



Bryant Development and Review Committee Meeting

Boswell Municipal Complex - City Hall Conference Room

210 SW 3rd Street

Date: October 20, 2022 - **Time:** 9:00 AM

Call to Order

Old Business

New Business

1. Scooter's Coffee - 1816 N Reynolds Road

Sherill Associates - Requesting Site Plan Approval

- [0603-PLN-02.pdf](#)

2. 406 NW 4th Street - Replat

GarNat Engineering - Requesting Recommendation for Approval of Replat

- [0610-PLN-01.pdf](#)

3. Custom Advertising - New Site Additions - 23738 I-30

GarNat Engineering - Requesting Recommendation for Site Plan Approval

- [0608-DRN-01.pdf](#)
- [0608-PLN-03.pdf](#)
- [0608-PLT-01.pdf](#)
- [0608-PLN-02.pdf](#)
- [0608-PLN-01.pdf](#)
- [0608-APP-01.pdf](#)
- [0608-AFD-01.pdf](#)
- [0608-LTR-01.pdf](#)

4. Market Place II Commerical Subdivison Phase 2 - Final Plat

GarNat Engineering - Requesting Recommendation for Approval of Final Plat

- [0607-PLN-01.pdf](#)
- [0607-APP-01.pdf](#)
- [0607-LTR-01.pdf](#)

5. Cornerstone Montessori Christian Academy - 4910 Springhill Road

Hope Consulting - Requesting Site Plan Approval

- [0545-PLN-04.pdf](#)

6. Hilltop Manor - PUD - Hilltop Rd and Lombard Rd

Hope Consulting - Requesting Recommendation for Approval of PUD Rezoning

- [0606-LTR-01.pdf](#)
- [0606-PLN-01.pdf](#)
- [0606-RZN-01.pdf](#)

7. 2008 Johnswood Rd - Rezoning from R-E to R-2

Sergio Martinez - Requesting Recommendation for Rezoning from R-E to R-2

- [0609-SRVY-01.pdf](#)
- [0609-APP-01.pdf](#)

8. Target - 7377 Alcoa Road - Exterior and Parking Lot Changes

Kimley-Horn - Requesting Approval for Changes to Site

- [0598-PLN-01.pdf](#)

9. Target - 7377 Alcoa Road - Sign Permit

Kimley-Horn - Requesting Sign Permit Approval

- [0611-APP-01.pdf](#)

10. Hamilton Family Dentistry - 2422 Springhill Rd - Sign Permit

Siez Sign Company - Requesting Sign Permit Approval

- [0605-APP-01.pdf](#)

11. Discussion on Sign Code

Staff Approved

Permit Report

Adjournments

SUMMARY TABLE

JURISDICTION: CITY OF BRYANT, AR
 ZONING: C-2 HIGHWAY COMMERCIAL DISTRICT (HCD)
 PERMITTED USES: RESTAURANTS PERMITTED
 BUILDING COVERAGE: 35% MAXIMUM
 HEIGHT: THREE STORIES OR 45' MAXIMUM
 FRONT SETBACK: 50' MINIMUM
 SIDE SETBACK: 0' UNLESS ABUTS RESIDENTIAL DISTRICT, THENCE 25' MINIMUM
 REAR SETBACK: 15' MINIMUM UNLESS ABUTS RESIDENTIAL DISTRICT, THENCE 55' MINIMUM
 REQUIRED PARKING: ONE SPACE PER 300 SF OF OCCUPIED SPACE=664/300=2 SPACES
 PROPOSED PARKING: 7 STALLS INCLUDING 1 HANDICAP
 IMPERVIOUS AREA COVERAGE: 90% MAXIMUM

CONSTRUCTION DRAWINGS

PROPOSED SCOOTER'S COFFEE

1816 N REYNOLDS ROAD

BRYANT, ARKANSAS 72022

PROJECT INFORMATION

OWNER/FRANCHISEE: MEAN BEAN COFFEE LLC
 118 VERONA CIRCLE
 SHERWOOD, AR 72120

PREPARED BY: SHERRILL ASSOCIATES, INC.
 316 N. MAIN STREET
 EDWARDSVILLE, IL 62025
 618-656-9251

ARCHITECT: GERDES, HENRICHSON & ASSOCIATES
 14901 QUORUM DRIVE, SUITE 300
 DALLAS, TX 75254

ENGINEER: SHERRILL ASSOCIATES, INC.
 WILSON D. WAGGONER, P.E.

SITE INFORMATION: PARCEL: 840-14249-000
 1816 N REYNOLDS ROAD
 BRYANT, ARKANSAS 72022

SURVEYOR: MCALISTER ENGINEERING
 4508 STADIUM BLVD, SUITE D
 JONESBORO, AR 72404

PROPERTY DESCRIPTION

LEGAL DESCRIPTION OF RECORD SALINE COUNTY INSTRUMENT #2015-06625:
 PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 1
 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS
 COMMENCING AT THE SOUTHEAST CORNER OF SAID N. 1/2 OF THE NW 1/4 SECTION 27,
 TOWNSHIP 1 SOUTH, RANGE 14 WEST, THENCE WEST, ALONG THE SOUTH LINE OF SAID N. 1/2
 OF THE NW 1/4, 862.4 FEET TO THE EAST RIGHT OF WAY LINE OF REYNOLDS ROAD, 29 FEET
 FROM CENTERLINE OF PAVEMENT, THENCE NORTH 50 DEG. 43 MIN. WEST, ALONG SAID ROAD
 RIGHT OF WAY, FOR 764.5 FEET, THENCE NORTH 50 DEG. 43 MIN. WEST, ALONG SAID ROAD
 RIGHT OF WAY, 349.3 FEET, THENCE NORTH 50 DEG. EAST 14.1 FEET TO REYNOLDS ROAD
 RIGHT OF WAY AS OF JUNE 7, 1993 AND THE POINT OF BEGINNING, THENCE CONTINUE
 NORTH 50 DEG. EAST, ALONG THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY
 DEED RECORD BOOK 205 AT PAGE 351, FOR 262.2 FEET TO THE SOUTHWEST CORNER OF
 LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 264 AT PAGE 794, THENCE
 NORTH 55 DEG. 55 MIN. WEST 123.2 FEET, ALONG THE WEST LINE OF LANDS DESCRIBED IN
 SALINE COUNTY DEED RECORD BOOK 265 AT PAGE 794 TO A FENCE, SAID FENCE BEING THE
 PROPERTY LINE AS SET FORTH IN PROPERTY LINE AGREEMENT DATED DECEMBER 8, 1978
 AND FILED IN SALINE COUNTY MISCELLANEOUS RECORD BOOK 55 AT PAGE
 54, THENCE SOUTH 50 DEG. 16 MIN. 31 SEC. WEST, ALONG SAID FENCE, 242 FEET TO THE
 RIGHT OF WAY OF REYNOLDS ROAD AS OF JUNE 7, 1993, THENCE SOUTH 22 DEG. 30 MIN. EAST,
 ALONG SAID ROAD RIGHT OF WAY, 126.8 FEET TO THE POINT OF BEGINNING, CONTAINING
 0.68 ACRES, MORE OR LESS.

DRAWING INDEX

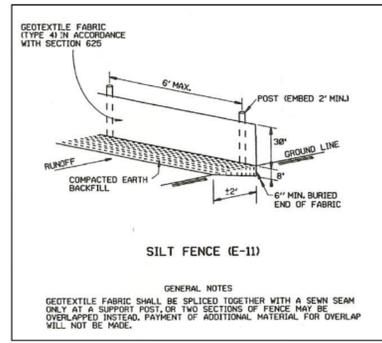
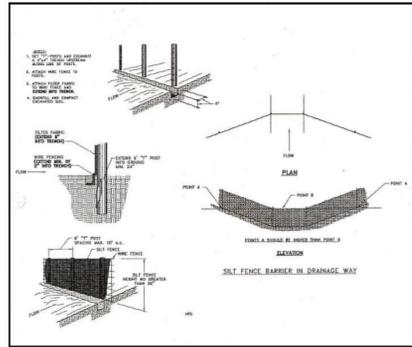
C0.0 COVER SHEET
 C1.0 PROPOSED SITE PLAN
 C2.0 STORMWATER MANAGEMENT PLAN
 C3.0 SEDIMENT AND EROSION CONTROL PLAN
 C4.0 LANDSCAPE PLAN
 C5.0 ALTA SURVEY

LOT AREA
 27,806± SQ.FT.
 0.64± AC.

UTILITIES
 WATER: CITY OF BRYANT
 SEWER: CITY OF BRYANT
 ELECTRIC: ENTERGY



VICINITY MAP (NTS)



CITY SILT FENCE DETAILS

UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.

811
 Know what's below.
 811 before you dig.

ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT SHERRILL ASSOCIATES, INC. AT THE REQUEST OF AND FOR THE EXCLUSIVE USE OF MEAN BEAN COFFEE LLC HAS PREPARED THIS SHEET FROM RECORD SOURCES AND ACTUAL FIELD SURVEY DURING THE MONTH OF JULY 2022.

Wilson D. Waggoner 10/12/22
 WILSON D. WAGGONER, P.E. 21001
 IN THE STATE OF ARKANSAS
 EXPIRES 12-31-2022



COVER SHEET
 1816 N REYNOLDS RD
 BRYANT, AR 72022
 MEAN BEAN COFFEE LLC
 818 S 193RD STREET
 GRENA, NE 68028



SHERRILL ASSOCIATES

Surveyors - Engineers
 - Planners
 ILLINOIS DESIGN FIRM
 #184-001238

MISSOURI DESIGN FIRM
 #001332
 316 N Main Street
 Edwardsville, IL 62025
 TEL: (618) 656-9251

DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other Documents or instruments relating to or intended to be used for any part or parts of the engineering project or survey.

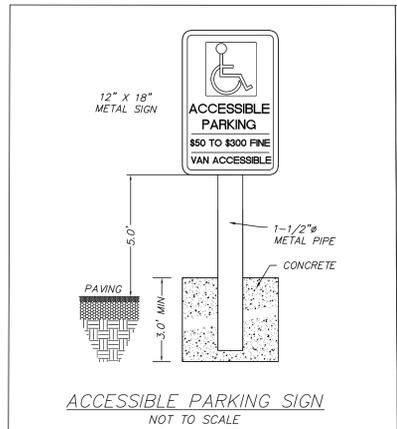
NO.	DATE	REVISION	CITY COMMENTS
1	10/12/22		

PROJECT NO. 2235801

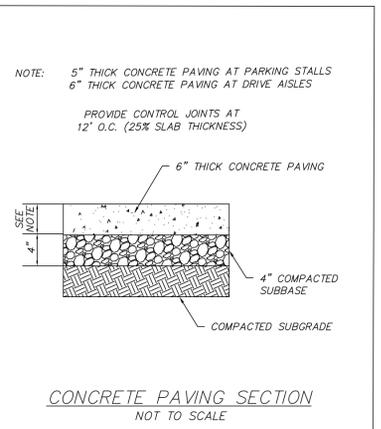
DRAWN	WDW	SCALE	SEE PLAN
CHECKED	WDW	DATE	8/17/2022

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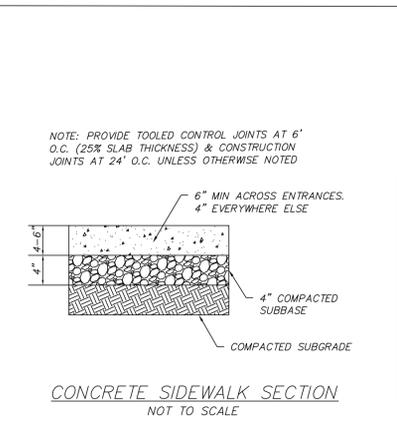
SHEET 1 OF 5



