Bryant Planning Commission Meeting

Boswell Municipal Complex - City Hall Court Room

210 SW 3rd Street

YouTube: https://www.youtube.com/c/bryantarkansas

Date: October 10, 2022 - **Time:** 6:00 PM

Call to Order

Approval of Minutes

1. Planning Commission Meeting Minutes 9/12/2022

- Planning Commission Meeting Minutes 09-12-2022.pdf

Announcements

Director's Report

DRC Report

2. Lombard Heights - Phase 1 - Final Plat

Hope Consulting - Requesting Final Plat Approval - RECOMMEDED APPROVAL

3. Coral Ridge - Final Plat

Hope Consulting - Requesting Final Plat Approval - RECOMMEDED APPROVAL, Contingent upon Completion of Staff Comment List

4. Hospice Homecare - 701 Bryant Ave STE 1B - Sign Permit

Condray Signs - Requesting Sign Permit Approval - STAFF APPROVED

- 0594-APP-02.pdf
- 0594-APP-01.pdf

5. J&S Manufacturing Co. - 21856 I-30 - Sign Permit

LA Designs - Requesting Sign Permit Approval - STAFF APPROVED

- 0595-APP-01.pdf

6. Farmer's Bank and Trust - 3345 HWY 5 - Sign Permit

White Sign Co. - Requesting Sign Permit Approval - STAFF APPROVED

- 0602-APP-01.pdf

7. All Paws Petwash - 1400 N Reynolds Road

Hope Consulting - Requesting: 1) Site Plan Approval - APPROVED, Contingent upon non-standard building approval by PC and

$500 minimum SW in-lieu-of fee. 2) Non-Standard Building Approval - RECOMMENDED APPROVAL

8. Abby Road Shopping Center - N. Reynolds Road

Phillip Lewis Engineering - Requesting Plat Approval - RECOMMENDED APPROVAL

9. The Station - GSFBC Raymar Fields - Special Sign Permit

Pinnacle Signs and Graphics - Requesting Approval for Special Sign Permit - RECOMMEDED APPROVAL

10. Grace Baptist Church - 21671 I-30 - Sign Variance

Pinnacle Signs and Graphics - Requesting Approval for Sign Variance - RECOMMEDED APPROVAL

11. Church's Chicken - 1901 N Reynolds - Sign Variance

K&P Signs - Requesting Approval for Sign Variance

12. Southern Trace Rehabilitation & Care - 22515 I-30 - Sign Permit

Edwards Sign - Requesting Sign Permit Approval - APPROVED

- 0593-APR-01.pdf

13. Hounds Lounge - 519 West Commerce - Sign Permit

Redgie Adams Sign Co - Requesting Sign Permit Approval - APPROVED

- 0592-APR-01.pdf

14. J. Kencade Publishing - 5920 HWY 5 - Sign Permit

L Graphics - Requesting Sign Permit Approval - STAFF APPROVED

- 0591-APP-01.pdf

Old Business

New Business

15. Lombard Heights - Phase 1 - Final Plat

Hope Consulting - Requesting Final Plat Approval

- 0578-LTR-01.pdf
- 0578-BOA-01.pdf
- 0578-ASB-02.pdf
- 0578-PLN-02.pdf
- 0578-APP-01.pdf

16. Coral Ridge - Final Plat

Hope Consulting - Requesting Final Plat Approval

- 0596-PLN-02.pdf
- 0596-SWR-01.pdf
- 0596-ASB-01.pdf

17. All Paws Petwash - 1400 N Reynolds Road

Hope Consulting - Requesting Non-Standard Building Approval

- 0579-LTR-02.pdf
- 0579-PLN-04.pdf
- 0579-PLN-03.pdf
- 0579-PLN-02.pdf
- 0579-LTR-01.pdf

18. Abby Road Shopping Center - N. Reynolds Road

Phillip Lewis Engineering - Requesting Plat Approval

- 0560-PLT-01.pdf

19. The Station - GSFBC Raymar Fields - Special Sign Permit

Pinnacle Signs and Graphics - Requesting Approval for Special Sign Permit

- 0599-LTR-01.pdf
- 0599-APP-01.pdf

20. Grace Baptist Church - 21671 I-30 - Sign Variance

Pinnacle Signs and Graphics - Requesting Approval for Sign Variance

- 0597-APP-01.pdf

21. Church's Chicken - 1901 N Reynolds - Sign Variance

K&P Signs - Requesting Approval for Sign Variance

- 0601-LTR-01.pdf
- 0601-APP-01.pdf

Adjournments

Bryant Planning Commission Meeting Minutes

Monday, September 12, 2022
Boswell Municipal Complex – City Hall Courtroom
6:00 PM

Agenda

CALL TO ORDER

- Chairman Rick Johnson calls the meeting to order.
- Commissioners Present: Statton, Hooten, Penfield, Johnson, Burgess, Edwards, Arey
- Commissioners Absent: Erwin

ANNOUNCEMENTS

Lombard Heights has been removed from the agenda at request of the applicant.

DIRECTOR'S REPORT

Truett Smith talked about the transition to Tyler and EnerGov coming soon. He will update after installation.

APPROVAL OF MINUTES

1. **Planning Commission Meeting Minutes 08/08/2022**

   Motion to Approve Minutes made by Commissioner Statton, Seconded by Commissioner Edwards. Voice Vote, 7 Yays, 0 nays. 1 Absent.

Vice-Chairman Burgess read the DRC Report.

DRC REPORT

2. HE&L Subdivison Replat - Lot 14

Hope Consulting - Requesting Approval for Replat - RECOMMENDED APPROVAL

3. Lombard Heights Phase 1 - Final Plat

Hope Consulting - Requesting Approval for Final Plat - RECOMMENDED APPROVAL Contingent upon Completion of Remaining DRC Comments

4. Grace Village Phase 3 - Final Plat

GarNat Engineering - Requesting Final Plat Approval - RECOMMENDED APPROVAL Contingent upon installation of Street Signs by September 12th.

5. Creekside Addition Phase 2 - Preliminary Plat

GarNat Engineering - Requesting the following:

1) Preliminary Plat Approval - RECOMMENDED APPROVAL, Contingent upon Stormwater Comments being Addressed

2) Approval for Modification from Code on Master Transportation Plan for street - RECOMMENDED APPROVAL

3) Modification from code for waiver on sidewalk requirement - RECOMMENDED APPROVAL

6. Walmart - 400 Bryant Ave - Special Sign Permit

Harrison French and Associates - Requesting Approval for Special Sign Permit - RECOMMENDED APPROVAL

7. Custom Advertising - 23738 I-30 - Sign Variance

Custom Advertising - Requesting Approval for Sign Variance - RECOMMENDED APPROVAL

8. Springhill Tavern - 2224 Brandon Loop - New Addition

Michael Bolin and Associates - Requesting Approval for New Building Addition - APPROVED

9. Domino's - 3415 HWY 5 - Sign Permit

Arkansas Sign and Neon - Requesting Sign Permit Approval - APPROVED

10. 3924 Commonwealth Drive - Conditional Use Permit

Patricia Joiner - Requesting Approval for Conditional Use Permit for Short Term Rental - NO RECOMMENDATION

PUBLIC HEARING

After Discussion on the purpose for the public hearing, Chairman Johnson opened the public hearing and asked for people here to speak on the Conditional Use permit for Short Term Rental to come forward.

1. **3924 Commonwealth Drive - Conditional Use Permit**
   Patricia Joiner - Requesting Approval for Conditional Use Permit for Short Term Rental

Truett Smith recused himself from the meeting.

The applicant gave a brief statement about her application and answered a few questions that were had by the commissioners on her proposed short term rentals. After the brief discussion, Chairman Johnson opened the public hearing and asked for people here to speak on the Conditional Use permit for Short Term Rental to come forward.

- *Butch Higginbotham pointed out the Bill of Assurance states there is to be no businesses in the subdivision. He also stated that he had a copy of a petition signed by 43 residents in the subdivision that were against the Conditional Use Permit.*
- *Joe Plough - 214 Monticello West - Against CUP, due to constant changing of people coming in to stay.*
- *Larry Reynolds - neighboring Stoneybrook Subdivision - Not against all short term rentals, but not for them in residential areas.*
- *Tom Vinzant - 3323 Commonwealth - Against CUP, Potentially harmful to property values, and safety concerns*
- *Debbie Brainard - 4021 Robinwood Circle - Against CUP, due to constant changing of people coming in and out, and harmful to property values*
- *Tammy Vinzant - 3323 Commonwealth - Against CUP, Safety concerns as there is a school bus stop nearby.*
- *Connie Thomas, 4022 Robinwood - Against CUP - due to the safety of the children walking to and from the bus stops. Concerns over untruthful renters.*
- *Dewey Brainard - 4021 Robinwood Circle - Against CUP - Plenty of hotels in the city and surrounding area, no need for anymore short term rentals.*
- *Angela Burnett - 4033 Robinwood - Against CUP - Neighbor directly next door to property, Concerned for the constant in and out traffic it will receive and safety concerns.*
- *Kelly Davis - 3820 Commonwealth - Against CUP*
- *Richard MvKeown - 4100 Robinwood Circle - Against CUP, Short term rental should not be in residential areas. Worried it would set a precedence to approve all Short term rental CUPs in R-2 Zoning. Safety Concerns*

After everyone had the chance to speak, the applicant returned to the front to give her final comments before the vote and to answer any questions by the Commissioners.

Chairman Johnson Called for a Roll Call Vote on the Conditional Use permit for Short Term Rental 0 Yays, 7 Nays. Erwin Absent. The Conditional Use Permit was not approved.

Motion to Close Public Hearing made by Commissioner , Seconded by Commissioner . Voice Vote, 7 Yays, 0 nays. Erwin Absent.

A brief 5 minute recess was called for by Chairman Johnson.

NEW BUSINESS

12. HE&L Subdivision Replat - Lot 14

Hope Consulting - Requesting Approval for Replat

After brief discussion on the item, Chairman Johnson Called for a roll call vote to approve.

7 yays, 0 nays, Erwin Absent. Item was Approved.

13. Lombard Heights Phase 1 - Final Plat

Hope Consulting - Requesting Approval for Final Plat

Item was pulled from the agenda by request of the applicant.

14. Grace Village Phase 3 - Final Plat

GarNat Engineering - Requesting Final Plat Approval

Vernon Williams spoke on behalf of GarNat Engineering. He said this is the phase of lots in Grace Village. The fire hydrants are in place. The lots are larger than previous lots and the sidewalks are in place. Colton Leonard stated there are 21 lots and the street signs are in place.

Chairman Johnson Called for a roll call vote to approve. 7 yays, 0 nays, Erwin Absent. Item was Approved

15. Creekside Addition Phase 2 - Preliminary Plat

GarNat Engineering - Requesting the following:

1) Preliminary Plat Approval

2) Approval for Modification from Code on Master Transportation Plan for street

3) Modification from code for waiver on sidewalk requirement

After a brief discussion on the plat, Truett Smith explained that the modification from code on Master Transportation Plan and the Sidewalk Waiver would go on to the City Council for Approval.

Chairman Johnson Called for a roll call vote on each request separately.

1) *Preliminary Plat - Contingent upon the Modification and Waiver passed by City Council. 7 yays, 0 nays, Erwin Absent.*
2) *Modification from code on MTP for Street. 7 yays, 0 nays, Erwin Absent.*

3) Modification from code for waiver on sidewalk requirement. *7 yays, 0 nays, Erwin Absent.*

16. Walmart - 400 Bryant Ave - Special Sign Permit

Harrison French and Associates - Requesting Approval for Special Sign Permit

After brief discussion on the item, Chairman Johnson Called for a roll call vote to approve the special sign permit as proposed in the permit. 7 yays, 0 nays, Erwin Absent.

Item was Approved. Permitted Signage for Walmart is now limited to 703.72 SQ FT and the number of signs that were listed in the application. Those include the following signs and square footages:

Walmart Sign	198.14	Automotive numbers (6)	37.5
Market	17.75	Oil Change signage (2)	13.84
Home and Pharmacy	60.64	Main Pylon Sign (Top)	120
Pickup Arrow	40.95	Main Pylon Sign (Mid)	45.67
Outdoor	20.5	Main Pylon Sign (Bot)	26.11
Auto Care	16.25	Pickup Pylon	26.11
Vision	8.19	Subway Wall Sign	18
Auto Care	24.75	Bank Wall Sign	20
Tire Signage (4)	9.32		
		Total	703.72

17. Custom Advertising - 23738 I-30 - Sign Variance

Custom Advertising - Requesting Sign Variance

After brief discussion on the item, Chairman Johnson Called for a roll call vote to approve. 5 yays, 2 nays, Erwin Absent. Sign Variance was approved.

ADJOURNMENT

Motion to Adjourn made by Commissioner Burgess, Seconded by Commissioner Penfield. Voice Vote, 7 Yays, 0 nays. 1 Absent. Meeting was adjourned.

_____ _____

Chairman, Rick Johnson *Date*

_____ _____

Secretary, Tracy Picanco *Date*

2 Signs

Approved 9/9/2022
CL

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9/2/2022

Sign Co. or Sign Owner

Name Condray Signs
Address 1107 E Harding
City, State, Zip Pine Bluff, AR 71601
Phone 870-534-5210
Email Address emma@condraysigns.com

Property Owner

Name Hospice Home Care
Address 707-1B Bryant Ave.
City, State, Zip Bryant, AR
Phone 501-519-2718
Email Address djoller@hospicehomecare.com

GENERAL INFORMATION

Name of Business Hospice Home Care
Address/Location of sign 707-1B Bryant Ave
Zoning Classification C2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Emma Brann, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall	34.5" x 114.25"	27.4	188"	155"	CL 9/9/22
B	Pole	22.75" x 94.5"	14.9	149"	127"	Replacement/Face Change out
C	Pole	48" x 182"	60	348"	300"	CL 9/9/22
E						
F						
G						

No Permit Needed →

182 in

48 in

Sign C

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Please Sign here

condraysigns.com
1107 E. Harding Ave. Pine Bluff, AR 71601
ph (870) 534-5210

Client: Hospice Home Care
Location: Bryant, AR
Representative: Perry Oldner
Designer: Jason McGee
Date: 7-20-22

File location: \\DESKTOP-CL9TA2O\
Shared Server File\SHARED FOLDER\
graphic files\H\Hospice Home Care\Bryant AR
File name: multitenant sign.fs

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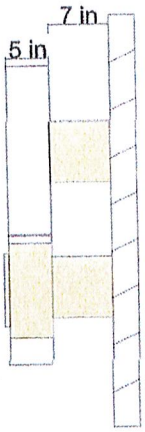
Bryant Ave
Bryant Ave
Bryant Ave
414 ft
Coinstar
Main St
115 ft
122 ft
Wall Sign
47 ft
Kwik Kopy Printing
Multitenant Sign
Multitenant Sign
HomeTown
3.2 (318)
2-star hotel
Main St



Sign A

27.4 sq ft

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94.5 in

22.75 in

Sign B

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HOSPICE
home care
188 in
155 in

McFARLAND
EYE CARE
We're focused on you.
653-2010
mcfarlandeye.com
HOSPICE
home care
149 in
127 in
ATM
Clothing & Shoe
Donations

at&t
Authorized
Retailer
HOSPICE
home care
McFARLAND
EYE CARE
McFarlandEye.com
501-653-2010
Kwik Kopy
THE JOINT
chiropractic
348 in
300 in
STOP

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

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Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9/2/2022

Sign Co. or Sign Owner

Name Condray Signs
Address 1107 E Harding
City, State, Zip Pine Bluff, AR 71601
Phone 870-534-5210
Email Address emma@condraysigns.com

Property Owner

Name Hospice Home Care
Address 707-1B Bryant Ave.
City, State, Zip Bryant, AR
Phone 501-519-2718
Email Address djoller@hospicehomecare.com

GENERAL INFORMATION

Name of Business Hospice Home Care
Address/Location of sign 707-1B Bryant Ave
Zoning Classification C2

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E						
F						
G						

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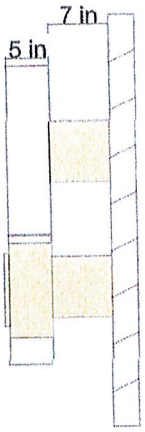
Bryant Ave
414 ft
Coinstar
Main St
115 ft
122 ft
47 ft
Wall Sign
Multitenant Sign
Multitenant Sign
Kwik Kopy Printing
HomeTown
3.2 (318)
2-star hotel
Main St



Sign A

27.4 sq ft

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ph (870) 534-5210

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Location: Bryant, AR
Representative: Perry Oldner
Designer: Jason McGee
Date: 7-20-22

File location: \\DESKTOP-CL9TA2O\
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graphic files\H\Hospice Home Care\Bryant AR
File name: channel letters.fs

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94.5 in

22.75 in

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182 in

48 in

Sign C

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HOSPICE
home care
188 in
155 in

McFARLAND
EYE CARE
We're focused on you.
653-2010
mcfarlandeye.com
HOSPICE
home care
149 in
127 in
Clothing & Shoe
Donations
ATM
487

at&t
Authorized
Retailer
HOSPICE
home care
McFARLAND
EYE CARE
McFarlandEye.com
501-653-2010
Kwik Kopy
THE JOINT
chiropractic
348 in
300 in
STOP

2 Signs

Staff Approved, New Signage on Existing Monument + Facade Sign. CL 9/15/22

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

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Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9/14/22

Sign Co. or Sign Owner

Name LA Designs
Address P.O. Box 625
City, State, Zip Mabelvale, AR 72103
Phone 501.350.1079
Email Address lisa@ladesignsone.com

Property Owner

Name J&S Manufacturing Co., Inc
Address 21856 I-30
City, State, Zip Bryant, AR 72022
Phone 501.847.2079
Email Address rbradshaw@singlefacepaper.com

GENERAL INFORMATION

Name of Business J&S Manufacturing Co., Inc

Address/Location of sign 21856 I-30

Zoning Classification _____

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READ CAREFULLY BEFORE SIGNING

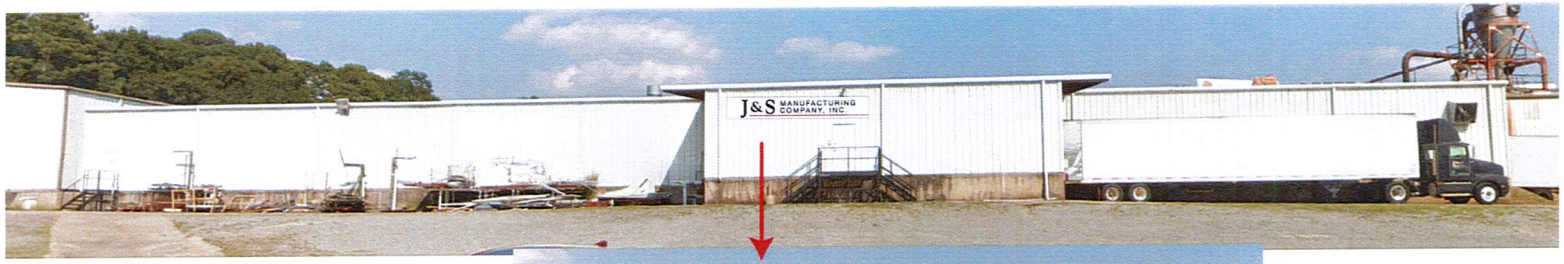
I Lisa Havniear, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

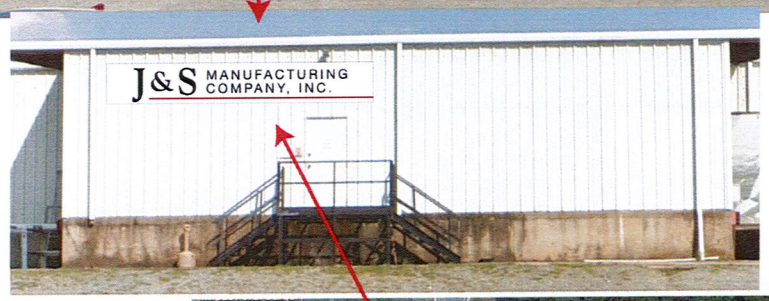
that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Monument	16'w x 2'h 20' 3" (w) x 4' 6.5"(h) x 2'(d)	32 sqft ~~91.125 sq ft~~	4' 6.5"	on ground	CZ 9/15/22
B	Facade	20'(w) x 3'(h)	60 sqft ~~3,680 sq ft~~	15'	12'	CZ 9/15/22
C						
E						
F						
G						

Sign B - Facade sign



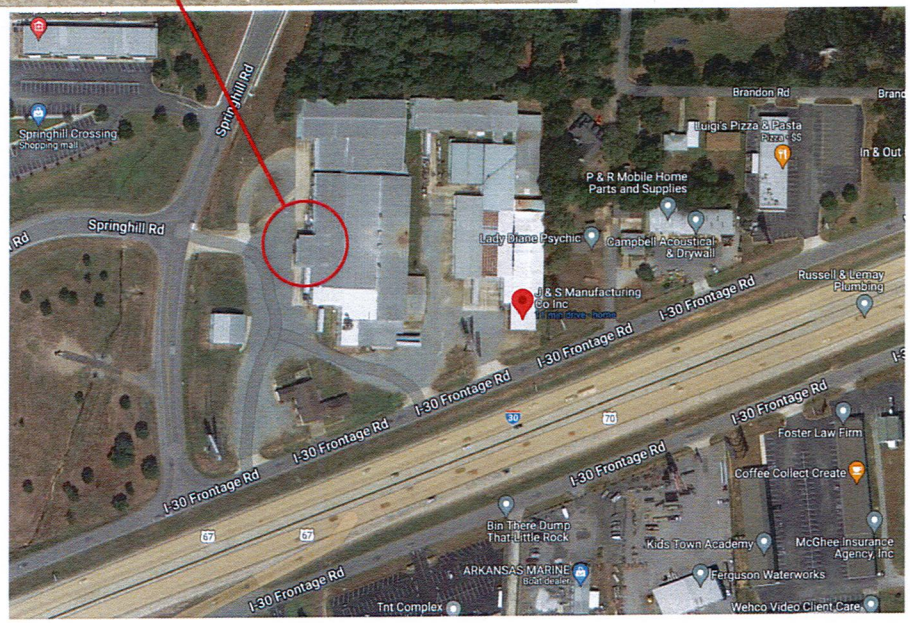


Enlarged view of proposed sign location

J&S Manufacturing
21856 I-30
Bryant, AR 72022

Sign:
Non-illuminated flat aluminum sign
Sized - 20' (w) x 3'(h) = 60 sq ft
Mounted on side of warehouse facing Springhill Rd

Frontage of this building - 230' (w) x 16'(h)



Client:
J & S Mfg Co., Inc

Date:
9.14.22

Project:
monument/building sign

Proof #:
1

NOTE:
Please carefully & thoroughly examine the attached layout for the correct content, spelling, numbers, punctuation & location of colors and other design elements. (Note that the colors shown are an approximation and are not intended for color matching.) All design elements other than color are exactly what will be fabricated and/or printed. Client shall bear all costs of any desired corrections communicated to LA Designs after the Client approves the attached layout.

LA Designs will not commence production of the Project(s) until receipt of Client's approval of the attached layout. Any delay in Client's approval may result in a delay of the completion of the Project(s).

Approved as is: _____
(Ready for Production)

Not approved: _____
(Changes needed & send new proof

Signature _____

Date _____

Email approval with Proof # indicated will be accepted as approval.

The attached layout is the property of LA Designs. All creative adaptations by LA Designs of Client's logo or other supplied artwork are property of LA Designs and may not be replicated without LA Designs' written consent. Any unauthorized use of LA Designs' property may result in liability for Client. LA Designs reserves the right to enforce any and all legal remedies available, including but not limited to its rights under federal Copyright Act. Client will be invoiced for any unathorized use of LA Designs' property.

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Sign A - Monument sign

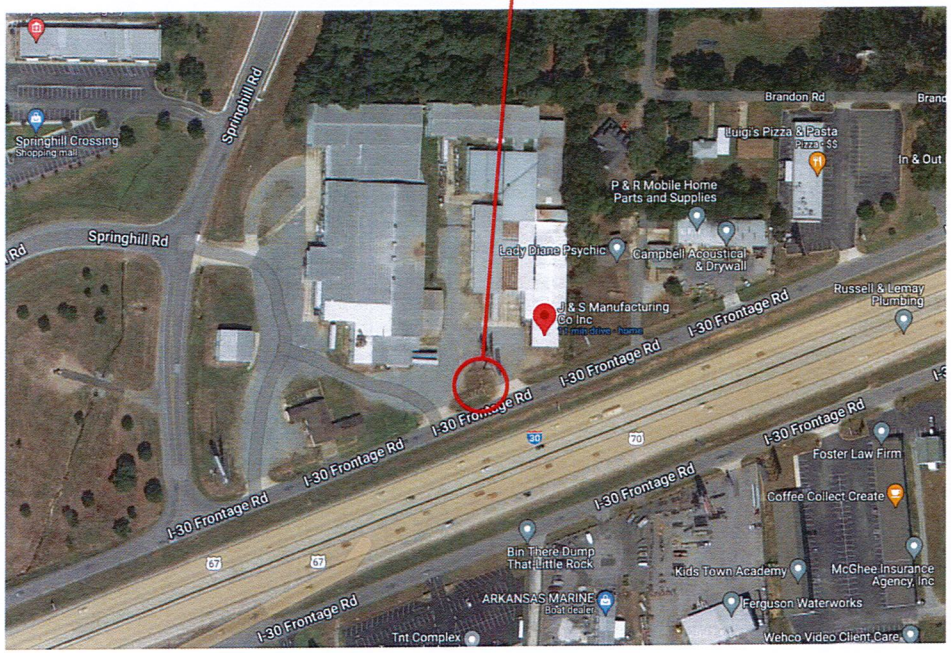
EXISTING

PROPOSED

J&S Manufacturing
21856 I-30
Bryant, AR 72022

Monument Sign:
Non-illuminated flat aluminum sign
Remove existing dimensional lettering and install new non-illuminated flat aluminum signs
Overall size of monument - 20' 3" (w) x 4' 6.5"(h)
[new signs are 16'(w) x 2'(h)]

Street frontage - 680'



Client:
J & S Mfg Co., Inc

Date:
9.14.22

Project:
monument/building sign

Proof #:
1

NOTE:
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Approved as is:
(Ready for Production)

Not approved:
(Changes needed & send new proof

Signature

Date

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2 Tenant Signs
Approved 9/22/22
CL

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9-15-22

Sign Co. or Sign Owner

Name WHITE SIGN COMPANY
Address 3501 STONELEDGE DR
City, State, Zip TEXARKANA, TX 75503
Phone 903-280-7849
Email Address sm@whitesign.com

Property Owner

Name FARMERS BANK & TRUST
Address
City, State, Zip
Phone
Email Address

GENERAL INFORMATION

Name of Business FARMERS BANK & TRUST

Address/Location of sign 3345 HWY 5 N

Zoning Classification C-2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	WALL SIGN	75" x 96"	50 SF	21'-8"	15'-5"	CL 9/22/22
B	WALL SIGN	46" x 130"	41.5 SF	20'-5"	16'-7"	CL 9/22/22
C						
E						
F						
G						

Frontage of Bld. Not Used by Farmers ~54 ~~sq~~ ft.
Which allows 54 sqft per Tenant.

FARMERS
BANK & TRUST

Tenant signs Bryant

File:	Tenant signs Bryant
Date:	8-8-22
Customer:	Farmers Bank
Location:	Bryant AR

Customer Approval

Change As Noted

Notes:
3345 HWY 5 N

91.5 sq.ft. Total

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All electrical components will be UL approved, all wiring will comply with UL & NEC requirements.

Signs will bear the UL mark.

All signs will be engineered to meet or exceed local wind load requirements.

white sign
Main Office
3501 Stoneledge Dr.
Texarkana, TX 75503
903 280 7849
WHITESIGN.com

Internally lighted aluminum routed face sign, with push thru copy.

50 sq.ft.

FARMERS BANK & TRUST

Tenant signs Bryant

File:	Tenant signs Bryant
Date:	8-8-22
Customer:	Farmers Bank
Location:	Bryant AR

Customer Approval

Change As Noted

Notes:

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© Copyright 2022

All electrical components will be UL approved, all wiring will comply with UL & NEC requirements.

Signs will bear the UL mark.

All signs will be engineered to meet or exceed local wind load requirements.

white sign

Main Office
3501 Stoneledge Dr.
Texarkana, TX 75503
903 280 7849
WHITESIGN.com

Internally lighted aluminum routed face sign,
with push thru copy.

41.5 sq.ft.

FARMERS
BANK & TRUST

Tenant signs Bryant

File:	Tenant signs Bryant
Date:	8-8-22
Customer:	Farmers Bank
Location:	Bryant AR

Customer Approval

Change As Noted

Notes:

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Signs will bear the UL mark.

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white sign
Main Office
3501 Stoneledge Dr.
Texarkana, TX 75503
903 280 7849
WHITESIGN.com

Approved @ DRC 9/15/22
CL

1 Sign

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: _____

Sign Co. or Sign Owner

Name EDWARDS SIGN
Address 2208 AIRPORT RD
City, State, Zip HOT SPRINGS AR 71913
Phone 501 767 6525
Email Address BOB@EDWARDSSIGNS.COM

Property Owner

Name SOUTHERN TRACE REHABILITATION & CARE
Address 22515 I-30
City, State, Zip BRYANT, AR 72022
Phone 501 847 0777
Email Address NBROWN@SOUTHERNTRACEREHAB.COM

GENERAL INFORMATION

Name of Business SOUTHERN TRACE
Address/Location of sign 22515 I-30, BRYANT, AR
Zoning Classification C

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is <u>required</u>** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also <u>required</u>** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

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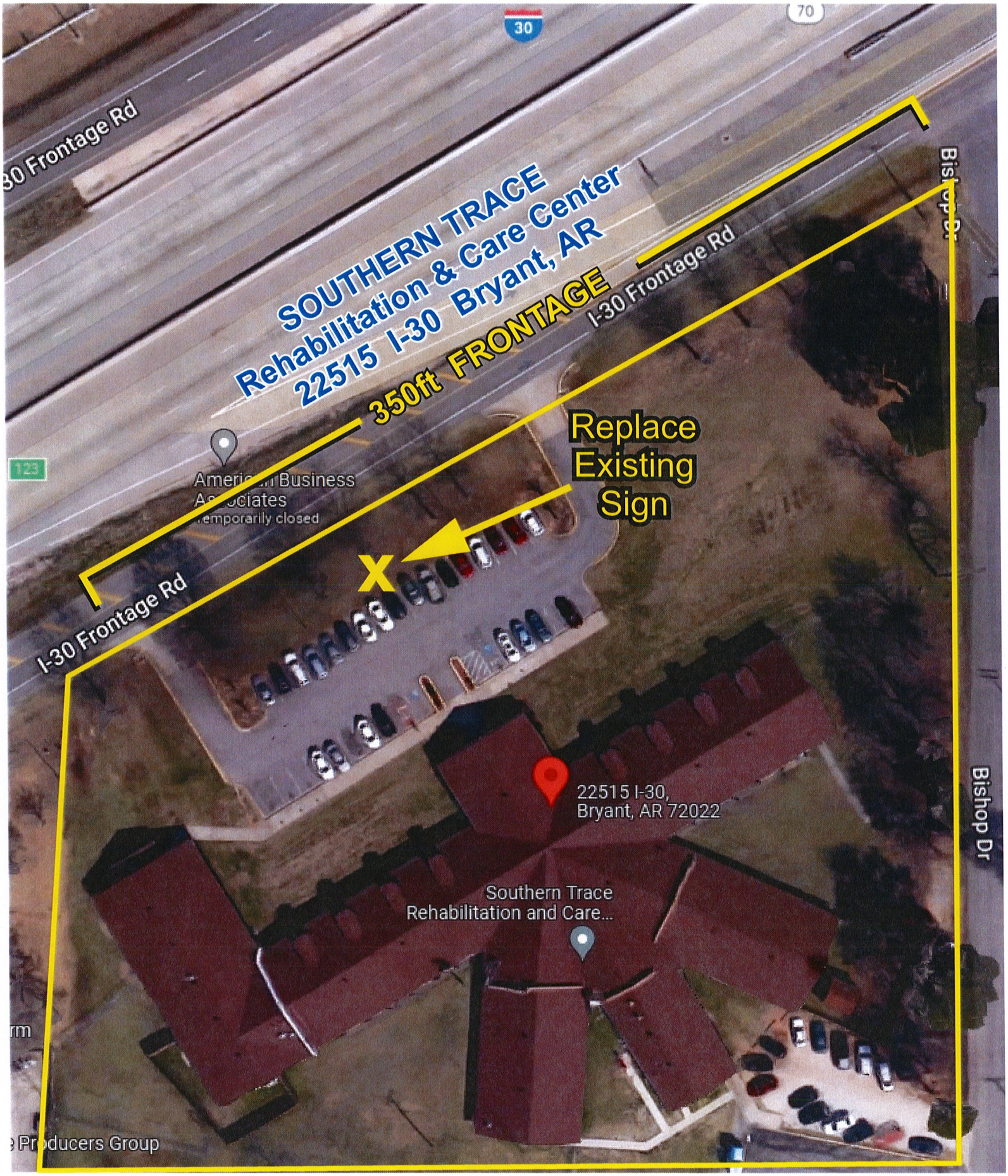
SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MONUMENT	4'6"X13'6"	60.75	5'6"IN	12"	
B						
C						
E						
F						
G						

4’-6” x 13’-6” = 60.75 sq. ft.
SOUTHERN TRACE
REHABILITATION AND CARE CENTER


30
70
30 Frontage Rd
SOUTHERN TRACE
Rehabilitation & Care Center
22515 I-30 Bryant, AR
350ft FRONTAGE
I-30 Frontage Rd
Bishop Dr
Replace
Existing
Sign
X
123
American Business
Associates
Temporarily closed
I-30 Frontage Rd
22515 I-30,
Bryant, AR 72022
Southern Trace
Rehabilitation and Care...
Bishop Dr
Producers Group

SOUTHERN
TRACE

2 Signs Total

Staff Approved 1 sign - Facade
9/2/2022 CL

Monument Sign to DRC on 9/15/22 for Approval

Approved by DRC
CL 9/15/22

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

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Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 8/29/2022

Sign Co. or Sign Owner

Name REDGIE ADAMS SIGN CO.
Address 13702 FRANCES DR.
City, State, Zip NLR, AR 72118
Phone 501.851.7200 (501-258-5771)
Email Address adamssignfab@gmail.com

Property Owner

Name HOUNDS LOUNGE
Address 519 WEST COMMERCE ST.
City, State, Zip BRYANT, AR 72022
Phone 501 658 9581
Email Address mandy@houndslounge resort.ca

GENERAL INFORMATION

Name of Business HOUNDS LOUNGE PET RESORT & SPA
Address/Location of sign 519 WEST COMMERCE ST.

Zoning Classification

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I REDGIE ADAMS, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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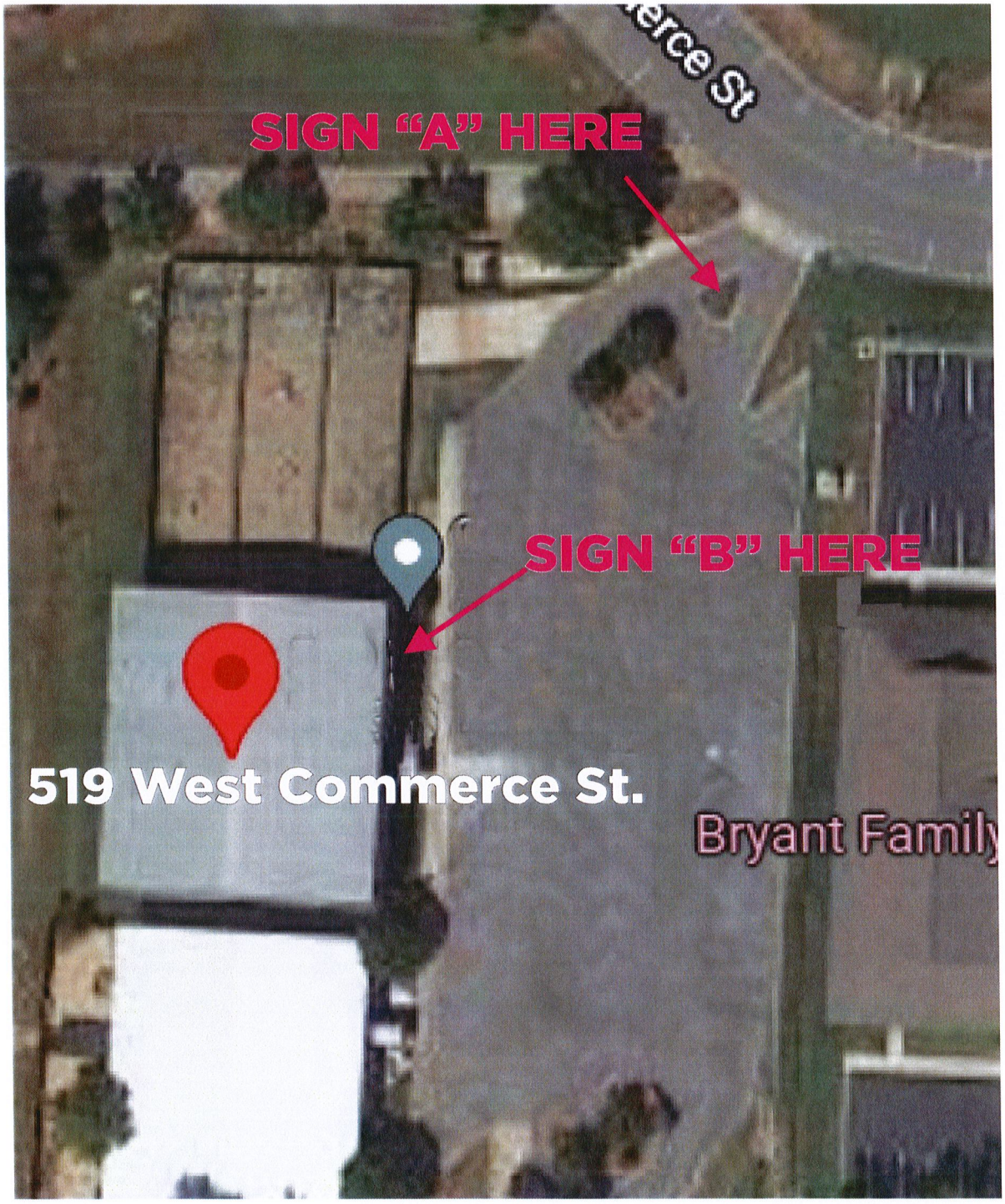
SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MONUMENT	77.5" x 55" x 40"	29.6 ☐	77.5"	22.5"	
B	FACADE	27" x 120"	22.5 ☐	175"	148"	CL 9/2/2022
C						
E						
F						
G						

RENDERINGS

HOUNDS LOUNGE
519 WEST COMMERCE ST.

SITE PLAN

HOUNDS LOUNGE
519 WEST COMMERCE ST.



