerk

Page: 1
C ANDERSON



- LEGEND
- Found Aliquot Corner
 - Computed point
 - Found monument
 - Set #4 RB/Plas. Cap(SIP)
 - Measured
 - Record
 - Platted
 - Street Light
 - Fire Hydrant
 - Stop Sign
 - No Parking Sign

CERTIFICATIONS:

OWNER: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022

DEVELOPER: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P BRYANT, AR 72022

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and defined herein do hereby certify that we have caused to be laid off, planted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution: 11/14/2022
Name: OLTMANS DEVELOPMENT

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "best conditions" and are accurately described on the plat and identified on the ground by length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution: 11/14/2022
Name: Jonathan L. Hope, Registered Professional Land Surveyor No. 1762, Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:

I, William W. McFadden, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution: 11-14-2022
Name: William W. McFadden, Registered Professional Engineer, No. 14048, Arkansas

CERTIFICATE OF FINAL APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20____. All of the documents is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution: 12-5-22
Name: Rick Johnson, Bryant Planning Commission

PROPERTY SPECIFICATIONS:

OWNER: OLTMANS DEVELOPMENT
1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

DEVELOPER: OLTMANS DEVELOPMENT
1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

ENGINEERS: HOPE CONSULTING, INC.
171 S MARKET STREET
BENTON, AR 72015

NAME OF SUBDIVISION: CORAL RIDGE

ZONING: R-2

INSTRUMENT # 2021-02916

NUMBER OF LOTS: 30
SOURCE OF WATER: WATER USERS
SOURCE OF SEWER: CITY OF BRYANT
SOURCE OF ELECTRIC: FIRST ELECTRIC

BUILDING SETBACKS:
FRONT: 25' OR AS SHOWN
REAR: 25' OR AS SHOWN
SIDE: 5' OR AS SHOWN

UTILITY & DRAINAGE EASEMENTS:
FRONT: 10' OR AS SHOWN
REAR: 5' OR AS SHOWN
SIDE: 5' OR AS SHOWN

FOR USE AND BENEFIT OF:
OLTMANS DEVELOPMENT

FINAL PLAT
CORAL RIDGE
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 03/05/2021
REVISED: 11/14/2022

C.A.D. BY: BJOHNSON
CHECKED BY: 21-0209

DRAWING NUMBER:
21-0209

SCALE: 1"=40'

500 1S 14W 0 07 130 62 1762