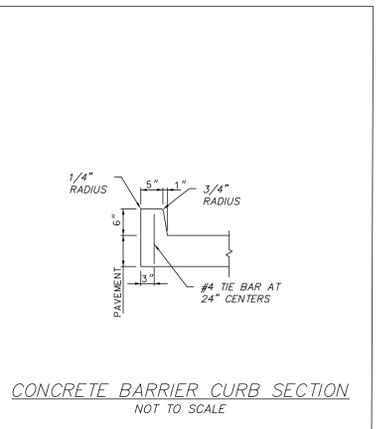
ACCESSIBLE PARKING SIGN
NOT TO SCALE



CONCRETE PAVING SECTION
NOT TO SCALE



CONCRETE SIDEWALK SECTION
NOT TO SCALE



CONCRETE BARRIER CURB SECTION
NOT TO SCALE



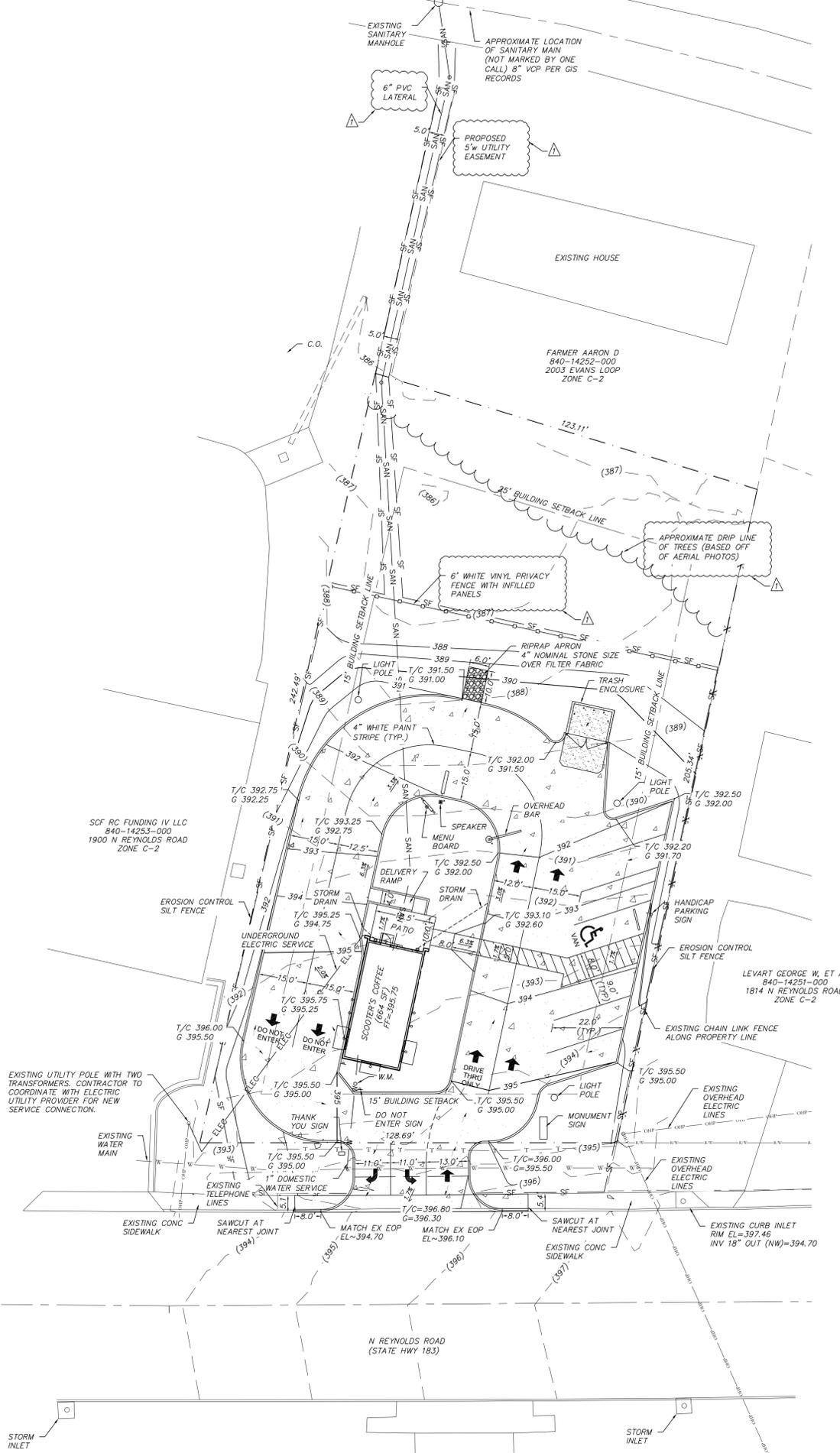
VICINITY MAP (NTS)

LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ELECTRIC SERVICE
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM DRAIN
	EROSION CONTROL SILT FENCE
	TOP OF CURB
	GRADE/BOTTOM OF FACE OF CURB
	EXISTING GRADE ELEVATION
	PROPOSED GRADE ELEVATION

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SHERWOOD, AR 72120

PREPARED BY:
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316 N. MAIN STREET
EDWARDSVILLE, IL 62025
(618)656-9251

ARCHITECT:
GERDES, HENRICHSON & ASSOCIATES
14901 QUORUM DRIVE, SUITE 300
DALLAS, TX 75244

ENGINEER:
SHERRILL ASSOCIATES, INC.
WILSON D. WAGGONER, P.E.

SURVEYOR:
HOPE CONSULTING
117 S MARKET STREET
BENTON, ARKANSAS 72015
(501)315-2626

SITE INFORMATION:
PARCEL: 840-14249-000
1816 N REYNOLDS ROAD
BRYANT, ARKANSAS 72022

LOT AREA
27,806± SQ.FT.
0.64± AC.

UTILITIES
WATER: CITY OF BRYANT
SEWER: CITY OF BRYANT
ELECTRIC: ENERGY

LEGAL DESCRIPTION

PROPERTY DESCRIPTION
LEGAL DESCRIPTION OF RECORD SALINE COUNTY INSTRUMENT #2917-06026
PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHEAST CORNER OF SAID N 1/2 OF THE NW 1/4 SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, THENCE WEST, ALONG THE SOUTH LINE OF SAID N 1/2 OF THE NW 1/4, 962.0 FEET TO THE EAST RIGHT OF WAY LINE OF REYNOLDS ROAD 65 FEET FROM CENTERLINE OF PAYMENTS; THENCE NORTH 90 DEG. 15 MIN. WEST, ALONG SAID ROAD RIGHT OF WAY, FOR 764.3 FEET; THENCE NORTH 52 DEG. 30 MIN. WEST, ALONG SAID ROAD RIGHT OF WAY, 369.3 FEET; THENCE NORTH 90 DEG. EAST 14 FEET TO REYNOLDS ROAD RIGHT OF WAY AS OF JUNE 7, 1993 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 90 DEG. EAST, ALONG THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 265 AT PAGE 351, FOR 206.2 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 265 AT PAGE 394; THENCE NORTH 33 DEG. 35 MIN. WEST 124.32 FEET, ALONG THE WEST LINE OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 265 AT PAGE 704 TO A FENCE; SAID FENCE BEING THE PROPERTY LINE AS SET FORTH IN PROPERTY LINE AGREEMENT DATED DECEMBER 8, 1979 AND FILED JANUARY 3, 1979 IN SALINE COUNTY MISCELLANEOUS RECORD BOOK 35 AT PAGE 54; THENCE SOUTH 50 DEG. 14 MIN. 31 SEC. WEST, ALONG SAID FENCE, 264 FEET TO THE RIGHT OF WAY OF REYNOLDS ROAD AS OF JUNE 7, 1993; THENCE SOUTH 53 DEG. 30 MIN. EAST, ALONG SAID ROAD RIGHT OF WAY, 128.28 FEET TO THE POINT OF BEGINNING, CONTAINING 0.64 ACRES, MORE OR LESS.

SUMMARY TABLE

JURISDICTION: CITY OF BRYANT, AR
ZONING: C-2 HIGHWAY COMMERCIAL DISTRICT (HCD)
PERMITTED USES: RESTAURANTS PERMITTED
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IMPERVIOUS AREA COVERAGE: 90% MAXIMUM

PROPOSED SITE PLAN
1816 N REYNOLDS RD
BRYANT, AR 72022
MEAN BEAN COFFEE LLC
8118 S 193RD STREET
GRENA, NE 68028

EST. 1998
SCOOTER'S COFFEE

SHERRILL ASSOCIATES
Surveyors - Engineers
- Planners
ILLINOIS DESIGN FIRM
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MISSOURI DESIGN FIRM
#001332
316 N Main Street
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TEL: (618) 656-9251
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NO.	DATE	REVISION
1	10/12/22	CITY COMMENTS
PROJECT NO. 2235801		
DRAWN	WDW	SCALE SEE PLAN
CHECKED	WDW	DATE 8/17/2022
SHEET 2 OF 6		

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Wilson D. Waggoner 10/12/22
WILSON D. WAGGONER, P.E. #21001
IN THE STATE OF ARKANSAS
EXPIRES 12-31-2022

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 21001
WILSON D. WAGGONER

(a) **Silt Fence.** This sediment barrier utilizes standard strength or extra strength synthetic fabric with wire backing. It is designed for situations in which only sheet or overland flows are expected. Non-wire backed silt fence is NOT ALLOWABLE with this ordinance.

- (1) All silt fence shall be placed as close to the contour as possible. The bottom of the fabric should be buried in a 6-inch wide by 6-inch deep trench and it shall be backfilled and compacted to prevent underflow. The height of the silt fence shall be a minimum of 15 inches and shall not exceed 18 inches;
- (2) Silt fence shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, fabric should be spliced together only at a support post, with a minimum 6-inch overlap and securely sealed;
- (3) Post shall be spaced a maximum of 3-feet apart at the barrier location and driven securely into the ground a minimum of 6-inches;
- (4) Trenches shall be excavated approximately 6-inches wide and 6-inches deep along the line of posts and unspiced from the barrier;
- (5) Silt fence shall be properly installed and facing the correct direction or silt fence shall be removed and reinstalled;
- (6) Silt fence shall be inspected immediately after each rainfall and daily during prolonged rainfall;
- (7) If silt fence is not functional, it must be repaired or replaced within 48 hours. Immediate maintenance may be required by the Administrative Authority if the conditions of the site are deemed a public hazard or has the potential to cause environmental damage or pollution;
- (8) When sediment reaches 1/2 the height of the silt fence as a perimeter or runoff control device, sediment must be removed within 48 hours;
- (9) If a perimeter control device is not functional, it must be repaired or replaced within 48 hours;
- (10) Silt fence(s) shall be removed once they have served their useful purposes, but not before disturbed area(s) has been permanently stabilized;
- (11) No person shall willfully damage silt fencing at any time. If silt fence obstructs access to any point on a site it is to be removed and properly reinstalled. Any person found in violation of willfully running over or damaging silt fence shall be issued a citation for this act;

(c) **Construction entrance.** A rock construction entrance is a bed of rocks that helps to remove sediment from vehicle tires. Rock construction entrances should be placed at all site ingress/egress points.

- (1) Entrance protection shall be no less than the width of all points of ingress/egress with a 20-foot minimum width and a minimum length of 50-feet;
- (2) Rock used on entrance protection shall be a minimum of 2-inch with NO FINES at a minimum depth of 6-inches;
- (3) The Administrative Authority may at any time require geotextile fabric to be placed under entrance protection to assist with longevity of the entrance protection and to assist with alleviation of offsite tracking;
- (4) Residential entrance protection should be the width of all ingress and egress points. Entrance length shall be adequate for any vehicle or equipment to get one full tire rotation on the ingress/egress pad;
- (5) If conditions on the site are such that the majority of the mud is not removed by the vehicle/equipment traveling over the entrance pad, then the tires of the vehicle/equipment must be washed before entering any roadway. Wash water must be directed away from the entrance to a settling area to remove sediment;
- (6) The Administrative Authority shall have the ability to enforce street sweeping as a best management practice measure if the conditions of the site are deemed to be excessive, a public hazard, an environmental threat or the site has failed to comply with construction entrance guidelines;
- (7) The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-ways or roadways. This may require periodic top dressing with additional aggregate as conditions demand;
- (8) All sediment spilled, dropped, washed, or tracked onto public-right-of-way or roadways must be removed immediately;

(d) **Storm drain inlet protection.** The purpose of storm drain inlet protection is to prevent sediment from entering storm drainage systems prior to permanent stabilization of disturbed areas.

- (1) Storm drain inlet protection shall be used at sites:
 - (a) Where ponding will not encroach into traffic;
 - (b) Where sediment laden surface runoff may enter an inlet;
 - (c) Where disturbed drainage areas have not yet been permanently stabilized;
 - (d) Where soil disturbance or continual soil disturbance activities are occurring;
 - (e) Appropriate during wet and snow-melt seasons;
- (2) There are several inlet filters, traps and inlet protection designs which have different applications dependent upon site conditions and the type of inlet. These types and designs can be found in the City of Bryant Stormwater Management Manual, this manual can be found on the City of Bryant website <http://www.cityofbryant.com/895/Stormwater>;
- (3) If inlet protection is not functional, it must be replaced within 48 hours. Immediate maintenance may be required by the Administrative Authority if the conditions of the site are a public hazard or has the potential to cause environmental damage or pollution.
- (4) If inlet protection is not in place as listed in the above section (d)(1) site shall have 24 hours to have storm drain inlet protection in place.

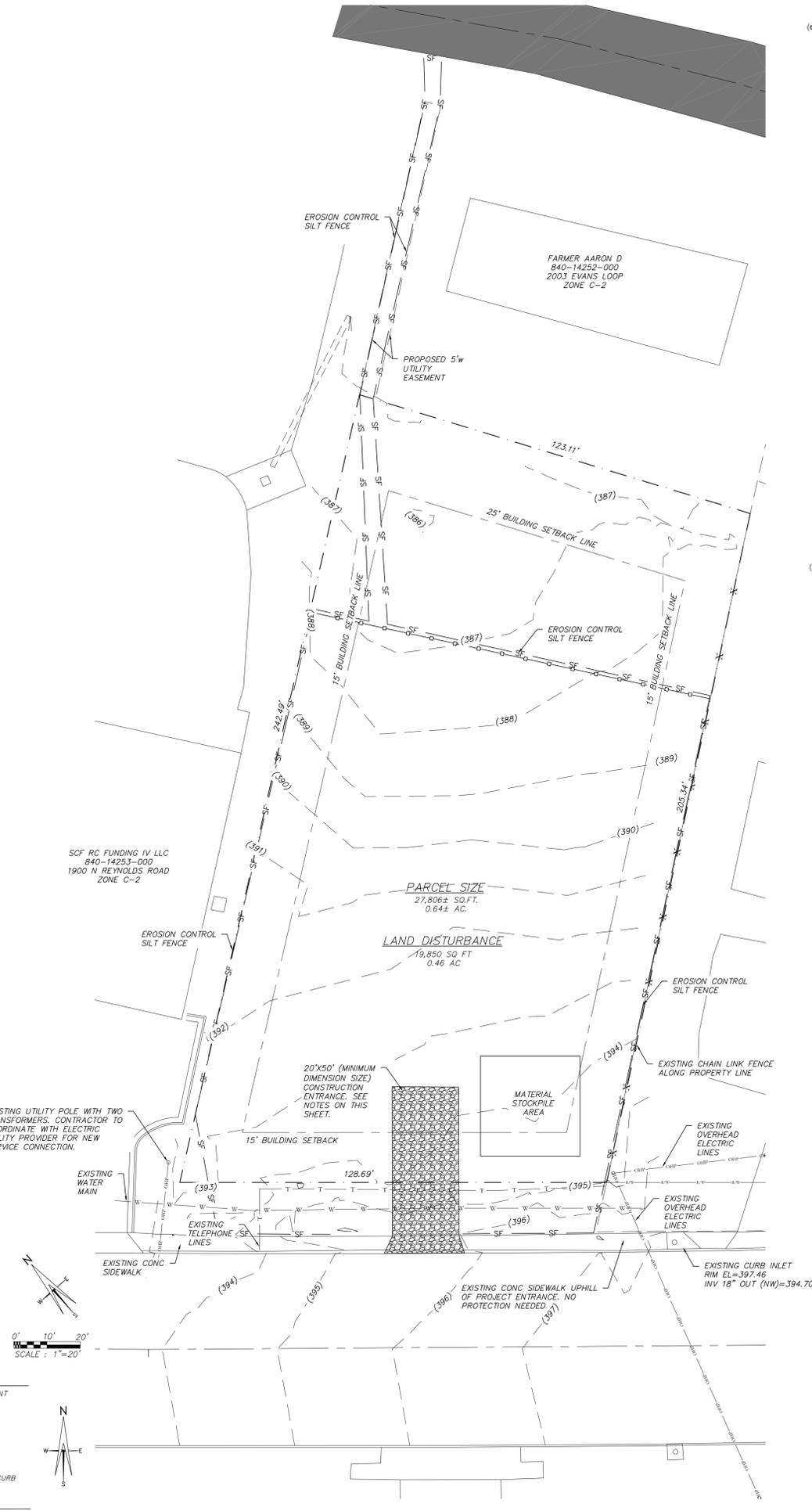
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LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ELECTRIC SERVICE
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED STORM DRAIN
	EROSION CONTROL SILT FENCE
	TOP OF CURB
	GRADE/BOTTOM OF FACE OF CURB
	EXISTING GRADE ELEVATION
	PROPOSED GRADE ELEVATION