1 sign Staff Approved 9/2/2022 CL

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

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Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 8/24/2022

Sign Co. or Sign Owner

Name L.Graphics
Address 701 N. Reynolds
City, State, Zip Bryant, AR 72022
Phone (501) 653-4444
Email Address Joe@LGraphix.com

Property Owner

Name Nioka Smith
Address 5920 AR-5 Ste.7
City, State, Zip Bryant, AR 72022
Phone (501) 650-4076
Email Address

GENERAL INFORMATION

Name of Business J. KENKADE Publishing
Address/Location of sign 5920 AR-5 Ste.7 Bryant, AR 72022
Zoning Classification

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I JOE LAM, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

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				Top of Sign	Bottom of Sign	
A	wall mount channel letters	155"X36"	39	18	15	CL 9/2/2022
B						
C						
E						
F						
G						

155 in
36 in
J. Kenkade
PUBLISHING
13 in
2.5 in
9.25 in
24 feet
Suite 7
NISSAN

HOPE CONSULTING
ENGINEERS • SURVEYORS

July 13, 2022

Truett Smith
City of Bryant
210 Southwest Third St., Bryant, AR 72022

RE: Lombard Heights Final Plat (Hope Job# #20-1388)

Dear Truett:

On behalf of the property owner, we are formally requesting that Bryant and Community Development review and forward the Final Plat of Lombard Heights Subdivision to the Bryant Planning Commission for Final Plat Approval.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,

Jonathan Hope

Jonathan Hope

117 South Market St. Benton, Arkansas 72015
501-315-2626
www.hopeconsulting.com

BILL OF ASSURANCE
LOMBARD HEIGHTS SUBDVISION
PHASE I

PART A. PREAMBLE

WHEREAS, SOUTHERN GENERAL CONTRACTORS LLC. is the Owner, by virtue of Property listed below in Saline County, Arkansas

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" REBAR AND CAP MARKING THE SOUTHEAST CORNER OF SAID NE1/4, SE1/4 OF SECTION 9; THENCE N89°29'36"W A DISTANCE OF 40.65 FEET TO THE POINT OF BEGINNING ON THE WESTERLY RIGHT-OF-WAY OF LOMBARD ROAD; SAID POINT BEING APPROXIMATELY 30 FEET FROM THE CENTERLINE THEREOF; THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY S89°26'36"W A DISTANCE OF 251.45 FEET; THENCE N00°30'24"E A DISTANCE OF 152.28 FEET; THENCE N89°29'06"W A DISTANCE OF 196.51 FEET; THENCE N88°19'27"W A DISTANCE OF 593.43 FEET; THENCE S01°40'33"W A DISTANCE OF 125.00 FEET; THENCE N88°19'27"W A DISTANCE OF 20.00 FEET; THENCE N01°40'33"E A DISTANCE OF 300.01 FEET; THENCE N13°18'33"E A DISTANCE OF 51.05 FEET; THENCE N02°32'03"E A DISTANCE OF 80.00 FEET; THENCE S88°19'27"W A DISTANCE OF 410.05 FEET; THENCE N70°39'30"E A DISTANCE OF 53.88 FEET; THENCE S87°27'57"E A DISTANCE OF 169.40 FEET; THENCE S64°38'17"E A DISTANCE OF 228.48 FEET; THENCE S88°19'27"E A DISTANCE OF 210.44 FEET TO SAID WESTERLY RIGHT-OF-WAY OF LOMBARD ROAD, BEING APPROXIMATELY 30 FEET FROM THE CENTERLINE THEREOF; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY S01°12'23"W A DISTANCE OF 178.18 FEET; THENCE S02°46'04"W A DISTANCE OF 71.20 FEET; THENCE S04°06'35"W A DISTANCE OF 110.40 FEET; THENCE S05°06'02"W A DISTANCE OF 55.48 FEET; THENCE S03°10'56"W A DISTANCE OF 203.50 FEET TO THE POINT OF BEGINNING; CONTAINING 372,882 SQUARE FEET, OR 8.56 ACRES, MORE OR LESS.

WHEREAS, Owner has caused said land to be surveyed and a plat thereof made, dividing said land into lots as shown on said plat and showing the dimensions of each lot and the width of the streets as known as LOMBARD HEIGHTS SUBDIVISION, PHASE I, Saline County, Arkansas.

WHEREAS, the Saline County Real Estate Assessor and Office of Emergency Services have approved said Subdivision and road names.

NOW THEREFORE, SOUTHERN GENERAL CONTRACTORS., in consideration of the purposes herein stated, does hereby designate said land and make part hereof to be known as LOMBARD HEIGHTS , PHASE I, to the City of Bryant, Saline County, Arkansas, and that hereafter any conveyance by the Owners of said land by lot number shall forever be held to be good and legal description and the streets shown on said plat in said Subdivision are hereby and will become a public road to be accepted by Saline County for maintenance. The property owners of LOMBARD HEIGHTS are subject to and are joined as members of the LOMBARD HEIGHTS Property Owner's Association for the purpose of maintaining and ownership of common areas and appurtenants belonging thereto. The use of the land in said Subdivision being subject to the following Protective and Restrictive Covenants:

PART B. AREA OF APPLICATION

B-1 FULLY PROTECTED RESIDENTIAL AREA. The residential area covenants in Part C in their entirety shall apply to the entire Subdivision.

PART C: RESIDENTIAL AREA COVENANTS:

C-1 LAND USE AND BUILDING TYPE. No lot shall be used except for residential purposes. Not business of any nature or kind shall at any time be conducted in any building located on any of the lots. No building shall be erected, altered, placed or allowed to remain on any lot other than one detached, single-family dwelling not to exceed two stories in height, excluding basement area. No lot can be subdivided for any purpose without the prior approval from the Saline County Planning Board and the consent of 51 % of the voting members of the Property owners associations.

C-2 ARCHITECTURAL CONTROL. No dwelling or structure shall be erected, placed or altered on any lot until the construction plans and specifications and a plan showing the location of the structure, including landscaping, have been approved by the architectural control committee as to quality of workmanship and materials, harmony of external design with existing structures, and as to location with respect to topography and finish grade elevation, and intended objectives of the Architectural Control Committee to achieve a subdivision that accomplishes the desired architectural design in the structure and subdivision ascetics. No fence or wall shall be erected, placed or altered on any lot nearer than the setbacks as shown on the Plat. The term structure is defined to include any and all types of fences, antennas, decks, basketball goals, swimming pools and television satellite dishes, which in no event shall be placed in front of dwellings. Each property owner requesting approval shall submit to the Architectural Control Committee at least two weeks prior to the time approval is needed, a complete set of house plans and completed material and specifications list. Approval shall be a provided in Part D.

C-3 DWELLING COST, QUALITY AND SIZE. No dwelling shall be permitted on any lot unless the dwelling has at least 1,600 square feet, it being the intention and purpose of the covenants to assure that all dwellings shall be of a quality of workmanship and materials substantially the same or better than that for the minimum permitted dwelling size. Each dwelling shall have a minimum of a two car garage. No open carports are allowed. No manufactured houses are allowed, site built homes only.

C-4 BUILDING LOCATION. No building shall be located on any lot, nearer to the side street line, than the minimum building set back lines as shown on the recorded plat. For the purposes of this covenant, eaves and steps shall not be considered as part of the building. No lot shall be subdivided and no more than one dwelling shall be permitted on any one lot.

C-5 BUILDING REQUIRMENTS. All buildings shall have roof pitch of no less than 6/12. A 2 car enclosed garage, No chain link fences shall be allowed, and all fences shall be of a wood type approved by the Architectural control committee.

C-6 EASEMENTS. Easements for installation and maintenance of utilities and drainage facilities, and construction, repair and maintenance of adequate walls, roofs and eaves are reserved as shown on recorded plat.

C-7 NUISANCES. No noxious or offensive trade or activities shall be carried on, nor shall anything be done thereon which may be or become a nuisance to the neighborhood.

C-8 TEMPORARY STRUCTURES. No structure of a temporary character, basement, tent, shack, garage, barn or other out building shall be used on any tract at any time as a residence either temporarily or permanently; except that the developer may have a temporary construction and/or sales office.

C-9 OUT BUILDINGS. One outbuilding for storage shall be permitted, if approved by the Architectural Control Committee and shall conform to the same architectural design and construction of the dwelling. Above ground swimming pools are prohibited.

C-10 SIGNS. No sign of any kind shall be displayed to the public view on any lot, except, one professional sign of not more than one square foot; one sign of not more than five square feet advertising the property for sale or rent or any signs used by a builder to advertise the property during the construction and sales period.

C-11 OWNER RESPONSIBILITY. Any property owner shall insure that any contractor performing services for the property owner shall comply with the provisions of this Bill of Assurance.

C-12 CONTRACTOR RESPONSIBILITY. No contractor shall damage in any way the utilities or streets in any manor.

C-13 OIL AND MINING OPERATIONS. No oil drilling, oil development operations, oil refining, quarrying or mining operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations or shafts be permitted upon or in any lot. No derrick or structures designated for us in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.

C-14 LIVESTOCK AND POULTRY. No animals, livestock or poultry of any kind may be raised, bred or kept on any tract, except that dogs or cats may be kept, on any lot provided that they are not kept, bred or maintained for any commercial purpose and provided that facilities for

maintenance of same are approved by the Architectural Control Committee and that the keeping of same does not constitute a nuisance.

C-15 GARBAGE AND REFUSE DISPOSAL. No lot or easement shall be used or maintained as a dumping ground for rubbish. Trash, garbage and other waste shall not be kept except in sanitary containers. There shall be no burning of trash, rubbish, leaves or yard waste.

C-16 SIGHT DISTANCE AT INTERSECTIONS. No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between 2 and 6 feet above the roadways shall be placed or permitted to remain on any lot comer which the triangular area formed by the street property lines and the line connecting them at points 15 feet from the intersection of street right of way lines, or in the case of a rounded property comer, from the intersection of the street property line extended. The ·same sight line limitations shall apply on any lot within 10 feet from the intersection of the street property line with the edge of a driveway pavement. No tree shall be permitted to remain within such distances or such intersections unless the foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

C-17 LOT, YARD AND HOME MAINTENANCE. All property owners, after acquisition of any lot, shall keep all grounds and yards mowed, trimmed and clean. All houses shall be painted and stained. No deviation from the original plans shall be permitted without approval of the Architectural Control Committee.

C-18 COMMENCEMENT OF CONSTRUCTION. A property owner must start construction of an approved dwelling within_ a period of one (1) year from date of purchase. The developer

reserves the option to repurchase any lot for the amount of the original purchase price if construction is not commenced within such period of time. This option shall be exercised in writing within a period of thirty (30) days after the one (1) year period.

C-19 COMPLETION OF CONSTRUCTION. Any dwelling must be completed in its entirety within a period of one year from date such construction is commenced.

C-20 MOTOR VEHICLE PARKING. Abandoned or unused motor vehicles shall not be parked or permitted to remain on any lot or within the dedicated street. Boats, recreational vehicles and trailers cannot be parked at the front or side of any dwelling or in the dedicated street and must be parked in back of the dwelling. Owners or permanent residents are prohibited from parking in the street. There shall be no non-functioning vehicles kept on the lot or in view of the public. There shall be no repair work done outside of the garage.

C-21 MINIMUM FLOOR LEVEL ELEVATIONS. The Architectural Control Committee reserves the right to prescribe the minimum floor elevations for lots. All homes shall have a minimum floor elevation of one foot above the back of the curb unless waived in writing by the Architectural Control Committee.

C-22 SEWER SERVICE. No Septic systems shall be allowed on individual lots.

PART D. ARCHITECTURAL CONTROL COMMITTEE:

D-1 MEMBERSHIP. The Architectural Control Committee shall be composed of Jody Petty, Chris King, Kelsey Tripp. A majority of the committee may designate a representative to act for it. In the event of death or resignation of any member of the committee, the remaining members shall have full authority to designate a successor. Neither the members of the committee nor its designated representative shall be entitled to any compensation for thence services performed pursuant to this covenant.

D-2 PROCEDURE. The committee's approval or disapproval as required in these covenants shall be in writing and in the form hereto attached marked Exhibit "A" which, when executed, should be retained by the owner/builder as proof of the Committee's approval. In the event the committee or its designated representative fails to approve or disapprove within 30 days after plans and specification have been submitted to it or in the event no suit to enjoin the construction or compliance with these covenants has been commenced within 180 days after the completion thereof will not be required and the related covenants shall be deemed to have been fully complied with. The Committee will with Buyer's will with Buyer's permission and at the expense of the Buyer refer Buyer's plan to an architect for revisions and changes to comply with the Bill of Assurance.

PART E. PROPERTY OWNERS ASSOCIATION

E-1 OWNERS EASEMENTS OF ENJOYMENT. Every owner shall have a right and easement of enjoyment in and to the common area which shall be appurtenant to and shall pass with the title to every tract. Subject to the following provision:

(a) The right of the Association to charge reasonable fees for maintenance of the common area;

E-2 MEMBERSHIP AND VOTING RIGHTS

SECTION 1: Every owner of a tract which is subject of assessment shall be a member of the Association. Membership shall be appurtenant to and may not be separated from ownership of any tract which is subject to assessment.

SECTION 2: The Association shall have two classes of voting membership:

Class A: Class A members shall be all owners, with the exception of the Declarant, and shall be entitled to one vote for each tract owned, which may be voted at such time as all tracts are sold by the Declarant. When more than one person holds an interest in any tract, all such persons shall be members. The vote for such tract shall be exercised as they determine, but in no event shall more than one vote be cast with respect to any Tract.

Class B: The Class B member(s) shall be the Declarant and shall be entitled to ten votes per tract owned. The Class B membership shall cease on the happening of the following events.

(a) when all tracts are sold by declarant.

E-3 COVENANT FOR MAINTENANCE ASSESSMENTS

SECTION 1: Creation of the Lien and Personal Obligation of Assessments: The Declarant, for each tract owned within the properties, hereby covenants, and each owner of any tract by acceptance of a deed therefore, whether or not it shall be so expressed in such deed, is deemed to covenant and agree to pay to the Association annual assessment or charges, such assessments to be established and collected as hereinafter provided. The annual assessments, together with interest, costs and reasonable attorneys' fees, shall be a charge on the land and shall be a continuing lien upon the property against which each such assessment is made. Each such assessment, together with interest, costs, and reasonable attorneys' foes, shall also be the personal obligation of the person who is the owner of such property at the time when the assessment fell due. The personal obligation for delinquent assessments shall not pass to his successors in title unless expressly assumed by them.

SECTION 2: Purpose of Assessment: The assessments levied by the Association shall be used as follows:

(a) For the maintenance and upkeep of all common areas

(b) For any other purposes deemed in the best interest of the property owners by the Association

SECTION 3: Annual Assessment: Commencing on the date of filing of this Bill of Assurance, the property owners association will assume total responsibility for operation and maintenance of amenities and common areas and assess each property owner and **annual** assessment of **$300.00**, which shall commence as to all Lots on the first day of January following the date of recordation of this instrument and then effective per annually thereafter. The fees may be adjusted after January 1 of the year immediately following the conveyance of the Lot to an Owner. The sole intent and purpose of these fees are for operation, maint□ance, and improvements of the green space, street lights and other amenities in a manner determined by the association membership.

SECTION 4: Notice and Quorum for Any Action Authorized Under Section 3: Written Notice of any meeting called for the purpose of taking any action authorized under Section 3 shall be sent to all members not less than 10 days in advance of the meeting. At the first such meeting called, the presence of member or proxies entitled to cast 60% of all votes shall constitute a quorum. If the required quorum is not present, another meeting may be called subject to the same notice requirement, and the required quorum at the preceding meeting shall be one-half (1/2) of the required quorum at the preceding meeting. No such subsequent meeting shall be held more than 60 days following the preceding meeting. Each tract as conveyed by Declarant shall have one vote.

SECTION 5: Uniform Rate of Assessment: Both annual and special assessments must be fixed at a uniform rate and may be collect on a semi-annual or annual basis.

SECTION 6: Date of Commencement of Annual Assessments: Due Dates: The annual assessments provided for herein shall commence as to all Lots on the first day of January following the date of recordation of this instrument. The Board of Directors shall fix the amount of the annual assessment against each Lot at least thirty (30) day in advance of each annual assessment period. Written notice of the annual assessment shall be sent to every Owner subject thereto. The due date shall be established by the Board of Directors. The Association shall, upon demand, and for a reasonable charge, furnish a certificate signed by an officer of the Association setting forth whether the assessments on a specified Lot have been paid. A properly executed certificate of the Association as to the status of assessments on a Lot is binding upon the Association as of the date of its issuance.

SECTION 7: Effect of Nonpayment of Assessments: Remedies of the Association: Any assessment not paid within thirty (30) days after the due date shall bear interest from the due date at the rate of ten percent per annum. The Association may bring an action at law against the owner personally obligated to pay the same, or foreclose the lien against the property. No owner may waive or otherwise escape liability for the assessments provided for herein by non-use of the common area or abandonment of the property.

SECTION 8: Subordination of the Lien to Mortgages: The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage. Sale or transfer of any tract shall not affect the assessment lien. However, the sale or transfer of any tract pursuant to mortgage foreclosure or any proceeding in lieu thereof, shall extinguish the lien of such assessments as to payments which became due prior to such sale or transfer. No sale or transfer shall relieve such tract from liability for any assessments thereafter becoming due or from the lien thereon.

PART F. GENERAL PROVISIONS:

F-1 TERM. These covenants are to run with the land and shall be binding on all parties and all persons claiming under them for a period of twenty-five years from the date these covenants are recorded after which time, said covenants shall be automatically extended for successive period of ten years, subject to the express provision that these covenants may be amended at any time after the date of execution hereby by an instrument signed by the members of the Architectural Control Committee and the owner or owners of a majority of the lots herein platted

are recorded after which time, said covenants shall be automatically extended for successive period of ten years, subject to the express provision that these covenants may be amended at any time after the date of execution hereby by an instrument signed by the members of the Architectural Control Committee and the owner or owners of a majority of the lots herein platted.

F-2 ENFORCEMENT. Enforcement shall be by proceedings at law or in equity against any person or persons violating or attempting to violate any covenant either to restrain violations or to recover damages.

F-3 SEVERABILITY Invalidation of any one of these covenants by judgment or court order shall in no way affect any of the other provisions which shall remain in full force and effect.

IN WITNESS WHEREOF, the name of Owner is hereby affixed by its Members this _____ day of _____, 2022.

SOUTHERN GENERAL CONTRACTORS

BY: _____

Jody Petty

ACKNOWLEDGEMENT

STATE OF ARKANSAS)
)ss
COUNTY OF SALINE)

WITNESS our hands the ____ day of _____, 2022.

Southern General Contractors, LLC

BY: _____
Jody R. Petty, Member

Acknowledgment

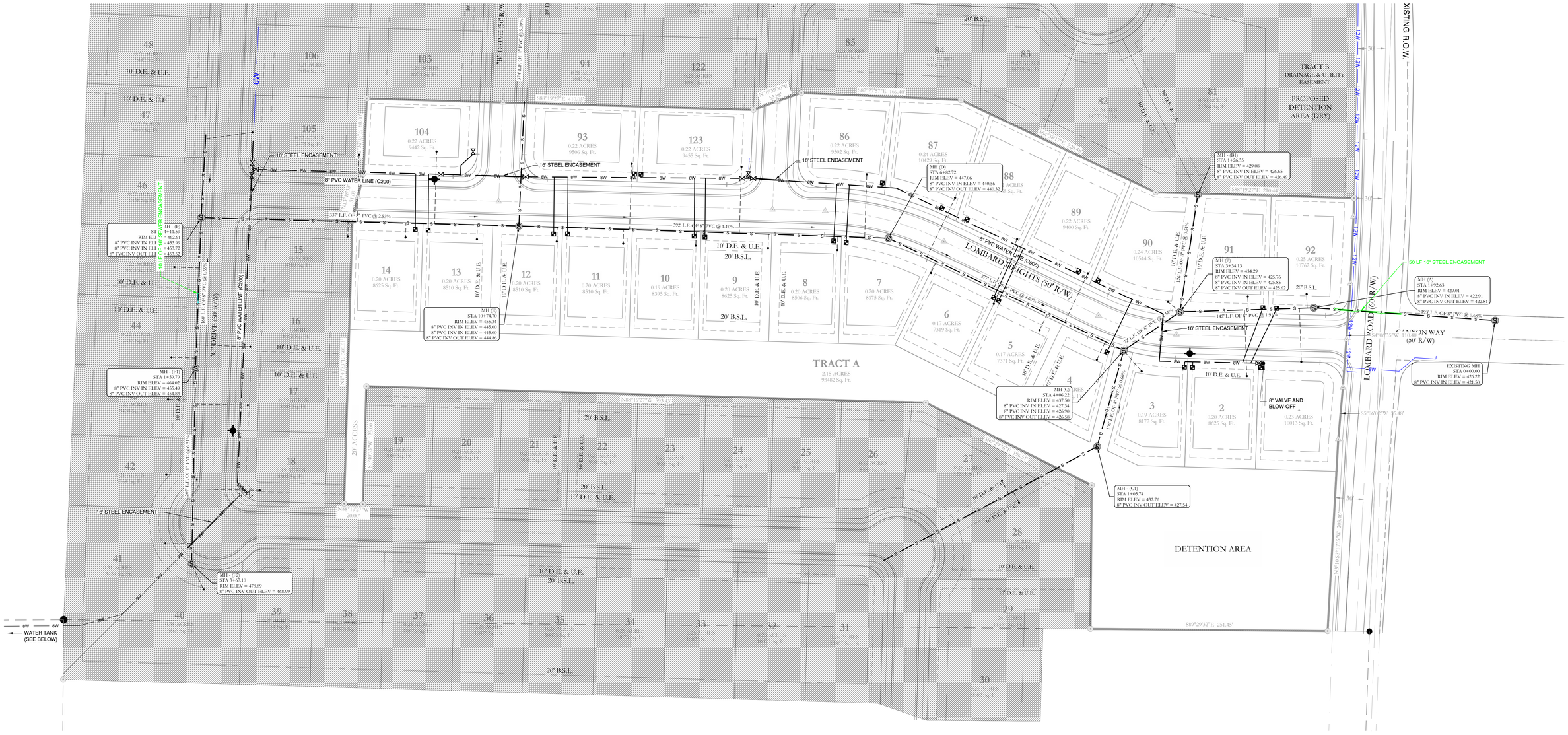
State of Arkansas

County of Saline

On this ____ day of ____, 2022, before me, the undersigned officer, personally appeared Jody R. Petty, who acknowledged himself to be the Member of Southern General Contractors, LLC, a limited liability company, and that he, being authorized so to do, executed the foregoing instrument for the consideration and purposes therein contained, by signing the name of the Southern General Contractors, LLC, as Member.

In witness whereof, I hereunto set my hand and official seal.

_____
Notary Public
My Commission expires:



WATER LEGEND:	TYPICAL FIRE HYDRANT:	SEWER LEGEND:
2" BLOW OFF	2" BLOW OFF	SEWER SERVICE
WATER MAIN — GATE VALVE	REDUCER 6"	SEWER MAIN — S — S — SEWER MANHOLE
REDUCER	6"	
FIRE HYDRANT	GATE VALVE	
DOUBLE WATER SERVICE	FIRE HYDRANT (2 TO 6 FEET FROM EDGE OF PAVEMENT)	
SINGLE WATER SERVICE		

NOTE:
ALL FIRE HYDRANT LEADERS HAVE A GATE VALVE BETWEEN MAIN AND FIRE HYDRANT.

NOTE:
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

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FOR USE AND BENEFIT OF:

LOMBARD HEIGHTS

WATER & SEWER ASBUILTS
LOMBARD HEIGHTS, PHASE 1

A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B.JOHNSON		DRAWING NUMBER:
REVISED:	CHECKED BY:		20-1388
SHEET:	SCALE: AS SHOWN		

500	01S	14W	16	201	62	128

© Land Projects 2020 SUBDIVISION 2020 LOT 1 Lombard Heights 11-10-20 HP.dwg

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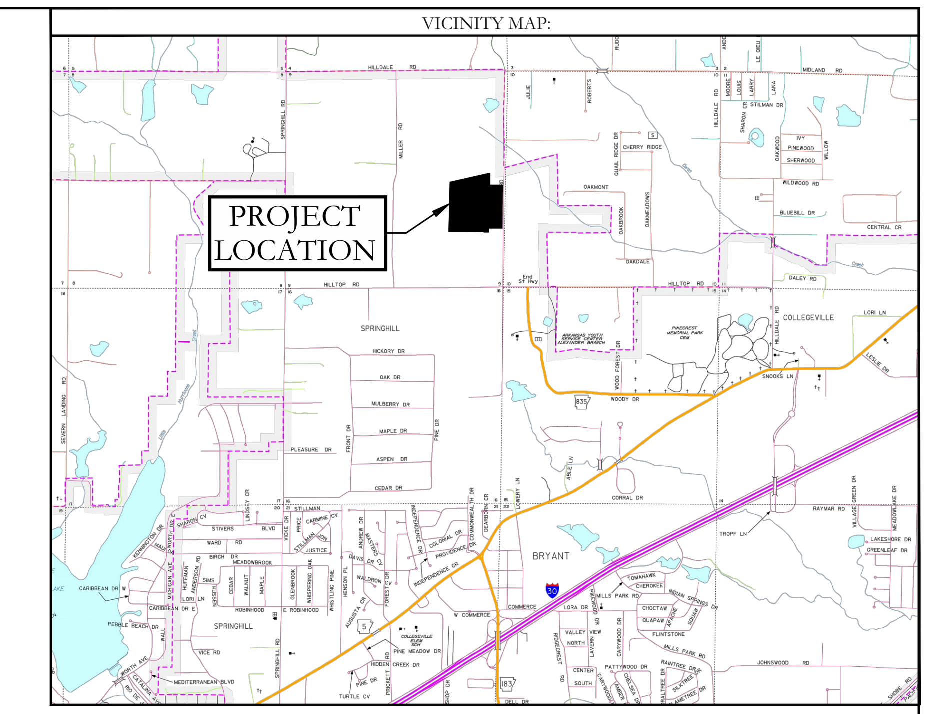
FOR USE AND BENEFIT OF:

LOMBARD HEIGHTS

DRAINAGE ASBUILTS
LOMBARD HEIGHTS, PHASE 1
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B.JOHNSON	DRAWING NUMBER:	
REVISED:	CHECKED BY: =	20-1388	
SHEET:	SCALE: AS SHOWN		

500	01S	14W	16	201	62	128

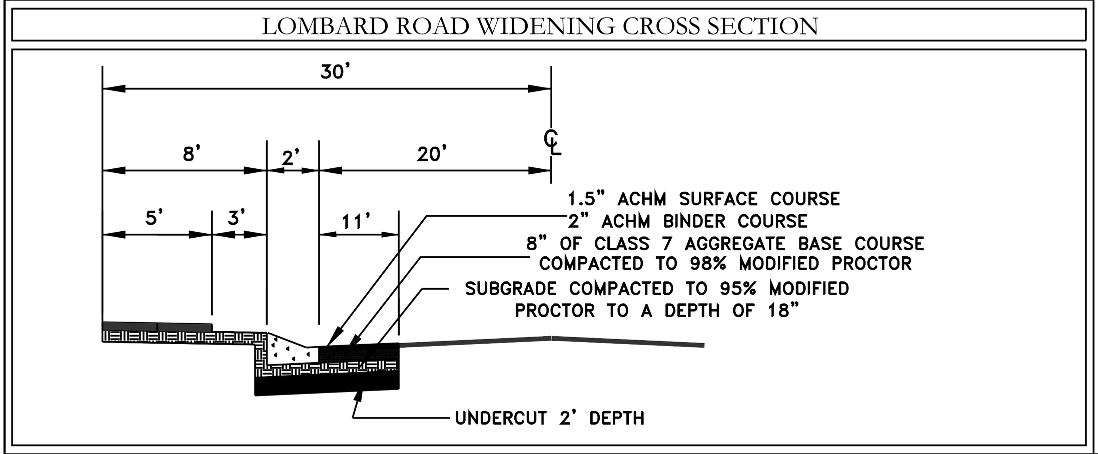


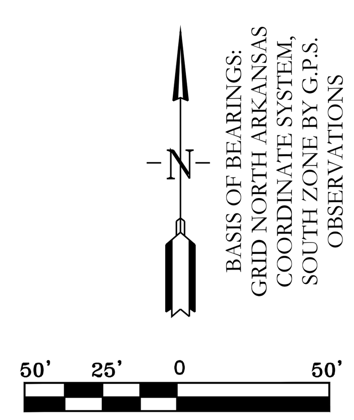
FINAL PLAT

LOMBARD HEIGHTS SUBDIVISION, PHASE 1

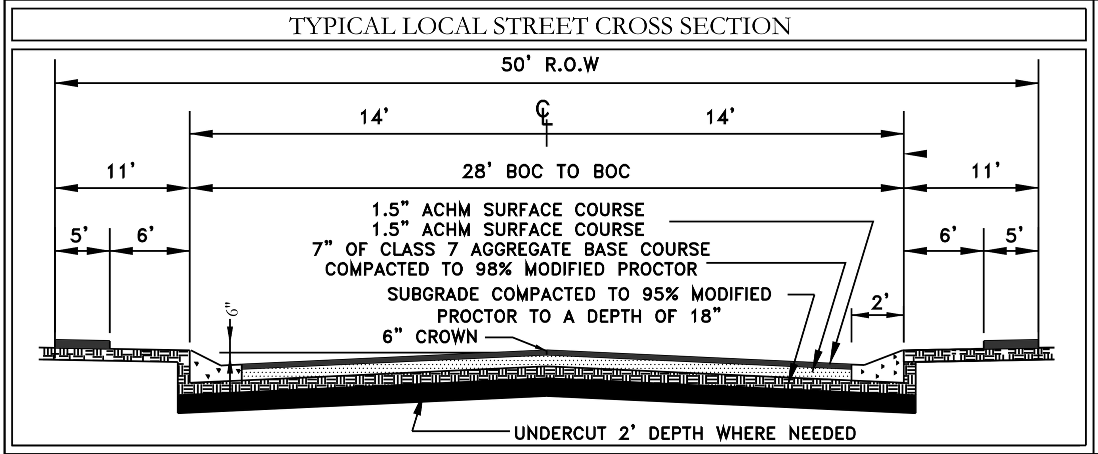
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

LOMBARD ROAD WIDENING CROSS SECTION

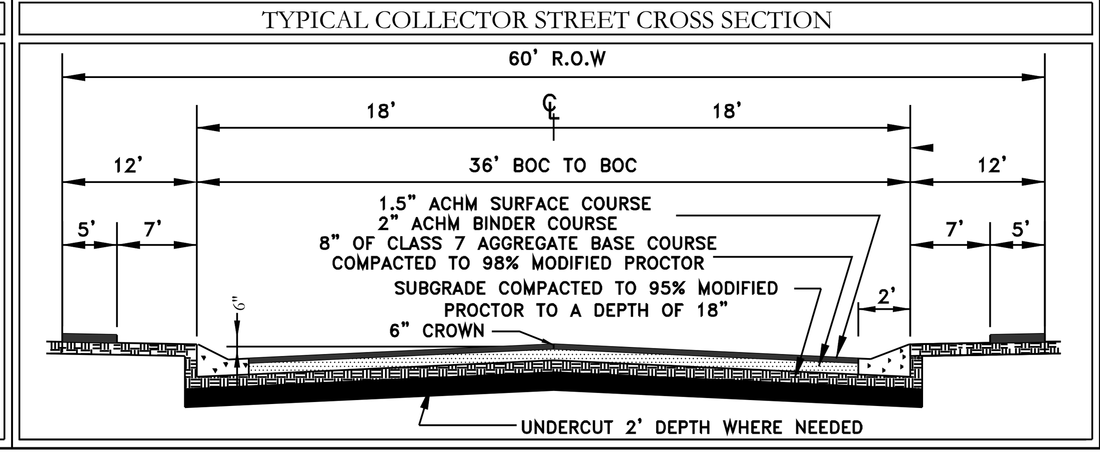




TYPICAL LOCAL STREET CROSS SECTION



TYPICAL COLLECTOR STREET CROSS SECTION



PROPERTY DESCRIPTION:

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER (NE/4 SE/4), PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE/4 SE/4), PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW/4 SE/4), **ALL IN SECTION 9**, TOWNSHIP 1 SOUTH, RANGE 14 WEST OF THE FIFTH PRINCIPAL MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT THE NE CORNER OF SAID SE 1/4 OF THE SE 1/4, SAID POINT BEING A FOUND 1/2" REBAR WITH A CAP; THENCE, ALONG THE NORTH LINE OF SAID SE 1/4, SE 1/4 S 89°29'36" W A DISTANCE OF 40.65 FEET TO THE **POINT OF BEGINNING**; THENCE, N 00°30'26" E A DISTANCE OF 152.28 FEET; THENCE, N 63°32'06" W A DISTANCE OF 196.51' FEET; THENCE, N88°19'27"W A DISTANCE OF 613.43 FEET; THENCE, N 01°40'33" E A DISTANCE OF 175.01 FEET; THENCE, N13°18'33"E A DISTANCE OF 51.05 FEET; THENCE, N 02°32'03" E A DISTANCE OF 80.00 FEET; THENCE, S 88°19'27" E A DISTANCE OF 410.05 FEET; THENCE, N 70°39'30" E A DISTANCE OF 53.88' FEET; THENCE, S 87°27'57" E A DISTANCE OF 169.40' FEET; THENCE, S 64°38'17" E A DISTANCE OF 228.48' FEET; THENCE, S 88°19'27" E A DISTANCE OF 210.44 FEET TO A POINT THE WEST RIGHT OF WAY OF LOMBARD HEIGHTS ROAD; THENCE ALONG SAID RIGHT OF WAY S01°13'12"W A DISTANCE 19.44 FEET; THENCE S02°46'04"W A DISTANCE OF 71.03 FEET; THENCE S04°06'35"W A DISTANCE OF 110.40 FEET; THENCE S05°06'02"W A DISTANCE OF 55.48 FEET; THENCE S03°10'56"W A DISTANCE OF 203.50 FEET TO THE **POINT OF BEGINNING** AND HAVING AN AREA OF 8.50ACRES (370,381 SQUARE FEET).

Curve Table

Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	91°41'52"	S42°28'31"E 35.88	40.01	25.00
C2	11°27'21"	S82°35'47"E 45.91	45.99	230.00
C3	4°59'05"	S74°22'34"E 20.00	20.01	230.00
C4	7°31'55"	S68°07'04"E 30.21	30.24	230.00
C5	20°07'22"	S74°24'47"E 94.34	94.83	270.00
C6	3°50'59"	S86°23'58"E 18.14	18.14	270.00
C7	89°08'20"	N47°06'23"E 35.09	38.89	25.00
C8	90°51'40"	S42°53'37"E 35.62	39.65	25.00
C9	89°08'29"	N47°06'18"E 35.09	38.90	25.00
C10	90°51'31"	S42°53'42"E 35.62	39.64	25.00
C11	11°11'16"	S82°43'50"E 62.38	62.48	320.00
C12	12°47'06"	S70°44'39"E 71.26	71.40	320.00
C13	23°58'21"	S76°20'17"E 74.76	75.31	180.00
C14	85°57'31"	N48°41'47"E 34.09	37.51	25.00
C15	23°58'21"	S76°20'17"E 85.15	85.77	205.00
C16	23°58'21"	N76°20'17"W 122.53	123.43	295.00

LEGEND

- (P) – No Parking Sign
- – Stop Sign
- – Street light
- – Fire Hydrant
- – Computed point
- – Found monument
- – Set #4 RB/Plas. Cap (SIP)
- (D) -- Deeded
- (M) -- Measured
- (P) -- Platted

CERTIFICATIONS:

OWNER:

Name: SOUTHERN GENERAL CONTRACTORS
Address: BOX 242146
LITTLE ROCK, AR 72223

DEVELOPER:

Name: SOUTHERN GENERAL CONTRACTORS
Address: BOX 242146
LITTLE ROCK, AR 72223

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution ____ Name: ____

Source of Title: ____

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution

Jonathan L. Hope
Registered Professional
Land Surveyor No. 1762
Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:

I, William W. McFadden, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Bryant Subdivision Rules and Regulations have been followed.

Date of Execution

William W. McFadden
Registered Professional
Engineer, No. 14048
Arkansas

CERTIFICATE OF FINAL APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held __________, 20 _____. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution

Rick Johnson,
Bryant Planning Commission

PROPERTY SPECIFICATIONS:

OWNER: SOUTHERN GENERAL CONTRACTORS
P.O. BOX 242146
LITTLE ROCK, AR 72223

DEVELOPER/: SOUTHERN GENERAL CONTRACTORS
SUBDIVIDER P.O. BOX 242146
LITTLE ROCK, AR 72223

ENGINEERS: HOPE CONSULTING INC.
117 S MARKET STREET
BENTON, AR 72015

NAME OF SUBDIVISION: LOMBARD HEIGHTS SUBDIVISION

ZONING CLASSIFICATION: R-1.S

SOURCE OF TITLE: 2017-11245

MIN. LOT SIZE: 6,000 S.F.
NUMBER OF LOTS: 24
SOURCE OF WATER: SALEM WATER USERS
SOURCE OF SEWER: CITY OF BRYANT
SOURCE OF ELECTRIC: FIRST ELECTRIC COOP
SOURCE OF GAS: CENTERPOINT ENERGY

BUILDING SETBACKS:
FRONT - 20' OR AS SHOWN
REAR - 20' OR AS SHOWN
SIDE - 8' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 10' OR AS SHOWN
REAR - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
STREET RIGHT OF WAYS: 50' OR AS SHOWN
STREET WIDTH: 28' BOC TO BOC
LOT CORNERS: SET 1/2" REBAR WITH CAP

HOPE CONSULTING
ENGINEERS - SURVEYORS
117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
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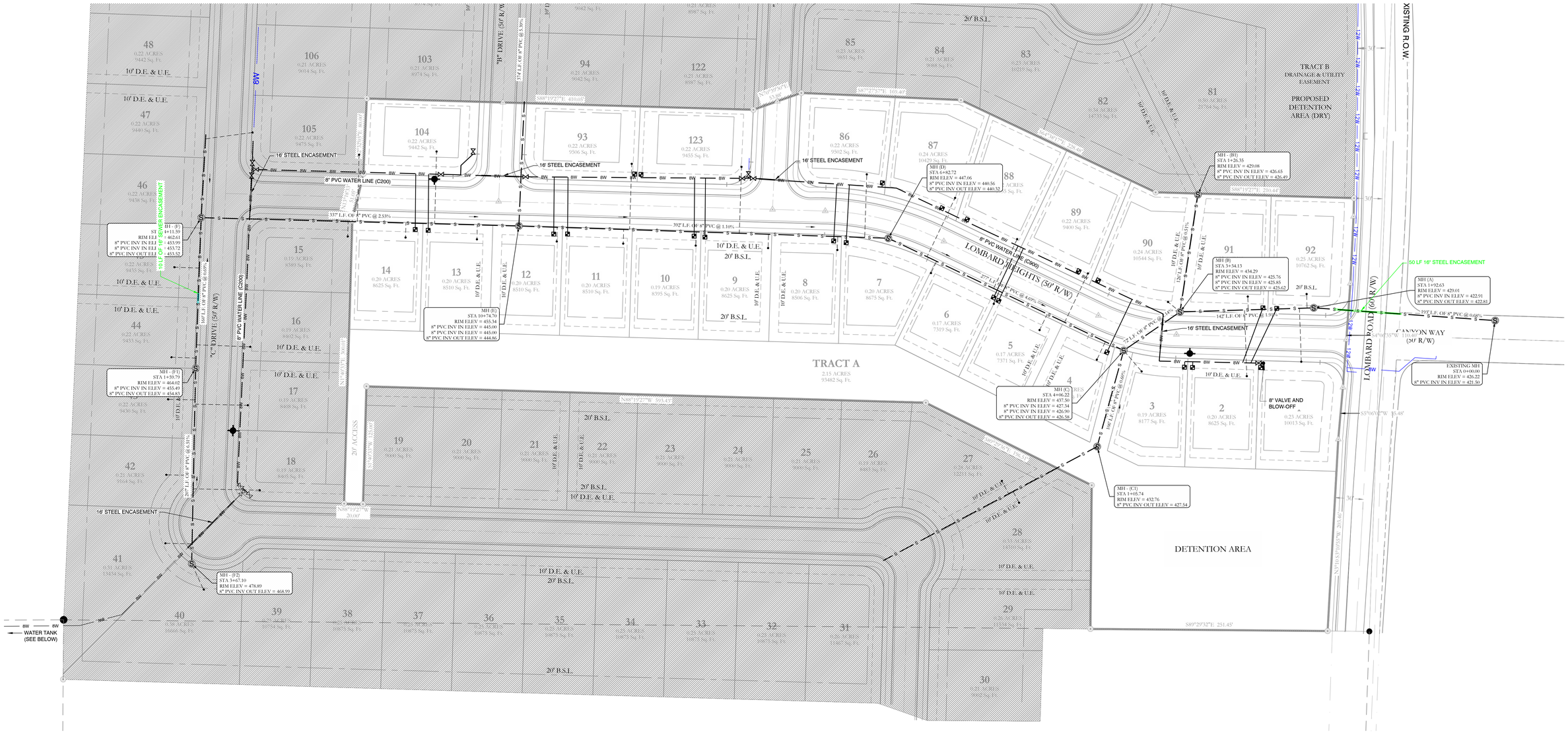
FOR USE AND BENEFIT OF:
SOUTHERN GENERAL CONTRACTORS

FINAL PLAT
LOMBARD HEIGHTS, PHASE 1
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B.JOHNSON	DRAWING NUMBER:
REVISED:	CHECKED BY:	19-0238
	SCALE: 1"=100'	

500	01S	14W	0	29	300	62	1762

K:\LAND PROJECTS 2004\SUBDIVISIONS\2020\20-1388 LOMBARD HEIGHTS\20-1388-06-08-2022-PHASE 1-FP.DWG



WATER LEGEND:	TYPICAL FIRE HYDRANT:	SEWER LEGEND:
2" BLOW OFF	2" BLOW OFF	SEWER SERVICE
WATER MAIN — GATE VALVE	REDUCER 6"	SEWER MAIN — S — S — SEWER MANHOLE
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SINGLE WATER SERVICE		

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FOR USE AND BENEFIT OF:

LOMBARD HEIGHTS

WATER & SEWER ASBUILTS
LOMBARD HEIGHTS, PHASE 1

A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B.JOHNSON		DRAWING NUMBER:
REVISED:	CHECKED BY:		20-1388
SHEET:	SCALE: AS SHOWN		

500	01S	14W	16	201	62	128

© Land Projects 2020 SUBDIVISION 2020 LOT 1 Lombard Heights 11-10-20 HP.dwg

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FOR USE AND BENEFIT OF:

LOMBARD HEIGHTS

DRAINAGE ASBUILTS
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A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08/10/2022	C.A.D. BY: B.JOHNSON	DRAWING NUMBER:	
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SHEET:	SCALE: AS SHOWN		

500	01S	14W	16	201	62	128

Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- $300.00 + $3.00 per lot - for Subdivision preliminary plat review
- $250.00 or $25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- $100 per lot - Water/Sewer Impact Fee
- $100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- $25.00 + $1.00 per lot - for Subdivision Final Plat review

$2400+$100= $2,500
$25+$24=$49

Total Fee Required= $2,549

City of Bryant Subdivision Checklist

Subdivision/Project Name Lombard Heights

Contact Person Jonathan Hope **Phone** 501-860-0467

Mailing Address 117 South Market Street Benton, Arkansas

I. Basic Information Needed On The Plat

√ ▲ 1. Name of Subdivision/Project
√ ▲ 2. Current zoning R-1.S
√ ▲ 3. Name and Address of owner of Record
√ ▲ 4. Illustrate Source of Title giving deed record book and page number
√ ▲ 5. Name & address of the sub-divider
√ ▲ 6. Date of Survey
√ ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
√ ▲ 8. Legal description of the property with exact boundary lines
√ ▲ 9. Acreage of property
√ ▲ 10. Number of Lots
√ ▲ 11. Lot area in square feet
√ ▲ 12. Lot lines with appropriate dimensions
√ ▲ 13. Building setback lines
√ ▲ 14. Preliminary Engineering certificate seal and signature on each page
√ ▲ 15. Certificate of Engineering Accuracy
√ ▲ 16. Certificate of Owner
√ ▲ 17. Certificate of Final Plat Approval
√ ▲ 18. Certificate of Recording
√ ▲ 19. Show scale (not less than 1" = 100')
√ ▲ 20. North Arrow
√ ▲ 21. Show Title block
√ ▲ 22. Show adjoining property owners
√ ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
√ 24. Layout of all subdivision entrance street upgrades
√ ▲ 25. Layout of all proposed alleys
√ ▲ 26. Layout of all proposed sidewalk systems
√ ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
√ ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
√ ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
√ ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
√ ▲ 31. Street width and right-of-way properly shown for each functional classification
√ ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
√ ▲ 33. Typical cross section of streets
√ ▲ 34. Location and name of existing streets
√ ▲ 35. New street names that are not similar to existing street names
√ ▲ 36. Show street lights
√ ▲ 37. Show Fire Hydrant placement

√ ▲ 38. Show and label all permanent & proposed easements
√ ▲ 39. Any proposed open space must be shown
√ ▲ 40. Show the direction and flow of all water courses entering the tract
√ ▲ 41. Show the direction and flow of all water courses leaving the tract
√ ▲ 42. The drainage area of all water courses above the points of entry.
√ ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
√ ▲ 44. Show source of water supply
√ ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
√ ▲ 46. A phasing plan outlining the boundaries for each phase

II. Additional Information Needed, But Not Necessarily On The Plat

√ ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
√ ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
√ ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
√ ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
51. Stormwater detention plan approval from City Engineer (attach copy of approval)
√ ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
√ ▲ 53. ADA Accessibility Standard Form completed (and attached)
√ ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
√ ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
√ ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
√ ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. Preliminary Plat Attachments

(Application will not be accepted until all attachment requirements are met)

▲ 58. **Letter to Planning Commission** stating your request
▲ 59. Completed **Checklist**
▲ **60. Completed agreement to provide performance assurance**
▲ 61. **Subdivider Performance Bond or Cashier's Check** for infrastructure installation
▲ 62. Landscaping plan of any proposed common open space
▲ 63. **Draft of Bill of Assurance** proposed for the subdivision (if applicable)
▲ 64. **20 copies of Preliminary Plat Plan (folded)** that includes vicinity map (minimum size 17" X 34" paper)
▲ 65. **Two (2) IBM compatible diskettes or CDR's** with pertinent data and Plat in CAD compatible .DXF electronic file format
▲ 66. Copy of **Stormwater Detention approval**
▲ 67. 2 copies **Plan and profile** of all streets
▲ 68. Receipt for **$300.00 + $3.00 per lot for preliminary Subdivision fee**
▲ 69. Receipt for **$250.00 or $25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review**
▲ 70. Copy of **ADEQ Stormwater Pollution Prevention Plan** for property parcel containing one acre or larger.

III. Final Plat Attachments

(Application will not be accepted until all attachment requirements are met)

- √ ▲ 71. **Letter to Planning Commission** stating your request
- √ ▲ 72. Completed **Checklist**
- √ ▲ 73. **20 copies of Final Plat Plan (folded)** that includes vicinity map (minimum size 17" X 34" paper)
- √ ▲ 74. **Two (2) IBM compatible diskettes or CDR's** with pertinent data and Plat in CAD compatible .DXF electronic file format
- √ ▲ 75. **Bill of Assurance** including provisions set out in Title 15 Subdivision Regulations 15.16.01
- √ ▲ 76. Copy of **Water & Sewer Commission approval** or....
- √ ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- √ ▲ 78. **Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed** in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- √ ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- √ ▲ 80. Check for **$25.00 + $1.00 per lot for final Subdivision fee**
- √ ▲ 81. Check for **Water Sewer impact fees ($100.00 Flushing Fee and $100.00 impact fee per lot)**

Lombard Heights
Name of Subdivision

Jonathan Hope
Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

Owner Signature

William McFadden
Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____ Date _____

AGREEMENT
BY
SUBDIVISION DEVELOPER
TO PROVIDE ASSURANCE TO
THE CITY OF BRYANT
ARKANSAS
PER ORDINANCE #98-35

I _____, developer for the _____ subdivision located in the City of Bryant city limits or planning jurisdiction agree to provide a surety bond or cashier's check in the amount of 10% of the development cost estimated to be $_____ but not less than $10,000 or more than $50,000 within 10 calendar days after preliminary plat approval by the Bryant Planning Commission in accordance with the terms of Ordinance Number 98-35.

_____
Date

_____
Developer Signature

_____
Witness

_____
Printed Name

_____
Address

_____
Phone Number

ORDINANCE NO. 98-35

ASSURANCES FOR COMPLIANCE, INSTALLATION, ETC.

a.) Upon preliminary approval of subdivision construction plans and specifications for improvements, the Developer shall enter into an agreement with the City of Bryant to install or ensure the completion of the improvements as designed and to (repair or replace), (pay the cost to the city of repairing or replacing) all city property damaged or destroyed in connection therewith. The city will accept the subdivision and issue the certificate of final plat approval subject to the assurance of performance of the obligations of the Developer under the agreement.

b.) One of the following assurances assigned to the city shall be utilized by the Developer to assure performance of the Developer's obligations under the agreement:

1. Surety Bond in the amount of ten percent (10%) of the estimated development cost and recorded at the Saline County Courthouse.

2. Cashier's check(s) in the amount of ten percent (10%) of the estimated development cost on which no interest will be paid by the city.

Any cashier's check or certificate of deposit allowed by this section shall be insured by a financial institution insured by the Federal Deposit Insurance Corporation and licensed to business in Arkansas. Further, each instrument of assurance shall be payable to the City of Bryant, and shall be in principal amount no less that $10,000 or no greater than $50,000. All instruments of assurance or the city's check in the amount equal to the principal amount of the instrument less any deductions for failure to perform by the Developer shall be returned to the Developer one-year after completion of the Developers performance under the agreement.

Forfeiture of the assurance for compliance does not relieve the Developer of his responsibility to complete the subdivisions improvements to the satisfaction of the City.

Developer's of large projects that could have an adverse impact on the City's infrastructure may be required to have an assurance for compliance if so directed by the Planning Commission.

All Ordinances and parts of Ordinances in conflict with this Ordinance are hereby repealed.

Should any portion of this ordinance be unconstitutional or invalid and so declared by a court of competent jurisdiction, then the remainder of this Ordinance, and any remaining applications of the Ordinance, shall not be affected by such partial unconstitutionality or invalidity.

This Ordinance shall be in full force and effect from and after its passage, approval, and publication.

PASSED AND APPROVED THIS 28th DAY OF September, 1998.

Roy Bailey
APPROVED

Wanda Smith, City Clerk
ATTEST

No Emergency Clause

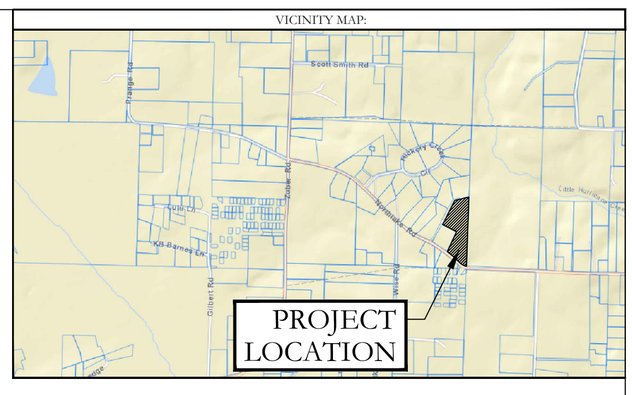
NOTES:

1. NO ABOVE GROUND UTILITIES TO BE CONSTRUCTED WHERE HATCHED AREA IS DRAINAGE & ACCESS EASEMENT.

TYPICAL STREET CROSS SECTION

NORTHLAKE ROAD HALF STREET IMPROVEMENTS CROSS SECTION

VICINITY MAP:



LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE N 02°02'55" E ALONG THE EAST LINE THEREOF, A DISTANCE OF 15.10 FEET TO A POINT ON THE CENTERLINE OF NORTHLAKE ROAD FOR THE POINT OF BEGINNING OF HERE ON DESCRIBED TRACT OF LAND; THENCE N 02°02'55" E A DISTANCE OF 1317.75 FEET TO A UTILITY POLE FENCE CORNER ACCEPTED AS THE NORTHEAST CORNER OF THE SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE S 77°42'07" W A DISTANCE OF 295.64 FEET TO A 1.5 INCH SHAFT; THENCE S 27°20'16" W A DISTANCE OF 492.79 FEET TO A 1/2 REBAR WITH CAP PS#1081; THENCE S 62°12'40" E A DISTANCE OF 318.91 FEET TO A 1/2 REBAR CAP, ILLEGIBLE; THENCE S 27°14'10" W A DISTANCE OF 430.94 FEET TO THE CENTERLINE OF NORTHLAKE ROAD; THENCE ALONG THE CENTERLINE OF NORTHLAKE ROAD THE FOLLOWING COURSES, S 54°12'24" E A DISTANCE OF 119.51 FEET; THENCE S 45°52'00" E A DISTANCE OF 181.70 FEET; THENCE S 53°37'24" E A DISTANCE OF 93.64 FEET; THENCE S 68°03'06" E A DISTANCE OF 86.69 FEET, TO THE POINT OF BEGINNING CONTAINING 409353 SQUARE FEET OR 9.40 ACRES, MORE OR LESS.

NOTE:

TRACTS A & B WILL BE AN EASEMENT UTILIZED FOR DRAINAGE, UTILITIES AND ACCESS.

Curve Table

Curve #	Delta	Chord B & D	Arc Length	Arc Radius
C1	99°45'49"	N75°53'58"E 38.24'	43.53'	25.00'
C2	89°29'06"	N17°28'07"W 70.39'	78.09'	50.00'
C3	40°01'33"	N82°13'26"W 17.11'	17.46'	25.00'
C4	61°00'50"	N71°43'47"W 50.76'	53.24'	50.00'
C5	45°10'47"	N18°37'58"W 38.41'	39.43'	50.00'
C6	63°24'23"	N35°39'37"E 52.55'	55.33'	50.00'
C7	39°33'16"	N47°35'10"E 16.92'	17.26'	25.00'
C8	33°31'47"	N47°11'29"E 34.61'	35.11'	60.00'
C9	49°37'26"	N88°46'06"E 50.36'	51.97'	60.00'
C10	39°41'09"	S46°34'37"E 40.73'	41.56'	60.00'
C11	53°32'50"	S0°02'23"W 54.06'	56.07'	60.00'
C12	80°21'41"	S66°59'39"W 77.42'	84.15'	60.00'
C13	56°53'08"	S78°43'56"W 23.81'	24.82'	25.00'
C14	22°59'17"	S38°47'43"W 9.96'	10.03'	25.00'
C15	89°32'55"	S17°26'12"E 70.43'	78.15'	50.00'
C16	64°46'29"	N59°39'41"E 26.78'	28.26'	25.00'
C17	76°37'16"	N7°26'17"W 31.00'	33.43'	25.00'
C18	37°45'21"	S8°23'46"W 48.53'	49.42'	75.00'
C19	10°20'59"	S84°41'35"W 27.06'	27.10'	150.00'
C20	51°43'45"	S36°20'47"E 65.44'	67.71'	75.00'
C21	44°46'28"	S39°49'26"E 57.13'	58.61'	75.00'
C22	44°42'30"	S4°55'03"W 57.05'	58.52'	75.00'

Parcel Line Table

Line #	Direction	Length
L1	N79°31'05"E	10.52'
L2	N89°52'04"E	12.73'
L3	N72°33'48"E	20.18'
L4	N62°41'55"W	35.06'
L5	S62°12'40"E	22.58'

CERTIFICATIONS:

OWNER:
Name: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

DEVELOPER:
Name: OLTMANS DEVELOPMENT
Address: 1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have caused to be laid off, platted and subdivided, and to hereby lay off, plat and subdivide said real estate in accordance with the plat.

Date of Execution _____ Name: OLTMANS DEVELOPMENT

Source of Tile: D.R. BOOK 2021 PAGE 029161

CERTIFICATE OF SURVEYING ACCURACY:

I, Jonathan L. Hope, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all interior lot lines have been adjusted to "as built conditions" and are accurately described on the plat and identified on the ground in terms of length and direction of the property side as required in accord with the City of Bryant Subdivision Regulation Ordinance.

Date of Execution

Jonathan L. Hope
Registered Professional
Land Surveyor No. 1762
Arkansas

CERTIFICATE OF FINAL ENGINEERING ACCURACY:

I, William W. McFadden, hereby certify that this plat correctly represents a plat made by me, and that the engineering requirements of the City of Benton Subdivision Rules and Regulations have been followed.

Date of Execution

William W. McFadden
Registered Professional
Engineer, No. 14048
Arkansas

CERTIFICATE OF FINAL APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____, 20 _____. All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations.

Date of Execution

Rick Johnson,
Bryant Planning Commission

By affixing my seal and signature, I Jonathan L. Hope PLS No, 1762, hereby certify that this drawing correctly depicts a survey compiled under my supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Federal Insurance Rate Map, panel #05125C0225E, Dated: 06/05/2020 .

CERTIFICATE OF AUTHORIZATION
HOPE CONSULTING, INC.
No. 1931
ARKANSAS

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
NO. 14048
WILLIAM W. McFADDEN

REGISTERED
STATE OF ARKANSAS
NO. 1762
SIGNATURE
JONATHAN L. HOPE
PROFESSIONAL LAND SURVEYOR

PROPERTY SPECIFICATIONS:

OWNER: OTMANS DEVELOPMENT
1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

DEVELOPER/: OTMANS DEVELOPMENT
SUBDIVIDER 1930 N REYNOLDS ROAD STE 1P
BRYANT, AR 72022

ENGINEERS: HOPE CONSULTING INC.
117 S. MARKET STREET
BENTON, AR 72015

NAME OF SUBDIVISION: CORAL RIDGE

ZONING: R-2

INSTRUMENT # 2021-029161

NUMBER OF LOTS: 30

SOURCE OF WATER: WATER USERS
SOURCE OF SEWER: CITY OF BRYANT
SOURCE OF ELECTRIC: FIRST ELECTRIC

BUILDING SETBACKS:
FRONT-25' OR AS SHOWN
REAR-25' OR AS SHOWN
SIDE-8' OR AS SHOWN

UTILITY & DRAINAGE EASEMENTS:
FRONT-10' OR AS SHOWN
REAR - 5' OR AS SHOWN
SIDE - 5' OR AS SHOWN

LEGEND
- Found Aliquot Corner
- Computed point
- Found monument
- Set #4 RB/Plas. Cap(SIP)
(M) - Measured
(R) - Record
(P) - Platted
- Street Light
- Fire Hydrant
- Stop Sign
- No Parking Sign

HOPE CONSULTING
ENGINEERS - SURVEYORS
117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
OLTMANS DEVELOPMENT

FINAL PLAT
CORAL RIDGE
A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS

DATE:	03/05/2021	C.A.D. BY: B.JOHNSON	DRAWING NUMBER:
REVISED:	09/21/2022	CHECKED BY:	21-0209
		SCALE: 1"=40'	

500	1S	14W	0	07	130	62	1762

K:\Land Projects 2004\Subdivisions\2021\21-0209 Oltmans Northlake (Coral Ridge)\CIVIL\DWG\21-0209 FP-5-30-22.dwg

Sewer Pipeline Easement

KNOW ALL MEN BY THESE PRESENTS:

That **Thomas D.B. Collins, LTD**(hereinafter "GRANTOR"), for and in consideration of the sum of One Dollar ($30,000.00) and other good and valuable consideration in hand paid by the **Oltmans Development, LLC** (hereinafter "GRANTEE"), the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey unto GRANTEE and its successors and assigns a permanent easement being **Ten (10) feet**, which Easement is for the purpose of laying, constructing, operating, repairing, replacing, testing, inspecting and maintaining the sewer lines and related or unrelated appurtenances over and upon the following described land. also, a temporary construction easement adjacent and parallel to the boundary of the permanent easement on the south side with a total width of FIVE (5) feet, for the purposes of permitting the GRANTEE to remove timber and obstructions, make excavations, store excavated materials, tools, supplies, equipment and provide working space in the construction of the said sewer lines described above, lying in **Saline County, Arkansas**:

BEING DESCRIBED AS THE NORTH 10 FEET OF LAND DESCRIBED IN SALINE COUNTY COURTHOUSE INSTRUMENT # 2018-006759

Related thereto, GRANTORS and their heirs, successors and/or assigns do hereby covenant and agree to permit and allow GRANTEE and its successors and assigns reasonable ingress and egress access rights to and across that portion of the Real Property as shall be reasonably designated by GRANTORS and their heirs, successors and/or assigns for the purpose of constructing, operating and maintaining the water and sewer line and related or unrelated appurtenances, it being understood that this covenant shall run with and bind the Real Property.

TO HAVE AND TO HOLD the same unto GRANTEE and unto GRANTEE'S successors and assigns, as the case may be, forever.

The GRANTORS do hereby covenant with the GRANTEE that they are lawfully seized and possessed of the Real Property above described and that they have a good and lawful right to convey the same or any part thereof.

GRANTORS, and each of them, do, for the consideration stated above, hereby release and relinquish unto GRANTEE any and all rights of dower, curtesy and homestead in and to said land which GRANTORS might have that are inconsistent with the easement herein above granted, but only to the extent necessary to permit the reasonable enjoyment of said easement.

GRANTOR hereby waives and releases GRANTEE, its employees and agents, from any and all claims for damage, known and unknown, foreseen and unforeseen, arising by reason of the use of the described real estate for the purposes herein described; provided, GRANTEE shall promptly restore any disturbed property of the GRANTOR tract affected by such work to substantially the same condition as before such work. All such restoration shall be completed as

soon as reasonably practicable following utility work within the easement.

WITNESS my hand and seal this _____ day of _____, 2022.

Grantors

By: _____
Thomas D.B. Collins, LTD

_____

STATE OF ARKANSAS)
)ss
COUNTY OF SALINE)

ACKNOWLEDGMENT

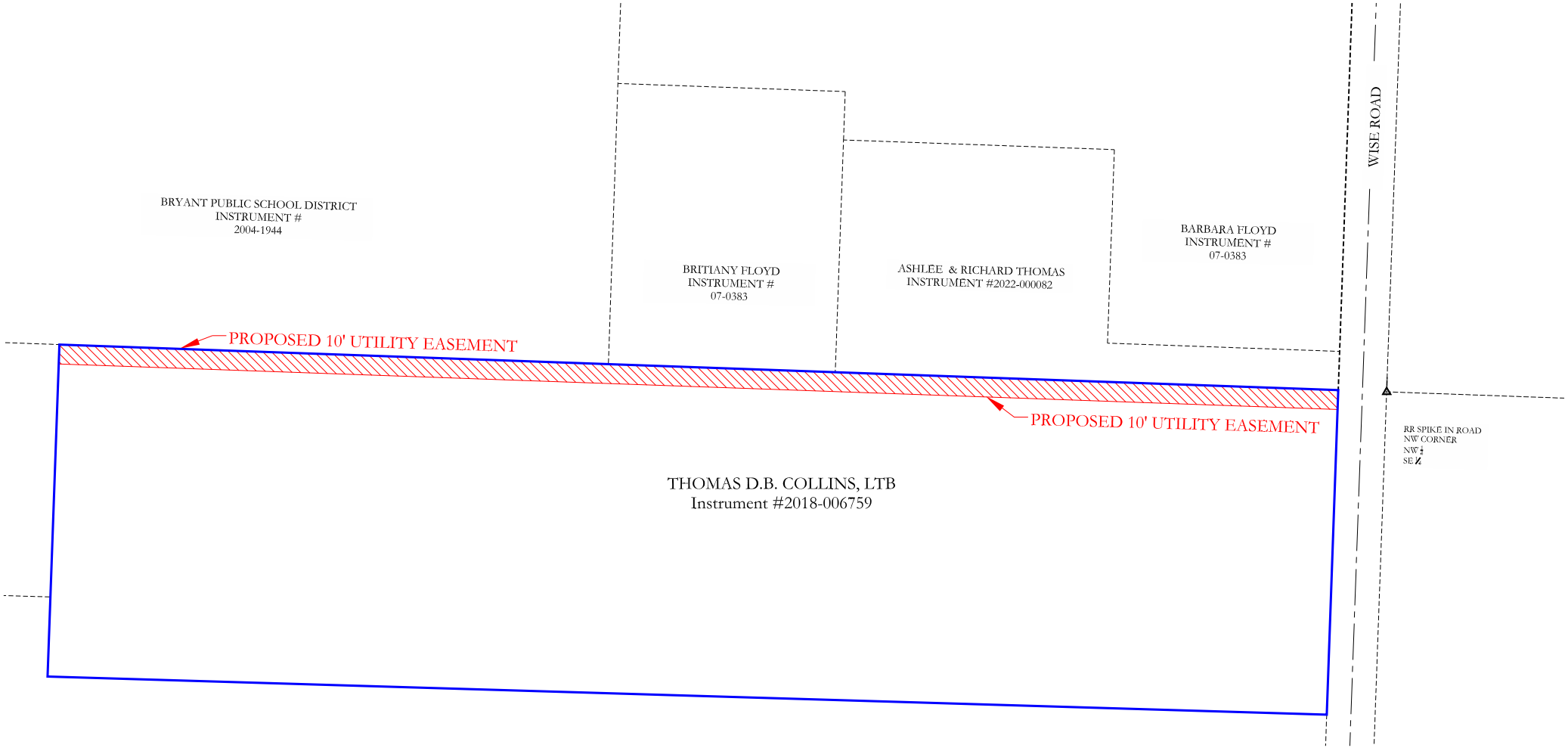
On this day personally appeared before the undersigned, a Notary Public within and for the county and state aforesaid, duly qualified, commissioned and acting, the person who has executed the document to which this acknowledgment is attached, to me well known as the person executing the foregoing instrument, and stated that he/she had executed the same for the consideration and purposes therein mentioned and set forth.

SUBSCRIBED AND SWORN to and before me, a Notary Public, on this ___ day of ____, 2022

_____
Notary Public

My Commission Expires: _____

(SEAL)


BRYANT PUBLIC SCHOOL DISTRICT
INSTRUMENT #
2004-1944
BRITIANY FLOYD
INSTRUMENT #
07-0383
ASHLEE & RICHARD THOMAS
INSTRUMENT #2022-000082
BARBARA FLOYD
INSTRUMENT #
07-0383
WISE ROAD
PROPOSED 10' UTILITY EASEMENT
PROPOSED 10' UTILITY EASEMENT
RR SPIKE IN ROAD
NW CORNER
NW ¼
SE ¼
THOMAS D.B. COLLINS, LTB
Instrument #2018-006759

Sewer Pipeline Easement

KNOW ALL MEN BY THESE PRESENTS:

That Bryant Public School District (hereinafter "GRANTOR"), for and in consideration of the sum of One Dollar ($1.00) and other good and valuable consideration in hand paid by the **Oltmans Developments, LLC** (hereinafter "GRANTEE"), the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey unto GRANTEE and its successors and assigns a permanent easement being **Ten (10) feet**, which Easement is for the purpose of laying, constructing, operating, repairing, replacing, testing, inspecting and maintaining the sewer lines and related or unrelated appurtenances over and upon the following described land. also, a temporary construction easement adjacent and parallel to the north boundary of the permanent easement with a total width of **FIVE (5) feet**, for the purposes of permitting the GRANTEE to remove timber and obstructions, make excavations, store excavated materials, tools, supplies, equipment and provide working space in the construction of the said sewer lines described above, lying in **Saline County, Arkansas**:

PROPERTY DESCRIPTION (DEED 2004-1944)

A 10' WIDE EASEMENT, ACROSS PART OF THE NE QUARTER OF THE NE QUARTER OF SECTION 7, TOWNSHIP 1S, RANGE 14W MORE PARTICULARLY DESCRIBED AS FOLLOWS: 10 (TEN) FEET EAST AND NORTH OF THE EXISTING SEWER EASEMENT LOCATED ON THE SOUTH LINE OF THE GRANTORS PROPERTY DESRIBED IN BOOK 2017 PAGE 003582 FILED IN SALINE COUNTY, ARKANSAS

Related thereto, GRANTORS and their heirs, successors and/or assigns do hereby covenant and agree to permit and allow GRANTEE and its successors and assigns reasonable ingress and egress access rights to and across that portion of the Real Property as shall be reasonably designated by GRANTORS and their heirs, successors and/or assigns for the purpose of constructing, operating and maintaining the water and sewer line and related or unrelated appurtenances, it being understood that this covenant shall run with and bind the Real Property.

TO HAVE AND TO HOLD the same unto GRANTEE and unto GRANTEE'S successors and assigns, as the case may be, forever.

The GRANTORS do hereby covenant with the GRANTEE that they are lawfully seized and possessed of the Real Property above described and that they have a good and lawful right to convey the same or any part thereof.

GRANTORS, and each of them, do, for the consideration stated above, hereby release and relinquish unto GRANTEE any and all rights of dower, curtesy and homestead in and to said land which GRANTORS might have that are inconsistent with the easement herein above granted, but

only to the extent necessary to permit the reasonable enjoyment of said easement.

GRANTOR hereby waives and releases GRANTEE, its employees and agents, from any and all claims for damage, known and unknown, foreseen and unforeseen, arising by reason of the use of the described real estate for the purposes herein described; provided, GRANTEE shall promptly restore any disturbed property of the GRANTOR tract affected by such work to substantially the same condition as before such work. All such restoration shall be completed as soon as reasonably practicable following utility work within the easement.

WITNESS my hand and seal this _____ day of _____, 2022.

Grantors

By: _____
Name

_____
Name

STATE OF ARKANSAS)
)ss
COUNTY OF SALINE)

ACKNOWLEDGMENT

On this day personally appeared before the undersigned, a Notary Public within and for the county and state aforesaid, duly qualified, commissioned and acting, the person who has executed the document to which this acknowledgment is attached, to me well known as the person executing the foregoing instrument, and stated that he/she had executed the same for the consideration and purposes therein mentioned and set forth.

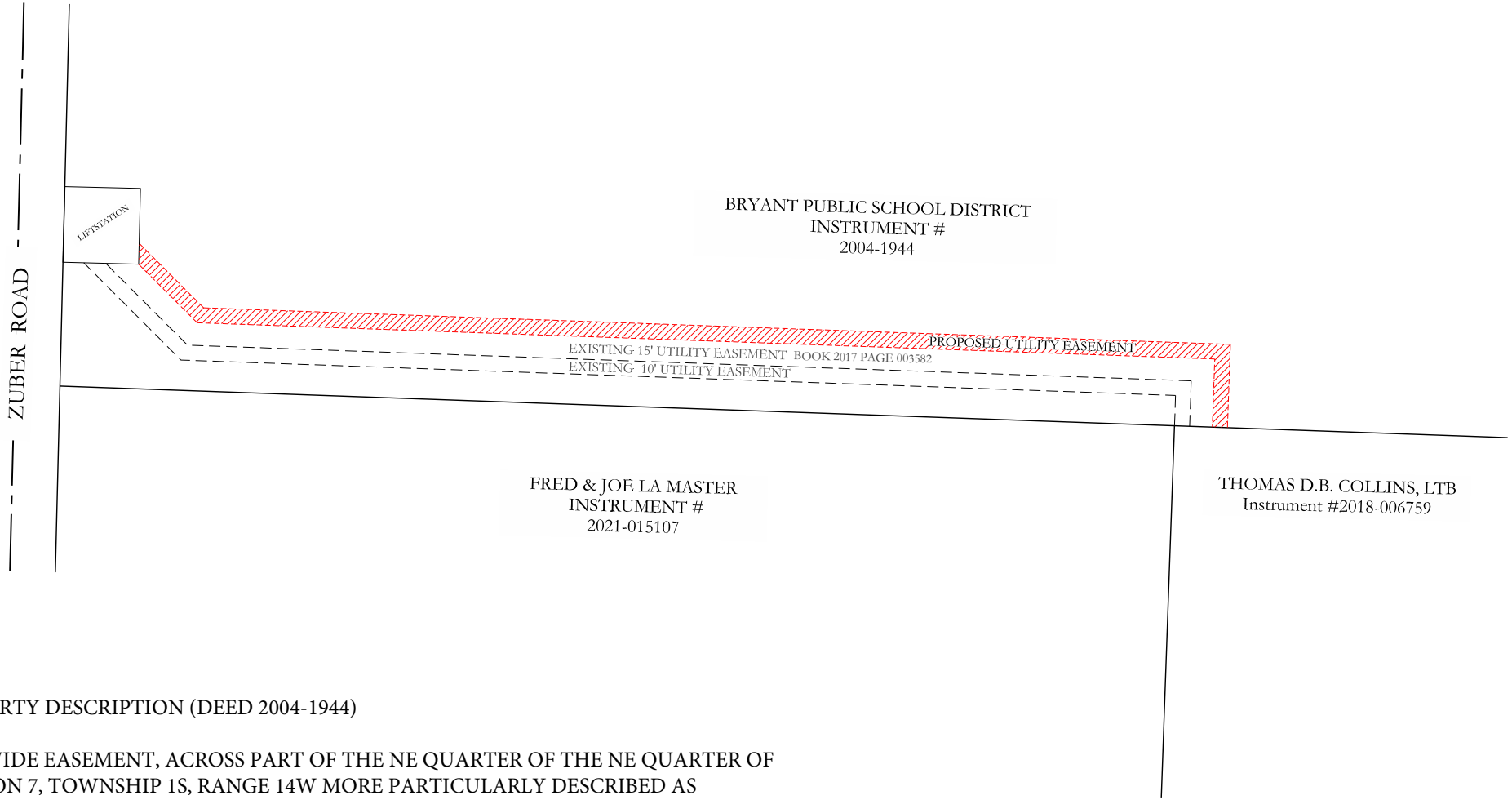
SUBSCRIBED AND SWORN to and before me, a Notary Public, on this ___ day of ____, 2022

_____
Notary Public

My Commission Expires: _____

(SEAL)

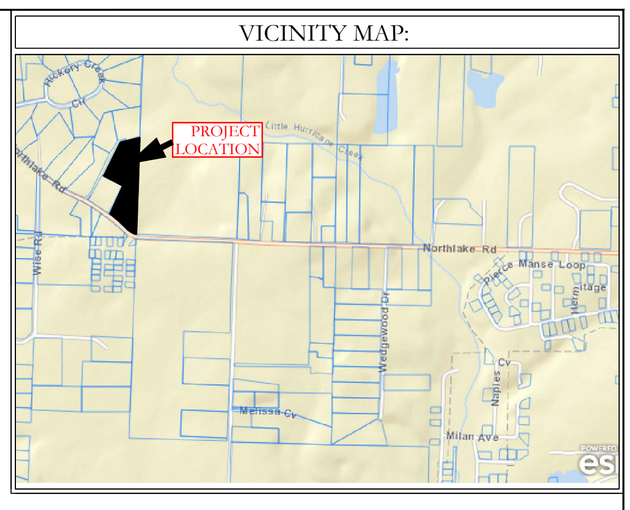
EXHIBIT "A"

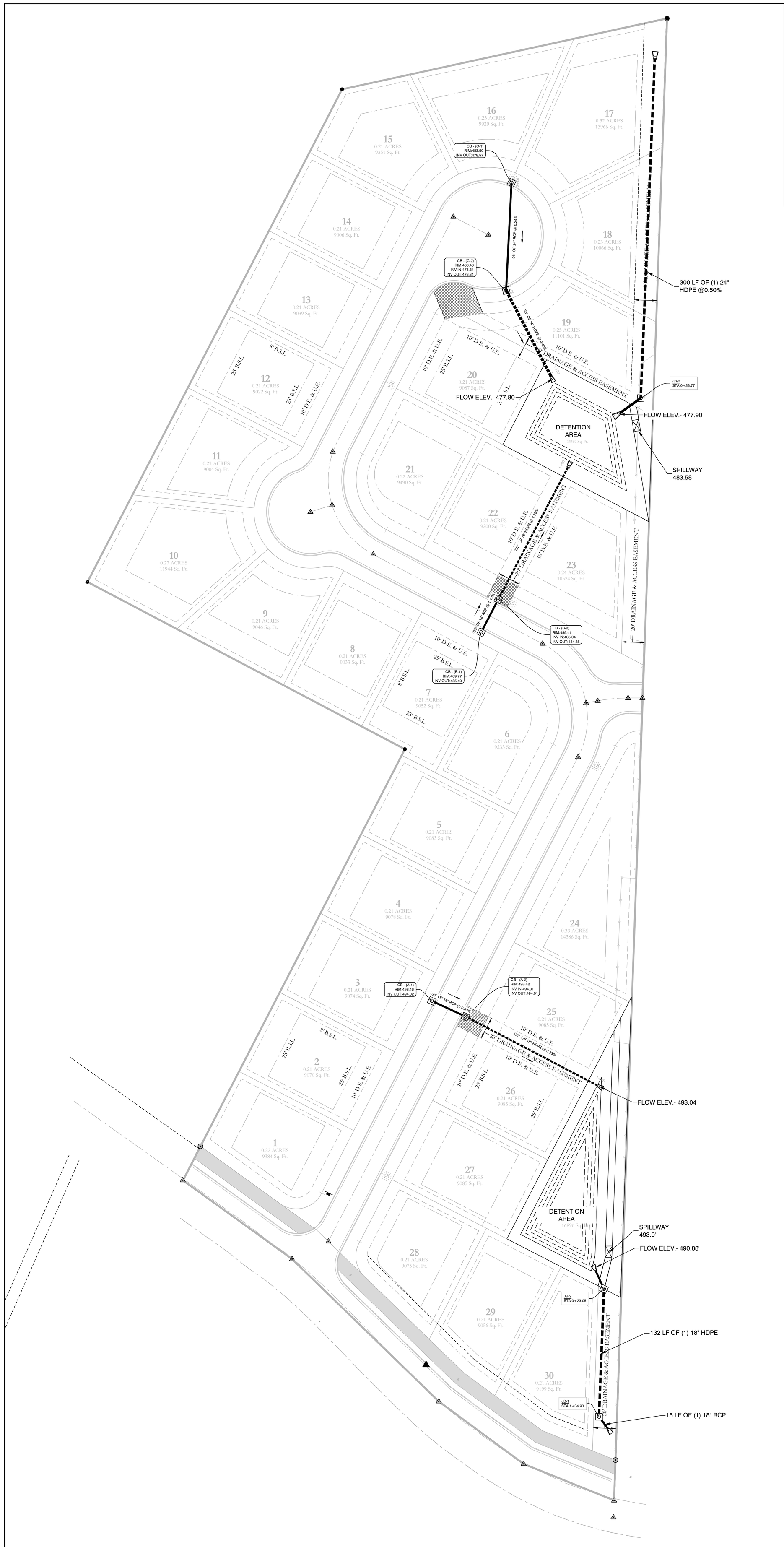


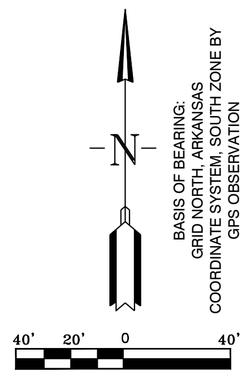
PROPERTY DESCRIPTION (DEED 2004-1944)

A 10' WIDE EASEMENT, ACROSS PART OF THE NE QUARTER OF THE NE QUARTER OF SECTION 7, TOWNSHIP 1S, RANGE 14W MORE PARTICULARLY DESCRIBED AS FOLLOWS: 10 (TEN) FEET EAST AND NORTH OF THE EXISTING SEWER EASEMENT LOCATED ON THE SOUTH LINE OF THE GRANTORS PROPERTY DESRIBED IN BOOK 2017 PAGE 003582 FILED IN SALINE COUNTY, ARKANSAS

VICINITY MAP:







CERTIFICATE OF AUTHORIZATION — HOPE CONSULTING, INC. — No. 1931 — ARKANSAS

STATE OF ARKANSAS — REGISTERED PROFESSIONAL ENGINEER — NO. 14048 — WILLIAM W. McFADDEN

HDPE

RCP

HOPE CONSULTING
ENGINEERS - SURVEYORS

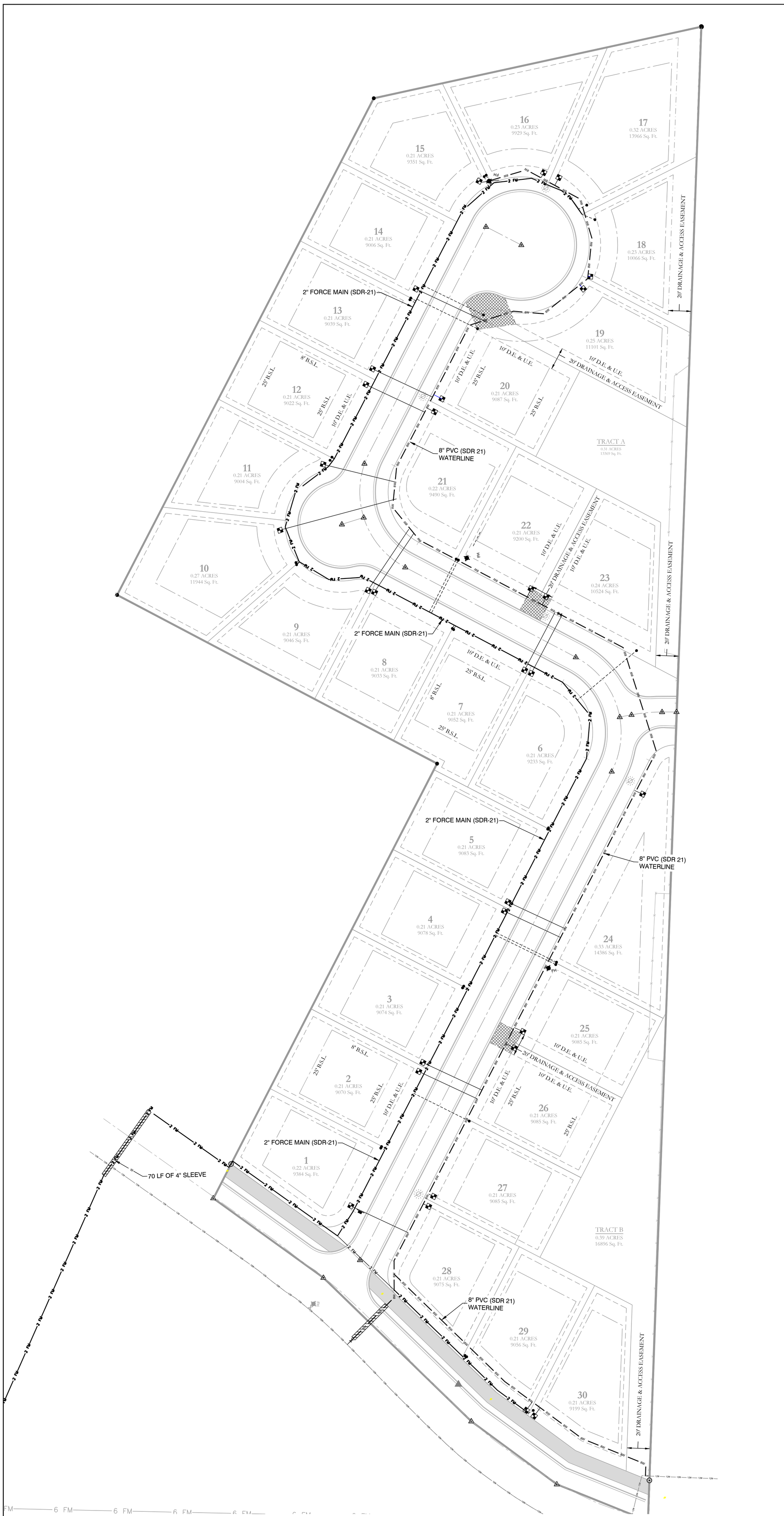
117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

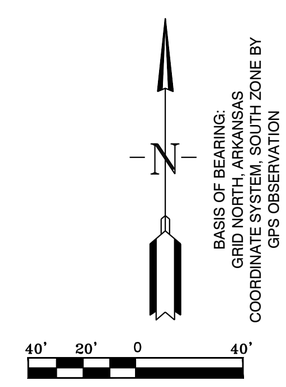
FOR USE AND BENEFIT OF:
OLTMANS DEVELOPMENT

CORAL RIDGE SUBDIVISION
DRAINAGE AS-BUILTS PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 09/26/2022		C.A.D. BY:	DRAWING NUMBER:
REVISED:		CHECKED BY:	21-0209
SHEET:		SCALE:	

VICINITY MAP:

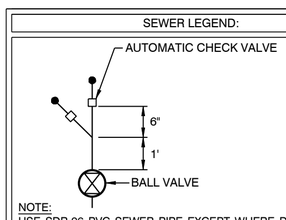




WATER LEGEND:

- DUAL WATER METERS
- SINGLE WATER METER
- GATE VALVE
- 45º FITTING
- 90º FITTING
- TEE FITTING
- CROSS FITTING
- FIRE HYDRANT

SEWER LEGEND:



NOTE:
USE SDR-26 PVC SEWER PIPE EXCEPT WHERE DUCTILE IRON PIPE REQUIRED FOR COVER. USE DUCTILE IRON PIPE WHERE 3' MINIMUM COVE CANNOT BE MAINTAINED.
CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 14048
WILLIAM W MCFADDEN

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FOR USE AND BENEFIT OF:
OLTMANS DEVELOPMENT

CORAL RIDGE SUBDIVISION
SANITARY SEWER AND WATER AS-BUILTS PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	09/26/2022	C.A.D. BY:	DRAWING NUMBER:
REVISED:	6/07/2022	CHECKED BY:	21-0209
SHEET:	C-3.0	SCALE:	

500	1S	14W	0	3	330	62	1762

HOPE
CONSULTING
ENGINEERS • SURVEYORS

July 20, 2022

Truett Smith

City of Bryant
210 Southwest Third St.,
Bryant, AR 72022

RE: All Paws Pet Wash (Hope Job# 22-0982)

Dear Truett:
On behalf of the property owner, Hope Consulting is requesting a non standard building approval for this project.