(e) **Concrete waste management.** Proper concrete waste management prevents the discharge of pollutants to stormwater, drainage ditches, storm drain inlets, storm drain systems, creeks, streams, water bodies and roadways. Concrete waste washout shall be performed on-site in a designated area using a proper concrete waste management pit and/or other approved concrete waste management devices. A concrete waste management pit or other approved concrete waste management device shall be in place before any concrete is poured on-site.

- (1) All small, large, special and commercial construction sites are required to have a labeled concrete waste management device on-site;
- (2) All residential lots are required to have a proper concrete waste management device. No concrete washout shall leave the lot at any time;
- (3) Concrete waste management devices may at no time be placed within 50' of a basin, water body, street, roadway, storm drain inlet, drainage ditch, surface inlet, stormwater infrastructure, drainage easement or in a floodplain;
- (4) All concrete waste management devices shall have proper entrance protection leading to them at all times. Concrete waste management entrance protection shall be a minimum of 2-inch rock with NO FINES at a minimum depth of 6-inches. Entrance protection shall be sized at an adequate length and width;
- (5) Concrete waste management devices shall be lined with plastic so that no concrete washout occurs. Concrete waste management devices shall also be labeled on the site map;
- (6) When concrete reaches 1/2 the height of the concrete waste management device, the device shall be cleaned out and relined with plastic;
- (7) Alternative types of concrete waste management devices may be approved by the Administrative Authority;
- (8) No person shall place, washout, discharge or empty concrete into a roadway, right-of-way, drainage easement, drainage ditch, storm drain inlet, storm system, basin, pond or water body. No person shall discharge onto another person's property or use another person's concrete waste management device unless written consent was given by the property owner. Any person found in violation shall receive an illicit discharge citation and be held responsible for the clean-up process and damages caused. If dirt is disturbed during the clean-up process the person in violation will be responsible for stabilization of the area disturbed;
- (9) Any concrete washout or concrete piles placed outside of a concrete waste management pit or approved concrete waste management device shall be removed immediately;
- (10) Concrete or mortar residue discharges into a street, roadway, storm drain inlet or curb and gutter by way of incidental, machine maintenance or washout shall be removed immediately. No person shall at any time use a watering source to wash down the concrete or mortar residue into a storm drain inlet. Failure to remove residue will be cause for an illicit discharge citation and restoration cost;

site will be disturbed within the recommended buffer zone, then the buffer zone area shall be stabilized as soon as possible.

- (3) **Deadlines for stabilization after construction activity temporarily ceases.** Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily ceased, but in no case more than fourteen (14) days after the construction activity in that portion of the site has temporarily ceased.
- (4) **Deadline for stabilization after construction activity permanently ceases.** Stabilization measures shall be initiated immediately in portions of the site where construction activities have permanently ceased.
- (5) **Rill erosion** is the removal of soil by concentrated water running through little streamlets, or headcuts. Detachment in a rill occurs if the sediment in the flow is below the amount the load can transport and if the flow exceeds the soil's resistance to detachment.
 - (a) Erosion rills must be reworked, filled and compacted before final stabilization occurs on any disturbed area of land;
- (6) The Administrative Authority on a case by case basis may require any new or existing drainage ditches that are being constructed or have been disturbed during construction activities to be stabilized with solid soil to ensure the integrity of the drainage ditches. This will prevent future erosion and protect City of Bryant Stormwater Infrastructure.
- (7) A site can be considered finally stabilized when all soil disturbing activities at the site have been completed, and a uniform perennial vegetative cover with a density of 80% for ungraded areas and areas not covered by permanent structures has been established, or equivalent permanent stabilization measures have been employed.

3. City responsibilities.

- (a) Administration of these regulations shall be by the Administrative Authority who shall review to determine approval, disapproval or modification of stormwater management plans as provided herein.
- (b) All areas and/or structures dedicated to the city must be dedicated by plat or separate instrument and accepted by a formal letter from the Mayor, pursuant to resolution duly adopted by the City Council.
- (c) Operation and maintenance of publicly owned facilities. The Administrative Authority shall be responsible, after written approval and acceptance, for the operation and maintenance of all drainage structures and improved courses which are part of the stormwater runoff management system under public ownership and which are not constructed and maintained by or under the jurisdiction of any state or federal agency.

4. Private responsibilities.

- (a) Each developer or property owner of land within the corporate limits of the City of Bryant has a responsibility to provide that all approved stormwater runoff management facilities ensure adequate drainage and control of stormwater in the developer's or owner's property both during and after construction of such facilities.
- (b) Each developer, property owner, property owners association and improvement district has a responsibility and duty before and after construction to properly operate and maintain any on-site stormwater runoff control facility which has not been accepted for maintenance by the City of Bryant. Such responsibility is to be transmitted to subsequent owners through appropriate covenants.
- (c) All private systems not dedicated to the city shall have adequate easement to permit the Administrative Authority to inspect and, if necessary, to take any corrective enforcement action permitted by law should the responsible entity fails to properly maintain the system.
- (d) All private stormwater facilities shall be maintained by the owner in proper condition consistent with the performance standards for which they were originally designed.
- (e) All private systems must be designed to discharge at pre-developed rates unless approved by the Administrative Authority. New stormwater drainage system(s) cannot tie into existing systems of lesser capacity. In other words, a larger pipe cannot discharge into smaller pipe of lesser capacity.

PROJECT INFORMATION

OWNER/FRANCHISEE:
MEAN BEAN COFFEE, LLC
118 VERONA CIRCLE
SHERWOOD, AR 72120

PREPARED BY:
SHERRILL ASSOCIATES, INC.
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(618)656-9251

ARCHITECT:
GERDES, HENRICHSON & ASSOCIATES
14901 QUORUM DRIVE, SUITE 300
DALLAS, TX 75244

ENGINEER:
SHERRILL ASSOCIATES, INC.
WILSON D. WAGGONER, P.E.

SURVEYOR:
HOPE CONSULTING
117 S MARKET STREET
BENTON, ARKANSAS 72015
(501)315-2626

SITE INFORMATION:
PARCEL: 840-14249-000
1816 N REYNOLDS ROAD
BRYANT, ARKANSAS 72022

LOT AREA
27,806± SQ.FT.
0.64± AC.

UTILITIES
WATER: CITY OF BRYANT
SEWER: CITY OF BRYANT
ELECTRIC: ENERGY

SEDIMENT AND E.C. PLAN
 1816 N REYNOLDS RD
 BRYANT, AR 72022
 MEAN BEAN COFFEE LLC
 8118 S 193RD STREET
 GRENA, NE 68028



SHERRILL ASSOCIATES

Surveyors - Engineers
- Planners
ILLINOIS DESIGN FIRM
#184-001238

MISSOURI DESIGN FIRM
#001332
316 N Main Street
Edwardsville, IL 62025
TEL: (618) 656-9251

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other Documents or instruments relating to or intended to be used for any part or parts of the engineering project or survey.

NO.	DATE	REVISION

PROJECT NO.	2235801
DRAWN	WDW
CHECKED	WDW
SCALE	SEE PLAN
DATE	8/17/2022

ENGINEER'S CERTIFICATE
THIS IS TO CERTIFY THAT SHERRILL ASSOCIATES, INC AT THE REQUEST OF AND FOR THE EXCLUSIVE USE OF MEAN BEAN COFFEE LLC HAS PREPARED THIS SHEET FROM RECORD SOURCES AND ACTUAL FIELD SURVEY DURING THE MONTH OF JULY 2022.

Wilson D. Waggoner 10/12/22

WILSON D. WAGGONER, P.E. 21001
IN THE STATE OF ARKANSAS
EXPIRES 12-31-2022



LANDSCAPE CODE

SECTION IV. MINIMUM LANDSCAPING CRITERIA

Residential Subdivision	C-1	C-2	PUD
Trees	N/A	1/4 acre or fraction	1/4 acre or fraction
Evergreen	N/A	12,000 SF	12,000 SF
Bedding Plants Or Ground Cover in Containment	Must be Landscaped	100 Square Foot Minimum	100 Square Foot Minimum
Lawn (Grass)	N/A	Options	Options
Open Space Natural or Landscaping	100 SF/lot	N/A	N/A

(X=Landscape design must be approved)

No planting within 5 feet of a fire hydrant.
Spacing will be 40' between trees.
Tree must be a minimum 3" in diameter @ the base and 12' tall.
Existing trees meeting the minimum size can be counted to meet the criteria.
No trees can be planted within thirty-foot (30') of a property corner or driveway.
Shrubs along street right-of-way lines cannot exceed thirty inches (30") in height.
Separators noted in the zoning regulations must be bermed or covered with landscaping and ground cover or grass.

SECTION V. PLANT MATERIAL SELECTION

A. The following list of trees are those which have been found to be best suited to the central Arkansas area. There are many more trees that are strong growth trees but the ones in the following lists require the least amount of maintenance. Additional trees may be selected for use in required landscape areas when proven to be hearty in this area.

- Primary List:

COMMON NAME	SCIENTIFIC NAME
Bald Cypress	Taxodium distichum
Chinese Elm	Ulmus parviflora
Flowering Bradford Pear	Pyrus Calleryana "Bradford"
Shumard Oak	Quercus shumardii
Ginkgo (male)	Ginkgo biloba
Honey Locust	Gleditsia triacanthos
Loblolly Pine*	Pinus taeda
Pin Oak	Quercus palustris
Sawtooth Oak	Quercus scutellaria
Sugar Hackberry	Celtis laevigata
Willow Oak	Quercus phellos
- *Evergreen trees
- Secondary List:

COMMON NAME	SCIENTIFIC NAME
American Holly*	Ilex opaca
Crab Apple	Malus spp.
Crape Myrtle	Lagerstroemia indica
Dogwood	Cornus florida
Hawthorn	Crataegus opaca
Redbud	Cercis canadensis
River Birch	Betula nigra
Southern Magnolia*	Magnolia grandiflora
Swamp Red Maple	Acer rubrum
Water Oak	Quercus nigra
Weeping Willow	Salix babingtonia

2. The Grasses listed in subsection (1) above are the more commonly used grasses adjacent to vehicular use areas.

E. Ground Covers

1. The following primary list of ground covers are recommended for use to comply with this ordinance.

Common Name	Scientific Name
Dwarf Nandina	N. domestica "Harbour Dwarf"
Juniper	Juniperus species
Liriodie	Liriodie Maunzi
Memorial Rose	Rosa Wichiriana
Mondo Grass	Ophiopogon japonicus
Periwinkle	Viola minor
Spreading Eucalyptus	E. fortunei "Radicans"

2. Secondary List: (This list can be used but must be confined to a bed)

Common Name	Scientific Name
Carolina Jasmine	Coleman sempervirens
Dwarf Bamboo	Acidosiphon pygmaea
English Ivy	Hedera Helix
Honeyuckle	Lonicera sempervirens

SECTION VI. MAINTENANCE

1. The developer, his successor and the property owner shall be responsible for regular weeding, irrigating, fertilizing, pruning and other maintenance of all planting on private property of a development. Plant materials which are installed for compliance with this ordinance, both on private property and the public right-of-way, which exhibit evidence of insect pests, disease and/or damage, shall be appropriately treated and dead plant materials shall be replaced.

2. The owner of land abutting a constructed public right-of-way shall be responsible for the tree planting strip lying between the private property line and the curbline or backstop line and shall be required to regularly weed, mow, prune and maintain plantings in compliance with good horticultural practices.

3. If the owner of land thus situated as in (2) above, neglects or refuses to maintain the area as prescribed, after having been given ten (10) days notice in writing to maintain by the City, the owner shall be guilty of a misdemeanor.

SECTION VII. PLANNING COMMISSION APPROVAL

The City of Bryant Planning Commission will review and act on all landscaping.