The developer of this project is Deir, Inc

Contact information:
Justin Denney
870-917-0007
Kdenney1977@gmail.com

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

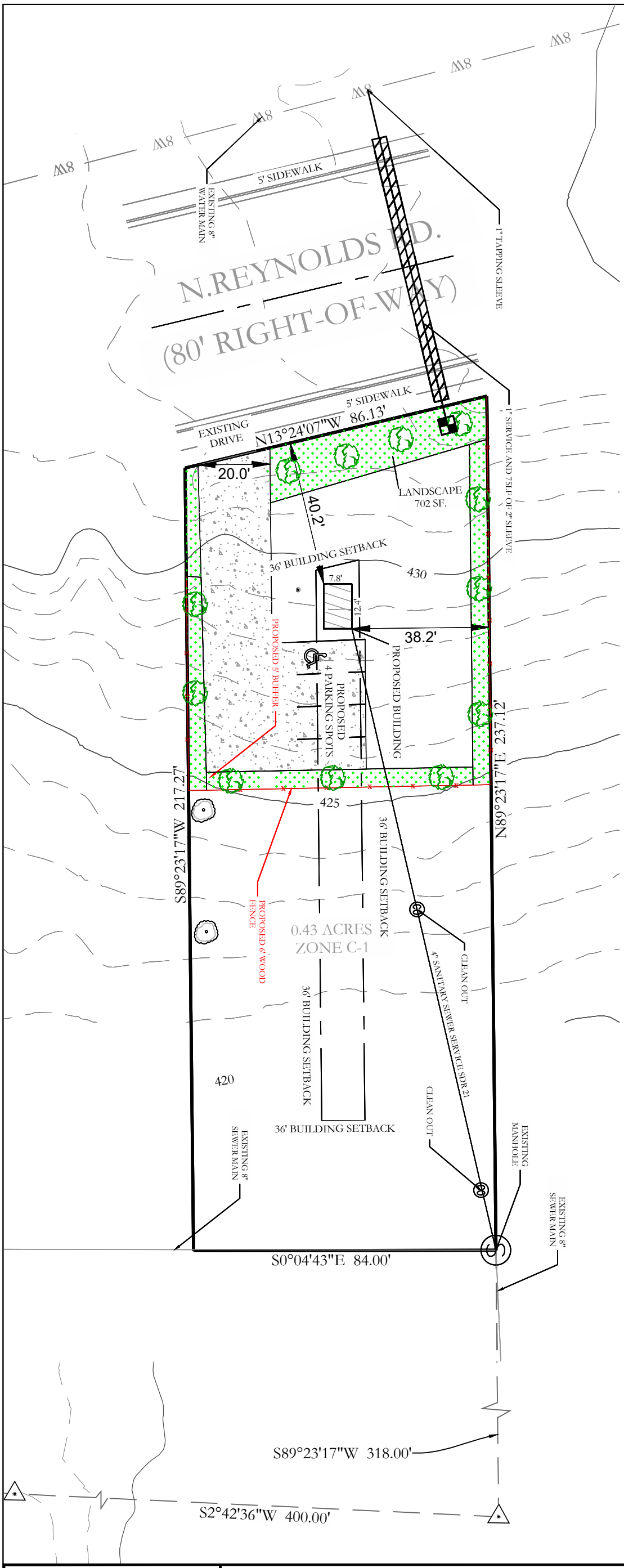
Sincerely,

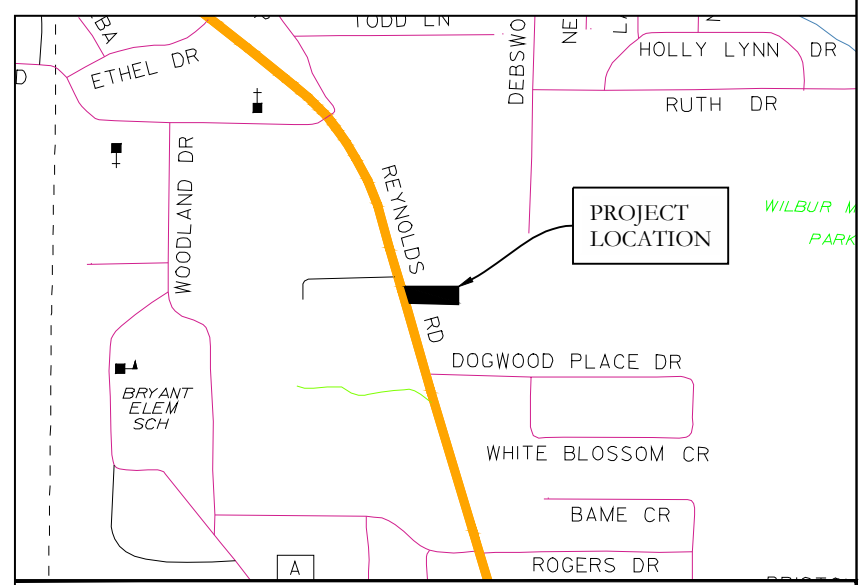
Jonathan Hope

Jonathan Hope

22-0982
Drawing No.

Know what's below. Call before you dig.





VICINITY MAP:

BASIS OF BEARINGS:
GRID NORTH, ARK SPCS
(NAD83), SOUTH ZONE (0302)

30' 15' 0' 30'

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SITEPLAN

For the Exclusive Use and Benefit of:
Justin Denny
Denny Construction Inc.
Address 1400 N. Reynolds Rd.
Bryant, AR 72022 Date 7/19/2022

500	01S	14W	0	27	120	62	1664

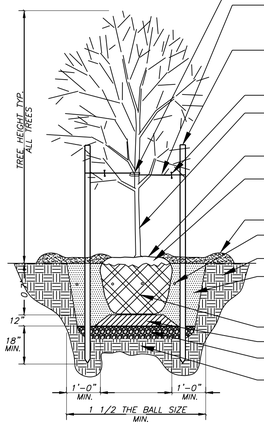
LEGEND
- Found Aliquot Corner
- Found Monument
- Set ½" Rebar w. Cap
- Computed point
(M)-Measured
(P)-Platted
x x -Fence

Drawn By: MD Checked:

K:\Land Projects 2004\Commercial\2022\22-0982 ALL PAWS PET WASH-BRYANT\SURVEY\DWG\22-0982 ALL PAWS PET WASH-BRYANT.dwg

LANDSCAPE LEGEND

COMMON NAME:	SCIENTIFIC NAME:	HEIGHT AT MATURITY:	QTY.: (REQUIRED)
1 EVERGREEN/ 2000SF	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE	–	2
SHURBS			
COMPACTA HOLLY – 6' O.C. – 5 GAL.	ILEX CRENATA	6'–0"	4
CANOPY TREE	CHOOSE FROM LIST OF SPECIES INCLUDED IN CITY OF BRYANT LANDSCAPING CODE		0
SOD	BERMUDA		21360.0 SF
PLANTERS	N/A		702 SF (150)



NOTE: PLANTS TO BE INSTALLED SLIGHTLY HIGHER TAHN GRADE ALLOWING FOR POSITIVE DRAINAGE AND SETTLING

TIES PLACED ABOVE THE LOWEST PRIMARY BRANCHES

NO. 10 GALVANIZED WIRE THRU 1/2" RUBBER HOSE, ANCHOR WIRE TO STAKE IN 2 LOCATIONS PER STAKE

3 T–POST INSTALLED PER TREE AT A 120 DEGREE ANGLE AROUND TREE. T–POST TO BE 6'–0" GREEN STEEL PRE–PAINTED WITH 6" SILVER OR WHITE TOP

SURVEYORS TAPE ON ALL GUY WIRES (TYP.)

COMMERCIAL TREE WRAP. ORAP FROM BOTTOM AROUND TREE AND TIE WITH SUITABLE CORD. PROVIDE IF SPECIFIED

MULCH MIN. 3" MULCH PULLED 2" AWAY FROM THE BASE OF THE TREE FROM BASE OF TREE

BURLAP TO BE REMOVED FROM THE TOP OF ROOTBALL, REMOVE TIES, FOLD BACK BURLAP AT THE TOP OF THE ROOTBALL, REMOVE ALL NON BIODEGRADABLE OR SYNTHETIC BURLAP

WATER RETENTION SAUCER (TEMPORARY)

FERTILIZER TABLETS I.E. AGRIFORM TABLET AS PER SPECIFICATIONS 6" BELOW SURFACE

COMPACTED SUBGRADE

UNIFORM BACKFILL MATERIAL WITH A 3:1:1 RATIO OF TOPSOIL, PEAT MOSS, AND SAND

SLASH BURLAP 3–4 TIMES

12" COMPACTED BACKFILL

MIXED SUBSOIL WITH PLANTING MEDIUM

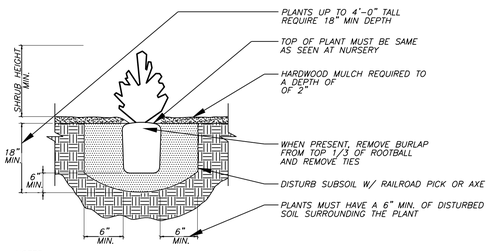
BREAK SUBSOIL WITH RAILROAD OR PICK AX

NOTE: PLACE ALL PVC LATERALS OUSTSIDE OF ROOTBALL

NOTE: PROVIDE FERTILOME FOOD STIMULATOR IN EACH TREE PIT.

1 TREE PLANTING DETAIL

No Scale



PLANTS UP TO 4'–0" TALL REQUIRE 18" MIN DEPTH

TOP OF PLANT MUST BE SAME AS SEEN AT NURSERY

HARDWOOD MULCH REQUIRED TO A DEPTH OF OF 2"

WHEN PRESENT, REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL AND REMOVE TIES

DISTURB SUBSOIL W/ RAILROAD PICK OR AXE

PLANTS MUST HAVE A 6" MIN. OF DISTURBED SOIL SURROUNDING THE PLANT

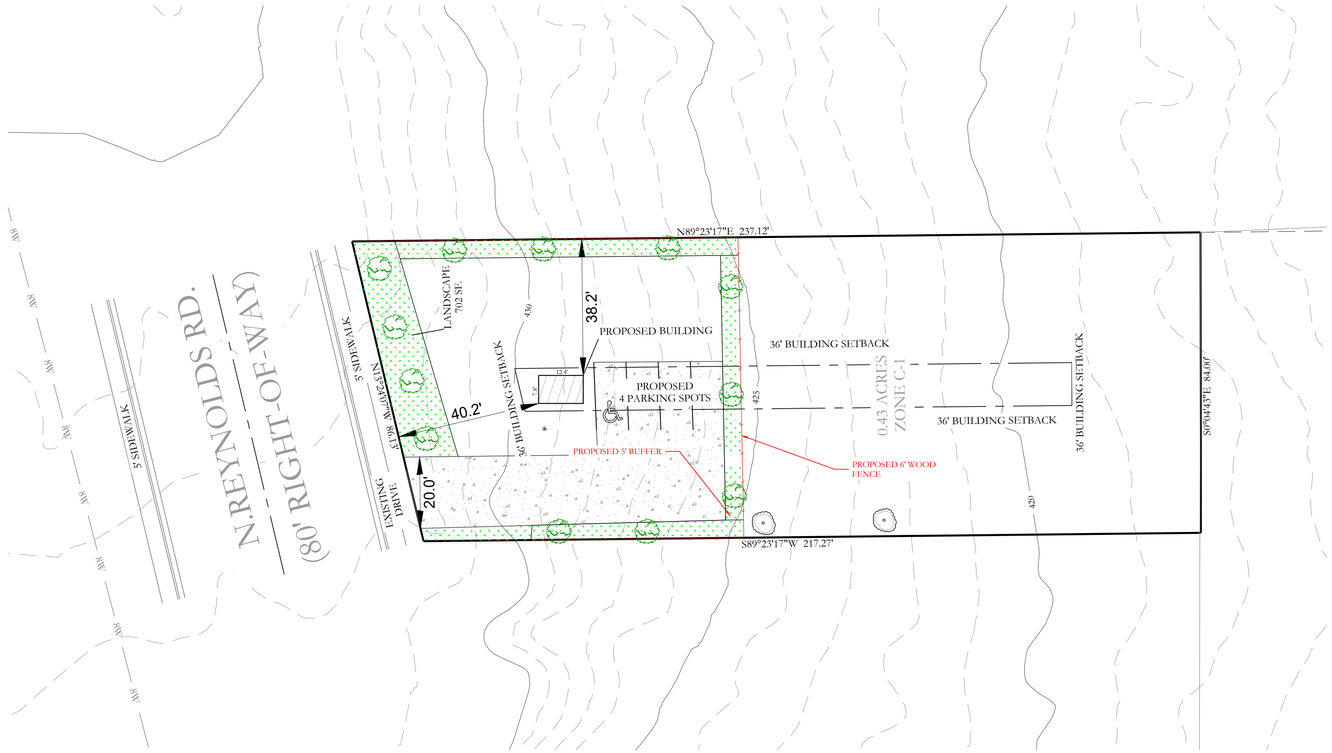
NOTES:
1. PROVIDE WEED CONTROL AND/OR FERTILIZER AS SPECIFIED BELOW.
2. WEED CONTROL AND FERTILIZER MAY BE APPLIED AT A LATER DATE TO COMPLY WITH SEASONAL CONDITIONS AND THE GROWING PERIOD.
3. PROVIDE AGRIFORM TABLETS AS PER MANUFACTURERS RECOMMENDATIONS.
4. PROVIDE HOMOGENOUS BACKFILL PLANTING MIXTURE OF 3:1 RATIO TOPSOIL TO PEATMOSS AND/OR OTHER APPROVED SOIL ADMENDMENTS.
5. PROVIDE FERTILOME ROOT STIMULATOR OR APPROVED EQUAL IN PITS.
6. APPLY BALAN PREEMERGENT WEED CONTROL OR APPROVED EQUAL TREATMENT ON ALL SHRUB AND GROUNDCOVER BEDS.

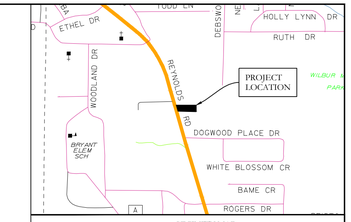
2 SHRUB PLANTING DETAIL

NTS

MAINTENANCE OF LANDSCAPING

THE OWNER, TENANT, OR AGENT, IF ANY SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.





VICINITY MAP:

PLANTING REQUIREMENTS/CALCS(APPLICABLE)

PLANTING MINIMUM
TOTAL TREES 1/3 ACRE (PROPERTY) 3.0 ACRES
EVERGREENS ~~2000 SF~~ BUILDING FOOTPRINT

PLANTER/GROUND COVERAGE
702 SF CONTAINED BEDS OR GROUND COVER

LS BUFFER
5' WIDE BUFFER BETWEEN PARKING AND ADJ. LOTS

TOTAL PROPERTY SIZE OF 1.5 ACRES USED FOR CALUCULATIONS

PLANTING NOTES

1. QUANTITIES SHOWN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEIR OWN COUNT.
2. ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 LBS OF 14–14–14 TIMED–RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.
3. ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.
4. TOPSOIL SHALL BE ADDED AS NEEDED TO CREATE A SMOOTH FINISH GRADE ON PLANTING AND SODDED AREAS.
5. ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.
6. ALL NON–PAVED AREAS NOT SHOWN AS PLANTING BEDS SHALL BE SODDED WITH SOLID TIFWAY 419 BERMUDA SOD. CONTRACTOR SHALL CALCULATE ALL SODDED AREAS.
7. NO TREES MAY BE PLANTED WITHIN 5' OF PUBLIC UTILITIES. MAINTAIN 5' SEPARATION BETWEEN TREES AND ANY EXISTING / PROPOSED UTILITY MAINS.

NO PORTION OF THIS PROPERTY IS WITHIN THE 100 YEAR SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL #05125C0240E DATED 06–05–2020.

811 Know what's below. Call before you dig.

N

BASIS OF BEARING: GRID NORTH, ARKANSAS COORDINATE SYSTEM, SOUTH ZONE BY GPS OBSERVATION

20' 10' 0 20'

HOPE CONSULTING ENGINEERS - SURVEYORS
117 S. Market Street,
Benton, Arkansas 72015
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FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
DENNY CONSTRUCTION, LLC.

ALL PAWS PET WASH
LANDSCAPE PLAN
BRYANT, SALINE COUNTY, ARKANSAS

DATE: 08-31-2022	C.A.D. BY:	DRAWING NUMBER:	
REVISED:	CHECKED BY:	22-0982	
SHEET: L-1.0	SCALE:		

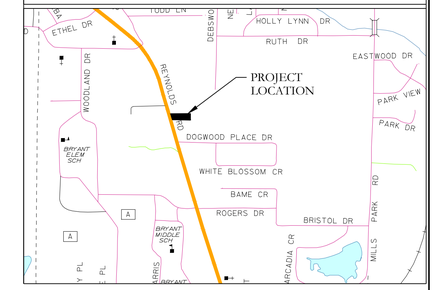
500	01S	14W	0	15/22	304	62	1626

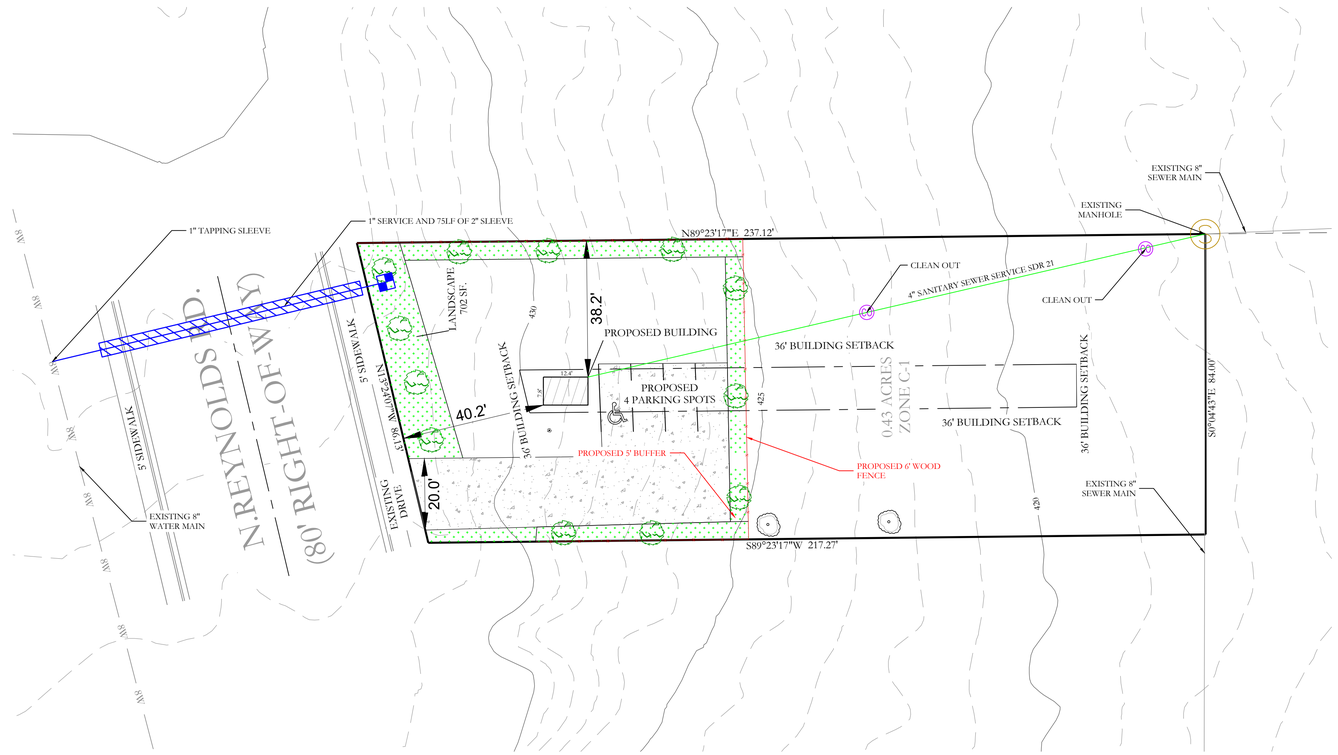
S:\LANDPLAN\22-0982\ALL PAWS PET WASH\ALL PAWS PET WASH-LANDSCAPE PLAN.DWG

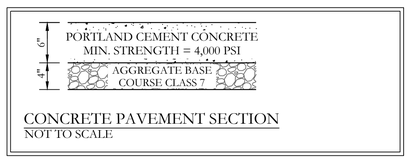
CONTACTS UTILITIES AND CITY AND STATE AGENCIES

AGENCY	TITLE	NAME	CONTACT
BRYANT PUBLIC WORKS	*DIRECTOR*	*TIM FOURNIER*	*501-366-0343*
BRYANT PUBLIC WORKS	*ENGINEER*	*TED TAYLOR*	*501-366-0343*
BRYANT WATER	*INSPECTOR*	*JOE HENRY*	*501-246-0516*
ENTERGY	*CONTACT*	*JEREMY HENDERSON*	*800-368-3749*
CENTERPOINT (GAS)	*CONTACT*	*ADAM GOBER*	*501-541-7509*
ARDOT	*PERMIT OFFICER DISTRICT SIX*	*CORY SUTTON*	*501 551-5207*

VICINITY MAP:







CONCRETE PAVEMENT SECTION
NOT TO SCALE

WATER LEGEND

- FIRE HYDRANT
- BLOW OFF
- PROPOSED GATE VALVE
- PROPOSED 1" WATER METER
- PROPOSED WATER SERVICE

WATER NOTES

1. ALL WATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BRYANT "STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER LINES AND SEWER LINES, 2015 EDITION".
2. CASING SPACERS SHALL BE STAINLESS STEEL.
3. FIXTURE- 1 HAND SHOWER
4. DAILY DEMAND- 500 Gallon/Day

SEWER LEGEND

- SANITARY SEWER MANHOLE EXIST.
- CLEANOUT
- PROPOSED SEWER SERVICE

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CERTIFICATE OF AUTHORIZATION — HOPE CONSULTING, INC. — No. 1931 — ARKANSAS

STATE OF ARKANSAS — LICENSED PROFESSIONAL ENGINEER — No. 20876 — ISLAM

Know what's below. Call before you dig.

N

BASIS OF BEARINGS: GRID NORTH ARKANSAS COORDINATE SYSTEM, SOUTH ZONE BY G.P.S. OBSERVATIONS

20' 10' 0 20'

CIVIL ENGINEER
HOPE CONSULTING INC
117 S. MARKET STREET
BENTON, AR 72015
CONTACT: WILLIAM W MCFADDEN
PHONE: 504-315-2626
EMAIL: kazi@hopeconsulting.com

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FOR USE AND BENEFIT OF:
DENNY CONSTRUCTION, LLC.

UTILITY PLAN
ALL PAWS PET WASH- BRYANT
BRYANT, ARKANSAS

DATE:	08-12-2022	C.A.D. BY:	DRAWING NUMBER:
REVISED:		CHECKED BY:	22-0982
SHEET:	C-1.0	SCALE:	

500	01S	14W	0	27	120	62	1664

C:\CADD\ENGINEERING\22-0982 ALL PAWS PET WASH - BRYANT\DWG\22-0982 UTILITY PLAN.DWG

CONTACTS UTILITIES AND CITY AND STATE AGENCIES

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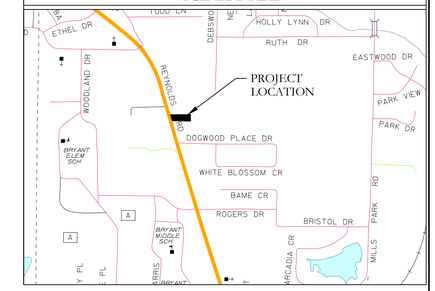

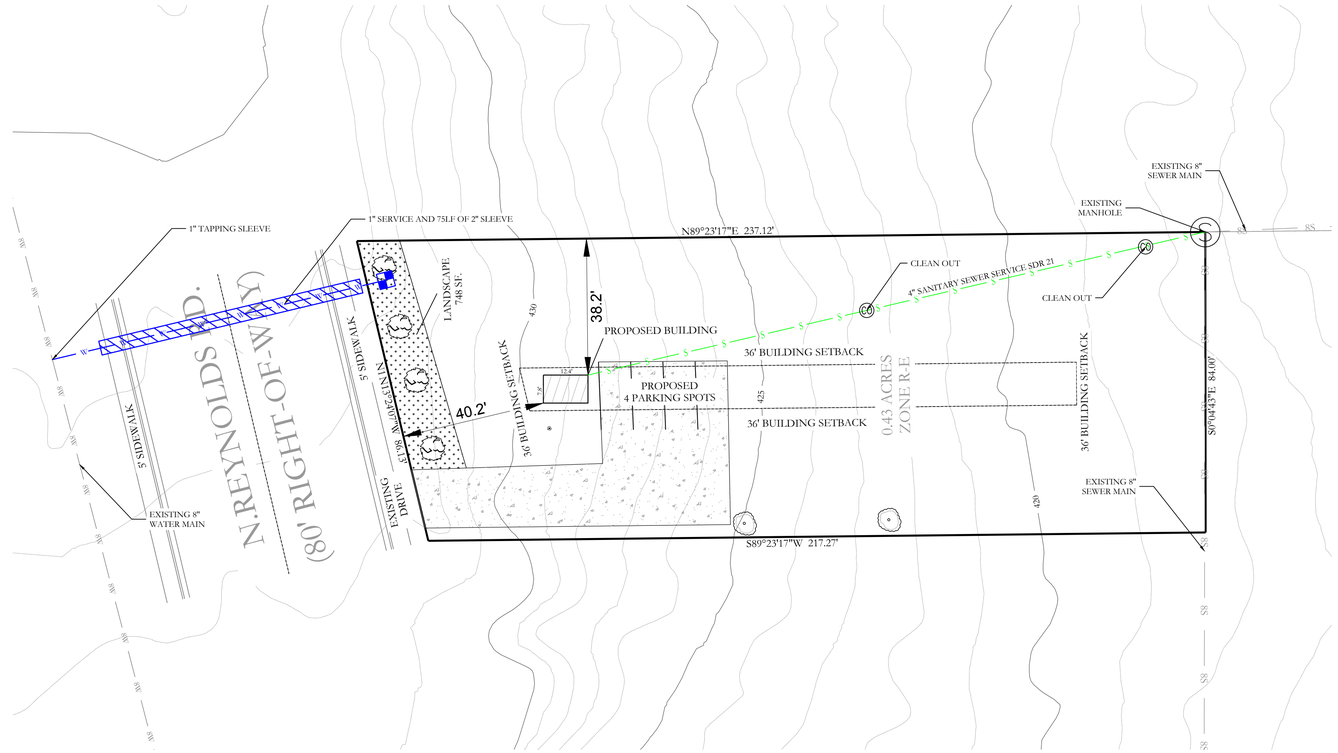

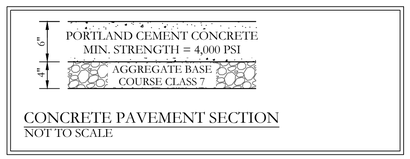

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SEWER LEGEND

- SANITARY SEWER MANHOLE EXIST.
- CLEANOUT
- PROPOSED SEWER SERVICE

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STATE OF ARKANSAS — LICENSED PROFESSIONAL ENGINEER — No. 20876 — KAZI TAMZIDUL ISLAM

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20' 10' 0 20'

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FOR USE AND BENEFIT OF:
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ALL PAWS PET WASH- BRYANT
BRYANT, ARKANSAS

DATE: 08-12-2022	C.A.D. BY:	DRAWING NUMBER:	
REVISED:	CHECKED BY:	22-0982	
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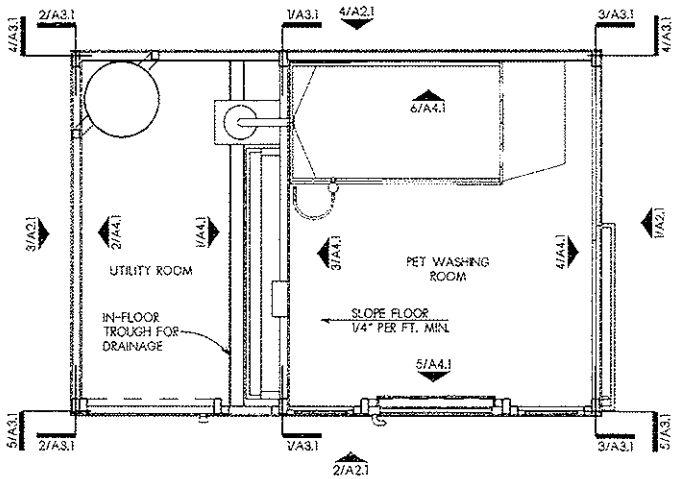
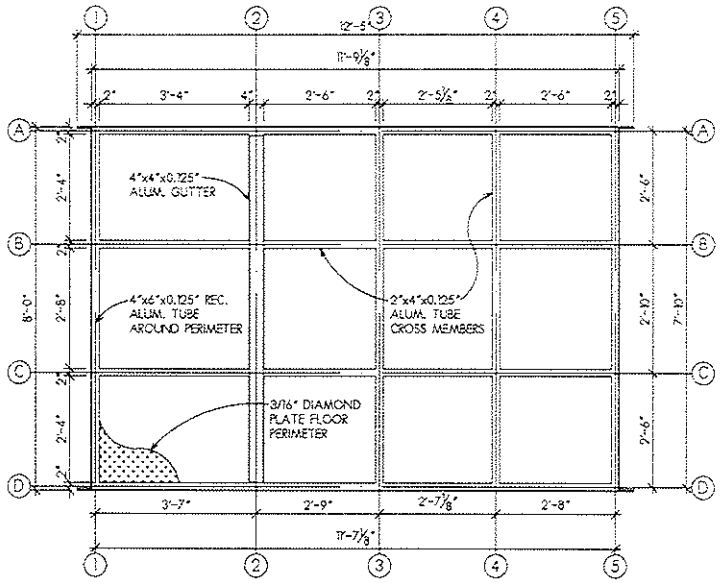
500	01S	14W	0	27	120	62	1664

K:\LAND PROJECTS 2004\COMMERCIAL\2022\22-0982 ALL PAWS PET WASH-BRYANT\SURVEY\DWG\22-0982 ALL PAWS PET WASH-BRYANT.DWG



2 FLOOR PLAN
SCALE: 3/8" = 1'-0"



1 FLOOR FRAMING PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES

PET WASH FRAMING
BASE PERIMETER IS COMPRISED OF 2"x6"x0.125" WALL RECTANGULAR ALUMINUM TUBE WITH A 2"x4"x0.125" RECTANGULAR TUBING CROSS MEMBERS BASE. THIS INCORPORATES A 4"x4"x0.125" ALUMINUM GUTTER AND A 3/16" ALUMINUM DIAMOND PLATE FLOOR PERIMETER. CROSS MEMBERS AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE AND GUTTER ARE WELDED INTO A ONE PIECE GRID. THE DIAMOND PLATE FLOOR IS WELDED TO THE ONE PIECE ALUMINUM TUBE GRID.

WALL AND ROOF FRAMING
ROOF RAFTER/COLUMN IS A 2"x4"x0.125" RECTANGULAR TUBE WELDED AT THE EVE AND RIDGE FORMING A COLUMN RAFTER FRAME. THESE FRAMES ARE WELDED TO A BASE. THE HORIZONTAL PURLINS IN THE ROOF AND WALLS ARE 2"x2"x0.125" SQUARE TUBES. ALL TUBES ARE WELDED TO THE RAFTER/COLUMN FRAMES. THE INTERIOR WALLS ARE 2"x2"x0.125" SQUARE TUBES AND INCLUDE WELDED BRACKETS AND TABS TO FACILITATE MOUNTING MECHANICAL EQUIPMENT. ENTIRE PET WASH IS WELDED INTO A SINGLE STRUCTURE.

STANDARD ALUMINUM EXTRUSIONS ARE 6063-T52

ALL EXPOSED STRUCTURAL ALUMINUM IS POWDER COATED. 2" CLOSE CELL FOAM INSULATION IS USED IN THE ROOF AND WALLS. THE EXTERIOR WALLS AND ROOF ARE 10MM PVC PANELS. THE INTERIOR CEILING AND WASH BAYS ARE 10 MM PVC PANELS. THE INTERIOR SIDE OF THE EXTERIOR WALL IS 10 MM PVC PANELS. THE EQUIPMENT DOOR IS A STEEL DOOR. THE BALANCE OF THE WALL GLAZING IN THE WASH BAY IS TEMPERED SAFETY GLASS.

STRUCTURAL DESIGN BASED ON ASCE 7-10 FOR 30 PSF GROUND SNOW LOAD AND 115 MPH WIND LOAD, EXPOSURE B, RISK CATEGORY I

FLOOR PLANS

SCALE: 3/8" = 1'-0"

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ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

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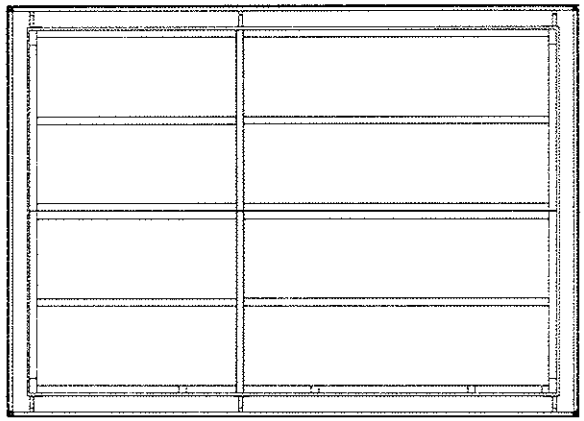
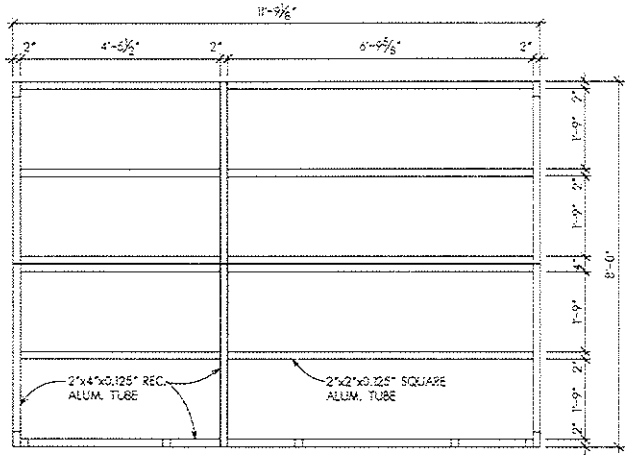
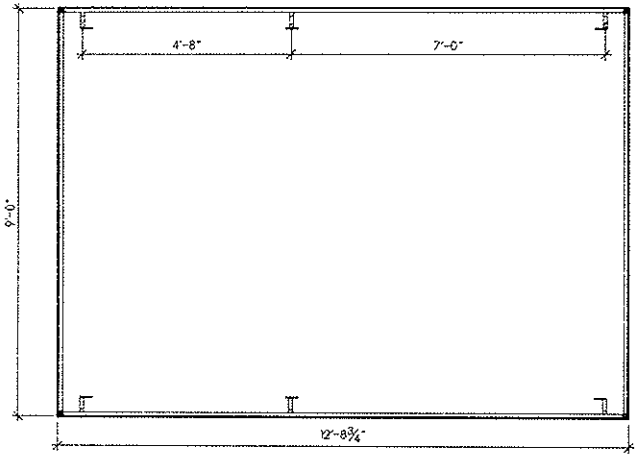


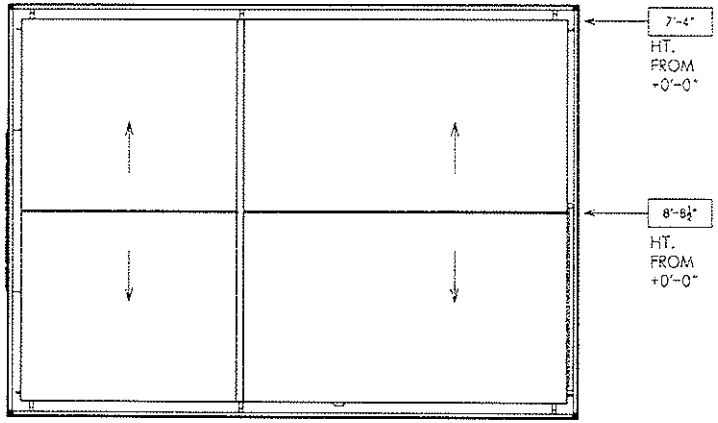
4 ROOF FRAMING PLAN w/ FASCIA
SCALE: 3/8" = 1'-0"



2 ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"



3 OPTIONAL FASCIA
SCALE: 3/8" = 1'-0"



1 REFLECTED CEILING
SCALE: 3/8" = 1'-0"

ROOF PLANS

SCALE: 3/8" = 1'-0"

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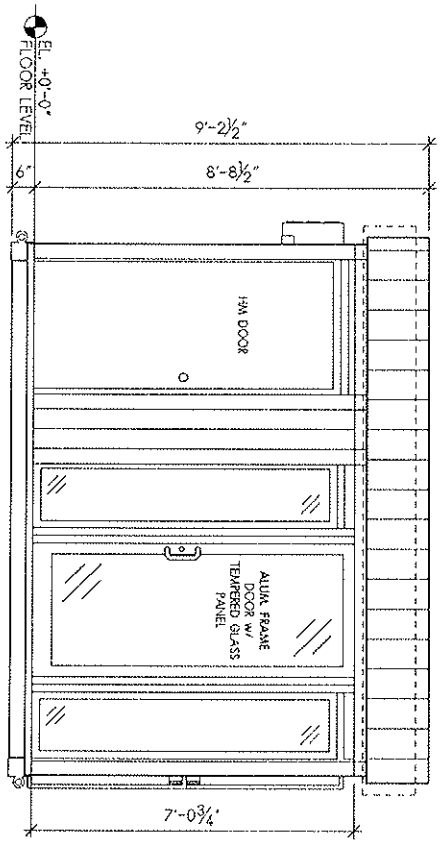
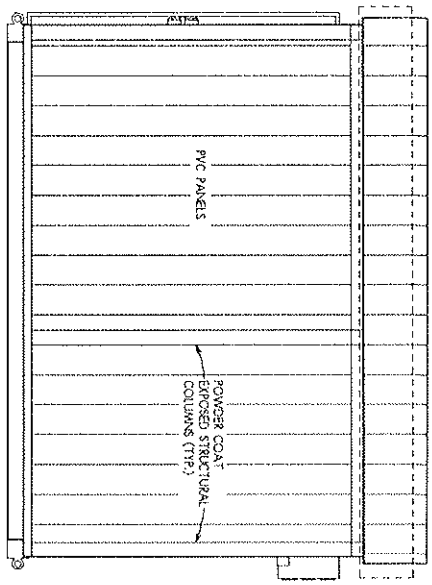
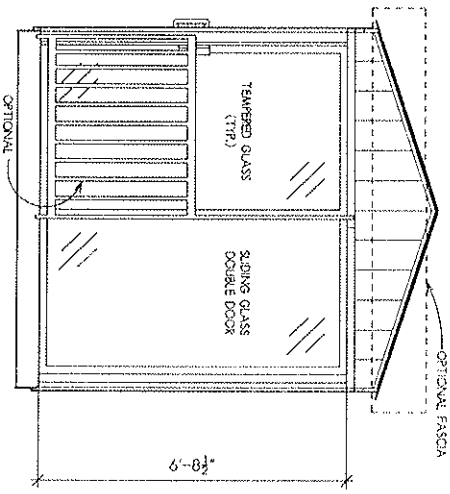
SHEET NUMBER: A1.2



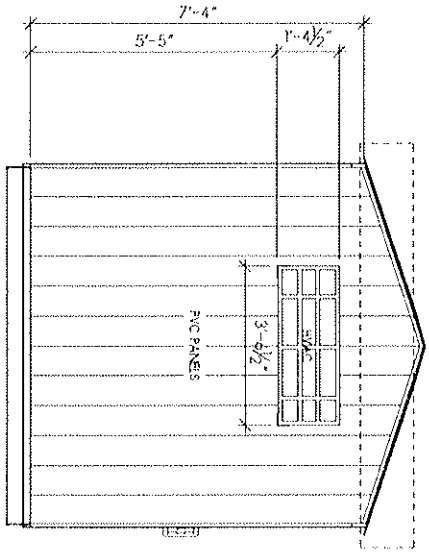
2 FRONT
SCALE: 3/8" = 1'-0"



4 BACK
SCALE: 3/8" = 1'-0"



1 SIDE
SCALE: 3/8" = 1'-0"



3 SIDE
SCALE: 3/8" = 1'-0"

EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

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PROJECT NUMBER	25118
SHEET NUMBER	A2.1

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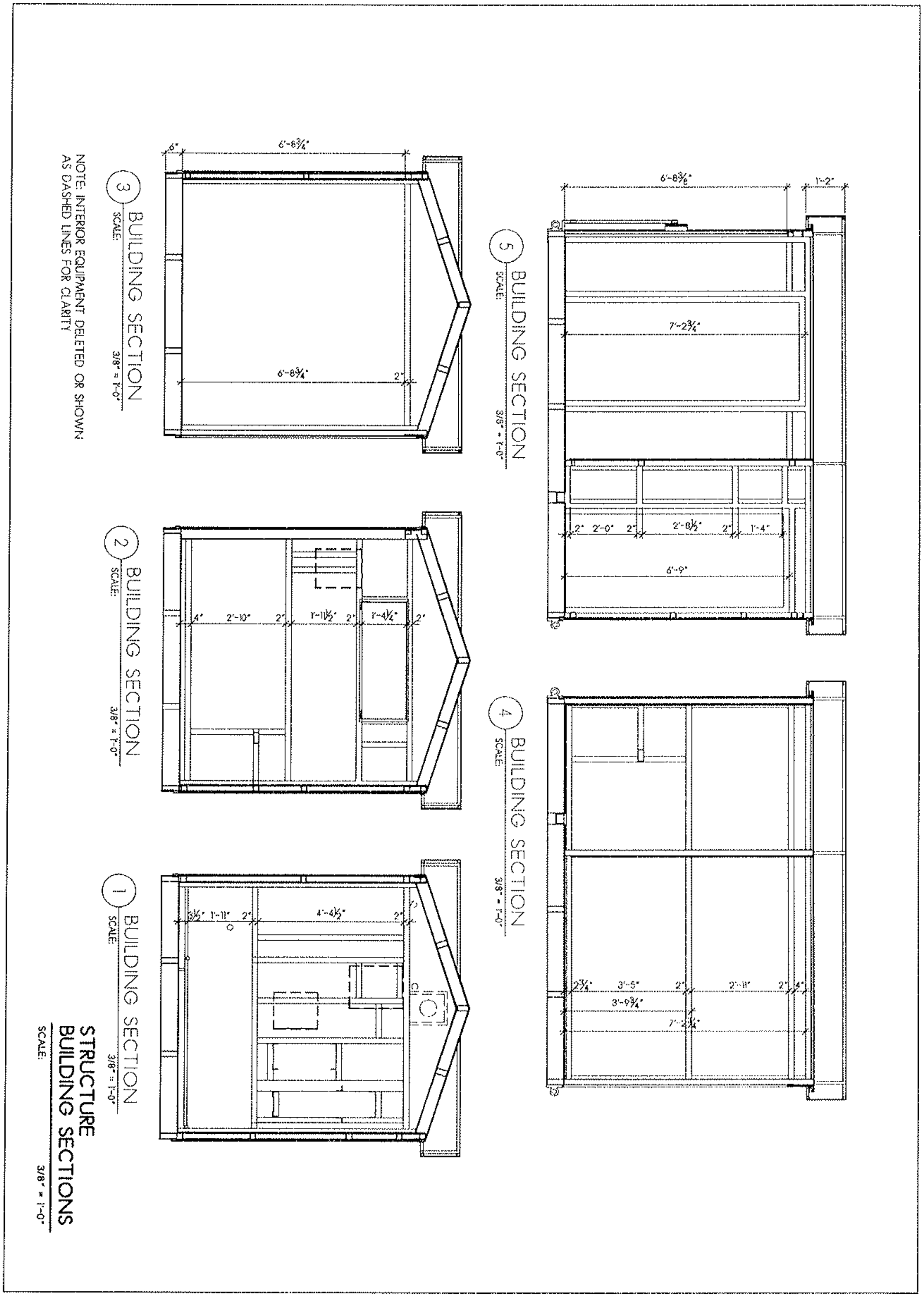

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25118		
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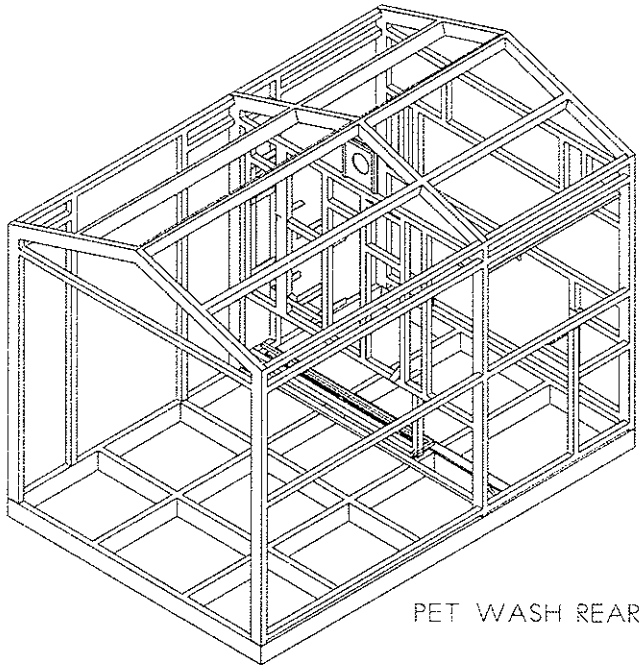
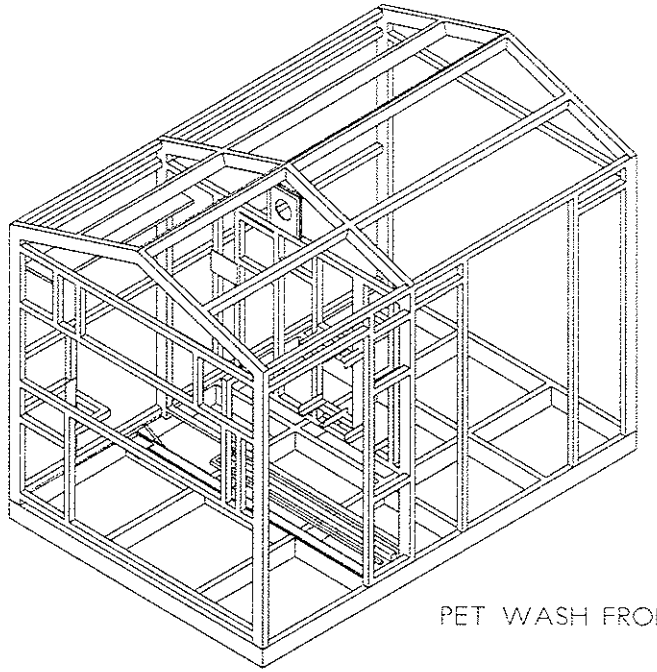


PET WASH REAR



PET WASH FRONT

FOR ILLUSTRATIVE
PURPOSES ONLY

STRUCTURE
AXONOMETRIC VIEWS

SCALE: NONE

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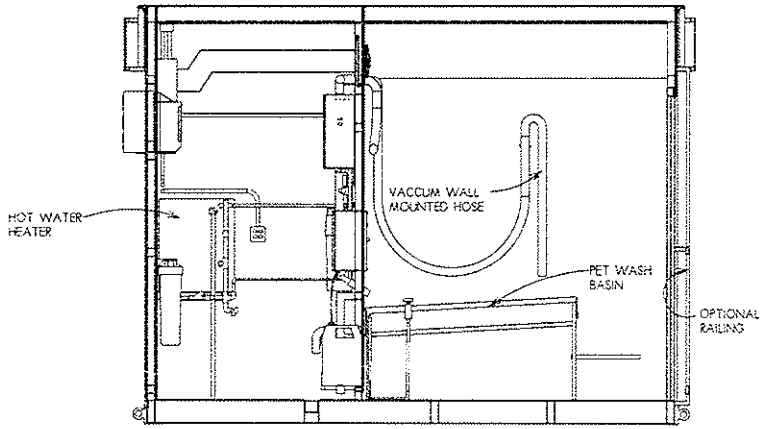
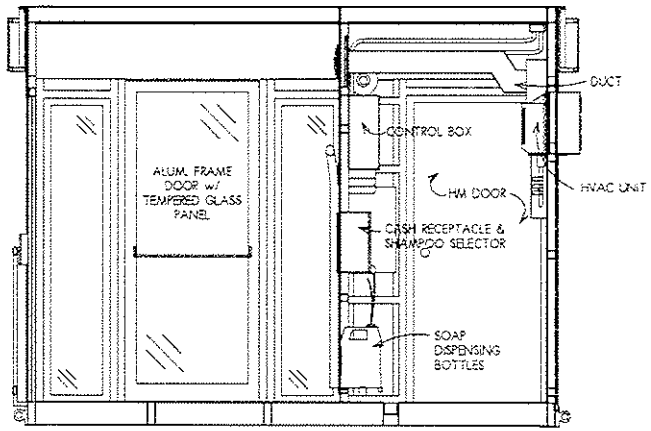
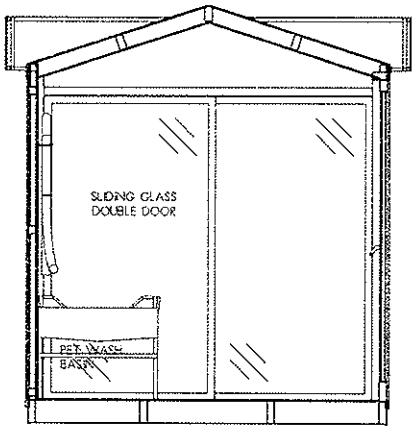


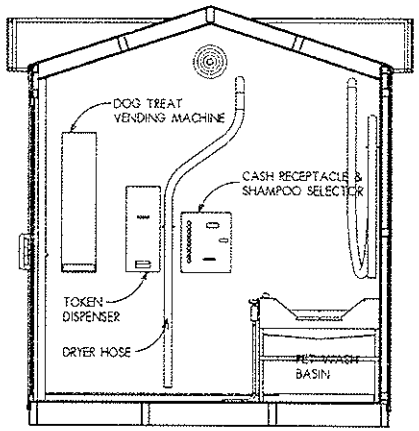
6 ELEVATION FACING BACK
SCALE: 3/8" = 1'-0"



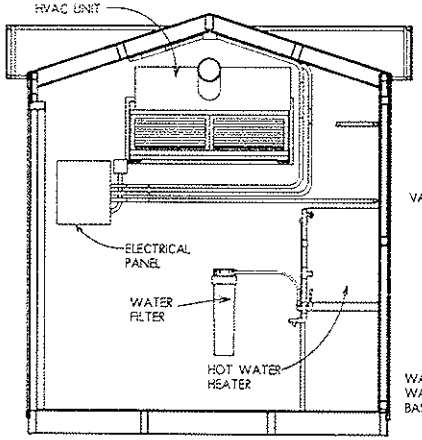
5 ELEVATION FACING FRONT
SCALE: 3/8" = 1'-0"



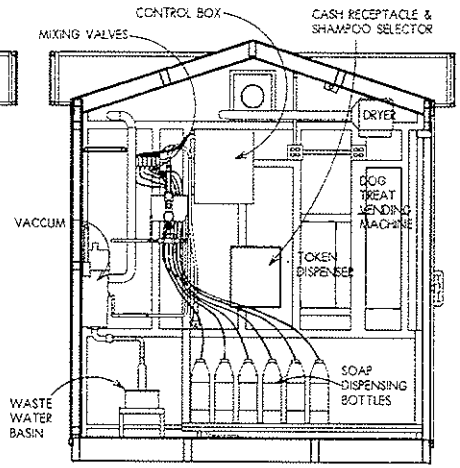
4 PET WASHING ROOM
SCALE: 3/8" = 1'-0"



3 PET WASHING ROOM
SCALE: 3/8" = 1'-0"



2 UTILITY ROOM
SCALE: 3/8" = 1'-0"



1 UTILITY ROOM
SCALE: 3/8" = 1'-0"

INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

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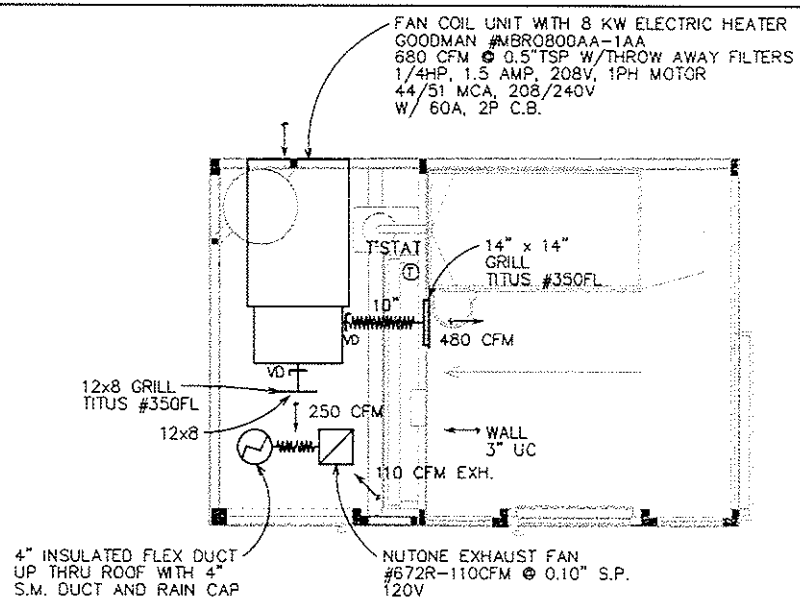
HVAC PLAN NOTES:

- ALL SUPPLY AIR DUCTS SHALL BE FABRICATED FROM PRIME GRADE GALVANIZED SHEET METAL IN ACCORDANCE WITH THE SMACNA DESIGN MANUAL.
- ALL DUCTWORK IS EXPOSED WITH-IN CONDITIONED SPACE.
- ALL DUCT DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS OF AIRWAY;
- ALL GRILLES ARE BASED UPON TITUS WITH BAKED OFF-WHITE ENAMEL FINISH.
- ALL FLEX DUCT SHALL BE WITH FLAME SPREAD OF 25 OR LESS. MAXIMUM LENGTH SHALL BE 5 LINEAR FEET.
- THE MANUFACTURER SHALL ADJUST ALL DRIVES AND REGULATE ALL SUPPLY AIR GRILL DAMPERS TO DELIVER THE AIR QUANTITY SHOWN ON THE PLAN.
- WHERE FLEXIBLE DUCTS ARE CONNECTED TO MAIN TRUNK DUCT. SPIN COLLARS WITH MANUAL VOLUME DAMPER SHALL BE PROVIDED.

MECHANICAL SPECIFICATIONS

- THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL ARRANGEMENTS, SIZES, AND LOCATIONS OF EQUIPMENT. ALL EQUIPMENT SHALL BE INSTALLED COMPLETE WITH FURNISHING ALL REQUIRED COMPONENTS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ASHRAE STANDARDS FOR THE STATE OF ILLINOIS.
- CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.
- ALL MATERIAL SHALL BE NEW AND OF FIRST QUALITY. ALL WORKMANSHIP SHALL BE FIRST CLASS AND DONE ACCORDING TO STANDARD PRACTICE.
- WHERE UNDERWRITERS' LABORATORY STANDARDS EXIST, EQUIPMENT FURNISHED SHALL BEAR THE UL LABEL AND BE OF THE APPROPRIATE NEMA TYPE.
- NOTWITHSTANDING THE LOCAL CODE AUTHORITY REQUIREMENTS THE LATEST NFPA (NATIONAL FIRE PROTECTION ASSOCIATION) AND NBFU (NATIONAL BOARD OF FIRE UNDERWRITERS) REQUIREMENTS ARE A PART OF THIS CONTRACT. IF REQUIRED BY LOCAL AUTHORITIES THE MANUFACTURER WILL FURNISH AND INSTALL AUTOMATIC HEAT AND/OR SMOKE DETECTORS.
- ALL DUCT CONSTRUCTION AND INSTALLATION SHALL CONFORM TO LATEST APPLICABLE ASHRAE (AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS) AND SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION) STANDARDS.
- MANUFACTURER SHALL PROVIDE ALL VOLUMETRIC DAMPERS THAT SHALL BE SELF INDICATING WITH AN EXTERIOR ADJUSTING AND LOCKING MECHANISM. DAMPERS SHALL CLOSE AGAINST THE AIR STREAM.
- ALL DUCTS SHALL BE CLEANED PRIOR TO INSTALLATION OF GRILLES, REGISTERS, DIFFUSERS, ETC. PAINT INTERIOR OF DUCTS BEHIND GRILLES, DIFFUSERS, REGISTERS, ETC.
- MANUFACTURER SHALL PROVIDE VIBRATION ISOLATION TO PREVENT TRANSMISSION OF VIBRATION AND SOUND FROM MOTORIZED AND/OR ROTATING EQUIPMENT TO STRUCTURE.
- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTAIL THE GENERAL DESIGN CONCEPT, COMPONENTS, INTENT AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.



HVAC PLAN

SCALE: 3/8" = 1'-0"

VENTILATION SYMBOL LIST

SINGLE LINE	DESCRIPTION
20 X 12	DUCT, WIDTH X DEPTH, AIRWAY DIMENSIONS
	FLEXIBLE DUCT
700-S	SIDE WALL SUPPLY REGISTER
	VOLUME DAMPER WITH QUADRANT LOCKING
UC	UNDERCUT MINIMUM 1" AT DOOR OR WALL
T	THERMOSTAT

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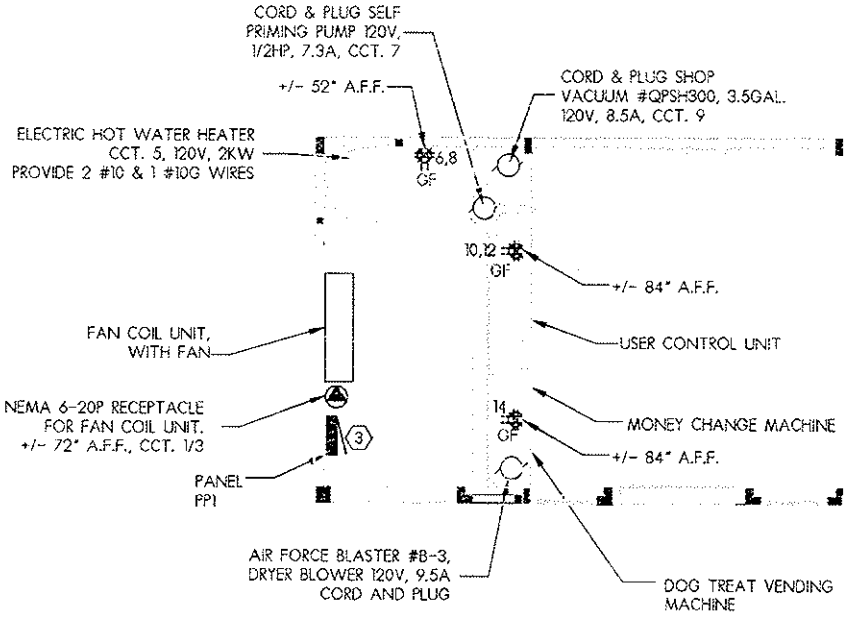
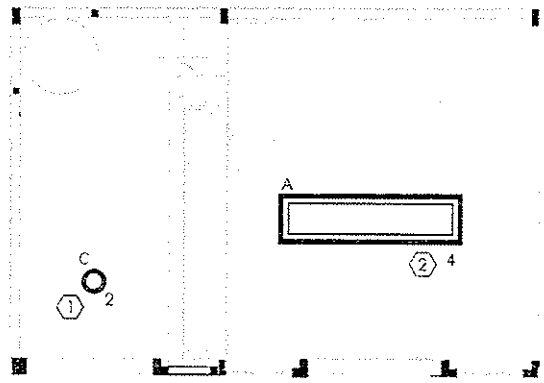
KEYED NOTES:

1. PORCELAIN SOCKET WITH PULL CHAIN.
2. LITHONIA DMW 232 MVOLT GEB10 IS WITH DUST AND MOISTURE RESISTANT.
3. POWER TO PANEL TO BE PROVIDED PER LOCAL CODE AND PROJECT CONDITION.





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KEYED NOTES:

1. PANEL SHALL HAVE MAXIMUM OF 20 POLES

PANELBOARD SCHEDULE

PP1 (1) LOCATION: EQUIPMENT ROOM

VOLTAGE:	120/240V-1 PHASE 4 WIRE PLUS GROUND	MAIN (A)	MCB	MLO	MOUNT: SURFACE
		100	X		TYPE
		WITH GROUND BUS		X	AIC 10 KA

USE/AND OR AREA SERVED	C/B	CIR. NO.	A	B	CIR. NO.	C/B	USE/AND OR AREA SERVED
FAN COIL UNIT	20 / 2	1	1600			20 / 1	EQUIPMENT ROOM LIGHTS
			50		2		
		3		1600		20 / 1	WASH BAY LIGHTS
				60	4		
HOT WATER HEATER	30 / 1	5	2000			20 / 1	RECEPTACLES
			180		6		
SELF PRIMING PUMP	20 / 1	7		900		20 / 1	RECEPTACLES
				180	8		
SHOP VACCUUM	20 / 1	9	1020			20 / 1	RECEPTACLES
			180		10		
AIR FORCE BLASTER	20 / 1	11		1140		30 / 1	RECEPTACLES
				180	12		
SPARE	20 / 1	13				20 / 1	RECEPTACLES
			180		14		
SPARE	20 / 1	15				30 / 1	
					16		
SPARE	20 / 1	17				20 / 1	
					18		
SPARE	20 / 1	19				20 / 1	
					20		
TOTAL LOAD PER PHASE:			5,210	4,060	TOTAL KVA	9	
25118 ALL PAWS PET WASH			DATE	06/23/15	AMPS	44.6	208V

ELECTRICAL SYMBOLS

WALL | FLOOR BOX | POKE THROUGH | ABOVE COUNTER

QUADPLEX RECEPTACLE

DUPLEX RECEPTACLE

WP / XX — ADJACENT LETTERS IN THE SYMBOLS ABOVE INDICATE THE FOLLOWING:

"GF" RECEPTACLE HAS GROUND FAULT CIRCUIT INTERRUPTER
"WP" RECEPTACLE HAS WATERPROOF COVER
"XX" RECEPTACLE CIRCUIT NUMBER

XX — MANUAL MOTOR CONTROL

"XX" CIRCUIT NUMBER

A / 1c — FLUORESCENT LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE.

A / 1a — INCANDESCENT, FLUORESCENT OR HID LIGHTING FIXTURE. SIZE AND TYPE AS INDICATED ON SCHEDULE.

(X) — MOTOR – SEE SCHEDULE, 'XX' INDICATES TAG

SURFACE MOUNTED NORMAL BRANCH CIRCUIT PANELBOARD

SPECIAL RECEPTACLE

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ELECTRICAL SPECIFICATIONS

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- ALL WORK INDICATED IS BASED UPON CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE AND IS SUBJECT TO LOCAL CODE INTERPRETATION AND IS CONFINED TO WITHIN THE FOOTPRINT OF THE UNIT.

  CONFORMANCE TO LOCAL CODE, AND ANY OTHER REQUIREMENTS APPLICABLE TO THIS PRODUCT SHALL BE THE RESPONSIBILITY OF THE END USER. THE END USER SHALL SUBMIT ALL REQUIRED DRAWINGS FOR APPROVAL TO ANY AGENCIES REQUIRING THEM AND OBTAIN NECESSARY PERMITS.

- ALL EQUIPMENT FURNISHED SHALL BE NEMA STANDARD, NEW, AND UL LISTED.

- UNLESS OTHERWISE SPECIFIED, THE MANUFACTURER SHALL FURNISH AND INSTALL CONDUIT, WIRING, AND DISCONNECTS FOR ALL ELECTRICALLY OPERATED EQUIPMENT, INCLUDING FINAL CONNECTIONS TO SAME WITHIN THE FOOTPRINT OF THE UNIT. DISCONNECT IS NOT REQUIRED FOR PLUG IN EQUIPMENT.

- ALL EMT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE AS MANUFACTURED BY APPLETON, CROUSE-HINDS OR RACO.

- ALL CONDUCTORS SHALL BE COPPER TYPE THHN/THWN. MINIMUM SIZE #12 AWG. AS MANUFACTURED BY HATFIELD, COLLIER OR ANACONDA.

- LIGHT FIXTURE OUTLET BOXES SHALL BE A 4" OCTAGON BOX NOT LESS THAN 1-1/2" DEEP. TOGGLE SWITCH, RECEPTACLE OUTLET BOXES SHALL BE 4" SQUARE, NOT LESS THAN 1-1/2" DEEP. CARVIN DEVICE COVERS SHALL BE USED FOR EXPOSED JUNCTION BOX INSTALLATIONS. JUNCTION BOXES SHALL BE AS MANUFACTURED BY APPLETON, RACO OR STEEL CITY.

- CAST SWITCH, OUTLET AND JUNCTION BOXES OR CONDUIT FITTINGS SHALL BE USED IN ALL DAMP OR WET LOCATIONS. THEY SHALL HAVE THREADED HUBS AND GASKETED COVERS. THEY SHALL BE AS MANUFACTURED BY HOFFMAN, ADALET OR APPLETON.

- ALL LOCAL SWITCHES FOR CONTROL OF LIGHTING SHALL BE RATED 20 AMPERE, 277 VOLT A.C. TUMBLER TYPE AS FOLLOWS (COLOR AS SELECTED BY MANUFACTURER): SINGLE POLE HUBBELL #1221. ARROW HART AND P&S APPROVED EQUAL.

- SPECIFICATION GRADE DUPLEX RECEPTACLES SHALL BE 20 AMPERE, 125 VOLT 3 WIRE GROUNDING TYPE EQUAL TO HUBBELL 5352, A-H OR P&S APPROVED EQUAL. DEVICE COLOR AS SELECTED BY MANUFACTURER. G.F.I. RECEPTACLES SHALL BE EQUAL TO HUBBELL #GF5352. SPECIAL RECEPTACLES SHALL BE AS NOTED ON THE DRAWINGS.

- ALL PANELBOARD'S SHALL HAVE COPPER BUSSBARS AND SHALL BE AS MANUFACTURED BY
  I.T.E., SQUARE D OR WESTINGHOUSE. ALL CIRCUIT BREAKERS SHALL BE BOLT-ON. 15 AND 20 AMP SINGLE POLE BREAKERS SHALL BE RATED FOR SWITCHING DUTY.

  MINIMUM U.L. LISTED INTERRUPTING RATINGS (RMS SYM. AMPS) SHALL BE AS FOLLOWS:

  240 VOLT MAXIMUM BREAKERS

  15-100 AMP = 10,000 AIC
  110-225 AMP = 22,000 AIC

- LIGHT FIXTURES SHALL BE FURNISHED COMPLETE WITH LAMPS, LENSES, END CAPS, MOUNTING HARDWARE, ETC. TO PROVIDE A COMPLETE AND WORKING SYSTEM.

- THESE DRAWINGS ARE NOT SITE SPECIFIC NOR ARE THEY DESIGNED TO LOCAL CODE REQUIREMENTS BUT ENTAIL THE GENERAL DESIGN CONCEPT, COMPONENTS, INTENT AND SHALL BE MODIFIED FOR A SPECIFIC ORDER AND LOCAL CODE REQUIREMENTS.

Larson & Darby Group
Architects Engineers Interiors

STANDARD BORDER SHEET FOR
LARSON & DARBY GROUP
ROCKFORD, ILLINOIS

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ISSUED FOR:	DATE
DRAWN	APPROVED

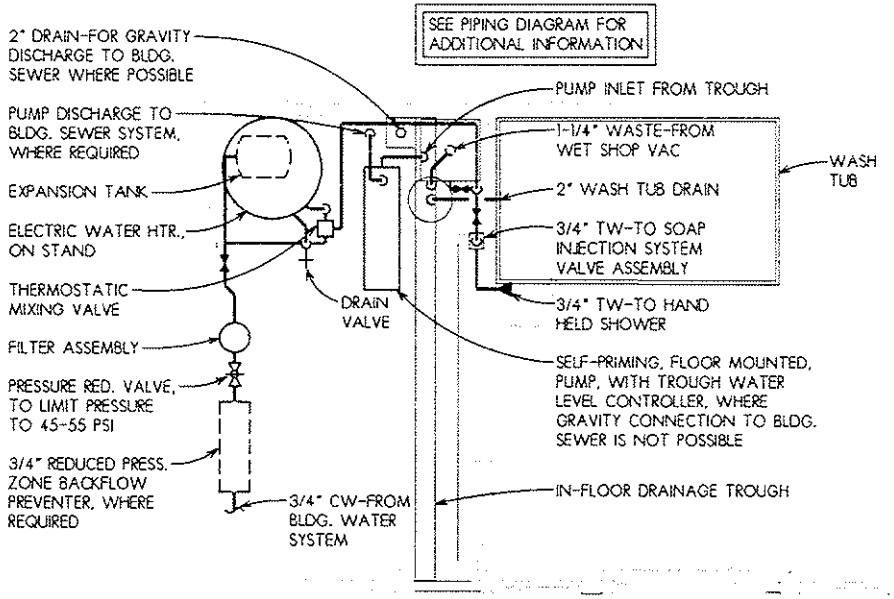
DATE: 01-01-2015	
PROJECT NUMBER	25118
SHEET NUMBER	E3.1

PLUMBING SYMBOLS

SYMBOL	DESCRIPTION
—o	PIPE TURNED UP
—)	PIPE TURNED DOWN
⋈	SHUT-OFF VALVE
⋈	PRESSURE REDUCING VALVE

PLUMBING ABBREVIATIONS

MARK	DESCRIPTION
CW	COLD WATER
HW	HOT WATER
TW	TEMPERED WATER



NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

PLUMBING PLAN

SCALE: 1/2" = 1'-0"

Larson & Darby Group
Architects Engineers Interiors

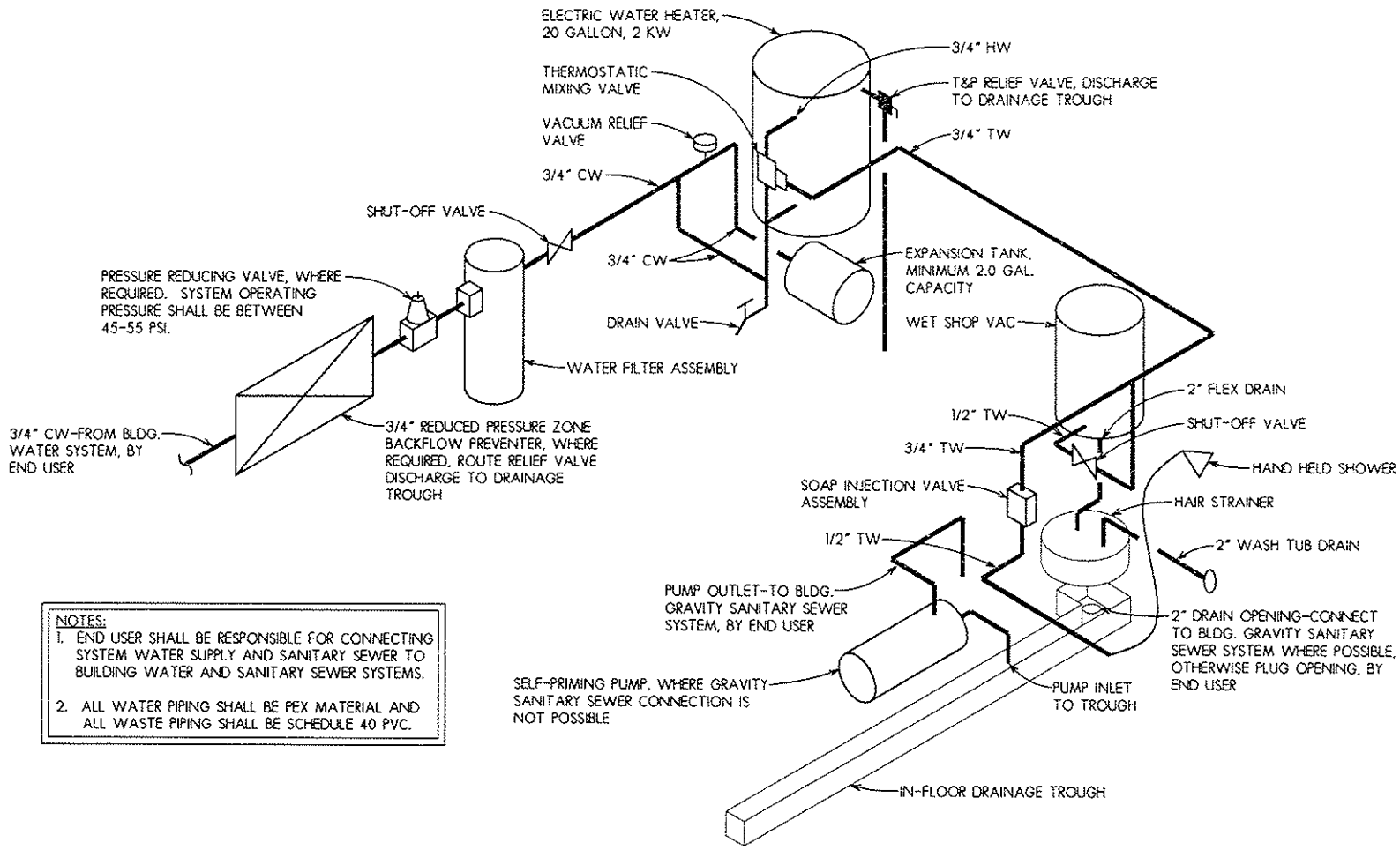
ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

COPYRIGHT 2012
All rights are reserved. No part of this drawing may be reproduced or used in any form or by any means without the written permission of Larson & Darby Group

ISSUED FOR:	DATE

DRAWN: TW
APPROVED: KAS

DATE: 07-20-2015
PROJECT NUMBER: 25118
SHEET NUMBER: P1.1



NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

PIPING DIAGRAM

NO SCALE

Larson & Darby Group
Architects Engineers Interiors

ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

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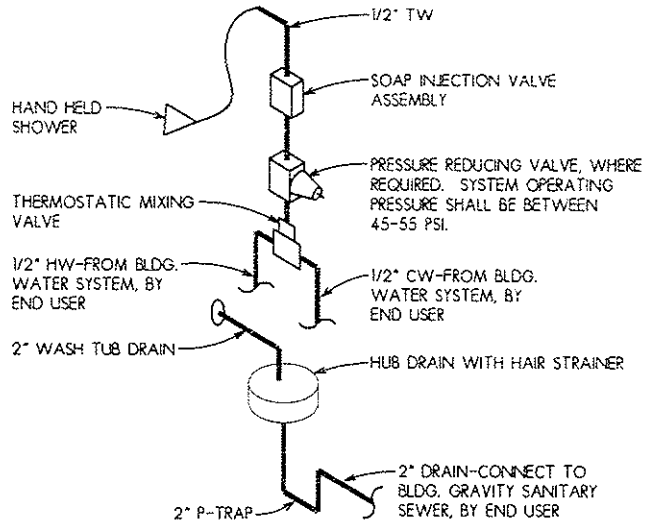
ISSUED FOR:	DATE
DRAWN TW	APPROVED RJS

DATE: 07-10-2015	
PROJECT NUMBER	25118
SHEET NUMBER	P1.2



NOTES:
1. END USER SHALL BE RESPONSIBLE FOR CONNECTING SYSTEM WATER SUPPLY AND SANITARY SEWER TO BUILDING WATER AND SANITARY SEWER SYSTEMS.
2. ALL WATER PIPING SHALL BE PEX MATERIAL AND ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC.

PIPING DIAGRAM-FLIP TUB STYLE

NO SCALE

Larson & Darby Group
Architects Engineers Interiors

ADA PETWASH VENDING STATION
ALL PAWS PET WASH
VARIOUS LOCATIONS

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ISSUED FOR:	DATE:

DRAWN: TW
APPROVED: RJS

DATE: 07-10-2015
PROJECT NUMBER: 25118
SHEET NUMBER: P1.3

HOPE CONSULTING
ENGINEERS • SURVEYORS

July 20, 2022

Truett Smith

City of Bryant
210 Southwest Third St.,
Bryant, AR 72022

RE: All Paws Pet Wash (Hope Job# 22-0982)

Dear Truett:
On behalf of the property owner, Hope Consulting is requesting the review of the Site Plan for this property. We would like to be placed July 28th DRC Agenda.

The developer of this project is Deir, Inc

Contact information:
Justin Denney
870-917-0007
Kdenney1977@gmail.com

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,

Jonathan Hope

Jonathan Hope

BASIS OF BEARING

THE BASIS OF BEARING ON THIS SURVEY IS ARKANSAS, STATE PLANE COORDINATES, NORTH ZONE US FOOT, NAD83.

CERTIFICATE OF SURVEYING ACCURACY

I, Michael Johnston, hereby certify that this proposed final plat correctly represents a survey completed by me, or under my supervision; that the boundary lines shown heron correspond with the description in the deeds cited in the fidelity national title insurance company agent: standard abstract & title Company, inc. commitment number e-21-62162-1, date, march 24, 2021 at 4:00 pm, owner, clean tech ventures, inc.; and that all monuments which were found or placed on the property are correctly described and located.

Date of Execution

Signed: _____
Michael Johnston
Registered Professional Land Surveyor
No. 1348
Arkansas

CERTIFICATE OF RECORDING

This document, number _____, filed for record _____, 20___, in Plat Book _____, Page _____.

Name (Clerk)

Signature (Clerk)

CERTIFICATE OF ENGINEERING ACCURACY

I, Phillip Lewis, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown heron actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Little Rock Subdivision Rules and Regulations have been fully complied with.

Date of Execution

Signed: _____
Phillip Lewis
Registered Professional Engineer
No. 9540
Arkansas

CERTIFICATE OF OWNER

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with this plat.

Date of Execution

Momi Holdings LLC.