B. Trees/shrubs on public right-of-way

All tree/shrub species listed in A, 1-2 and C, 1-2 may be used in the public right-of-way.

C. Shrub Species

The following list of shrubs are those which have been found to be best suited to this area and yet requiring the least amount of maintenance. This list along with the secondary list are those shrubs which may be planted in the required landscape area. Additional selective shrubs may be substituted when proven to be hearty in this region.

- Primary List:

Common Name	Scientific Name
Evergreen Hollies	Ilex species
Nandina	Nandina domestica
- Secondary List:

Common Name	Scientific Name
Abelia	Abelia grandiflora
Boxwood	Buxus sempervirens
Chinese Photinia	Photinia serrulata

Note: Secondary listed shrubs require increased maintenance

D. Grasses

- The following grasses may be used to comply with this ordinance:

Mayer Z-52	Zoysia	Fescue
Bermuda Grass	Bermuda Grass hybrids	
Centipede	St. Augustine	

UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.



Know what's below. 811 before you dig.

GENERAL NOTES

THE OWNER MAY CONTRACT WITH A LOCAL LANDSCAPER TO SUBSTITUTE SPECIES AND LOCATIONS OF THE PLANTINGS BUT THE CODE SHALL BE FOLLOWED FOR THE BUFFERS AND INTERNAL PLANTINGS PER CITY CODE.

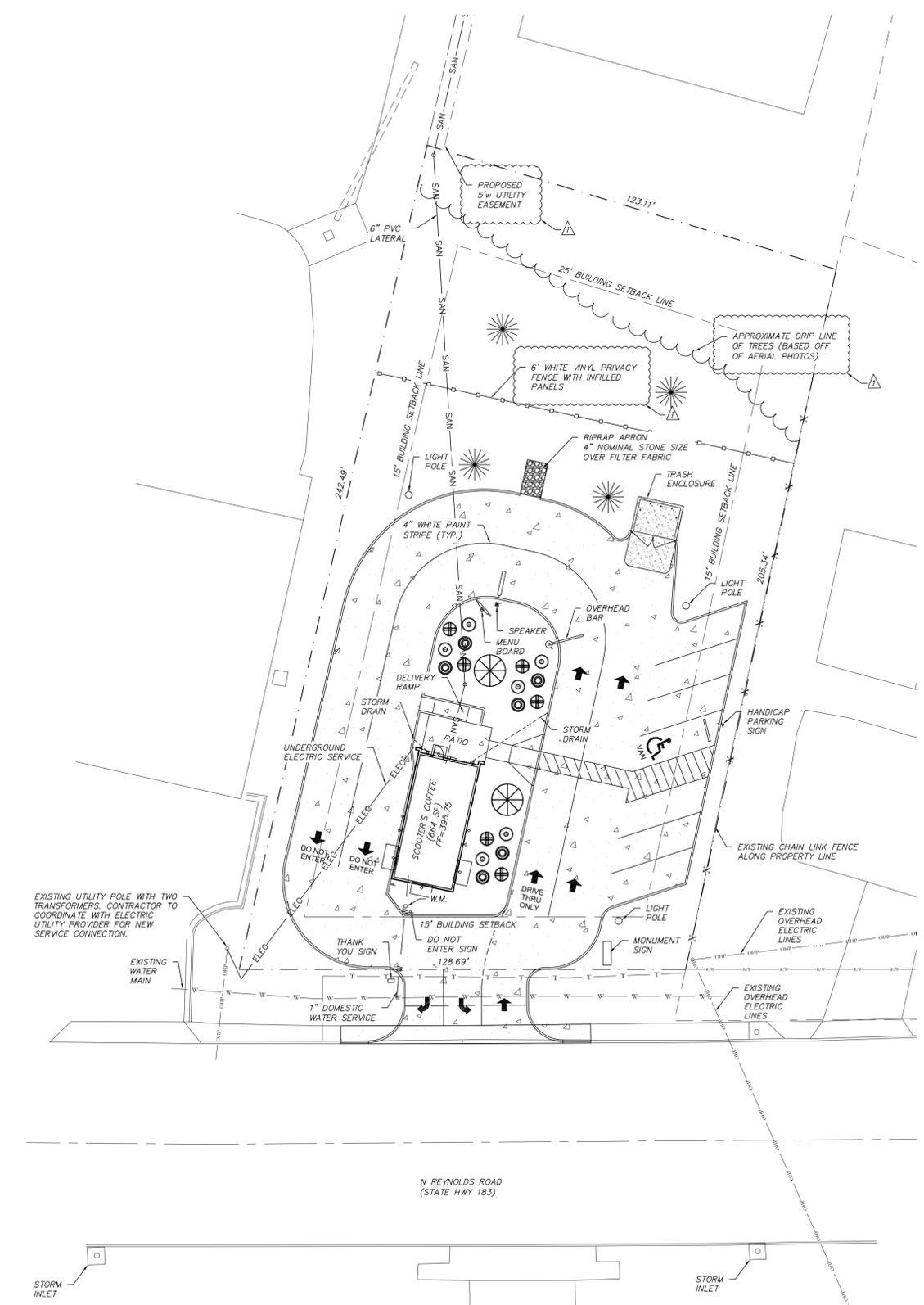
LOT AREA
27,806± SQ.FT.
0.64± AC.

PLANTING SUMMARY

EVERGREEN TREES	QTY.	SIZE	COMMENTS
LLEX OPACA AMERICAN HOLLY	14	24" BOX	8' HT. 2" CAL. MIN.

CANOPY TREES	QTY.	SIZE	COMMENTS
BETULA NIGRA RIVER BIRCH	2	24" BOX	8' HT. 2" CAL. MIN.

SHRUBS	QTY.	SIZE	COMMENTS
BUSUS SEMPERVIRENS BOXWOOD	6	5 GAL.	24"-30" HT.
NANDINA DOMESTICA NANDINA	6	5 GAL.	24"-30" HT.
LLEX SPECIES EVERGREEN HOLLY	6	5 GAL.	24"-30" HT.



LEGEND

- PROPOSED CONCRETE PAVEMENT
- ELEG - PROPOSED ELECTRIC SERVICE
- W - PROPOSED WATER SERVICE
- SAN - PROPOSED SANITARY SERVICE
- ST - PROPOSED STORM DRAIN
- SF - EROSION CONTROL SILT FENCE

ENGINEER'S CERTIFICATE
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Wilson D. Waggoner
10/12/22

WILSON D. WAGGONER, P.E. 21001
IN THE STATE OF ARKANSAS
EXPIRES 12-31-2022

STATE OF ARKANSAS
LICENSED PROFESSIONAL ENGINEER
No. 21001
WILSON D. WAGGONER

LANDSCAPE PLAN
1816 N REYNOLDS RD
BRYANT, AR 72022
MEAN BEAN COFFEE LLC
8118 S 193RD STREET
GRENA, NE 68028



SHERRILL ASSOCIATES

Surveyors - Engineers
- Planners
ILLINOIS DESIGN FIRM
#184-001238

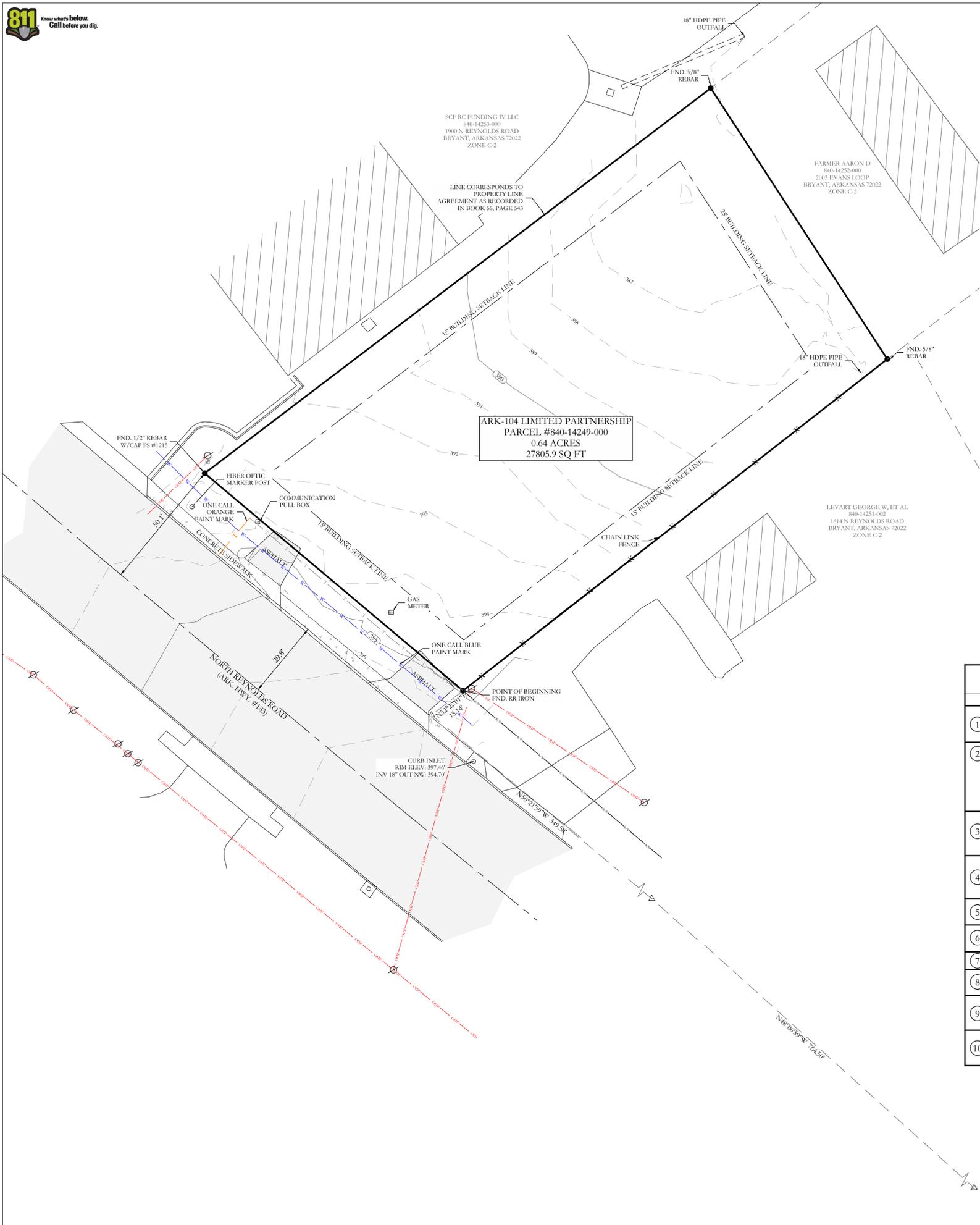
MISSOURI DESIGN FIRM
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NO.	DATE	REVISION	CITY COMMENTS
1	10/12/22		

PROJECT NO. 2235801
DRAWN WDW SCALE SEE PLAN
CHECKED WDW DATE 8/17/2022

C4.0
SHEET 5 OF 6



SCF RC FUNDING IV LLC
840-14253-000
1900 N REYNOLDS ROAD
BRYANT, ARKANSAS 72022
ZONE: C-2

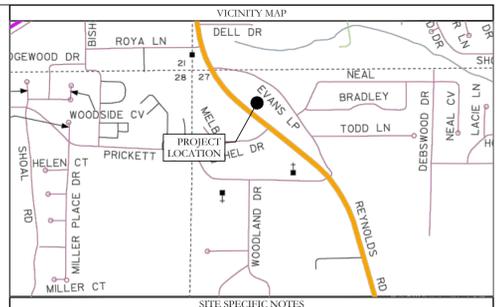
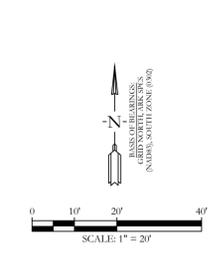
LINE CORRESPONDS TO
PROPERTY LINE
AGREEMENT AS RECORDED
IN BOOK 55, PAGE 543

FARMER AARON D
840-14252-000
2003 EVANS LOOP
BRYANT, ARKANSAS 72022
ZONE: C-2

LEVART GEORGE W, ET AL
840-14251-002
1814 N REYNOLDS ROAD
BRYANT, ARKANSAS 72022
ZONE: C-2

ARK-104 LIMITED PARTNERSHIP
PARCEL #840-14249-000
0.64 ACRES
27805.9 SQ FT

PROPERTY DESCRIPTION
LEGAL DESCRIPTION OF RECORD SALINE COUNTY INSTRUMENT #2017-006225:
PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID N 1/2 OF THE NW 1/4, SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST; THENCE WEST, ALONG THE SOUTH LINE OF SAID N 1/2 OF THE NW 1/4, 962.0 FEET TO THE EAST RIGHT OF WAY LINE OF REYNOLDS ROAD (5 FEET FROM CENTERLINE OF PAVEMENT); THENCE NORTH 50 DEG. 15 MIN. WEST, ALONG SAID ROAD RIGHT OF WAY, FOR 764.5 FEET; THENCE NORTH 52 DEG. 30 MIN. WEST, ALONG SAID ROAD RIGHT OF WAY, 349.5 FEET; THENCE NORTH 50 DEG. EAST 14.1 FEET TO REYNOLDS ROAD RIGHT OF WAY AS OF JUNE 7, 1993 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH 50 DEG EAST, ALONG THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 205 AT PAGE 351, FOR 206.21 FEET TO THE SOUTHWEST CORNER OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORDS BOOK 265 AT PAGE 704; THENCE NORTH 35 DEG. 55 MIN. WEST 124.32 FEET, ALONG THE WEST LINE OF LANDS DESCRIBED IN SALINE COUNTY DEED RECORD BOOK 265 AT PAGE 704 TO A FENCE, SAID FENCE BEING THE PROPERTY LINE AS SET FORTH IN PROPERTY LINE AGREEMENT DATED DECEMBER 8, 1978 AND FILED JANUARY 3, 1979 IN SALINE COUNTY MISCELLANEOUS RECORD BOOK 55 AT PAGE 543; THENCE SOUTH 50 DEG. 16 MIN. 31 SEC. WEST, ALONG SAID FENCE, 242.8 FEET TO THE RIGHT OF WAY OF REYNOLDS ROAD AS OF JUNE 7, 1993; THENCE SOUTH 52 DEG. 30 MIN. EAST, ALONG SAID ROAD RIGHT OF WAY, 128.28 FEET TO THE POINT OF BEGINNING, CONTAINING 0.68 ACRES, MORE OR LESS.



OWNER(S) OF RECORD:
ARK-104 LIMITED PARTNERSHIP

STREET ADDRESS:
1816 NORTH REYNOLDS ROAD, BRYANT, ARKANSAS 72022

COUNTY PARCEL ID:
840-14249-000

ZONING DISTRICT:
C-2 GENERAL COMMERCIAL DISTRICT

BUILDING SETBACKS PER CITY REGULATIONS:
FRONT: 15 FEET
REAR: 25 FEET
SIDE: 15 FEET

MAX LOT COVERAGE: 40%

MAX HEIGHT: 4 STORIES

LOCAL UTILITY PROVIDERS:
WATER SERVICE: CITY OF BRYANT
SEWER SERVICE: CITY OF BRYANT
ELECTRIC SERVICE: ENTERGY
GAS SERVICE: CENTERPOINT ENERGY

GENERAL NOTES

GENERAL SURVEYOR'S NOTES:
ALL LISTED MEASUREMENTS ARE AS MEASURED IN THE FIELD. FOR RECORD MEASUREMENTS, SEE DEED(S) OR PLAT(S) OF RECORD.

ADJACENT OWNERSHIP IS LISTED AS FILED IN THE SALINE COUNTY TAX ASSESSORS OFFICE AND IS SHOWN FOR REFERENCE ONLY.

THIS SURVEY IS FOR THE EXCLUSIVE USE AND BENEFIT OF PARTIES SHOWN HEREIN. USE OR DUPLICATION OF THIS DOCUMENT BY ANY OTHER PARTIES IS PROHIBITED AND VOIDS SAID DOCUMENT.

NOTE: THIS SURVEY IS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS. NO INVESTIGATION OR INDEPENDENT SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ANY LISTED EASEMENTS OR RIGHTS-OF-WAY WERE DETERMINED FROM LISTED REFERENCE DOCUMENTS AND HAVE NOT BEEN CHECKED FOR ACCURACY OR CORRECTNESS.

ONLY LISTED REFERENCE DOCUMENTS HEREON WERE USED AND CONSIDERED AS A PART OF THIS SURVEY. OTHER DOCUMENTS, IF ANY, COULD FURTHER AFFECT THIS TRACT.

TITLE COMMITMENT PROVIDED BY: CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 22-022518-475, EFFECTIVE DATE: JUNE 12, 2022, 8:00AM	
SCHEDULE B PART II - EXCEPTIONS	EFFECT ON SURVEY
1 ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.	NOT SURVEY RELATED
2 STANDARD EXCEPTIONS: (A) RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. (B) EASEMENTS OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. (C) ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES AND ANY MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES. (D) ANY LIEN OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.	AS SHOWN
3 LOSS ARISING FROM ANY OIL, GAS OR MINERAL INTERESTS, CONVEYED, RETAINED, ASSIGNED OR ANY ACTIVITY ON OR DAMAGE TO THE INSURED LAND CAUSED BY THE EXERCISE OF SUB-SURFACE RIGHTS OR OWNERSHIP, INCLUDING BUT NOT LIMITED TO THE RIGHT OF INGRESS AND EGRESS FOR SAID SUB-SURFACE PURPOSES.	NOT SURVEY RELATED
4 LOSS ARISING FROM ANY JUDGMENT LIENS OR OTHER LIENS OF RECORD IN ANY UNITED STATES DISTRICT COURT OR BANKRUPTCY COURT IN THE STATE OF ARKANSAS AS OF THE EFFECTIVE DATE HEREOF THAT ARE NOT REFLECTED IN THE REAL PROPERTY RECORDS OF THE COUNTY IN WHICH THE PROPERTY IS LOCATED.	NOT SURVEY RELATED
5 TAXES AND ASSESSMENTS FOR THE YEAR(S) 2022 AND THEREAFTER, WHICH ARE NOT YET DUE AND PAYABLE, PLUS ANY PENALTIES AND INTEREST WHICH MAY ACCRUE.	NOT SURVEY RELATED
6 FUTURE ASSESSMENTS OF SALEM FIRE PROTECTION DISTRICT NO. 1 (AKA SALEM FIRE PROTECTION DISTRICT NO. 59).	NOT SURVEY RELATED
7 FUTURE ASSESSMENTS OF THE SALINE WATERSHED REGIONAL WATER DISTRIBUTION DISTRICT.	NOT SURVEY RELATED
8 ANY INACCURACY IN THE AREA, SQUARE FOOTAGE, OR ACREAGE OF LAND DESCRIBED IN SCHEDULE A. THE COMPANY DOES NOT INSURE THE AREA, SQUARE FOOTAGE, OR ACREAGE OF THE LAND.	ACREAGE AS SHOWN
9 EASEMENT IN FAVOR OF SOUTHWESTERN BELL TELEPHONE AS SET FORTH IN EASEMENT DATED FEBRUARY 24, 1979, AND RECORDED ON FEBRUARY 26, 1979, IN BOOK 56 AT PAGE 353 IN THE RECORDS OF SALINE COUNTY, ARKANSAS.	EASEMENT DESCRIPTION IS AMBIGUOUS AND CANNOT BE PLOTTED ACCURATELY
10 PROPERTY LINE BY AND BETWEEN RAYMOND E EVANS AND SHIRLEY M EVANS AND JAMES ELLIOT AND LOIS A ELLIOTT, DATED DECEMBER 8, 1978, RECORDED JANUARY 3, 1979, IN BOOK 55, PAGE 543 OF THE CONVEYANCE RECORDS OF SALINE COUNTY, ARKANSAS	PERTAINS TO THE NORTH-WESTERLY PROPERTY LINE AS SHOWN

LEGEND	
● - Found Aliquot Corner	⊗ - Clean Out
● - Found monument	⊗ - Water Meter
⊙ - Set 1/2" Rebar	⊗ - Power Pole
⊙ - Computed point	⊗ - Sewer Manhole
(M) - Measured	⊙ - Light Pole
(P) - Deed/Plat	⊙ - Telephone Pedestal
⊗ - Grate	⊙ - Overhead Power
- - - - - Fence	

NO PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ACCORDING TO FLOOD INSURANCE RATE MAP, PANEL # 05119C0441G, DATED: 07/08/2015.

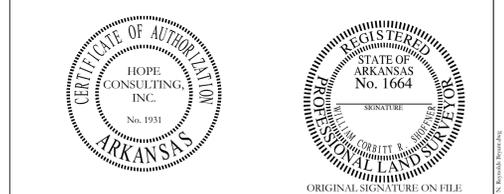
ALTA/NSPS CERTIFICATION

TO CHICAGO TITLE INSURANCE COMPANY: LAMONTIA, LLC; ARK-104 LIMITED PARTNERSHIP, AN ARKANSAS LIMITED PARTNERSHIP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6 (A), 6(B), 7(A), 8, 11(A), 11(B), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 20, 2022.

WM CORBITT R SHOFFNER
ARKANSAS PS #1664
CORBITT@HOPECONSULTING.COM

DATE: _____



HOPE CONSULTING
ENGINEERS - SURVEYORS

117 S. Market Street,
Benton, Arkansas 72015
PH. (501) 315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
CHICAGO TITLE INSURANCE COMPANY; LAMONTIA, LLC; ARK-104 LIMITED PARTNERSHIP, AN ARKANSAS LIMITED PARTNERSHIP

ALTA/NSPS LAND TITLE SURVEY

PART OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS

DATE: 07/25/2022	C.A.D. BY: JPP	DRAWING NUMBER:
REVISED:	CHECKED BY:	22-0882
SHEET:	SCALE: 1" = 20'	
500	01S	14W 0 27 400 62 1664

LEGEND	
● - Found Aliquot Corner	
● - Found monument	
⊙ - Set 1/2" Rebar	
⊙ - Computed point	
(M) - Measured	
(P) - Plat/Deed	
- - - - - Fence	

POINT OF COMMENCEMENT
SE CORNER N1/2, NW1/4
SECTION 27, T-01-S, R-14-W

N87°51'59"W 962.00'

LEGEND

- △ - Computed point
- - Found monument
- ⊙ - Set #4 RB/Plas. Cap
- (M)-Measured
- (R)-Record
- (P)-Platted

CERTIFICATE OF OWNER:

We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date: _____ Signed: _____
MARGE A HIGGINBOTHAM

CERTIFICATE OF FINAL PLAT APPROVAL:

Pursuant to the City of Bryant Subdivision Rules and Regulations, and all of the conditions of approval having been completed, this document is hereby accepted. This certificate is hereby executed under the authority of said rules and regulations.

Date: _____ Signed: _____
Rick Johnson
Planning Commission Chairman

CERTIFICATE OF SURVEYING ACCURACY:

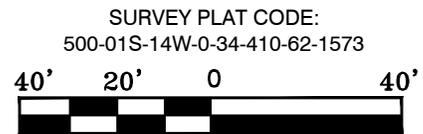
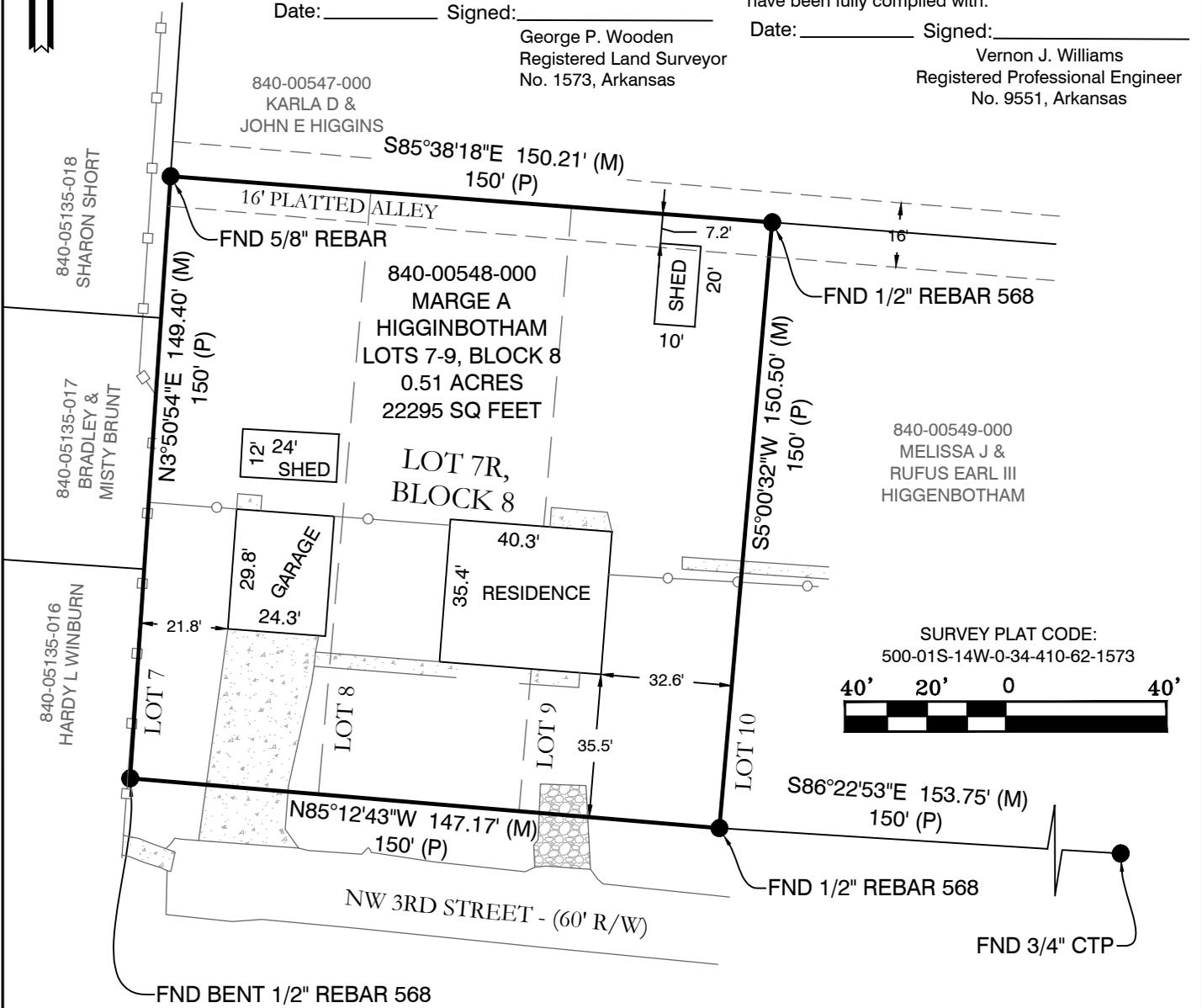
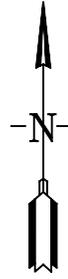
I, George P. Wooden, hereby certify that this plat correctly represents a lot survey made by me or under my supervision on 10/7/2022; that the lot lines shown hereon correspond with the description in Lots 7-9, Block 8, Original Town of Bryant; and that all monuments which were found or placed on the property are correctly described and located.