CERTIFICATE OF FINAL PLAT APPROVAL

All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

This Certificate shall expire _____

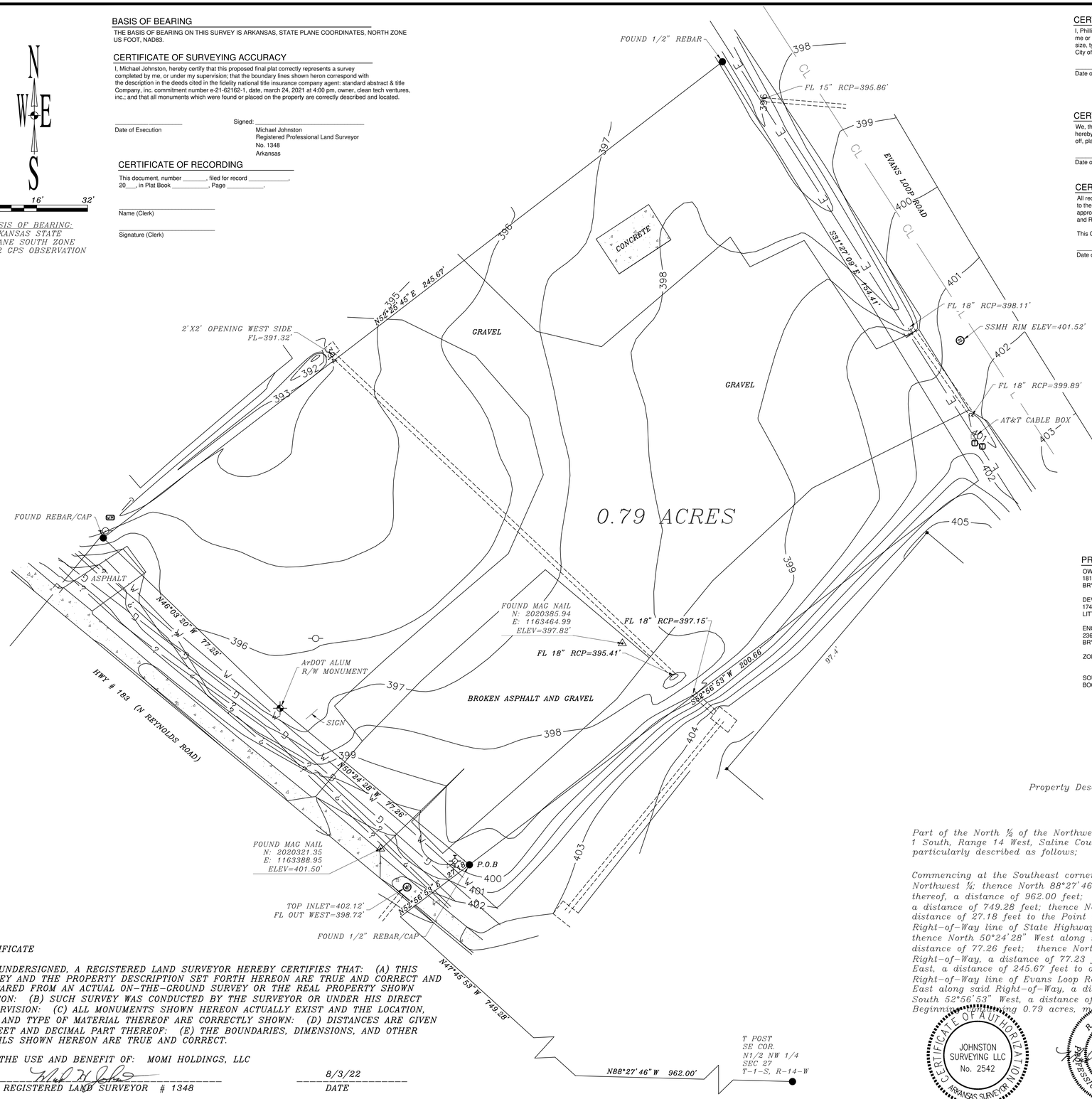
Date of Execution

Truett Smith

N
W E
S

0' 16' 32'

BASIS OF BEARING:
ARKANSAS STATE
PLANE SOUTH ZONE
302 GPS OBSERVATION



PROPERTY SPECIFICATIONS

OWNER: MOMI HOLDINGS LLC.
1812 N REYNOLDS RD
BRYANT, ARKANSAS 72022

DEVELOPER/SUBDIVIDER: MOMI HOLDINGS LLC.
174 COURTS LANE
LITTLE ROCK, ARKANSAS 72223

ENGINEERS: PHILLIP LEWIS ENGINEERING, INC.
23620 INTERSTATE-30
BRYANT, ARKANSAS 72022

ZONING CLASSIFICATION: C-2 - GENERAL COMMERCIAL

SOURCE OF TITLE: SALINE COUNTY DOCUMENT
BOOK 2022 PAGE 010710

Property Description

Part of the North ½ of the Northwest ¼ of Section 27, Township 1 South, Range 14 West, Saline County, Arkansas being more particularly described as follows;

Commencing at the Southeast corner of said North ½ of the Northwest ¼; thence North 88°27'46" West along the south line thereof, a distance of 962.00 feet; thence North 47°45'53" West, a distance of 749.28 feet; thence North 52°56'48" East, a distance of 27.18 feet to the Point of Beginning on the Easterly Right-of-Way line of State Highway #138 (North Reynolds Road); thence North 50°24'28" West along said Right-of-Way line, a distance of 77.26 feet; thence North 46°03'20" West along said Right-of-Way, a distance of 77.23 feet; thence North 52°25'45" East, a distance of 245.67 feet to a point on the Westerly Right-of-Way line of Evans Loop Road; thence South 31°27'09" East along said Right-of-Way, a distance of 154.41 feet; thence South 52°56'53" West, a distance of 200.66 feet to the Point of Beginning, containing 0.79 acres, more or less.

CERTIFICATE OF AUTHORIZATION
JOHNSTON SURVEYING LLC
No. 2542
ARKANSAS SURVEYOR NO.

REGISTERED
STATE OF ARKANSAS
NO. 1348
SIGNATURE
PROFESSIONAL LAND SURVEYOR

500-015-14W-0-27-62-1348

Flood Information
This property lies within Zone X according to Federal Flood Insurance Rate Map Community Panel No. 05125C0380E, effective June 5, 2020.

Note:
All utilities shown per visible field evidence, lines marked on the ground, or verbal communication from onsite utility personnel. Surveyor is not responsible for existing underground utilities that are incorrectly located, omitted from or added to this plat.

CERTIFICATE

THE UNDERSIGNED, A REGISTERED LAND SURVEYOR HEREBY CERTIFIES THAT: (A) THIS SURVEY AND THE PROPERTY DESCRIPTION SET FORTH HEREON ARE TRUE AND CORRECT AND PREPARED FROM AN ACTUAL ON-THE-GROUND SURVEY OR THE REAL PROPERTY SHOWN HEREON: (B) SUCH SURVEY WAS CONDUCTED BY THE SURVEYOR OR UNDER HIS DIRECT SUPERVISION: (C) ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THE LOCATION, SIZE AND TYPE OF MATERIAL THEREOF ARE CORRECTLY SHOWN: (D) DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF: (E) THE BOUNDARIES, DIMENSIONS, AND OTHER DETAILS SHOWN HEREON ARE TRUE AND CORRECT.

FOR THE USE AND BENEFIT OF: MOMI HOLDINGS, LLC

BY _____ *8/3/22*
REGISTERED LAND SURVEYOR # 1348 *DATE*

VICINITY MAP

LEGEND

- Right of Way Monument
- Control Points
- Set Iron Pin
- Found Monument
- Gas Regulator
- Gas Riser
- Gas Meter
- Clean Out
- Sanitary Sewer Manhole
- Telephone Pedestal
- Electric Meter
- Electric Box
- Power Pole
- Guy Wire Anchor
- Light Pole
- Center Line
- Flag Pole
- Fire Hydrant
- Water Hydrant
- Down Spout
- Water Meter
- Water Valve
- Metal Drainage Grate
- Gate Post
- Ground Light
- Sign
- Junction Box
- Handicap Parking
- Manhole
- Bollard
- Mailbox
- RPZ Valve
- Tree
- Vault
- Air Conditioner
- Flow Direction
- Flared End Section
- T — Telephone Line
- S — Sanitary Sewer Main
- E — Electric Line
- G — Underground Gas
- W — Waterline
- X — Fence
- F — Fiber Optic
- Treeline
- Concrete

BOUNDARY SURVEY
1812 N REYNOLDS ROAD
BRYANT, AR
JOB # 732

JOHNSTON SURVEYING, INC
37027 HWY 300
ROLAND, AR 72135
501-837-5643
MJohnstonsurveying@gmail.com

DATE: 8/2/2022
SCALE: 1:16
DRAWN BY: H. GRAFTENREED
CHECKED BY: M. JOHNSTON
FILE NAME: EVANS ROAD BRYANT

Z:\JACON\Abby Road\Survey\Documents\EVANS ROAD BRYANT.dwg

PINNACLE SIGNS
AND GRAPHICS

7610 Counts Massie Rd. Ste A.
North Little Rock, AR 72113
501-812-4433
info@pinnacle-signs.com

September 20, 2022

Planning Committee
City of Bryant, Arkansas
Community Development
210 SW 3rd Street
Bryant, AR 72022

Letter of Undue Hardship

To whom it may concern:

Geyer Springs Baptist Church has decided to launch a new ministry in Saline County called The Station. The mission of this ministry is to launch new ministries in this community as well as surrounding communities. This building will serve as a meeting place for new ministries as well as existing. A sign will be very important to this ministry as it will help people of many different ministries find this building.

Since this property is zoned Residential "R" District we are limited to two square foot of signage. Section 3.02 - 2 reads that a sign up to 32 sqft may be permitted by special permit process for non-residential uses.

We respectfully ask the committee to consider granting us permission to install a 14.26 sqft road sign as well as a 29.25 sqft Facade sign. Thank you in advance for the consideration.

Sincerely,

Tiffany Davenport
Pinnacle Signs and Graphics
On behalf of Geyer Springs Baptist Church - The Station

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 09/06/22

Sign Co. or Sign Owner

Name Pinnacle Signs LLC
Address 7610 Counts Massie Rd
City, State, Zip N. LIttle Rock, AR 72116
Phone 501-812-4433
Email Address jason@pinnacle-signs.com

Property Owner

Name Geyer Springs Baptist Church
Address 12400 I-30
City, State, Zip Little Rock, AR 72210
Phone 501-455-3474
Email Address jthomas@gsfbc.org

GENERAL INFORMATION

Name of Business The Station - GSFBC

Address/Location of sign 1701 Raymar Rd Bryant AR 72022

Zoning Classification_____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is <u>required</u>** to be submitted**. Renderings of the sign(s) showing the correct dimensions is also <u>required</u>** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

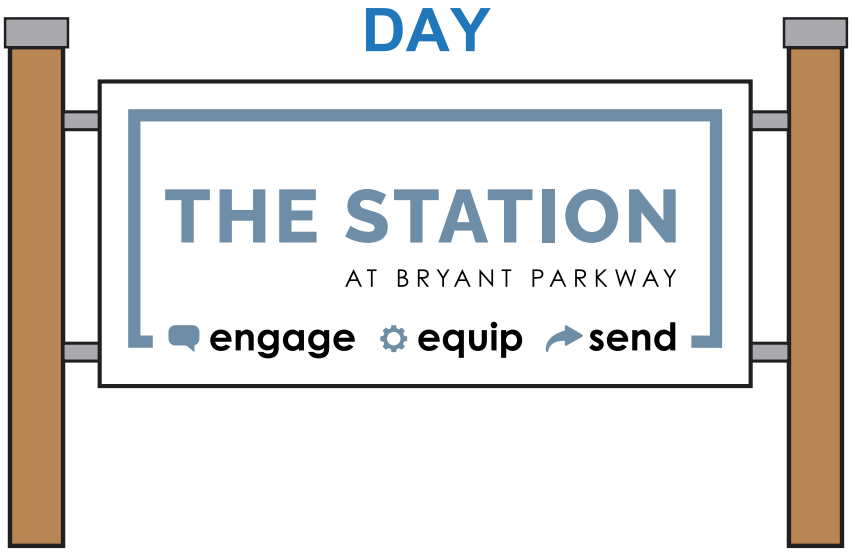
Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Monument	31"H x 66.25"W	14.26sqft	55.75"	18"	
B	Facade	36"H x 117"W	29.25	72"	36"	
C						
E						
F						
G						

Please note:

- *Carefully review spelling, information, and placement as the proof is intended to be an accurate illustration of the final product Customer will be responsible for 50% of the remake cost if any errors are caught after production and/or installation begins.*
- *The first (3) revisions are included in initial quote, any customer changes after that are subject to a minimum $65 art charge, unless otherwise noted in final quote.*
- *Colors portrayed on proof may not match final product due to difference between digital and pigmented colors. If you have a specific Pantone Color that we need to match, please let us know prior to art approval.*
- *We are not responsible for poor image quality as a result of unprovided vector images or client provided low resolution artwork.*
- *If customer cancels job for any reason after the proofing process has begun, customer will be charged art charge based on original quoted amount.*

DAY



NIGHT

SIZE:
96″ w x 55.75″ h

QUANITY:
x1

SIDES:
Double Sided

CLIENT: Geyer Springs FBC	**CLIENT CONTACT:** Jordan Thomas	**PROOF #:** 1	**DATE:** 08-11-22	**DESCRIPTION:** Per Quote
PINNACLE SIGNS AND GRAPHICS	**LOCATION:** Bryant	**ACCT. EXE.:** PSG	**DESIGNER:** DH DB	

7610 Counts Massie Rd., Suite A, North Little Rock AR 72113 • P: 501-812-4433 • E: info@pinnacle-signs.com

THIS ARTWORK REMAINS THE INTELLECTUAL PROPERTY OF PINNACLE SIGNS AND GRAPHICS UNTIL PAID FOR, IN FULL, BY CUSTOMER. USE OF THE ARTWORK FOR ANY COMMERCIAL PURPOSE WITHOUT OUR WRITTEN PERMISSION IS STRICTLY PROHIBITED!

Please note:

- *Carefully review spelling, information, and placement as the proof is intended to be an accurate illustration of the final product Customer will be responsible for 50% of the remake cost if any errors are caught after production and/or installation begins.*
- *The first (3) revisions are included in initial quote, any customer changes after that are subject to a minimum $65 art charge, unless otherwise noted in final quote.*
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- *We are not responsible for poor image quality as a result of unprovided vector images or client provided low resolution artwork.*
- *If customer cancels job for any reason after the proofing process has begun, customer will be charged art charge based on original quoted amount.*

CLIENT: Geyer Springs FBC	CLIENT CONTACT: Jordan Thomas	PROOF #: 2	DATE: 08-8-22	DESCRIPTION: Per Quote
PINNACLE SIGNS AND GRAPHICS	LOCATION: Bryant	ACCT. EXE.: PSG	DESIGNER: DH	

7610 Counts Massie Rd., Suite A, North Little Rock AR 72113 • P: 501-812-4433 • E: info@pinnacle-signs.com

THIS ARTWORK REMAINS THE INTELLECTUAL PROPERTY OF PINNACLE SIGNS AND GRAPHICS UNTIL PAID FOR, IN FULL, BY CUSTOMER. USE OF THE ARTWORK FOR ANY COMMERCIAL PURPOSE WITHOUT OUR WRITTEN PERMISSION IS STRICTLY PROHIBITED!

Raymar Rd
Raymar Rd
Raymar Rd
Raymar R
Raymar Rd
Sign A Goes Here
Sign B Goes Here
1623

PINNACLE SIGNS
AND GRAPHICS

7610 Counts Massie Rd. Ste A.
North Little Rock, AR 72113
501-812-4433
info@pinnacle-signs.com

September 20, 2022

Planning Committee
City of Bryant, Arkansas
Community Development
210 SW 3rd Street
Bryant, AR 72022

To Whom it May Concern:

Letter of Undue Hardship

A part of our mission is to proclaim the gospel of Jesus Christ to all people -- to lead those who may never have known Him or who because of life's circumstances have found themselves reaching back out to Him. In faith, we moved our church to Bryant in February 2022, and by the grace of God, we are striving to be good stewards of His message and bring Him glory as we grow in this community.

For this reason, we are seeking a secondary sign on the North side of the building to make our new location more visible to potential visitors. Our current congregation is familiar with the area and the new location. However, our growth is focused on those who may not be familiar with our church. We are relying on word of mouth but also viewability.

Our building and one allowable sign face East. Unfortunately, the traffic closest to the location is also headed East. Therefore, to see the allowable building sign, the driver or passenger would have to turn and look backward. In the likely event that the location is not seen and passed, the driver would have to drive an additional 1.0 to 5.0 miles, depending on when the mistake is realized. To those driving East on I-30 Frontage Rd, this proposed location would be most visible and would allow drivers time to slow down and turn before missing the drive.

The sign facing the parking lot is needed also for visitors to know which suites are occupied by the church, and therefore, reduce confusion upon arrival. Aside from the main visibility concern, both signs proposed are consistent with previous and current tenants and do not adversely affect other signs or properties in the area.

We hope you will consider granting this variance. Thank you for your time.

Sincerely,

Tiffany Davenport
Pinnacle Signs and Graphics
On behalf of Grace Baptist Church of Bryant

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9/8/22

Sign Co. or Sign Owner

Name Pinnacle Signs LLC
Address 7610 Counts Massie Rd
City, State, Zip N. LIttle Rock, AR 72116
Phone 501-812-4433
Email Address jason@pinnacle-signs.com

Property Owner

Name Grace Baptist Church
Address 21671 i-30 Frontage Rd
City, State, Zip Bryant, AR 72019
Phone 501-681-7938
Email Address gcoleman@live.com

GENERAL INFORMATION

Name of Business Grace Baptist Church

Address/Location of sign 21671 I-30 Frontage Rd Bryant, AR

Zoning Classification_____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is <u>required</u>** to be submitted**. Renderings of the sign(s) showing the correct dimensions is also <u>required</u>** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Facade	26"H x 332.5"w	60sqft	146"	120"	
B	Facade	22"h x 408.5"w	62.5 sqft	142"	120"	
C						
E						
F						
G						

SIGN #1
GRACE BAPTIST
507.5 x 195

SIGN #2
GRACE BAPTIST CHURCH
25
26
27
653.5" w x 197.5" h

Sign #1 to be installed Here
Sign #2 to be installed Here
I-30 Frontage Rd
I-30 Frontage Rd
I-30 Frontage Rd
I-30 Frontage Rd
Woodland Park Rd
Woodland Park Rd
Russell & Lemay Plumbing
30
70
Foster Law Firm
Second Chance Ranch
Grace Baptist Church
Coffee Collect Create
21671 I-30 Frontage Rd, Bryant, AR 72019
McGhee Insurance Agency, Inc
Kids Town Academy
Ferguson Waterworks
Wehco Video Client Care
ere Dump
ittle Rock
ANSAS MARINE
Boat dealer

K&P Signs

209 E McLeroy Blvd Unit C
Saginaw, TX 76179
(817) 905-6765
Cody@kpsigns.net

To whom this may concern,

We would like to request a variance for the allowance of two (2) facade signs on the front of the building that fronts Highway 183 for the Church's Chicken located at 1905 N Reynolds Rd. We understand that the sign code allows for only one (1) facade sign per business, but would like to request that the "Bold Texas Flavor" sign (S4 in the renderings) be permitted for the East Elevation.

The "Bold Texas Flavor" wording is only 5.33 SQ FT and would not adversely affect other signs in the area due to the small size of the proposed sign, nor would it interfere with visibility or traffic due to it being attached to the building by an L-Shaped ACM Portal located on the corner of the facade.

The use of the requested signage for the front elevation allows Church's Chicken to express their trademark slogan "Bold Texas Flavor", and without that the building would only have the "Church's Texas Chicken" wall sign and that would not express enough the flavor that Church's food offers to its patrons.

Thank you,

K&P Signs

City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Date: 9.8.22

Sign Co. or Sign Owner

Name K&P Signs
Address 209 E McLeroy Blvd., Unit C
City, State, Zip Saginaw, TX 76179
Phone 817-905-6765
Email Address cody@kpsigns.net

Property Owner

Name Ampler Dev LLC
Address 1850 Parkway Pl
City, State, Zip Bryant, AR 72022
Phone _____
Email Address _____

GENERAL INFORMATION

Name of Business Church's Chicken

Address/Location of sign 1905 N Reynolds Rd

Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, **a Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted**. Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar ($35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars ($100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I Cody Dishman, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

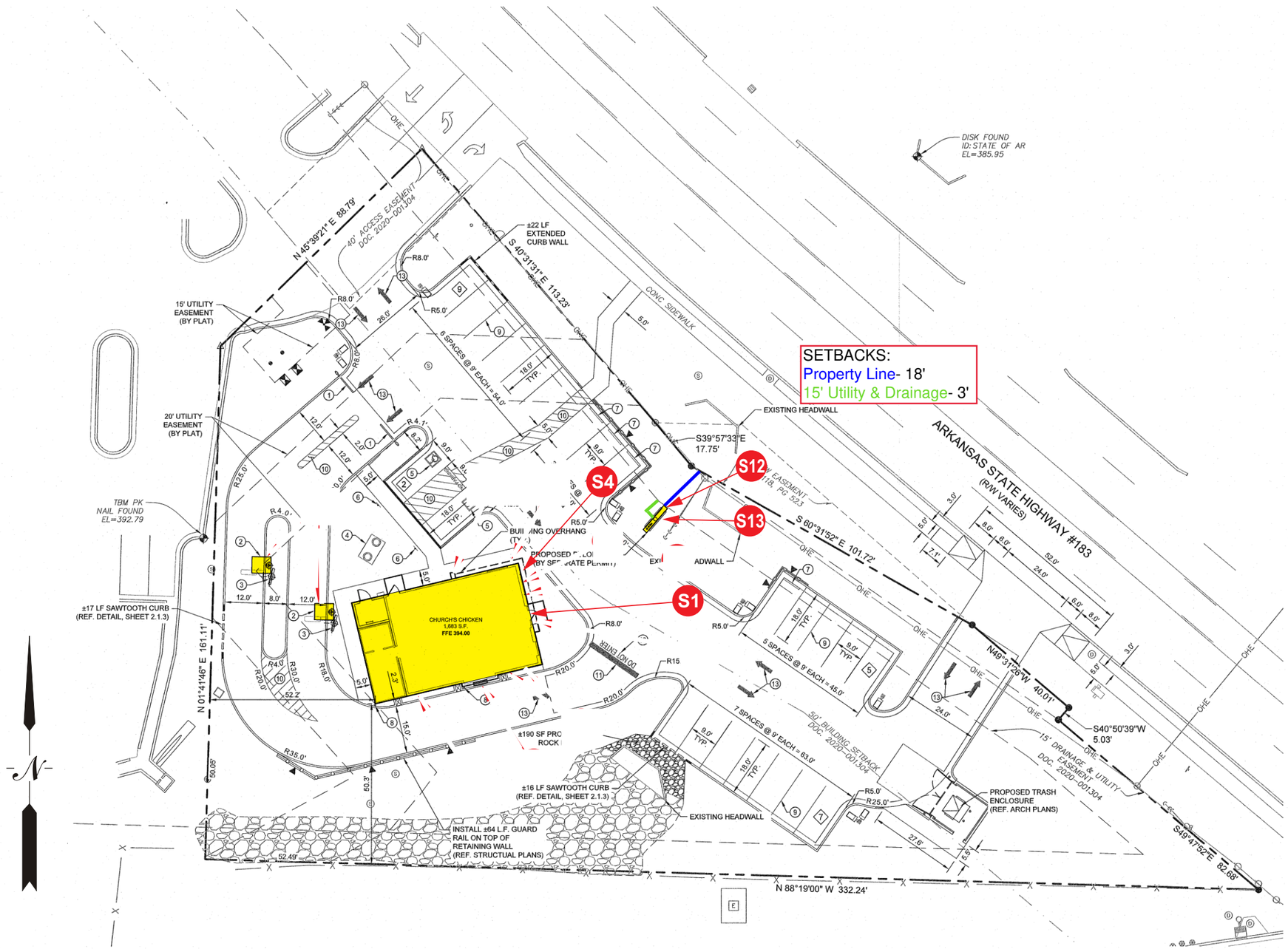
that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	**Type** (Façade, Pole, Monument, other)	**Dimensions** (Height, Length, Width)	**Sqft** (Measured in whole as rectangle)	**Height of Sign** (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	Wall	6' x 6' x 3"	28.27	17'- 11 1/2"	11'- 11 1/2"	
B	Wall	7'- 6 13/16" x 8"	5.07	9'- 2"	8'- 6"	
C	Pylon w/ Readerboard	19'- 1" x 6' x 1'- 4"	114.48	19'- 1"	10'	
E						
F						
G						

PROPOSAL IS FOR BUDGETARY AND ESTIMATION PURPOSES ONLY AND WILL REQUIRE A FIELD SURVEY. CODE CHECK AND ENGINEERING REQUIRED. PRODUCT IS SUBJECT TO CHANGE

Site Location



BUILDING ELEVATION - FRONT:

S1 (1) 6' DIAMETER "CHURCH'S" PUCK SIGN - FACE & HALO LIT

S4 (1) 11' X 24' ILLUMINATED ACM PORTAL W/ "BTF" PUSH THRU LETTERS

Additional Signs - Not shown

S12 (1) 30' OAH 6' D/F PYLON

S13 (1) DF 3' x 6' READERBOARD

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Ampler Chicken LLC - Church's

Address:
1905 N Reynolds Rd,
Bryant, AR 72022

Date: **03/30/22**
Page #: **2 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** Design: **AB** PM: **JB**

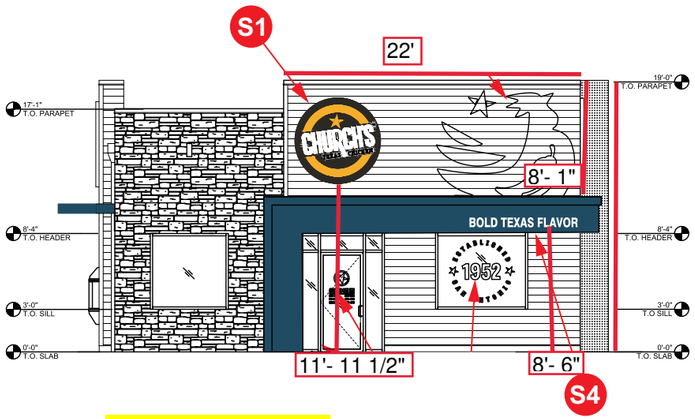
#	Date	Description	Initial
1	3/30/22	Add Pylon/Readerboard	AB
2	05/04/22	Delete channels/alter pylon/	AB
3	07/13/22	Remove Product	T.F.D.
4	08/17/22	Change Portal sizes	AB
5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

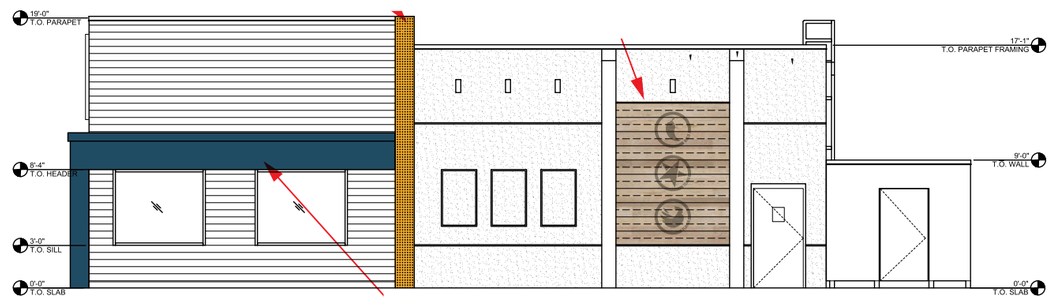
Client Signature:
Approval Date:

PROPOSAL IS FOR BUDGETARY AND ESTIMATION PURPOSES ONLY AND WILL REQUIRE A FIELD SURVEY. CODE CHECK AND ENGINEERING REQUIRED. PRODUCT IS SUBJECT TO CHANGE

Elevations



Front Elevation
Scale: 3/32"=1'-0"

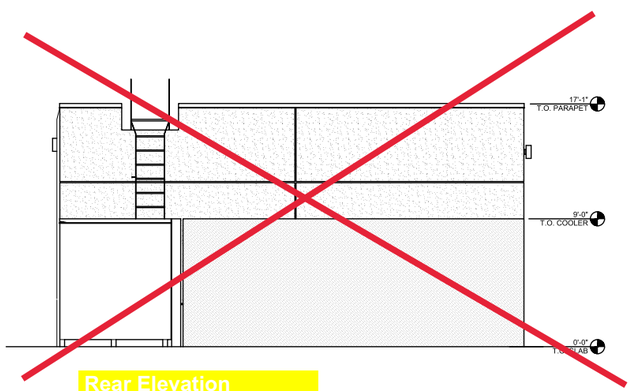


Side Elevation
Scale: 3/32"=1'-0"

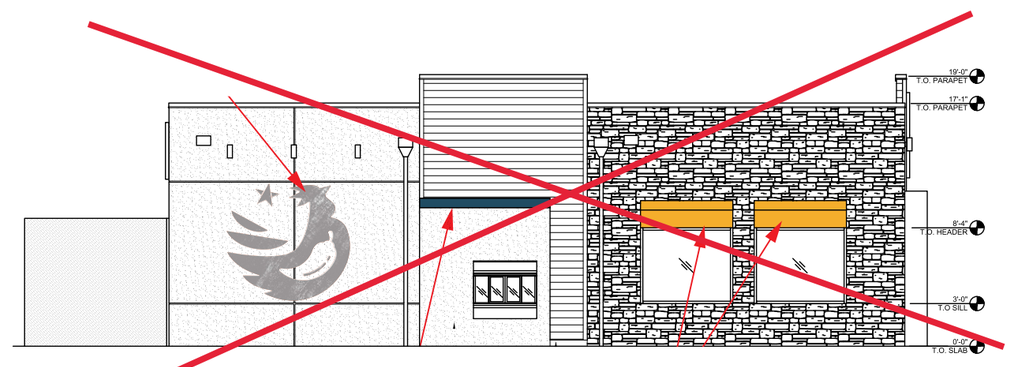
BUILDING ELEVATION - FRONT:

S1 (1) 6' DIAMETER "CHURCH'S" PUCK SIGN - FACE & HALO LIT

S4 (1) 11' X 24' ILLUMINATED ACM PORTAL W/ "BTF" PUSH THRU LETTERS



Rear Elevation
Scale: 3/32"=1'-0"



Drive Thru
Scale: 3/32"=1'-0"

Additional Signs - Not shown

S12 (1) 30' OAH 6' D/F PYLON
S13 (1) DF 3' x 6' READERBOARD

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Date: **03/30/22**
Page #: **3 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** Design: **AB** PM: **JB**

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5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

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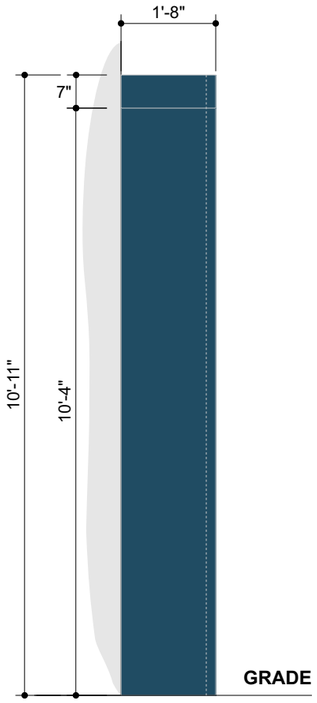
S4 31" L-Shape Iluminated Aluminum Portals

East Elev.

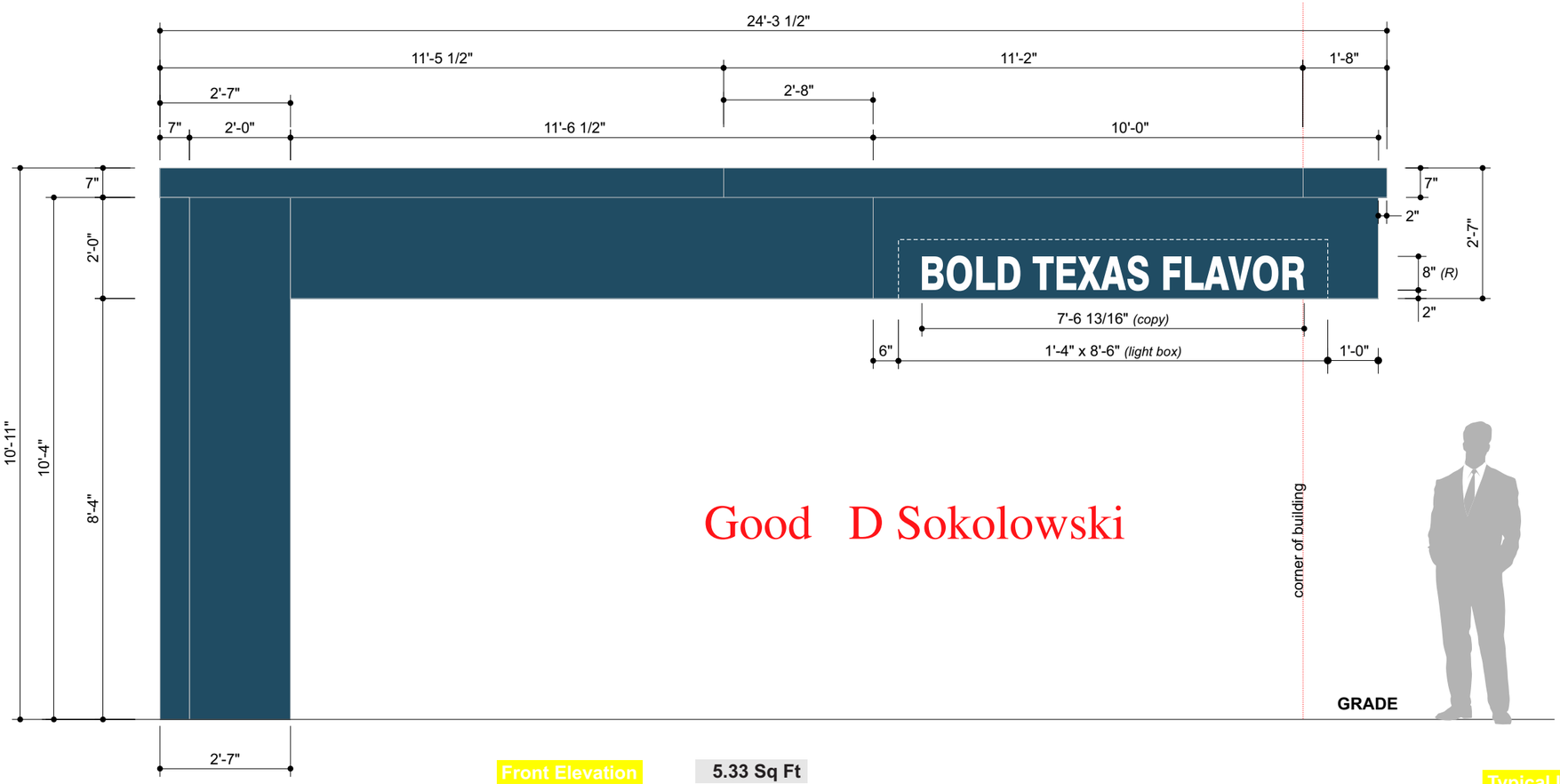
Aluminum Portals

FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements



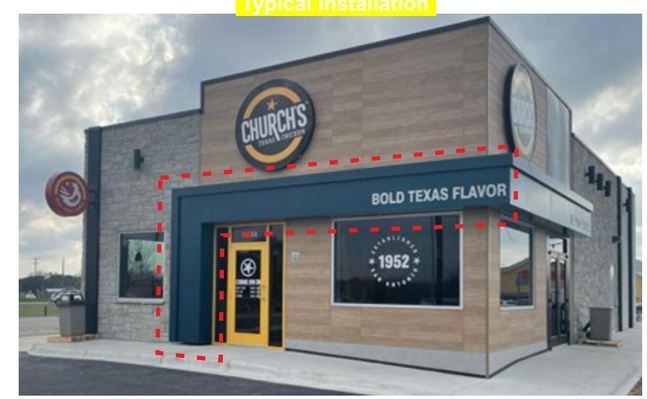
End Elevation
Scale: 3/8"=1'-0"



Front Elevation
Scale: 3/8"=1'-0"

5.33 Sq Ft

Typical Installation



Vinyl Specifications

- 3M 3635-70 Diffuser

Color Specifications

- Benjamin Moore Champion Cobalt Blue
- Clear Acrylic

All paint finishes to be Satin unless otherwise specified

General Specifications

Portal: Brake-formed Aluminum, painted Champion Cobalt Blue

Copy: Copy to be 3/4" clear acrylic routed and pushed thru 1/2". All push-thru to have white diffuser applied second surface.