Date: _____ Signed: _____
George P. Wooden
Registered Land Surveyor
No. 1573, Arkansas

CERTIFICATE OF ENGINEERING ACCURACY:

I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date: _____ Signed: _____
Vernon J. Williams
Registered Professional Engineer
No. 9551, Arkansas



	ORIGINAL DESCRIPTION:
DOCUMENTS USED FOR THE PREPARATION OF THIS SURVEY:	<ul style="list-style-type: none"> LOTS 7-9, BLOCK 8, ORIGINAL TOWN OF BRYANT SALINE COUNTY, ARKANSAS
<ul style="list-style-type: none">PLAT OF ORIGINAL TOWN OF BRYANT	REPLAT DESCRIPTION:
	<ul style="list-style-type: none"> LOT 7R, BLOCK 8, ORIGINAL TOWN OF BRYANT SALINE COUNTY, ARKANSAS

CERTIFICATIONS:	BASIS OF BEARINGS:
<p>BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON OCT 07, 2022.</p> <p>THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.</p> <p>THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0380E EFFECTIVE DATE JUNE 05, 2020.</p>	<p>BEARINGS ARE BASED UPON NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES. COORDINATES WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEY'S "ONLINE POSITIONING USER SERVICE" (OPUS).</p>



10-7-22

GNE Designing our client's success	CONTENTS:	FOR THE USE & BENEFIT OF:	PROJECT NO:
GarNat Engineering, LLC P.O. Box 116 Benton, AR 72018 Ph (501) 408-4650	REPLAT SURVEY	MARGE A HIGGINBOTHAM	22181
	3825 Mt Carmel Rd Bryant, AR 72022 gamatengineering@gmail.com	406 NW 3RD STREET BRYANT, ARKANSAS 72022	

A NEW FACILITY FOR: CUSTOM ADVERTISING
DRAINAGE CALCULATIONS – SUMMARY
10/6/2022

DESCRIPTION OF PROJECT

Custom Advertising is an approximately 15.45 Acre development located in the City of Bryant, Arkansas at the north Portion of I-30 N Frontage Rd. There is a ridge that runs through the site creating four main drainage basins. Basin 3 will be detained in a ditch located in the east of the site. The detention of the basin will be detained by a 19 ft. wide ditch. Basin 1 and 2 will not be detained. Basin 4 runs to west of the site and in-lieu-fee provided for this basin.

Stormwater Calculations were prepared with the intent to comply with the City of Bryant's Drainage Code. The primary intent of this analysis is to produce a drainage system adequately sized to convey post development runoff while attenuating post development discharge levels equal to or less than pre development flows.

Hydraulic calculations were made using the Rational Method. Design frequencies were analyzed for 2, 5, 10, 25, 50, and 100 year return periods.

These calculations are divided into the following sections:

Summary of Drainage Basins

Summary of Pipes

Detention Summary

Appendices

Exhibit A – Pre-Development Drainage Basins

Exhibit B – Post-Development Drainage Basins

A NEW FACILITY FOR: CUSTOM ADVERTISING
DRAINAGE CALCULATIONS – SUMMARY
10/6/2022

SUMMARY OF DRAINAGE BASINS

PRE-DEVELOPMENT CONDITIONS

The existing site contains four drainage basins. The existing site is a mixture of grass and clay soil with moderate slopes. Basin 1 drains to the south western side of the property, basin 2 drains to the south eastern side of the property, basin 3 drains to the north eastern side of the property and basin 4 drains to the south side of the property.

POST-DEVELOPMENT CONDITIONS

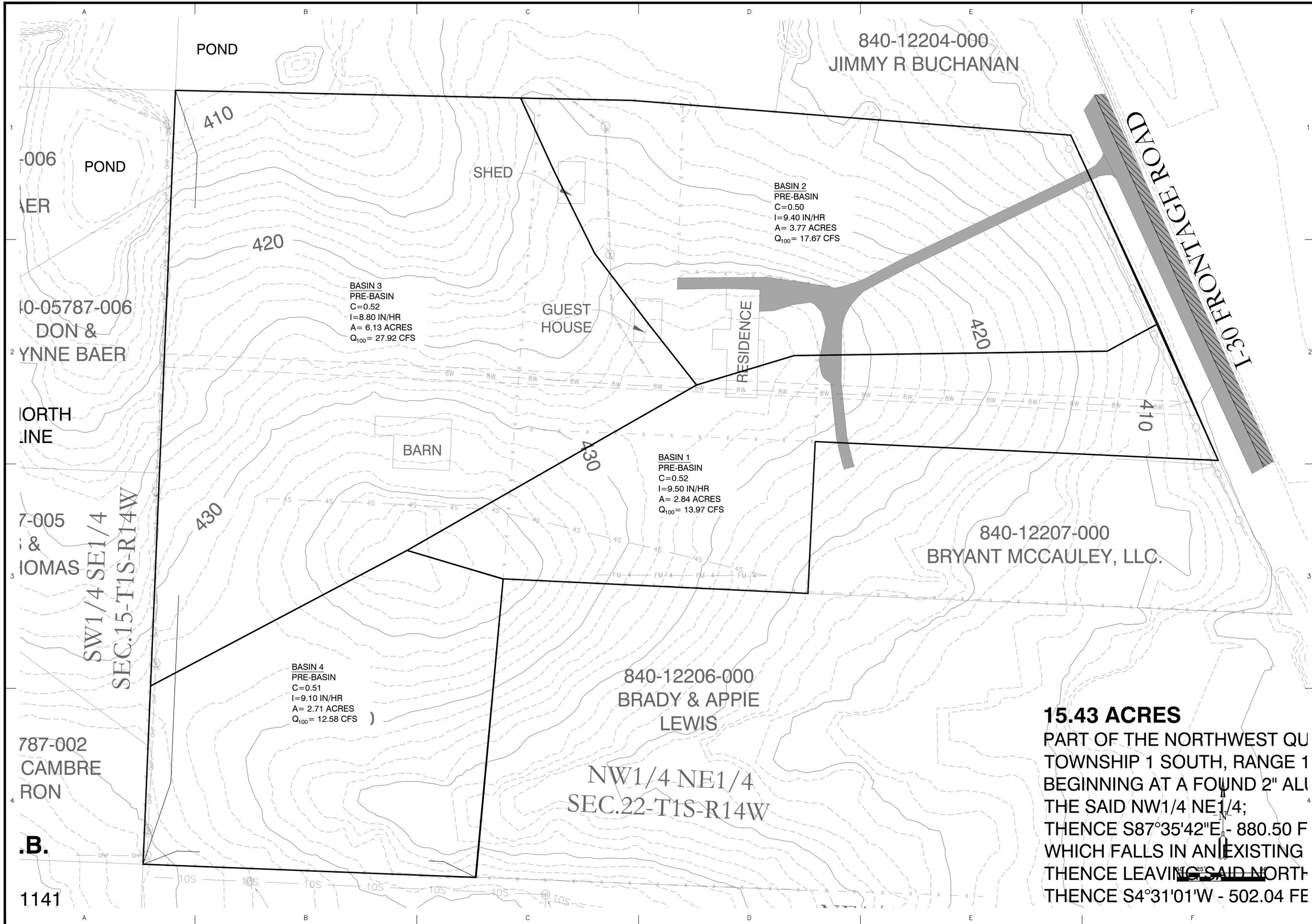
As previously described, this site is being developed into a commercial office. Slopes range from 2% to 6%. Runoff from the developed areas of basin 3 collects by a ditch and finally detained in the eastern corner of the property. Runoff from basin 1, 2 and 4 will not be captured.

SUMMARY OF PIPES

All pipes used in this project are HDPE. Therefore, a manning's of 0.012 was used on all pipes in the analysis.

DETENTION BASIN 1 SUMMARY

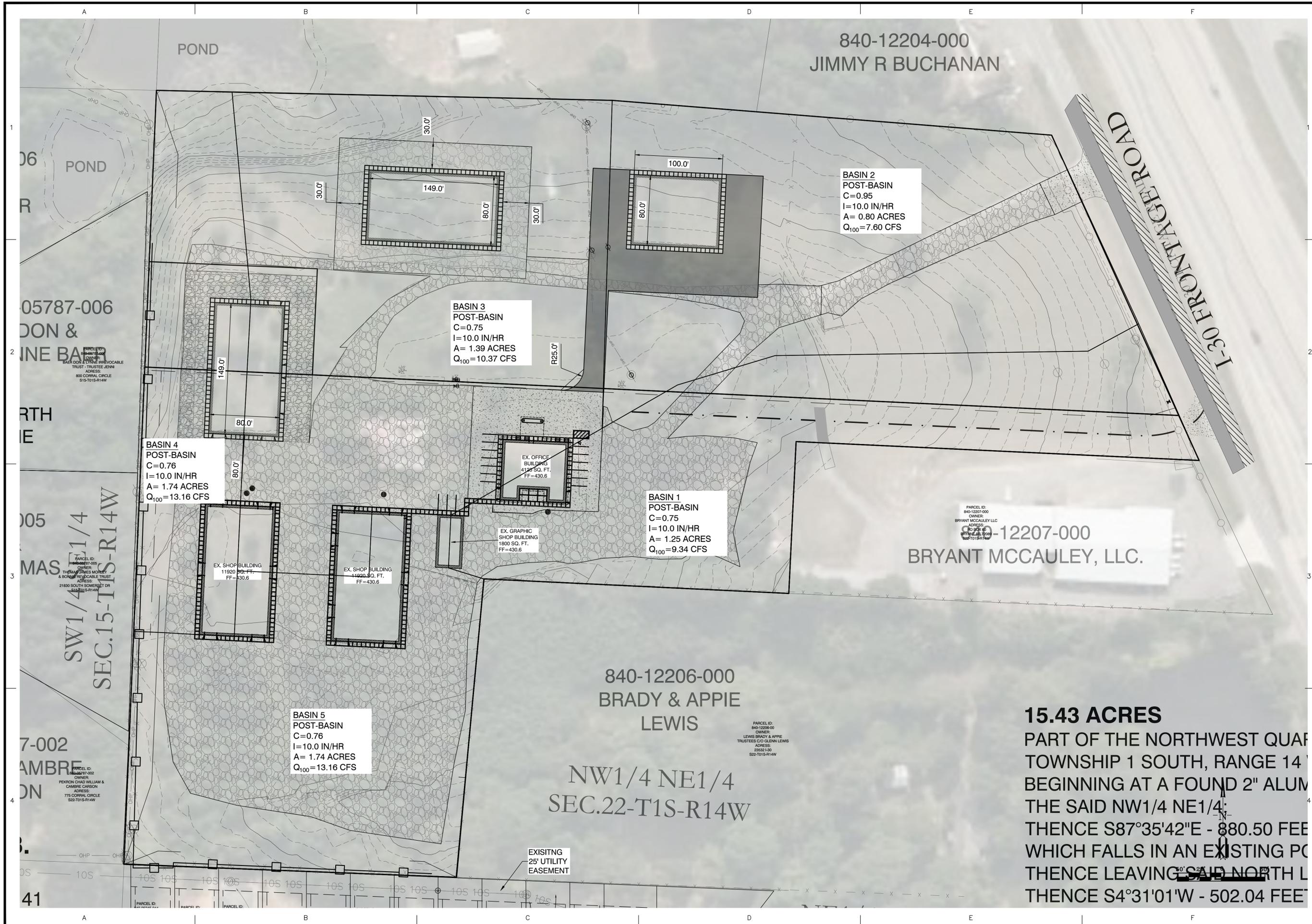
The ditch storage in these calculations detains flows from the basin 3. The ditch storage is located in the eastern portion of the property. The ditch storage is made of 300 linear feet of 1' concrete bottom trickle channel and has a volume of 4,800 cf. A concrete control structure is constructed on the east side of the ditch. This control structure uses a slotted weir to limit the discharge through the structure to that of the 2, 5, 10, 25, 50, and 100-year pre-development flow. The ditch storage is designed to hold the 100-year storm event.



15.43 ACRES
PART OF THE NORTHWEST QU
TOWNSHIP 1 SOUTH, RANGE 1
BEGINNING AT A FOUND 2" ALL
THE SAID NW1/4 NE1/4;
THENCE S87°35'42"E - 880.50 F
WHICH FALLS IN AN EXISTING
THENCE LEAVING SAID NORTH
THENCE S4°31'01"W - 502.04 FE

BY	
REVISION	
DATE	
<p>GNE Designing our client's success GarNat Engineering, LLC 3825 Mt Carmel Rd Bryant, AR 72022 P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 gnatengineering@gmail.com</p>	
<p>A NEW FACILITY FOR: CUSTOM ADVERTISING JIMMY PARKER BRYANT, AR</p>	
<p>CONTENTS: PRE DRAINAGE BASIN</p>	
PROJECT NO:	21069
DATE:	JULY 2021
SHEET NO:	1

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840-12204-000
JIMMY R BUCHANAN

BASIN 2
POST-BASIN
C=0.95
I=10.0 IN/HR
A= 0.80 ACRES
Q₁₀₀=7.60 CFS

BASIN 3
POST-BASIN
C=0.75
I=10.0 IN/HR
A= 1.39 ACRES
Q₁₀₀=10.37 CFS

BASIN 4
POST-BASIN
C=0.76
I=10.0 IN/HR
A= 1.74 ACRES
Q₁₀₀=13.16 CFS

BASIN 1
POST-BASIN
C=0.75
I=10.0 IN/HR
A= 1.25 ACRES
Q₁₀₀=9.34 CFS

BASIN 5
POST-BASIN
C=0.76
I=10.0 IN/HR
A= 1.74 ACRES
Q₁₀₀=13.16 CFS

840-12207-000
BRYANT MCCAULEY, LLC.

840-12206-000
BRADY & APPIE
LEWIS

NW1/4 NE1/4
SEC.22-T1S-R14W

15.43 ACRES
PART OF THE NORTHWEST QUARTER
TOWNSHIP 1 SOUTH, RANGE 14
BEGINNING AT A FOUND 2" ALUM
THE SAID NW1/4 NE1/4;
THENCE S87°35'42"E - 880.50 FEET
WHICH FALLS IN AN EXISTING PO
THENCE LEAVING SAID NORTH L
THENCE S4°31'01"W - 502.04 FEET

BY	
REVISION	
DATE	
<p>GNE Designing our client's success GarNat Engineering, LLC 3825 Mt Carmel Rd Bryant, AR 72022 P.O. Box 116 Benton, AR 72018 Ph: (501) 408-4650 gnatengineering@gmail.com</p>	
<p>A NEW FACILITY FOR: CUSTOM ADVERTISING JIMMY PARKER BRYANT, AR</p>	
<p>CONTENTS: POST DRAINAGE BASIN</p>	
PROJECT NO:	21069
DATE:	JULY 2021
SHEET NO:	2

A:\Projects\2021\Projects\21069 - 21069 - Jimmy Parker\Drawings\DWG\21069.dwg, 21069.dwg, Sheet 12 of 12

Stormwater Calcs - 23738 I-30 N
Using Rational Method

Pre-development

Calculated Tc values - Drainage Basin 1

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 220 feet
 n1 = 0.033 Gravel
 S1 = 0.036 ft/ft
 I_{assumed} = 6.90 inches
 T_{Ccalculated} = 230 seconds
 T_{Ccalculated} = 3.84 minutes

Tc = 10.07 minutes
 I = 6.90 inches

Use Tc = **10.00** minutes

I - 100 yr = 8.2
 I - 50 yr = 7.6
 I - 25 yr = 6.90
 I - 10 yr = 6
 I - 5 yr = 5.5
 I - 2 yr = 4.7

L1 = 465 feet
 n1 = 0.035 Streams on plain, more stones & weeds
 S1 = 0.036 ft/ft
 I_{assumed} = 6.90 inches
 T_{Ccalculated} = 374 seconds
 T_{Ccalculated} = 6.23 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
 i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

Calculated Tc values - Drainage Basin 2

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 100 feet
 n1 = 0.15 Sheet flow
 S1 = 0.033 ft/ft
 I_{assumed} = 6.00 inches
 T_{Ccalculated} = 386 seconds
 T_{Ccalculated} = 6.44 minutes

Tc = 14.65 minutes
 I = 6.00 inches

Use Tc = **14.50** minutes

I - 100 yr = 7.5
 I - 50 yr = 6.8
 I - 25 yr = 6.00
 I - 10 yr = 5.5
 I - 5 yr = 4.9
 I - 2 yr = 4.2

L1 = 500 feet
 n1 = 0.045 Grass, some weeds
 S1 = 0.033 ft/ft
 I_{assumed} = 6.00 inches
 T_{Ccalculated} = 493 seconds
 T_{Ccalculated} = 8.21 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
 i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

Calculated Tc values - Drainage Basin 3

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 829 feet
 n1 = 0.045 Grass, some weeds
 S1 = 0.034 ft/ft
 I_{assumed} = 6.80 inches
 T_{Ccalculated} = 630 seconds
 T_{Ccalculated} = 10.51 minutes

Tc = 10.51 minutes
 I = 6.80 inches
 Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
 i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

Use Tc = **10.50** minutes

I - 100 yr = 8.1
 I - 50 yr = 7.4
 I - 25 yr = 6.80
 I - 10 yr = 6
 I - 5 yr = 5.4
 I - 2 yr = 4.7

Calculated Tc values - Drainage Basin 4

$$T_c = \frac{56 * L^{1.49} * n^{1.49}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 491 feet
 n1 = 0.045 Grass, some weeds
 S1 = 0.028 ft/ft
 I_{assumed} = 7.70 inches
 T_{Ccalculated} = 464 seconds
 T_{Ccalculated} = 7.73 minutes

Tc = 7.73 minutes
 I = 7.70 inches
 Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
 i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

Use Tc = **7.70** minutes

I - 100 yr = 9.1
 I - 50 yr = 8.8
 I - 25 yr = 7.70
 I - 10 yr = 6.9
 I - 5 yr = 6.1
 I - 2 yr = 5.2

**Stormwater Calcs - 23738 I-30 N
Using Rational Method**

Post-development

Calculated Tc values - Drainage Basin 1

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 220 feet
n1 = 0.033 Gravel
S1 = 0.035 ft/ft
I_{assumed} = 6.90 inches
T_{calculated} = 232 seconds
T_{calculated} = 3.87 minutes

Tc = 10.10 minutes
I = 6.90 inches

Use Tc = 10.00 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}}$$

L1 = 465 feet
n1 = 0.035 Streams on plain, more stones & weeds
S1 = 0.036 ft/ft
I_{assumed} = 6.90 inches
T_{calculated} = 374 seconds
T_{calculated} = 6.23 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	8.2 Inches	I ₁₀ =	6.0 Inches
I ₅₀ =	7.5 Inches	I ₅ =	5.5 Inches
I ₂₅ =	6.9 Inches	I ₂ =	4.7 Inches

Calculated Tc values - Drainage Basin 2

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 100 feet
n1 = 0.15 Sheet Flow
S1 = 0.033 ft/ft
I_{assumed} = 6.30 inches
T_{calculated} = 379 seconds
T_{calculated} = 6.32 minutes

Tc = 13.24 minutes
I = 6.30 inches

Use Tc = 13.20 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 500 feet
n1 = 0.035 Streams on plain, more stones & weeds
S1 = 0.033 ft/ft
I_{assumed} = 6.30 inches
T_{calculated} = 416 seconds
T_{calculated} = 6.93 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	7.8 Inches	I ₁₀ =	5.8 Inches
I ₅₀ =	7 Inches	I ₅ =	5.0 Inches
I ₂₅ =	6.3 Inches	I ₂ =	4.3 Inches

Calculated Tc values - Drainage Basin 3

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 170 feet
n1 = 0.033 Gravel
S1 = 0.058 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 172 seconds
T_{calculated} = 2.87 minutes

Tc = 10.58 minutes
I = 6.80 inches

Use Tc = 10.50 minutes

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 285 feet
n1 = 0.035 Streams on plain, more stones ;
S1 = 0.058 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 243 seconds
T_{calculated} = 4.05 minutes

Tc for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual
i for 25-yr Storm from Exhibit 400-1 of Bryant Drainage Manual

I ₁₀₀ =	8.1 Inches	I ₁₀ =	6.0 Inches
I ₅₀ =	7.4 Inches	I ₅ =	5.4 Inches
I ₂₅ =	6.8 Inches	I ₂ =	4.7 Inches

L1 = 175 feet
n1 = 0.02 Earth, straight and uniform ditch
S1 = 0.01 ft/ft
I_{assumed} = 6.80 inches
T_{calculated} = 220 seconds
T_{calculated} = 3.66 minutes

Calculated Tc values - Drainage Basin 4

$$T_c = \frac{56 * L^{0.6} * n^{0.6}}{i^{0.4} * S^{0.3}} \text{ seconds}$$

L1 = 491 feet
n1 = 0.045 Grass, some weeds
S1 = 0.028 ft/ft
I_{assumed} = 7.70 inches
T_{calculated} = 463 seconds
T_{calculated} = 7.72 minutes

Tc = 7.72 minutes
I = 7.70 inches

Use Tc = 7.70 minutes

I ₁₀₀ =	9.1 Inches	I ₁₀ =	6.9 Inches
I ₅₀ =	8.8 Inches	I ₅ =	6.1 Inches
I ₂₅ =	7.7 Inches	I ₂ =	5.2 Inches

Stormwater Calcs - 23738 I-30 N
using Rational Method

Pre-development

Calculated C values - Drainage Basin 1

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.02	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual)
Asphalt	0.03	0.95	0.9	0.86	0.81	0.77	0.73	Developed - Concrete/Roof -Table 400-2
Grass	2.79	0.51	0.48	0.44	0.41	0.38	0.35	Developed - Asphaltic -Table 400-2
Total	2.84	0.52	0.49	0.45	0.42	0.39	0.36	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2

Calculated C values - Drainage Basin 2

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.14	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual)
Asphalt	0.21	0.95	0.9	0.86	0.81	0.77	0.73	Developed - Concrete/Roof -Table 400-2
Grass	3.42	0.51	0.48	0.44	0.41	0.38	0.35	Developed - Asphaltic -Table 400-2
Total	3.77	0.50	0.47	0.43	0.40	0.37	0.35	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2

Calculated C values - Drainage Basin 3

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Roof	0.10	0.97	0.92	0.88	0.83	0.8	0.75	(C values taken from Bryant Drainage Manual)
Grass	6.03	0.51	0.48	0.44	0.41	0.38	0.35	Developed - Concrete/Roof -Table 400-2
Total	6.13	0.52	0.49	0.45	0.42	0.39	0.36	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2

Calculated C values - Drainage Basin 4

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	
Grass	2.71	0.51	0.48	0.44	0.41	0.38	0.35	(C values taken from Bryant Drainage Manual)
Total	2.71	0.51	0.48	0.44	0.41	0.38	0.35	Undeveloped - Pasture/Range - Average, 2-7% - Table 400-2

Stormwater Calcs - 23738 I-30 N
 using Rational Method

Post-development

Calculated C values - Drainage Basin 1

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.41	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Grass	1.57	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	0.81	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Total	2.79	0.59	0.53	0.49	0.42	0.38	0.35	

Calculated C values - Drainage Basin 2

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.11	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Grass	2.24	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	0.39	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Asphalt	0.20	0.95	0.90	0.86	0.81	0.77	0.73	Developed - Asphaltic - Table 400-2
Total	2.94	0.54	0.49	0.45	0.40	0.37	0.33	

Calculated C values - Drainage Basin 3

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	1.34	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Asphalt	0.25	0.95	0.90	0.86	0.81	0.77	0.73	Developed - Asphaltic - Table 400-2
Grass	2.83	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Gravel	2.33	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Total	6.74	0.64	0.58	0.54	0.46	0.42	0.38	

Calculated C values - Drainage Basin 4

	Area	C ₁₀₀	C ₅₀	C ₂₅	C ₁₀	C ₅	C ₂	(C values taken from Bryant Drainage Manual)
Concrete/Roof	0.35	0.97	0.92	0.88	0.83	0.8	0.75	Developed - Concrete/Roof -Table 400-2
Gravel	1.81	0.65	0.55	0.50	0.35	0.30	0.25	Streets - Gravel -Table 2.2 City of Little Rock Drainage Manual
Grass	0.81	0.46	0.42	0.39	0.35	0.32	0.29	Developed - Good Condition (larger than 75% cover of the area) - Average, 2 to 7% - Table 400-2
Total	2.97	0.64	0.56	0.51	0.41	0.36	0.32	