Illum: LEDs as required by manufacturer, remote power supplies

Install: Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required

Electrical: (1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be determined by Licensed Electrical Contractor

Quantity: (1) ONE PORTAL ASSEMBLY REQUIRED FOR EXTERIOR ELEVATION

Notes:
Available for New Construction.
Portal sections will ship in 10'-0" sections & will be trimmed to fit in the field

Allen Industries FILE NUMBER: E212503 | Listed MET E212503 | Electric Sign Complies with UL48 | THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF **ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE** AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. | GROUNDED ELECTRICAL CONNECTIONS

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Ampler Chicken LLC - Church's

Address:
1905 N Reynolds Rd, Bryant, AR 72022

Date: **03/30/22**
Page #: **14 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** | Design: **AB** | PM: **JB**

#	Date	Description	Initial
1	3/30/22	Add Pylon/Readerboard	AB
2	05/04/22	Delete channels/alter pylon/	AB
3	07/13/22	Remove Product	T.F.D.
4	08/17/22	Change Portal sizes	AB
5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

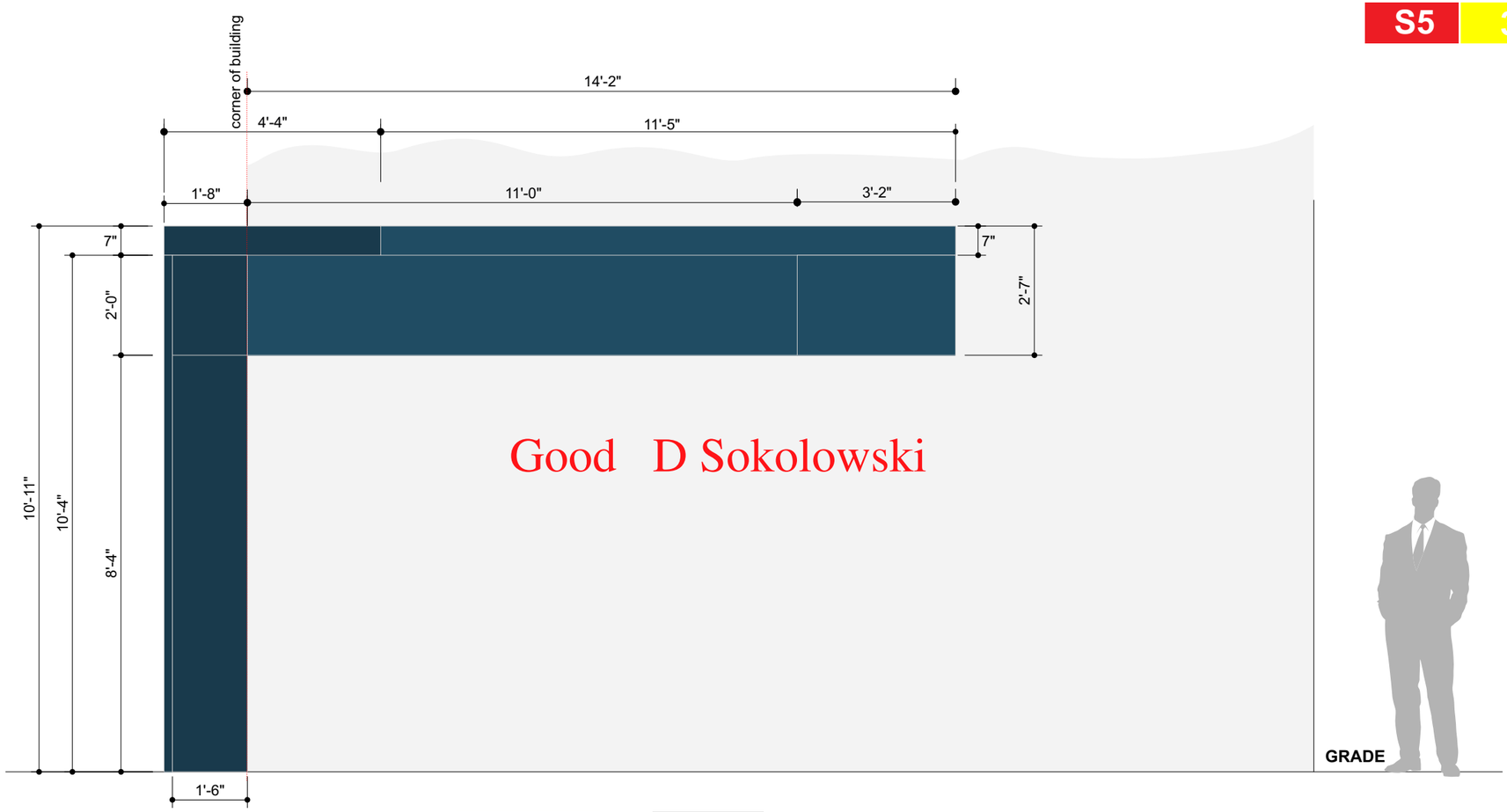
Client Signature:
Approval Date:

S5 31" L-Shape Iluminated Aluminum Portals

Aluminum Portals
NO TEXT

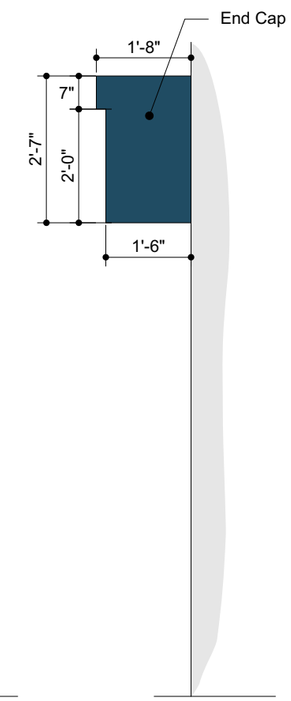
FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements



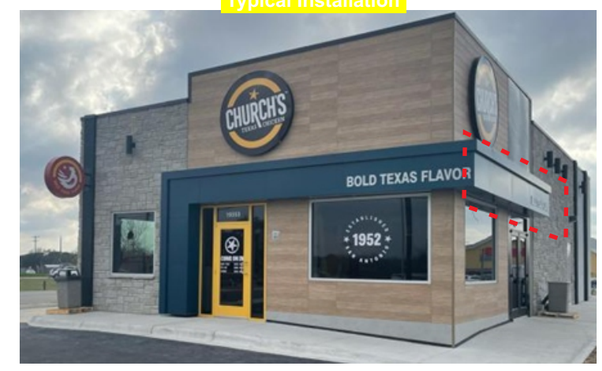
Front Elevation
Scale: 3/8"=1'-0"

5.33 Sq Ft



End Elevation
Scale: 3/8"=1'-0"

Typical Installation



Vinyl Specifications

- 3M 3635-70 Diffuser

Color Specifications

- Benjamin Moore Champion Cobalt Blue
- Clear Acrylic

All paint finishes to be Satin unless otherwise specified

General Specifications

Portal: Brake-formed Aluminum, painted Champion Cobalt Blue

Copy: *Copy deleted from this install/Site*

Illum: LEDs as required by manufacturer, remote power supplies

Install: Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required

Electrical: (1) 20 AMP Circuit, 120 Volts
Actual # of Circuits to be determined by Licensed Electrical Contractor

Quantity: (1) ONE PORTAL ASSEMBLY REQUIRED FOR EXTERIOR ELEVATION

Notes:
Available for New Construction.
Portal sections will ship in 10'-0" sections & will be trimmed to fit in the field

Allen Industries — FILE NUMBER: E212503 | Listed MET E212503 | Electric Sign Complies with UL48 | THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF **ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE** AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN. | GROUNDED ELECTRICAL CONNECTIONS

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Date: **03/30/22**
Page #: **15 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** | Design: **AB** | PM: **JB**

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6	08/23/22	change even more measurements	AB

Client Review Status
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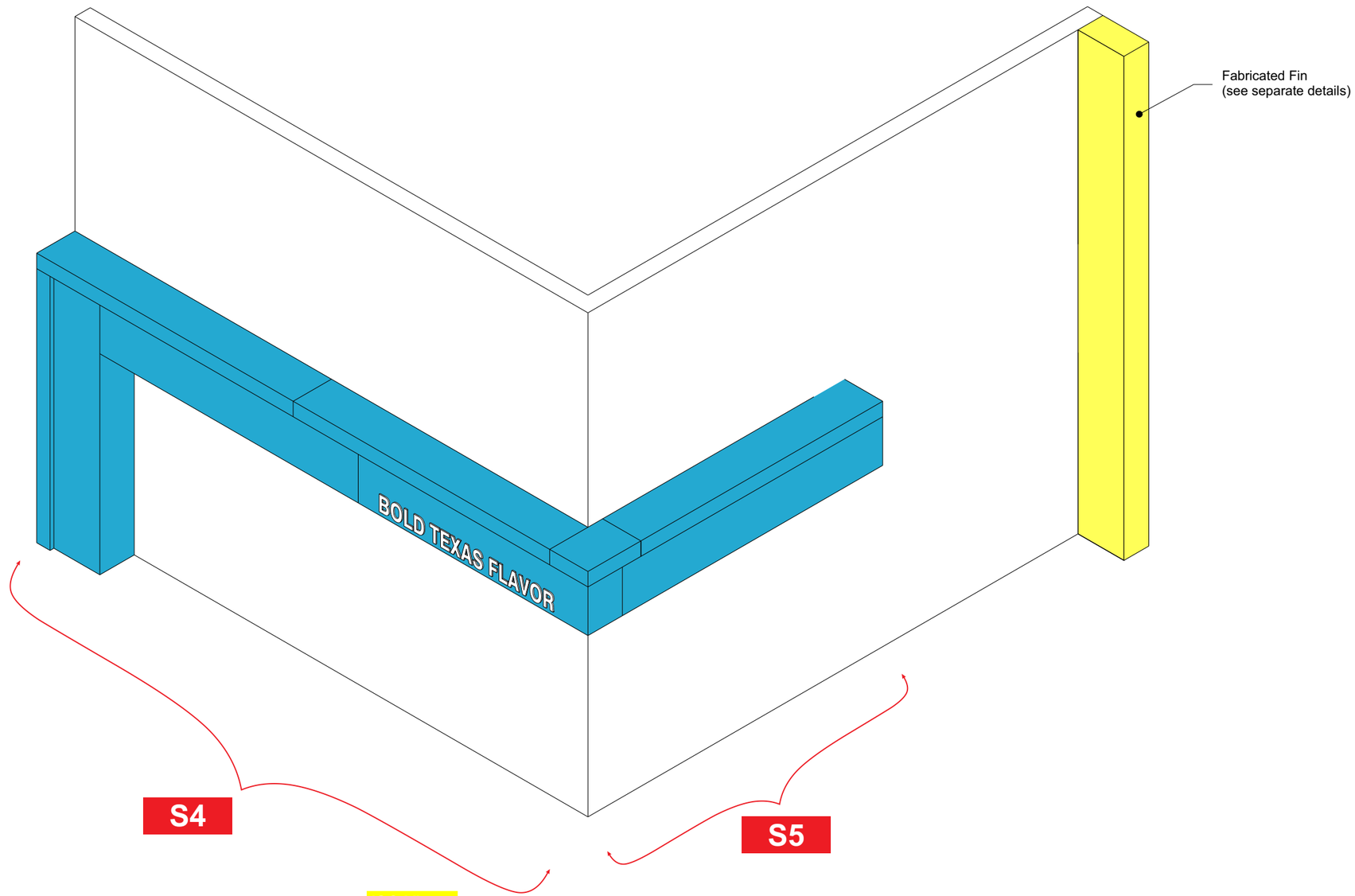
Client Signature:
Approval Date:

S4&5 31" L-Shape Iluminated Aluminum Portals

Aluminum Portals



ISO View
NTS

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Address:
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Date: **03/30/22**
Page #: **16 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House**
Design: **AB**
PM: **JB**

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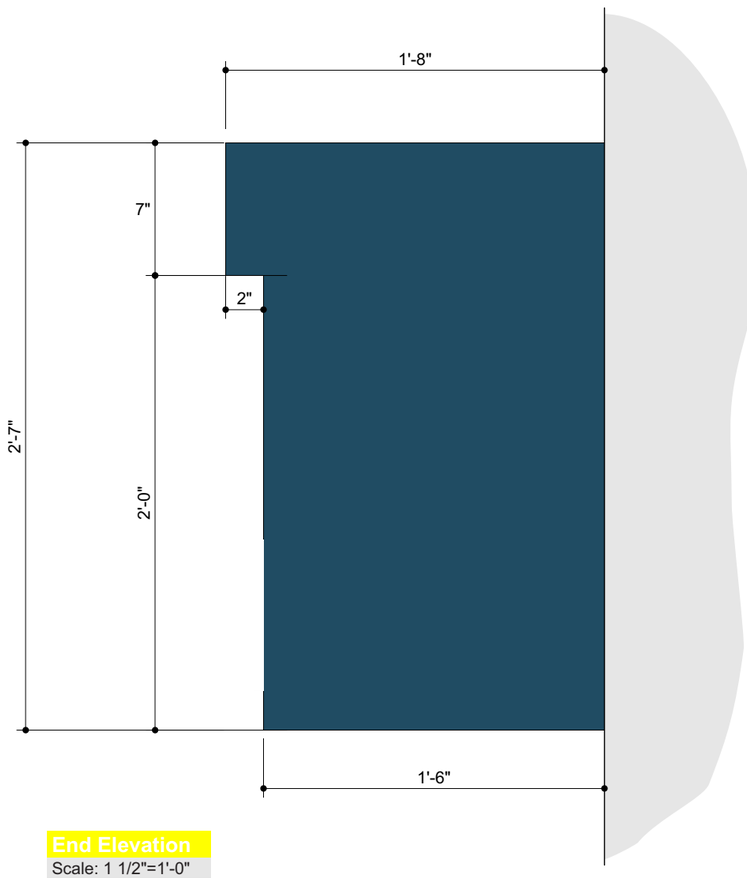
S4&5 31" L-Shape Iluminated Aluminum Portals

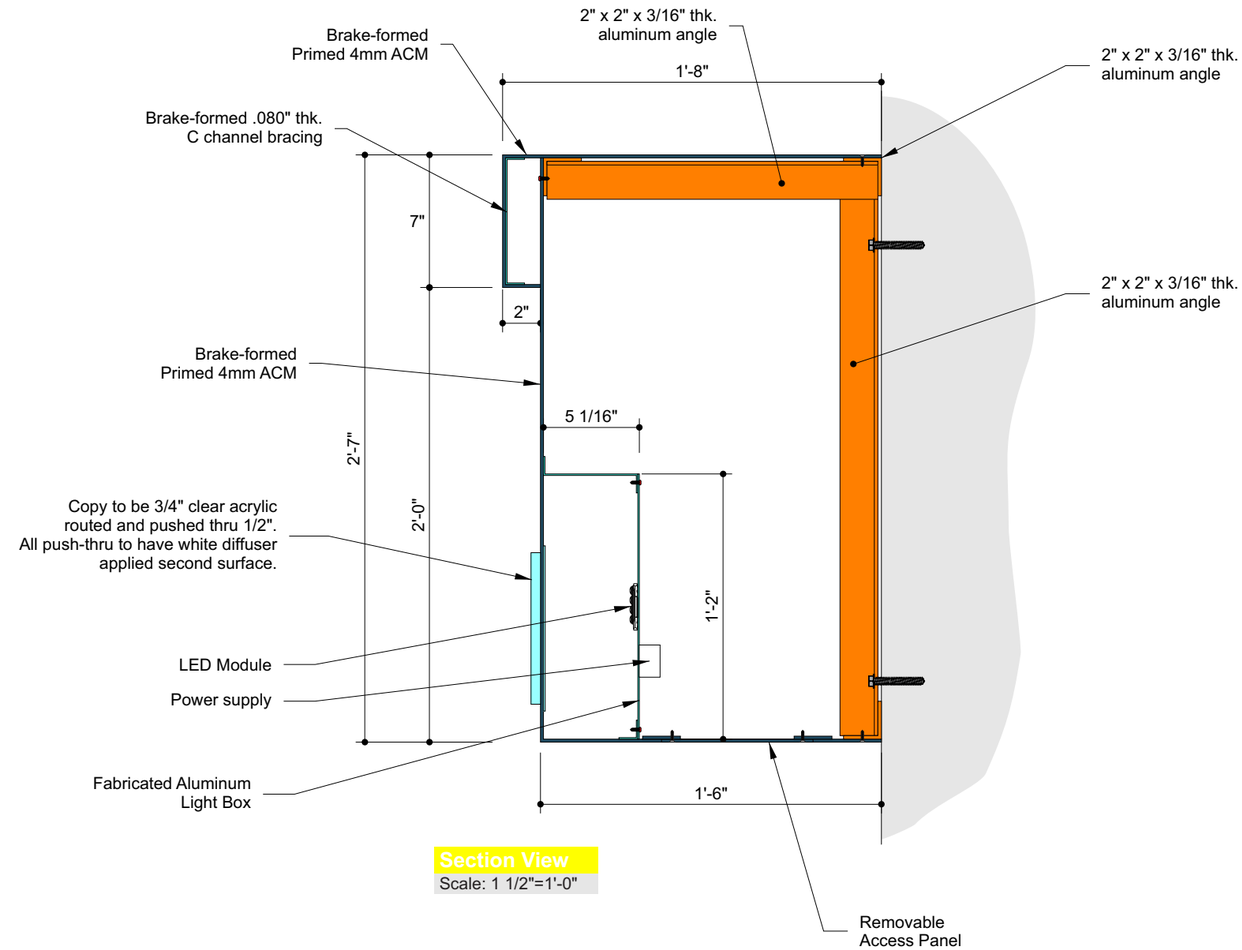
Aluminum Portals

FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements



End Elevation
Scale: 1 1/2"=1'-0"



Section View
Scale: 1 1/2"=1'-0"

Allen Industries
FILE NUMBER: E212503

Listed MET E212503 — Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF **ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE** AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDED ELECTRICAL CONNECTIONS

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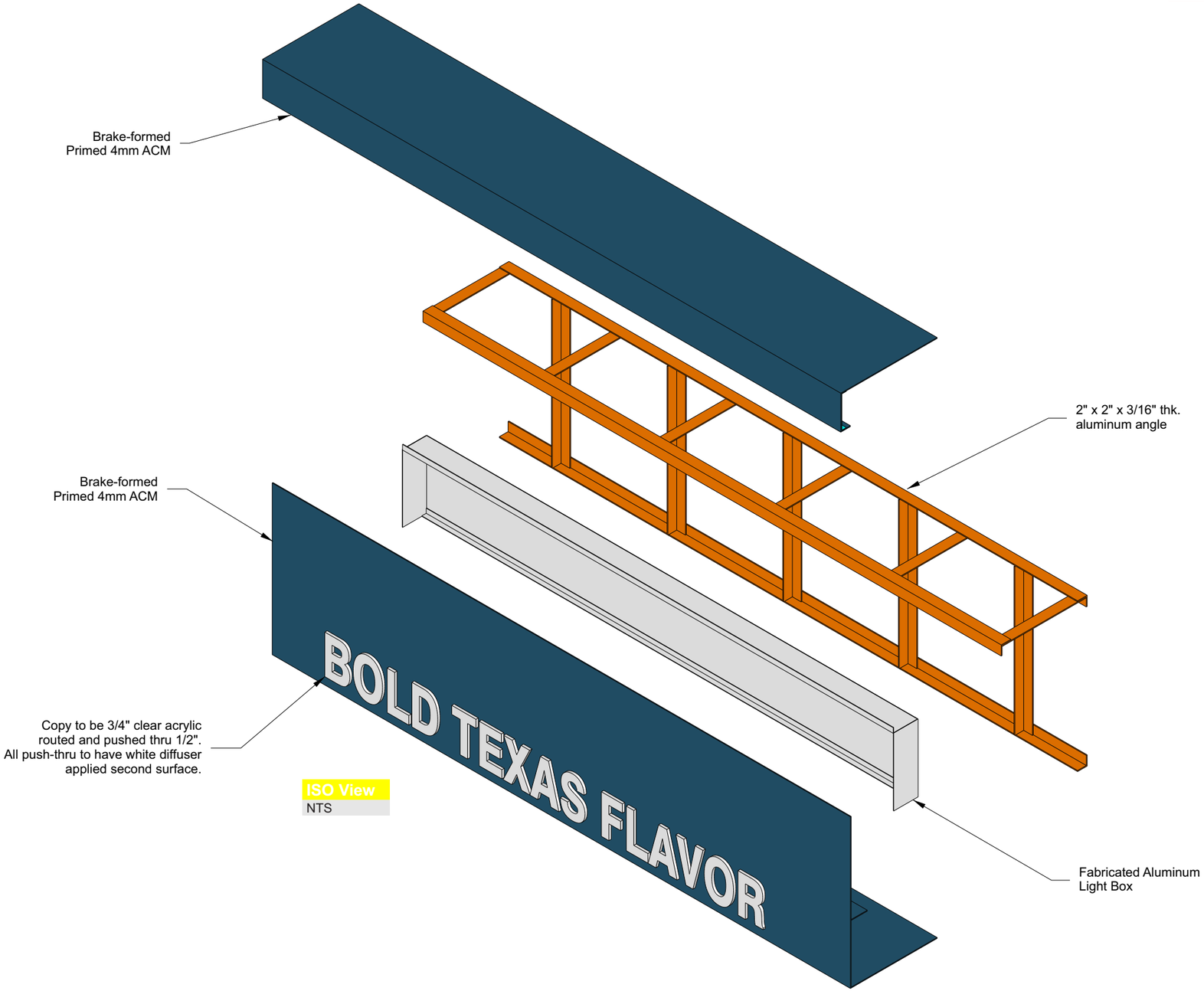
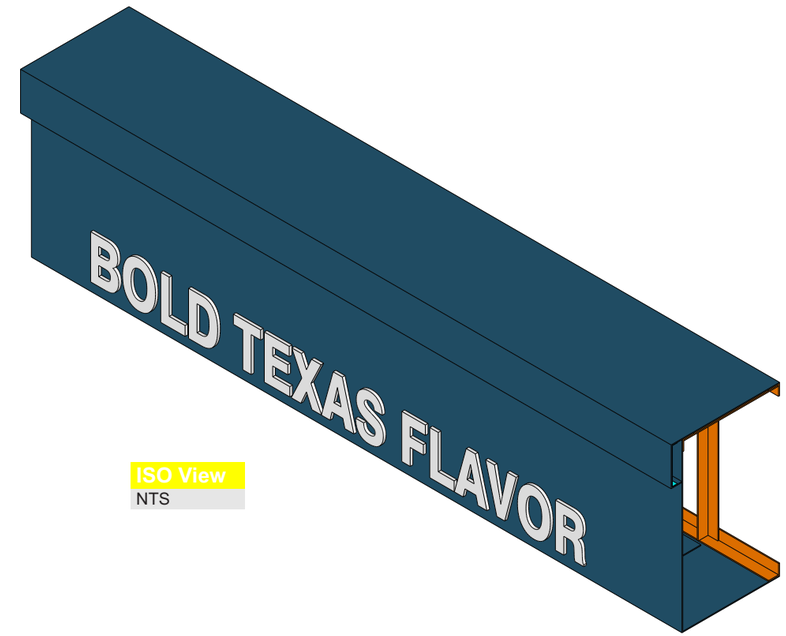
S4 31" L-Shape Iluminated Aluminum Portals

Aluminum Portals





Material Specifications

- 4mm ACM
- .080" Aluminum
- 2" x 2" x 3/16" Alum. Angle

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Page #: **18 of 33**
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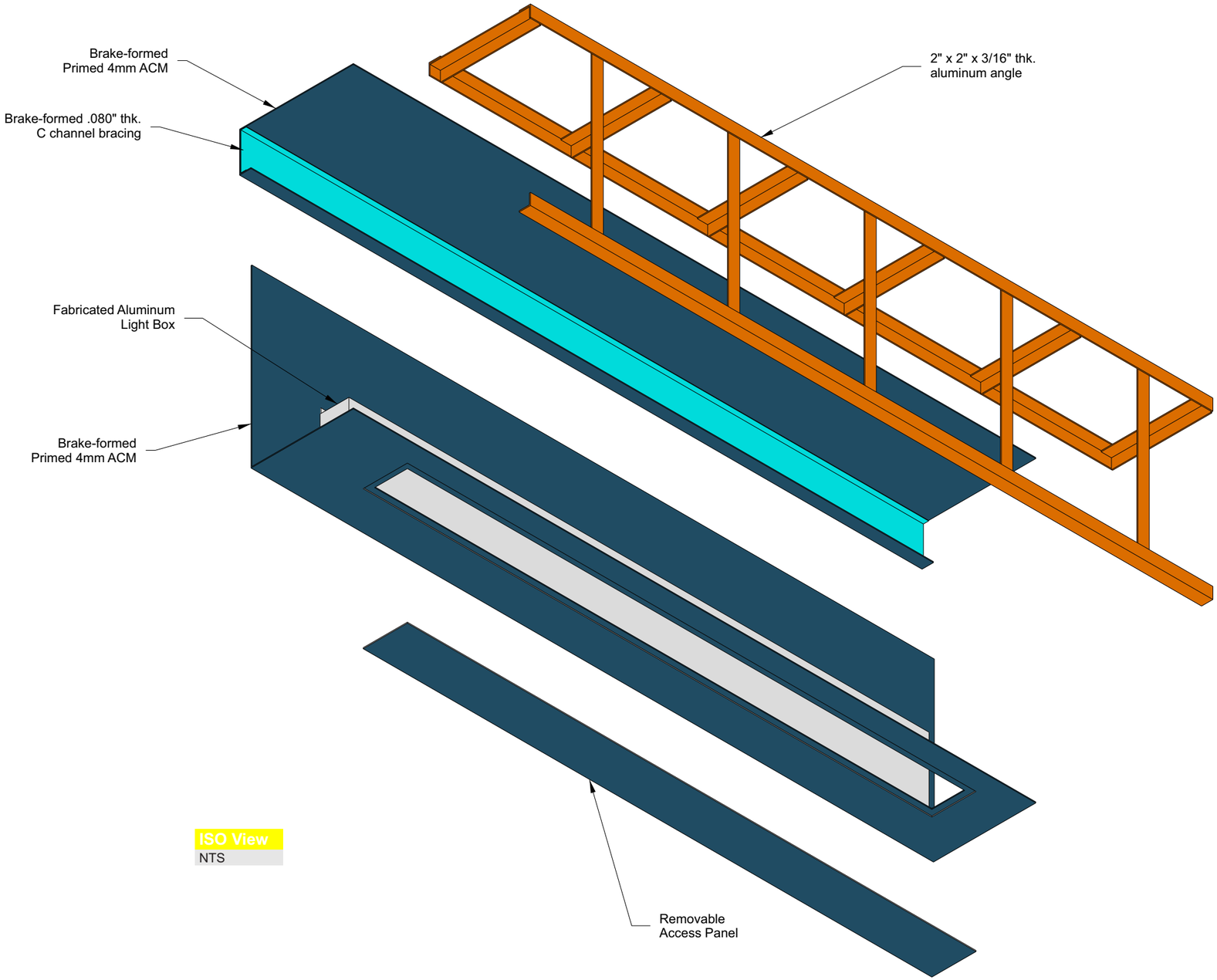
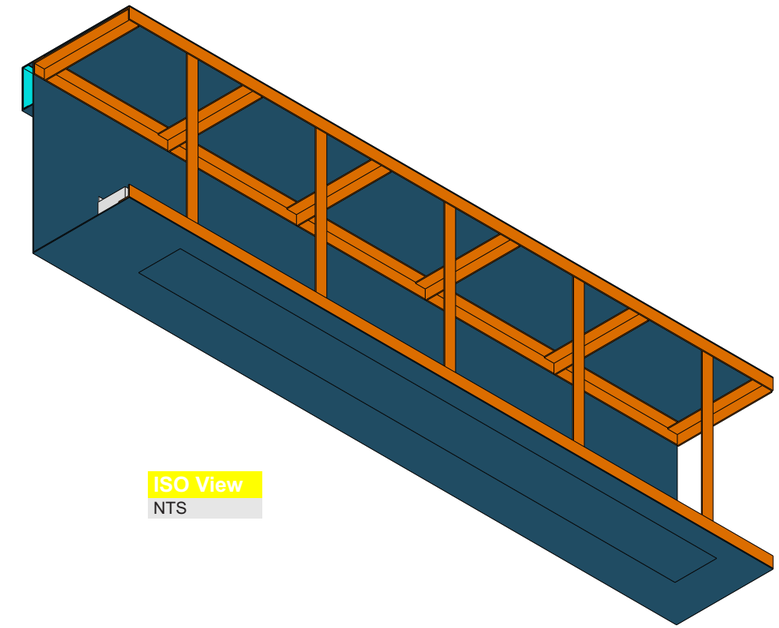
S4&5 31" L-Shape Iluminated Aluminum Portals

Aluminum Portals



ISO View
NTS



ISO View
NTS

Material Specifications

- 4mm ACM
- .080" Aluminum
- 2" x 2" x 3/16" Alum. Angle

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Page #: **19 of 33**
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Approval Date:

Material Breakdown		
miniMAX 71K (24V)	Modules	24V P/S
CABINET	20	P/S 1

1) **THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY** and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.
2) **LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY.** The sign manufacturer must verify module placement and quantity to ensure even illumination.
3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.
4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.
5) For detailed information refer to the applicable Tetra® product found under Signage; https://products.gecurrent.com/led-signage-lighting

Sign Type		Illumination
SINGLE SIDED CABINET		PUSH-THRU
Can Depth	LED Distance From Face	Power Supply Location
5"	N/A	SELF-CONTAINED
Special Instructions		
Notes		
Canopy		

Primary Circuit (120 VAC)
0.3 Amps
Sign Area
8.74 Sq Ft
Total Module Watts
6.96 Watts
Total System Watts
8.28 Watts
Energy Usage
0.95 Watts/Sq Ft
Total Lumens
1100.00 Lumens
125.86 Lumens/Sq Ft

SKU	Description	Name	Quantity	
93053666	GEMM2471-W1	miniMAX 71K (24V)	20 Modules	10 Ft
	GEPS24-25U-NA	25W - 24V (NA)	1 Ea	
	-	-		
	GEDSRL08	Rails (8')	0 Ea	
	GEDSLB1 / GEDSRC1	Assy Brkts / Mtg Clip	0 Ea	
191600041 or 192160004		Wire Connector	2 Ea	
9409		18 AWG Supply Wire	22 Ft	
191600041		Wire End Cap	2 Ea	

TECHNICAL SUPPORT:
888-694-3533
EMAIL: tetradrawings@gecurrent.com

GE current
a Daintree company

Drawn By: MDM
Checked By: MDM
Date: 3/24/22

Job Name: Church's Chicken
Customer Name:

Drwg #: 094106 - 12 **Rev -**

PAGE 1 of 1

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Ampler Chicken LLC - Church's

Address:
1905 N Reynolds Rd,
Bryant, AR 72022

Date: **03/30/22**
Page #: **20 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House**
Design: **AB**
PM: **JB**

#	Date	Description	Initial
1	3/30/22	Add Pylon/Readerboard	AB
2	05/04/22	Delete channels/alter pylon/	AB
3	07/13/22	Remove Product	T.F.D.
4	08/17/22	Change Portal sizes	AB
5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

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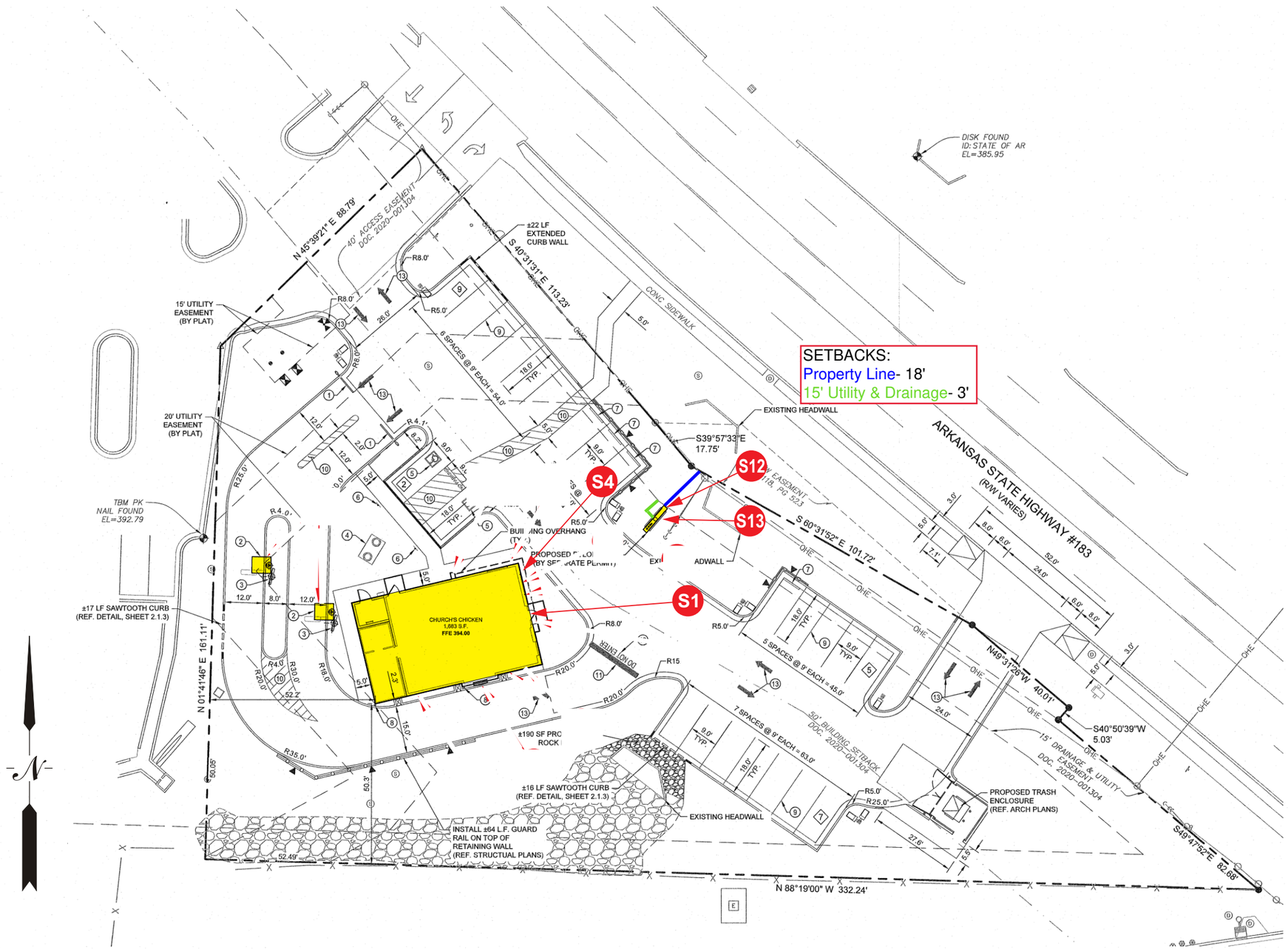
Client Signature:
Approval Date:

PROPOSAL IS FOR BUDGETARY AND ESTIMATION PURPOSES ONLY AND WILL REQUIRE A FIELD SURVEY. CODE CHECK AND ENGINEERING REQUIRED. PRODUCT IS SUBJECT TO CHANGE

Site Location



BUILDING ELEVATION - FRONT:

S1 (1) 6' DIAMETER "CHURCH'S" PUCK SIGN - FACE & HALO LIT

S4 (1) 11' X 24' ILLUMINATED ACM PORTAL W/ "BTF" PUSH THRU LETTERS

Additional Signs - Not shown

S12 (1) 30' OAH 6' D/F PYLON

S13 (1) DF 3' x 6' READERBOARD

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Page #: **2 of 33**
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5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

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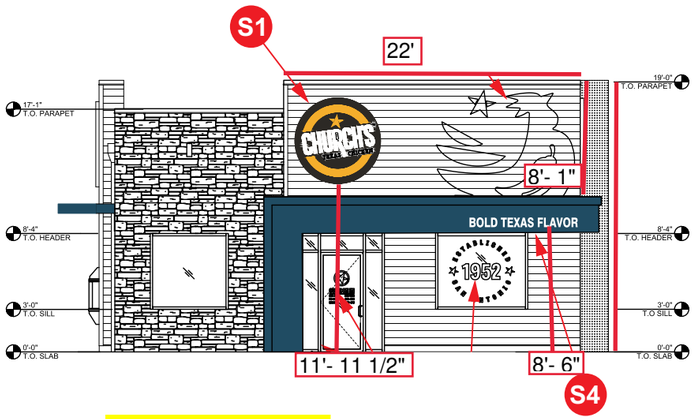
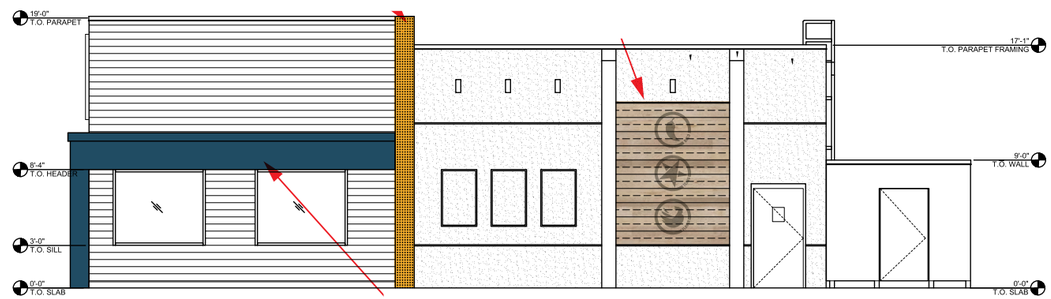
Elevations



Front Elevation
Scale: 3/32"=1'-0"

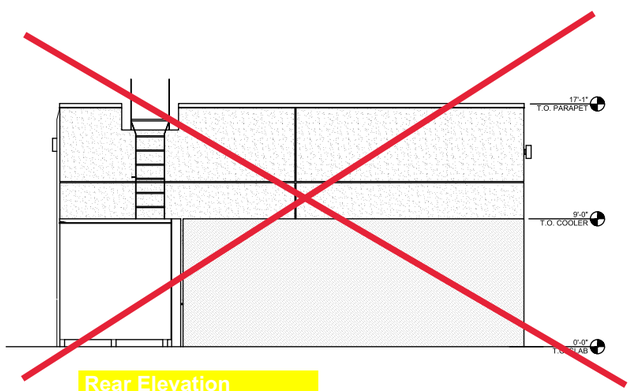


Side Elevation
Scale: 3/32"=1'-0"

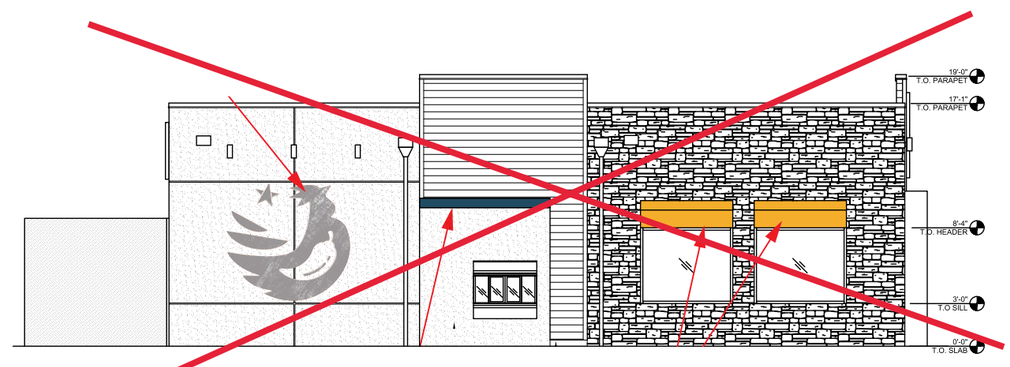
BUILDING ELEVATION - FRONT:

S1 (1) 6' DIAMETER "CHURCH'S" PUCK SIGN - FACE & HALO LIT

S4 (1) 11' X 24' ILLUMINATED ACM PORTAL W/ "BTF" PUSH THRU LETTERS



Rear Elevation
Scale: 3/32"=1'-0"



Drive Thru
Scale: 3/32"=1'-0"

Additional Signs - Not shown

S12 (1) 30' OAH 6' D/F PYLON
S13 (1) DF 3' x 6' READERBOARD

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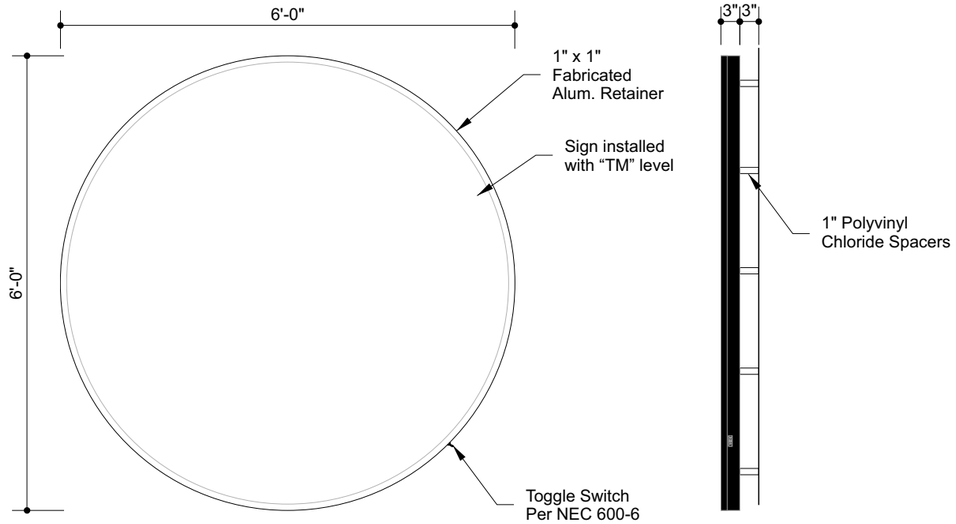
S1 72" Puck Wall Sign Face Lit & Halo Lit

LED Illuminated
1 Req'd

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements

FIELD SURVEY REQUIRED
Prior to Release to Production

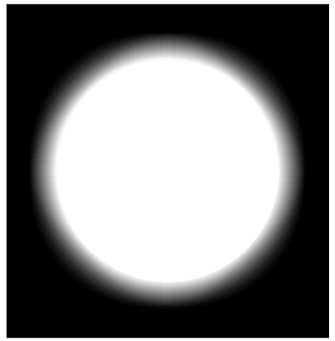


East Elev.

Front Elevation
Scale: 1/2"=1'-0"

28.27 Sq Ft

Side Elevation
Scale: 1/2"=1'-0"



General Specifications

Face:	.177" White Polycarbonate with 1st surface vinyl graphics
Returns:	3" deep .040" Aluminum, painted Black
Retainer:	1" x 1" Fabricated Alum. Retainer, painted Black
Backs:	.177" thk. White Polycarbonate
LED Illum:	White LEDs as required by manufacturer, Remote Power Supplies
Electrical:	Actual # of Circuits to be determined by Licensed Electrical Contractor, (1) 20 AMP Circuit, 120 Volts
Wall Type:	TBD
Install:	Wall Sign to be installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required, 3" stand off spacers from wall surface - painted to match wall
Quantity:	(1) ONE WALL SIGN REQUIRED FOR EXTERIOR ELEVATION

Vinyl Specifications

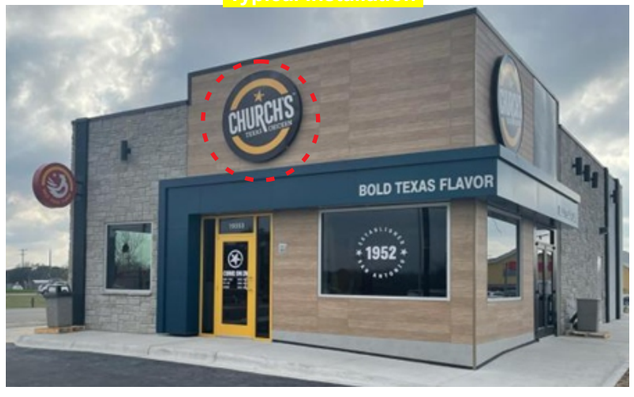
- 3M 3630-144 Poppy Orange
- Print to Match PMS Black C
- 3M Print Vinyl

Color Specifications

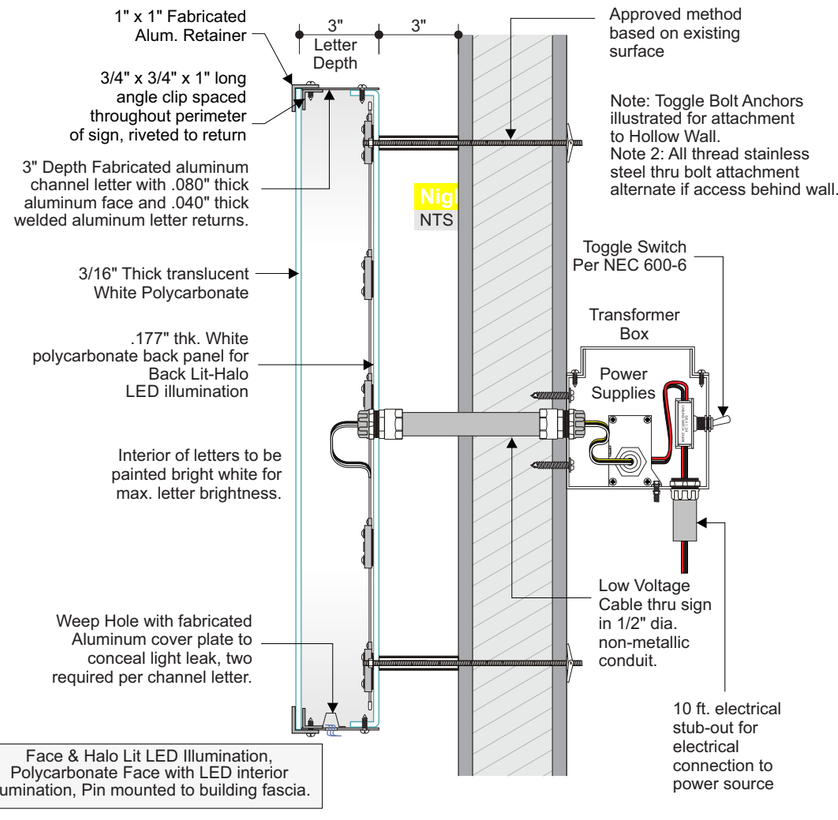
- Black (Gloss Finish)
- .177" thk. White Polycarbonate

All paint finishes to be Satin unless otherwise specified

Typical Installation



Channel Letter Section



Face & Halo Lit LED Illumination, Polycarbonate Face with LED interior illumination, Pin mounted to building fascia.

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Ampler Chicken LLC - Church's

Address:
1905 N Reynolds Rd, Bryant, AR 72022

Date: **03/30/22**
Page #: **4 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** Design: **AB** PM: **JB**

#	Date	Description	Initial
1	3/30/22	Add Pylon/Readerboard	AB
2	05/04/22	Delete channels/alter pylon/	AB
3	07/13/22	Remove Product	T.F.D.
4	08/17/22	Change Portal sizes	AB
5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

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Approval Date:

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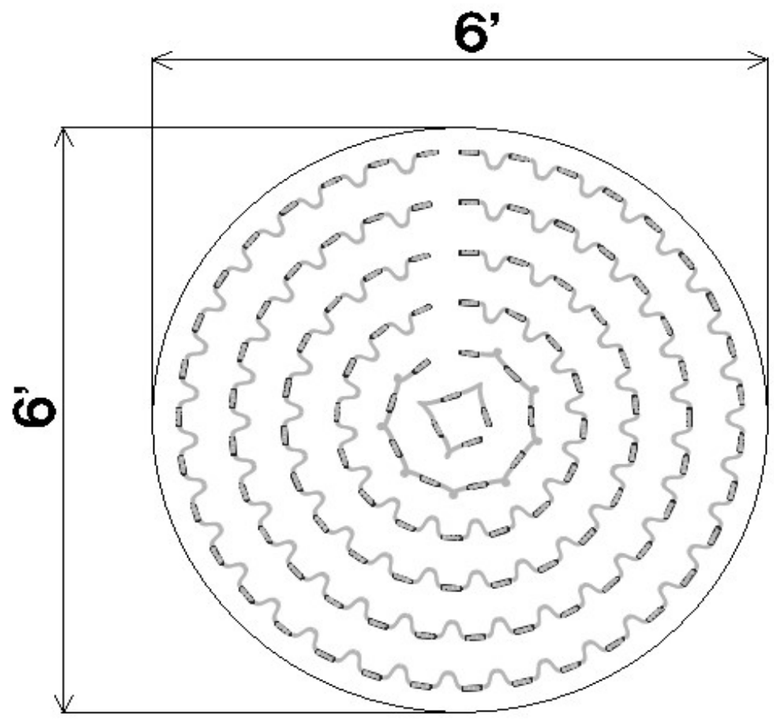
S1 72" Puck Wall Sign Face Lit & Halo Lit

LED Layout



Material Breakdown		
MAX 71K (24V) Small	Modules	24V P/S
CHURCH'S LOGO	115	P/S 1

1) **THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY** and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.
2) **LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY.** The sign manufacturer must verify module placement and quantity to ensure even illumination.
3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.
4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.
5) For detailed information refer to the applicable Tetra® product found under Signage; https://products.gecurrent.com/led-signage-lighting

Sign Type		Illumination
SINGLE SIDED CABINET		FACE & HALO LIT
Can Depth	LED Distance From Face	Power Supply Location
3"	N/A	REMOTE
Special Instructions		
ESTIMATE FOR ONE SIDE OF SIGN ONLY		
24V MAX (8.0" OC): TO BE INSTALLED @ 6.0" OC		
Notes		

Primary Circuit (120 VAC)	SKU	Description	Name	Quantity	
1.1 Amps	93098199	GEMX2471-W1S	MAX 71K (24V) Small	115 Modules	77 Ft
Sign Area					
28.25 Sq Ft					
Total Module Watts					
71.76 Watts		GEPS24-100U-GLX2	100W - 24V (GLX2)	1 Ea	
Total System Watts		-	-		
83.95 Watts					
Energy Usage					
2.97 Watts/Sq Ft					
Total Lumens					
11500.00 Lumens	191600041 or 192160004		Wire Connector	20 Ea	
407.08 Lumens/Sq Ft	9409		18 AWG Supply Wire	70 Ft	
	191600041		Wire End Cap	20 Ea	

TECHNICAL SUPPORT:
888-694-3533
EMAIL: tetradrawings@gecurrent.com

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Drawn By: MK
Checked By: DM
Date: 3/22/22

Job Name: Church's
Customer Name:

Drwg #: 094028 - 01 **Rev -**

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Page #: **5 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** Design: **AB** PM: **JB**

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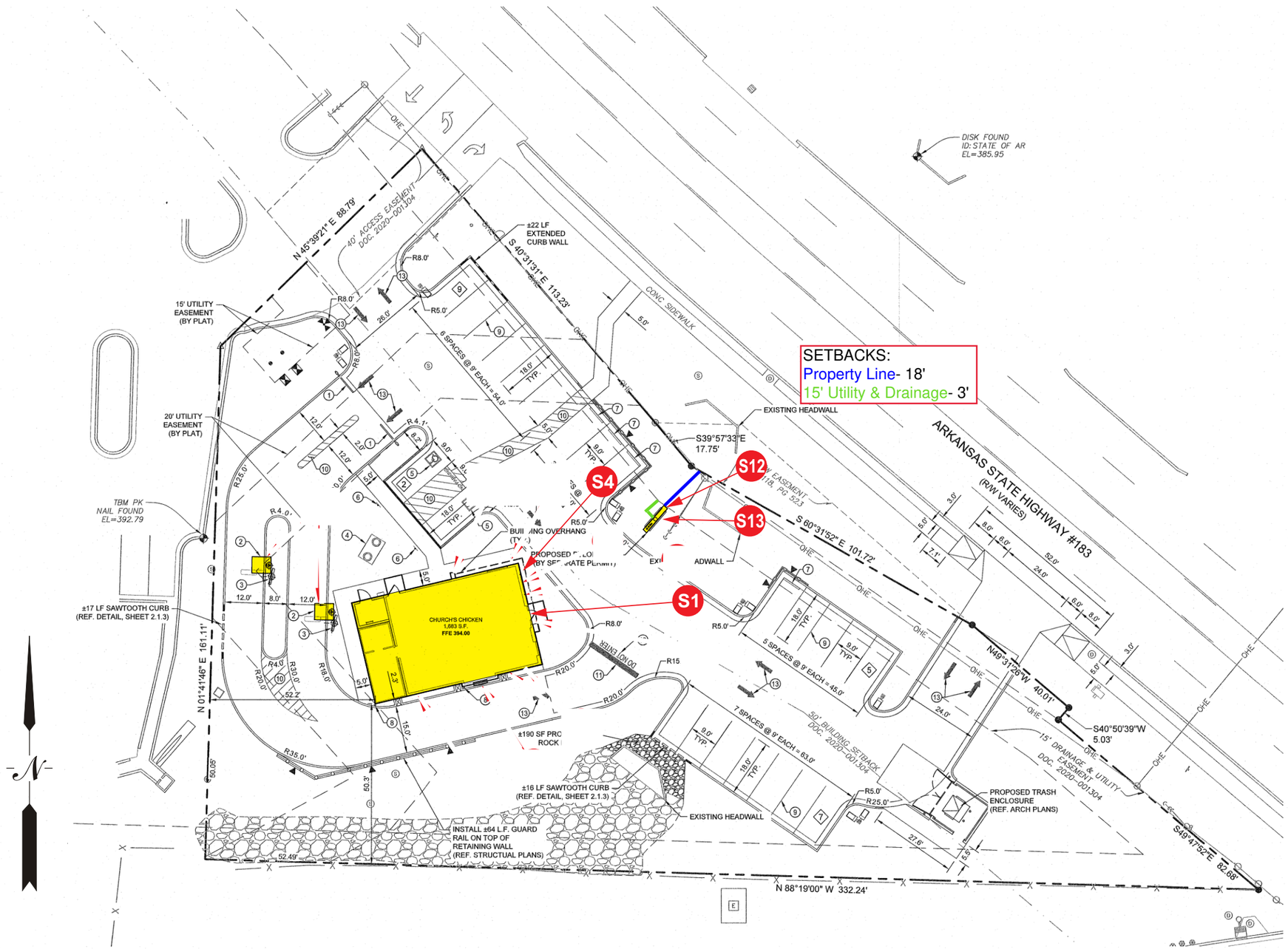
Site Location



BUILDING ELEVATION - FRONT:

S1 (1) 6' DIAMETER "CHURCH'S" PUCK SIGN - FACE & HALO LIT

S4 (1) 11' X 24' ILLUMINATED ACM PORTAL W/ "BTF" PUSH THRU LETTERS

Additional Signs - Not shown

S12 (1) 30' OAH 6' D/F PYLON

S13 (1) DF 3' x 6' READERBOARD

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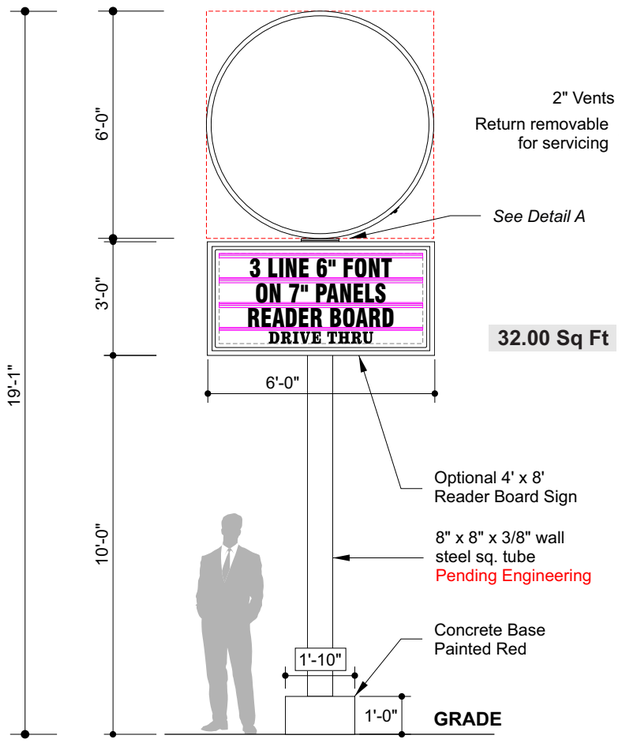
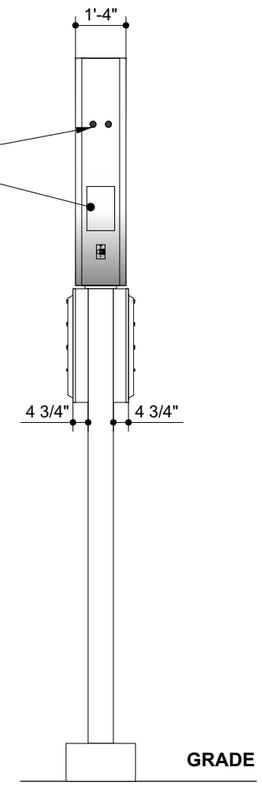
E/W Elev.

S12 & S13 6'-0" D/F Pylon Sign & 3'x6' Readerboard

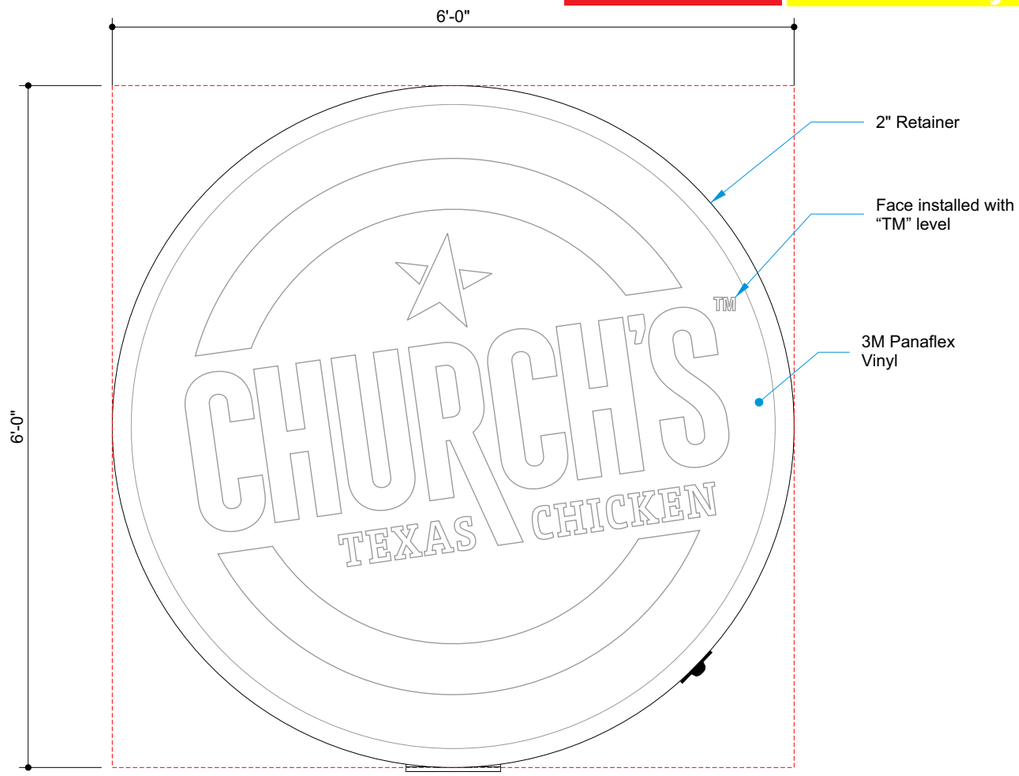
New Structure



Front Elevation
Scale: 1/4"=1'-0"



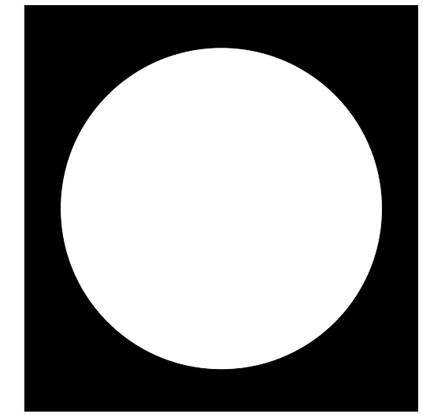
Side Elevation
Scale: 1/4"=1'-0"



Front Elevation
Scale: 3/4"=1'-0"

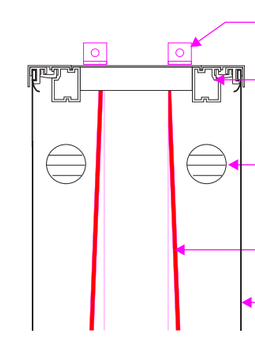
FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements



Night View
No Scale

Cabinet Details



NTS

General Specifications

Face:	3M Panaflex Vinyl
Graphics:	1st surface applied vinyl graphics
Cabinet:	Extruded Alum. Frame, skinned with .080" thk. Alum. - Red
Illum:	White LEDs as required by manufacturer, Self-contained power supplies
Electrical:	Actual # of Circuits to be determined by Licensed Electrical Contractor, (1) 20 AMP Circuit, 120 Volts
Install:	Installed on new steel pole structure
Quantity:	(1) ONE

Vinyl Specifications

- 3M 3630-144 Poppy Orange
- Print to Match PMS Black C
- 3M Print Vinyl

Color Specifications

- Black (Gloss Finish)
- PMS 484 C
- 3M Panagraphics III

All paint finishes to be Satin unless otherwise specified

Allen Industries — FILE NUMBER: E212503 — Listed MET E212503 — Electric Sign Complies with UL48 CSA C22.2 No.207

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF **ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE** AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDED ELECTRICAL CONNECTIONS

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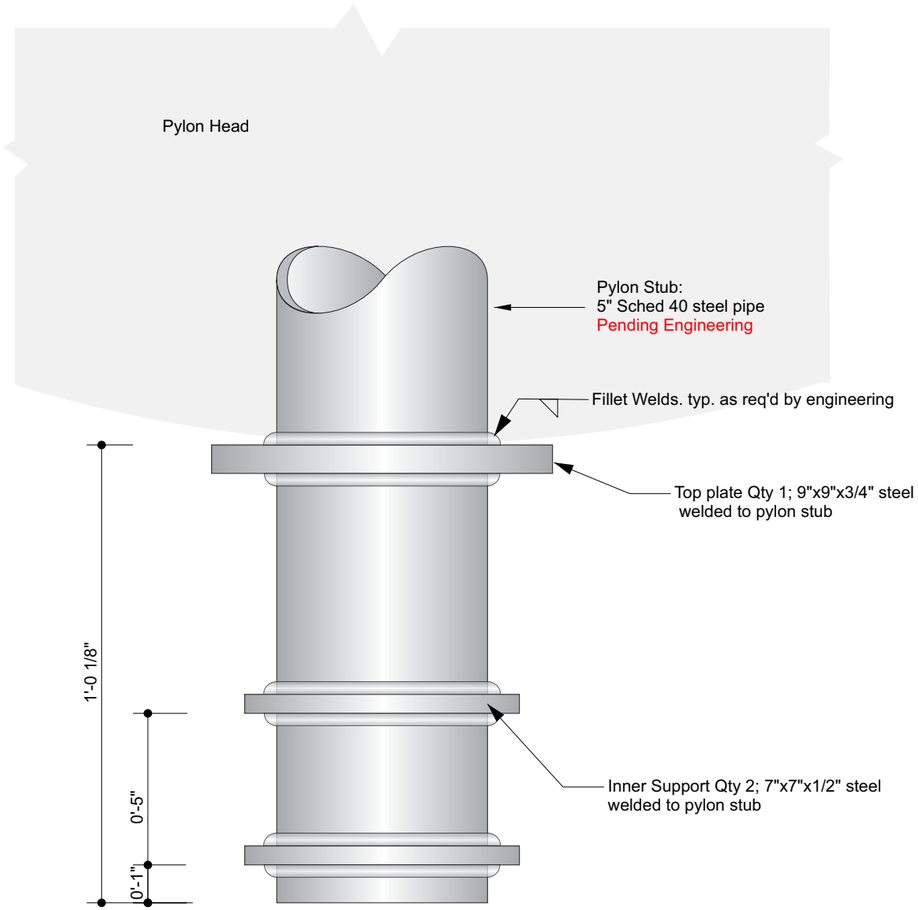
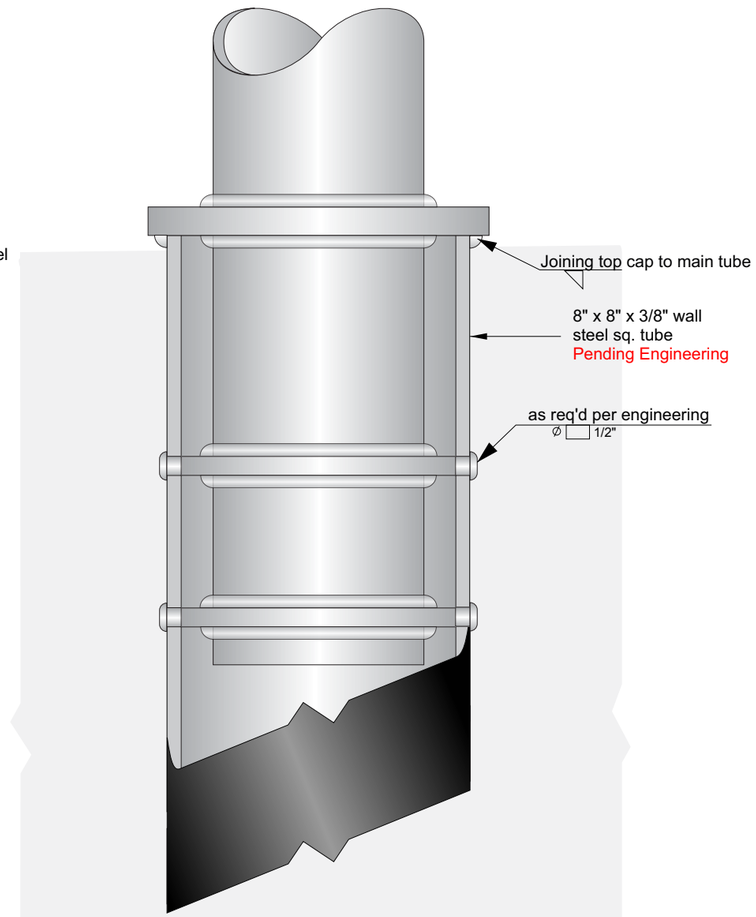
S12 & S13 6'-0" D/F Pylon Sign & 3'x6' Readerboard

Detail A

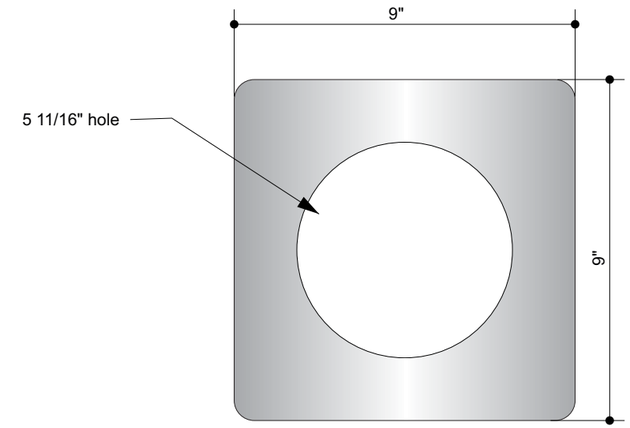


Detail A - Pylon Stub
Scale: 3"=1'-0"

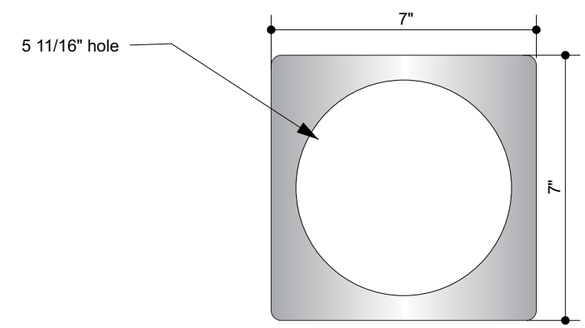


Detail A - as assembled
Scale: 3"=1'-0"

Reader Board
to be added
post assembly



Top Plate
Scale: 3"=1'-0"



Inner Support - 2 req'd
Scale: 3"=1'-0"

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Ampler Chicken LLC - Church's

Address:
1905 N Reynolds Rd,
Bryant, AR 72022

Date: **03/30/22**
Page #: **29 of 33**
File Name: **CHUR-F.574_Bryant, AR_306**
Sales: **House** Design: **AB** PM: **JB**

#	Date	Description	Initial
1	3/30/22	Add Pylon/Readerboard	AB
2	05/04/22	Delete channels/alter pylon/	AB
3	07/13/22	Remove Product	T.F.D.
4	08/17/22	Change Portal sizes	AB
5	08/17/22	change measurements	AB
6	08/23/22	change even more measurements	AB

Client Review Status
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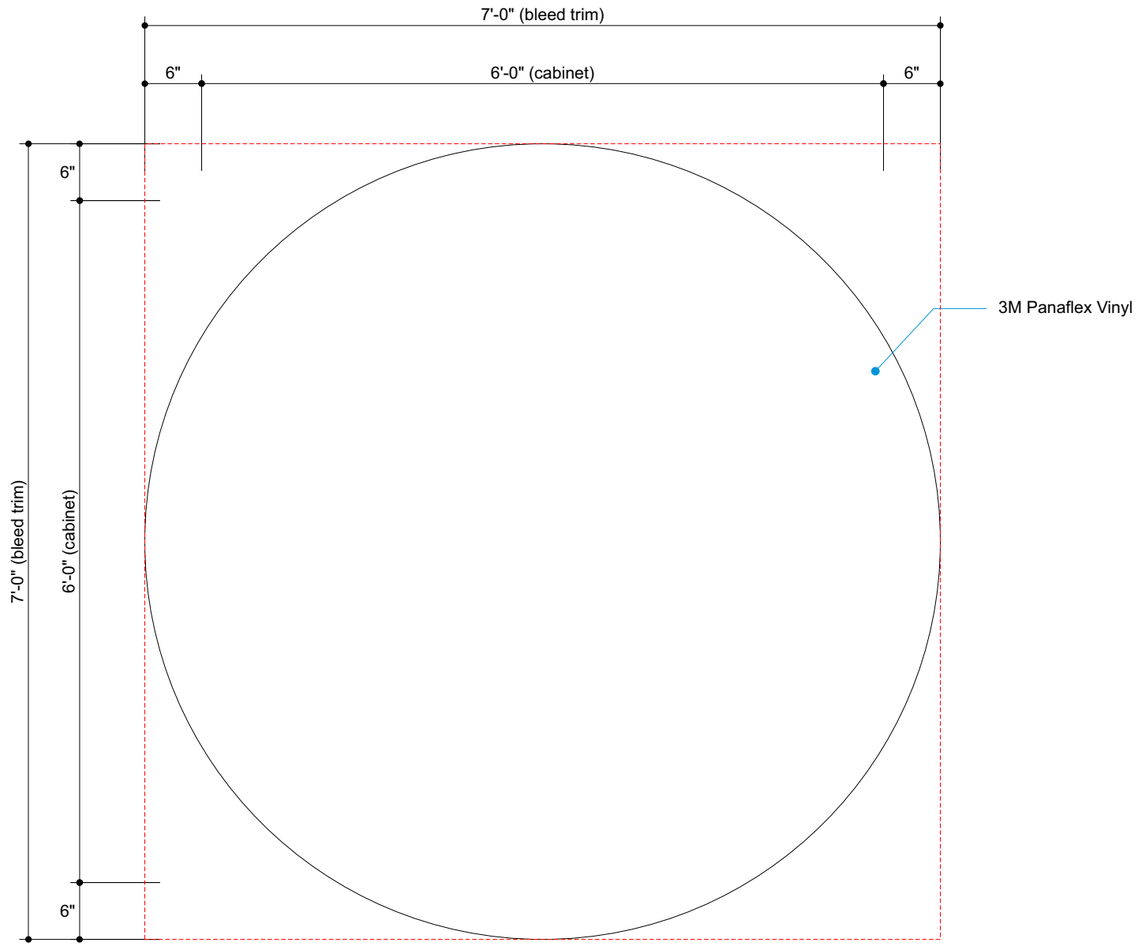
Client Signature:
Approval Date:

S12 6'-0" D/F Pylon Sign

Face Layout



Front Elevation
Scale: 3/4"=1'-0"

Vinyl Specifications

- 3M 3630-144 Poppy Orange
- Print to Match PMS Black C
- 3M Print Vinyl

Color Specifications

- 3M Panagraphics III

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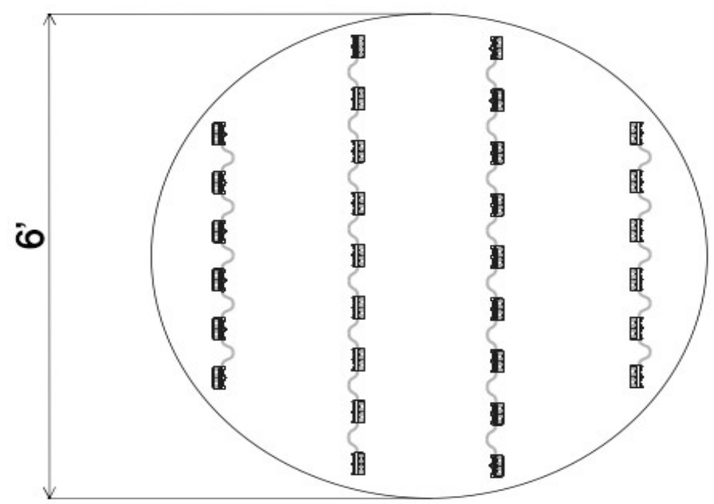

Material Breakdown		
Snap DS 71K (24V)	Modules	24V P/S
COLUMN 1	6	P/S 1
COLUMN 2	9	
COLUMN 3	9	
COLUMN 4	6	

1) **THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY** and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.
2) **LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY.** The sign manufacturer must verify module placement and quantity to ensure even illumination.
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4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.
5) For detailed information refer to the applicable Tetra® product found under Signage; https://products.gecurrent.com/led-signage-lighting

Sign Type		Illumination
DOUBLE SIDED CABINET		FACE LIT
Can Depth	LED Distance From Face	Power Supply Location
16"	N/A	SELF-CONTAINED
Special Instructions		
ESTIMATE FOR BOTH SIDES OF SIGN		
SNAP DS TO BE INSTALLED @ 8" OC (Standard - 1.5 modules/ft)		
Notes		

Primary Circuit (120 VAC)	SKU	Description	Name	Quantity	
1.1 Amps	93128533	GEDS71-3	Snap DS 71K (24V)	30 Modules	21 Ft
Sign Area					
56.52 Sq Ft					
Total Module Watts					
77.70 Watts		GEPS24-100U-GLX2	100W - 24V (GLX2)	1 Ea	
Total System Watts		-	-		
93.00 Watts		GEDSRL08-3	Rails (8')	4 Ea	
Energy Usage		GEDSSE-3 / GEDSFE-3	Socket / Frame Endcap	8 Ea	
1.65 Watts/Sq Ft		GEDSIC-3	Interconnector	0 Ea	
Total Lumens					
12000.00 Lumens	191600041 or 192160004		Wire Connector	20 Ea	
212.31 Lumens/Sq Ft	9409		18 AWG Supply Wire	40 Ft	
	191600041		Wire End Cap	20 Ea	

TECHNICAL SUPPORT:
888-694-3533
EMAIL: tetradrawings@gecurrent.com

GE current
a Daintree company

Drawn By: GG
Checked By: MK
Date: 3/28/22

Job Name: Church's Texas Chicken
Customer Name:

Drwg #: 094117 - 01 **Rev -**
PAGE 1 of 1

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Page #: **31 of 33**
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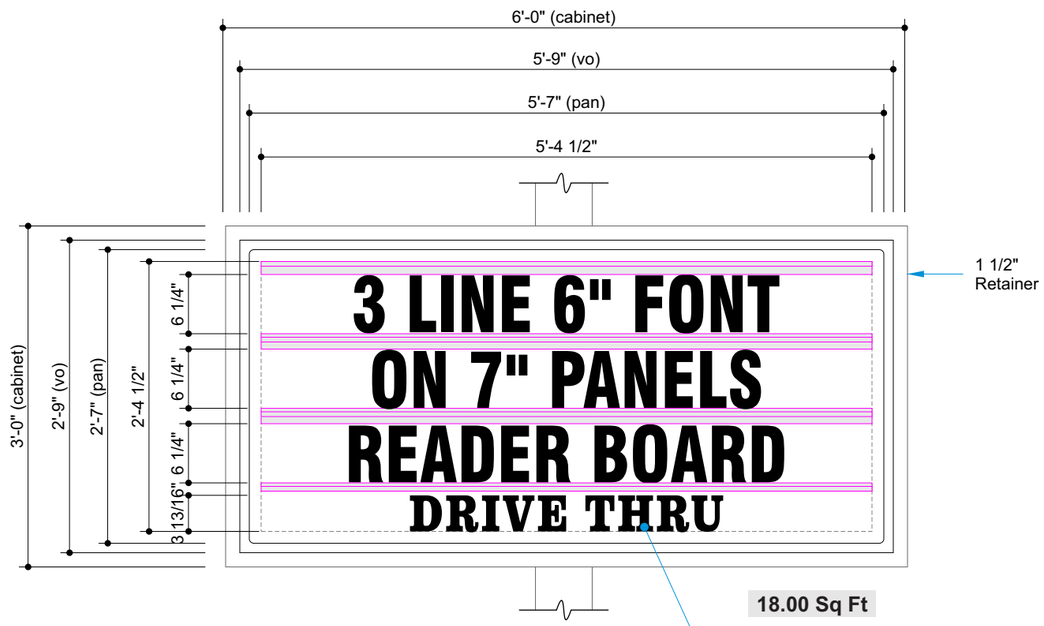
E/W Elev.

S13 3'-0" x 6'-0" S/F Reader Board Signs

LED Illuminated

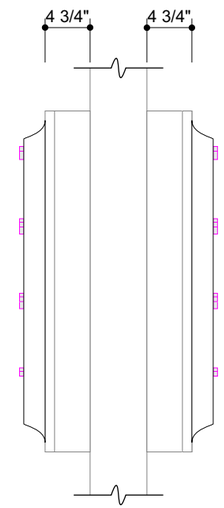
FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements

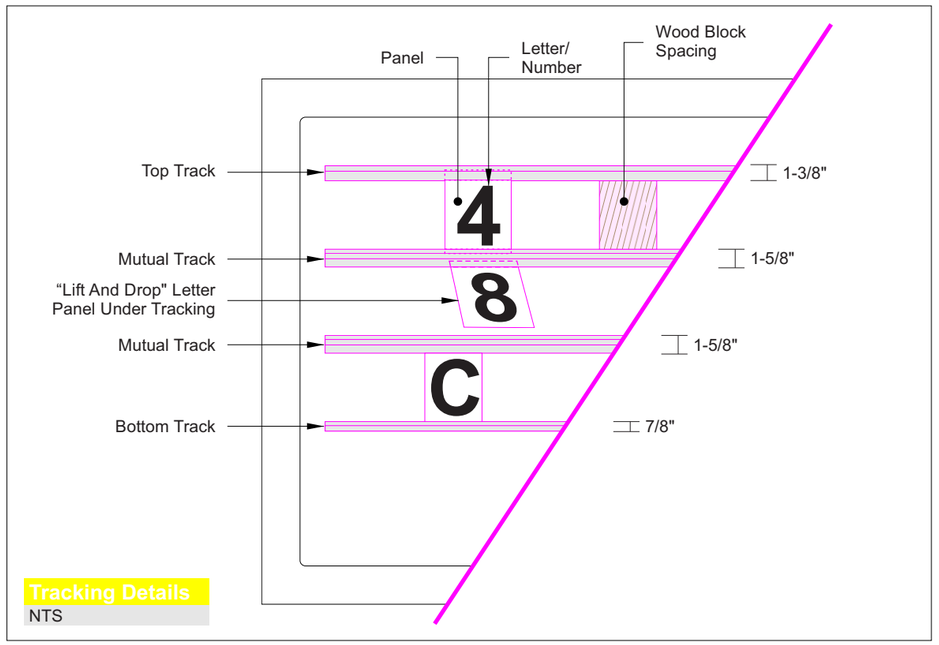


18.00 Sq Ft

Front Elevation
Scale: 3/4"=1'-0"

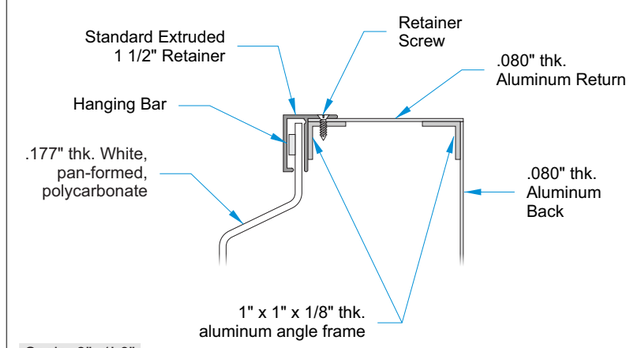


Side Elevation
Scale: 3/4"=1'-0"



Tracking Details
NTS

Retainer Details



Scale: 3"=1'-0"

General Specifications

Face:	.177" thk. White, 2 1/4" deep, pan-formed, polycarbonate
Tracking:	1st surface applied Zip-change tracking system with changeable font panels
Cabinet:	Welded Alum. Frame, skinned with .080" thk. Alum. - Black (Gloss Finish)
Illum:	White LEDs as required by manufacturer, Self-contained power supplies
Electrical:	Actual # of Circuits to be determined by Licensed Electrical Contractor, (1) 20 AMP Circuit, 120 Volts
Install:	Installed on steel pole structure
Quantity:	(2) TWO

Vinyl Specifications

3M 7725-12
Opaque Black

Color Specifications

Black (Gloss Finish)

.177" thk. White
Polycarbonate

All paint finishes to be Satin unless otherwise specified

Allen Industries FILE NUMBER: E212503 | Listed MET E212503 | Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF **ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE** AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDED ELECTRICAL CONNECTIONS

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Date: **03/30/22**
Page #: **32 of 33**
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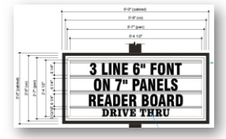
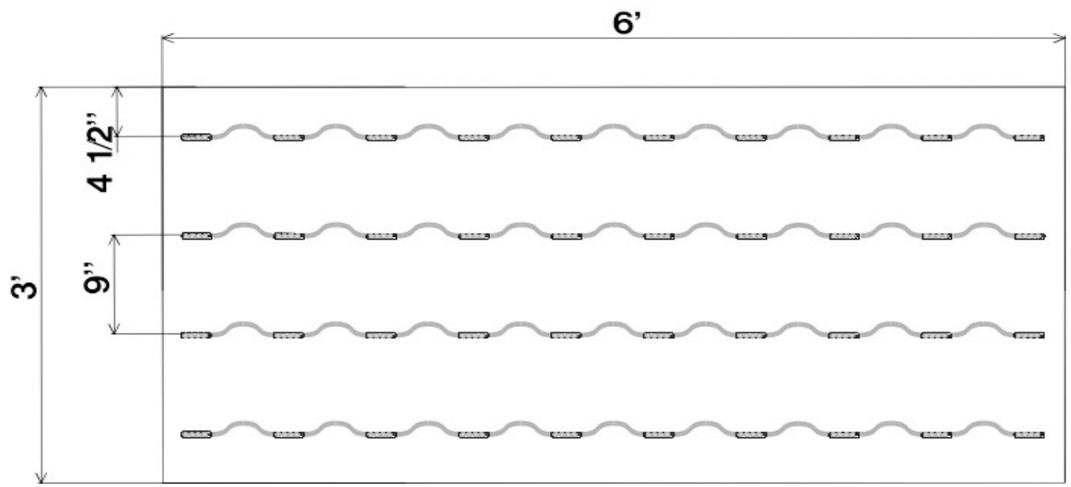
S13 3'-0" x 6'-0" S/F Reader Board Signs

LED Layout





Material Breakdown		
MAX 71K (24V) Small	Modules	24V P/S
SIDE 1	40	P/S 1
SIDE 2	40	

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Sign Type		Illumination
DOUBLE SIDED CABINET		FACE LIT
Can Depth	LED Distance From Face	Power Supply Location
4.75"	4"	REMOTE
Special Instructions		
ESTIMATE FOR BOTH SIDES OF SIGN		
Notes		

Primary Circuit (120 VAC)	SKU	Description	Name	Quantity	
1.1 Amps	93098199	GEMX2471-W1S	MAX 71K (24V) Small	80 Modules	53 Ft
Sign Area					
36.00 Sq Ft					
Total Module Watts					
49.92 Watts		GEPS24-100U-GLX2	100W - 24V (GLX2)	1 Ea	
Total System Watts		-	-		
58.40 Watts					
Energy Usage					
1.62 Watts/Sq Ft					
Total Lumens					
8000.00 Lumens	191600041 or 192160004		Wire Connector	20 Ea	
222.22 Lumens/Sq Ft	9409		18 AWG Supply Wire	70 Ft	
	191600041		Wire End Cap	20 Ea	

TECHNICAL SUPPORT:
888-694-3533
EMAIL: tetradrawings@gecurrent.com

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Drawn By: GG
Checked By: MK
Date: 3/29/22

Job Name: Reader Board
Customer Name:

Drwg #: 094117 - 04
Rev -
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