Stormwater Calcs -23738 I-30 N
using Rational Method

Pre-development

Drainage Basin 1

Q₁₀₀ = 12.06 CFS
c = 0.52
i = 8.20 in/hr
A = 2.84 acres

Q₃₀ = 10.52 CFS
c = 0.49
i = 7.60 in/hr
A = 2.84 acres

Q₂₅ = 8.77 CFS
c = 0.45
i = 6.90 in/hr
A = 2.84 acres

Q₁₀ = 7.11 CFS
c = 0.42
i = 6.00 in/hr
A = 2.84 acres

Q₅ = 6.05 CFS
c = 0.39
i = 5.50 in/hr
A = 2.84 acres

Q₂ = 4.76 CFS
c = 0.36
i = 4.70 in/hr
A = 2.84 acres

Drainage Basin 2

Q₁₀₀ = 14.10 CFS
c = 0.50
i = 7.50 in/hr
A = 3.77 acres

Q₃₀ = 12.04 CFS
c = 0.47
i = 6.80 in/hr
A = 3.77 acres

Q₂₅ = 9.77 CFS
c = 0.43
i = 6.00 in/hr
A = 3.77 acres

Q₁₀ = 8.35 CFS
c = 0.40
i = 5.50 in/hr
A = 3.77 acres

Q₅ = 6.92 CFS
c = 0.37
i = 4.90 in/hr
A = 3.77 acres

Q₂ = 5.47 CFS
c = 0.35
i = 4.20 in/hr
A = 3.77 acres

Drainage Basin 3

Q₁₀₀ = 25.70 CFS
c = 0.52
i = 8.10 in/hr
A = 6.13 acres

Q₃₀ = 22.10 CFS
c = 0.49
i = 7.40 in/hr
A = 6.13 acres

Q₂₅ = 18.64 CFS
c = 0.45
i = 6.80 in/hr
A = 6.13 acres

Q₁₀ = 15.33 CFS
c = 0.42
i = 6.00 in/hr
A = 6.13 acres

Q₅ = 12.81 CFS
c = 0.39
i = 5.40 in/hr
A = 6.13 acres

Q₂ = 10.27 CFS
c = 0.36
i = 4.70 in/hr
A = 6.13 acres

Drainage Basin 4

Q₁₀₀ = 12.58 CFS
c = 0.51
i = 9.10 in/hr
A = 2.71 acres

Q₃₀ = 11.45 CFS
c = 0.48
i = 8.80 in/hr
A = 2.71 acres

Q₂₅ = 9.18 CFS
c = 0.44
i = 7.70 in/hr
A = 2.71 acres

Q₁₀ = 7.67 CFS
c = 0.41
i = 6.90 in/hr
A = 2.71 acres

Q₅ = 6.28 CFS
c = 0.38
i = 6.10 in/hr
A = 2.71 acres

Q₂ = 4.93 CFS
c = 0.35
i = 5.20 in/hr
A = 2.71 acres

Total 64.44 CFS

56.11 CFS

46.36 CFS

38.46 CFS

32.05 CFS

25.44 CFS

Post-development

Drainage Basin 1

Q₁₀₀ = 13.50 CFS
c = 0.59
i = 8.20 in/hr
A = 2.79 acres

Q₃₀ = 11.12 CFS
c = 0.53
i = 7.50 in/hr
A = 2.79 acres

Q₂₅ = 9.51 CFS
c = 0.49
i = 6.90 in/hr
A = 2.79 acres

Q₁₀ = 7.04 CFS
c = 0.42
i = 6.00 in/hr
A = 2.79 acres

Q₅ = 5.90 CFS
c = 0.38
i = 5.50 in/hr
A = 2.79 acres

Q₂ = 4.54 CFS
c = 0.35
i = 4.70 in/hr
A = 2.79 acres

Drainage Basin 2

Q₁₀₀ = 12.33 CFS
c = 0.54
i = 7.80 in/hr
A = 2.94 acres

Q₃₀ = 10.06 CFS
c = 0.49
i = 7.00 in/hr
A = 2.94 acres

Q₂₅ = 8.43 CFS
c = 0.45
i = 6.30 in/hr
A = 2.94 acres

Q₁₀ = 6.81 CFS
c = 0.40
i = 5.80 in/hr
A = 2.94 acres

Q₅ = 5.38 CFS
c = 0.37
i = 5.00 in/hr
A = 2.94 acres

Q₂ = 4.20 CFS
c = 0.33
i = 4.30 in/hr
A = 2.94 acres

Drainage Basin 3

Q₁₀₀ = 35.21 CFS
c = 0.64
i = 8.10 in/hr
A = 6.74 acres

Q₃₀ = 29.02 CFS
c = 0.58
i = 7.40 in/hr
A = 6.74 acres

Q₂₅ = 24.86 CFS
c = 0.54
i = 6.80 in/hr
A = 6.74 acres

Q₁₀ = 18.69 CFS
c = 0.46
i = 6.00 in/hr
A = 6.74 acres

Q₅ = 15.46 CFS
c = 0.42
i = 5.40 in/hr
A = 6.74 acres

Q₂ = 12.15 CFS
c = 0.38
i = 4.70 in/hr
A = 6.74 acres

Drainage Basin 4

Q₁₀₀ = 17.19 CFS
c = 0.64
i = 9.10 in/hr
A = 2.97 acres

Q₃₀ = 14.59 CFS
c = 0.56
i = 8.80 in/hr
A = 2.97 acres

Q₂₅ = 11.77 CFS
c = 0.51
i = 7.70 in/hr
A = 2.97 acres

Q₁₀ = 8.33 CFS
c = 0.41
i = 6.90 in/hr
A = 2.97 acres

Q₅ = 6.60 CFS
c = 0.36
i = 6.10 in/hr
A = 2.97 acres

Q₂ = 4.94 CFS
c = 0.32
i = 5.20 in/hr
A = 2.97 acres

Total 78.22 CFS

64.78 CFS

54.57 CFS

40.87 CFS

33.35 CFS

25.82 CFS

Detention Volume

Pond-1 for Q100	
Cundev=	0.52
lundev=	8.20 in/hr
Cdev=	0.59
ldev=	8.20 in/hr
R=	0.592
A=	2.79 acres
Tc=	10.00 minutes
	60 sec/min
Detention Volume=	991 cubic feet

Pond-2 for Q100	
Cundev=	0.50
lundev=	7.50 in/hr
Cdev=	0.54
ldev=	7.80 in/hr
R=	0.453
A=	2.94 acres
Tc=	13.20 minutes
	60 sec/min
Detention Volume=	1056 cubic feet

Pond-3 for Q100	
Cundev=	0.52
lundev=	8.10 in/hr
Cdev=	0.64
ldev=	8.10 in/hr
R=	1.031
A=	6.74 acres
Tc=	10.50 minutes
	60 sec/min
Detention Volume=	4,378 cubic feet

Pond-4 for Q100	
Cundev=	0.51
lundev=	9.10 in/hr
Cdev=	0.64
ldev=	9.10 in/hr
R=	1.146
A=	2.97 acres
Tc=	7.70 minutes
	60 sec/min
Detention Volt	1,572 cubic feet

Stormwater Calcs - 23738 I-30 N
using Rational Method
Ditch Detention Volume

Required Detention Volume = 4378.204 cft

Ditch Bottom	1	ft
Ditch Height	3	ft
Ditch Slope	3	:1
Ditch Top	19	ft
Ditch Cross Sectional Area	30	sft

EAST Side

Ditch Length 320 ft
 Ditch Volume 4800 cft

Total Volume = 4837.5 cft

Required Detention Volume = 0 cft

Ditch Bottom	0	ft
Ditch Height	0.5	ft
Ditch Slope	3	:1
Ditch Top	3	ft
Ditch Cross Sectional Area	0.75	sft

EAST Side

Ditch Length 100 ft
 Ditch Volume 37.5 cft

Stormwater Calcs - 23738 I-30 N
 using Rational Method
 Weir-1 Sizing

Storm Event	Flow (cfs)
Q2 - Pre	10.27
Q10 - Pre	15.33
Q25 - Pre	18.64
Q100 - Pre	25.70
Q2 - Post	12.15
Q10 - Post	18.69
Q25 - Post	24.86
Q100 - Post	35.21

Rectangular Weir

Q100

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	3
Q (cfs)	24.90

23 INCHES

Q25

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	2.4
Q (cfs)	17.82

23 INCHES

Q10

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	2.1
Q (cfs)	14.58

23 INCHES

Q2

Q (cfs)	CLH ^{1.5}
C	2.5
L	1.917
H	1.6
Q (cfs)	9.70

23 INCHES

CUSTOM ADVERTISING OFFICE & SHOPS ADDITION BRYANT, ARKANSAS

Prepared by:

GarNat Engineering, LLC

Designing our client's success

www.garnatengineering.com

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Benton, AR 72018
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3825 Mt Carmel Road
Bryant, AR 72022
Fx (888) 900-3068



ARKANSAS



10-5-2022



DRAWING INDEX:

G1.0	GENERAL NOTES
V1.0	CUSTOM ADVERTISING SUBDIVISION - FINAL PLAT
C1.0	SITE PLAN
C1.1	SITE DETAILS
C2.0	UTILITY PLAN
C2.1	FORCE MAIN PROFILE
C2.2	MYERS LIFT STATION DETAILS
C3.0	GRADING & DRAINAGE PLAN
C3.1	GRADING & DRAINAGE PROFILES
C3.2	OUTLET STRUCTURE
C4.0	EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES & DETAILS

ARDOT INDEX:

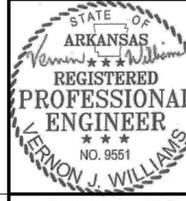
TEC-1	TEMPORARY EROSION CONTROL DEVICES
WR-2	WHEEL CHAIR RAMPS

A	B	C	D	E	F
1. SAFETY		7. STRUCTURES		11. SUBSTITUTIONS	
1.1. JOBSITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE GENERAL CONTRACTOR.		7.1. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT IN TO INVERT OUT.		11.1. SUBSTITUTIONS ARE NOT ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER.	
1.2. THIS RESPONSIBILITY COVERS THEIR OWN WORK FORCE, ALL SUBCONTRACTORS, VISITING PERSONNEL, OFFICIALS, AND THE GENERAL PUBLIC WHICH MAY HAVE ACCESS TO THE JOBSITE.		7.2. BEDDING FOR STORM STRUCTURES SHALL CONSIST OF A MINIMUM OF 6-INCHES OF COMPACTED #57 STONE ON TOP OF COMPACTED SUBGRADE.		12. ENVIRONMENTAL	
1.3. THE CONTRACTOR SHALL EXERCISE COMPLETE CONTROL OVER WHO HAS ACCESS TO THE JOBSITE TO ENSURE JOBSITE SAFETY.		7.3. AREAS EXPOSED BY EXCAVATION OR STRIPPING AND ON WHICH SUBGRADE PREPARATIONS ARE TO BE PERFORMED SHALL BE SCARIFIED TO MINIMUM DEPTH OF 0'-8" AND COMPACTED TO MINIMUM OF 95% OPTIMUM DENSITY. ANY AREAS THAT FAIL COMPACTION ARE TO BE STABILIZED AS DIRECTED BY THE ENGINEER.		12.1. THE CONTRACTOR IS TO MEET ALL ENVIRONMENTAL REQUIREMENTS OF THE OWNER AND ANY REGULATORY AGENCY HAVING AUTHORITY OVER THIS SITE.	
1.4. THE CONTRACTOR SHALL CONFORM TO ALL SECURITY AND SAFETY REQUIREMENTS OF THE OWNER.		8. PRIOR TO PLACING FILL IN LOW AREAS, SUCH AS PREVIOUSLY EXISTING CREEKS, PONDS, OR LAKES, PERFORM FOLLOWING PROCEDURES:		12.2. THE CONTRACTOR IS TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) FOR CONTROL OF EROSION DURING ALL CONSTRUCTION PHASES OF THIS PROJECT.	
1.5. ANY SAFETY OR OTHER TRAINING REQUIRED BY THE OWNER FOR THE WORK FORCE MUST BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.		8.1. DRAIN WATER OUT BY GRAVITY WITH DITCH HAVING FLOW LINE LOWER THAN LOWEST ELEVATION IN LOW AREA. IF DRAINAGE CANNOT BE PERFORMED BY GRAVITY DITCH, USE ADEQUATE PUMP TO OBTAIN THE SAME RESULTS.		12.3. MINIMUM BMP'S REQUIRED FOR THE PROJECT ARE LISTED ON SHEET THESE PLANS. CONTRACTOR SHALL PROVIDE THESE BMP'S AND ANY OTHERS REQUIRED FOR THE PROJECT.	
2. PERMITS		8.2. AFTER DRAINAGE OF LOW AREA IS COMPLETE, REMOVE MULCH, MUD DEBRIS, AND OTHER UNSUITABLE MATERIAL BY USING ACCEPTABLE EQUIPMENT AND METHODS THAT WILL KEEP NATURAL SOILS UNDERLYING LOW AREA DRY AND UNDISTURBED.		12.4. IF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR THE CONSTRUCTION PHASE OF THIS PROJECT, THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS FOR EROSION CONTROL INCLUDED IN THE SWPPP DOCUMENTS.	
2.1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AS REQUIRED BY REGULATING AUTHORITIES OR BY THE OWNER. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE TERMS AND CONDITIONS ASSOCIATED WITH EACH REQUIRED PERMIT, AS WELL AS ADHERING TO THE RULES AND REGULATIONS OF EACH REGULATING AUTHORITY		9. UTILITIES		12.5. CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF ACCUMULATED TRASH AND DEBRIS. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING MEASURES TO AVOID TRACKING OF MUD, DIRT, ROCKS, AND DEBRIS ONTO AREAS OUTSIDE THE PROJECT AREA. CONTRACTOR SHALL CLEAN PAVEMENTS WHEN NECESSARY OR AS OTHERWISE DIRECTED, AND SHALL CONTROL DUST BY SWEEPING AND WATERING AS NEEDED. DE-TRACKING MAY BE REQUIRED AT ALL ENTRANCES.	
3. CONTRACT DOCUMENTS		9.1. AN ATTEMPT HAS BEEN MADE TO APPROXIMATELY LOCATE UTILITIES ON THE DRAWINGS.		13. FINAL SITE CONDITIONS	
3.1. ALL WORK SHALL CONFORM TO THE PLANS, THESE NOTES, AND SPECIFICATIONS IN ALL RESPECTS AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.		9.2. UTILITIES SHOWN ON THE DRAWINGS WERE LOCATED BY VISUAL OBSERVATION, AND BY TRANSCRIBING FROM RECORD MAPS AND PLANS.		13.1. ALL DISTURBED AREAS NOT RECEIVING PAVEMENT OR LANDSCAPING SHALL HAVE VEGETATION ESTABLISHED AT TIME OF FINAL INSPECTION.	
4. INDEMNITY		9.3. NO EXCAVATIONS WERE MADE TO CONFIRM SUB-SURFACE UTILITIES. NEITHER THE SURVEYOR NOR PROJECT ENGINEER GUARANTEES THAT ALL UTILITIES HAVE BEEN SHOWN, OR THAT THOSE SHOWN ARE FULLY ACCURATE.		13.2. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPE 2H:1V OR STEEPER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.	
4.1. BY ACCEPTING THE CONTRACT FOR THIS WORK, THE CONTRACTOR, AT THEIR OWN EXPENSE AND RISK, HEREBY RELEASES AND AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS THE OWNER, GARNAT ENGINEERING, THEIR OFFICERS, AGENTS, EMPLOYEES, CONSULTANTS, AND REPRESENTATIVES FOR DAMAGE TO THE PROPERTY OR INJURY TO, OR DEATH, OF ANY PERSONS, FROM ANY AND ALL CLAIMS, DEMANDS, ACTIONS OF ANY KIND WHATSOEVER ARISING OUT OF AND IN CONNECTION WITH THE AGREEMENT OR PROSECUTION OF WORK UNDER IT, WHETHER SUCH CLAIMS, DEMANDS, ACTIONS, OR LIABILITY ARE CAUSED BY THE CONTRACTOR, ITS AGENTS, EMPLOYEES, SUBCONTRACTORS, PRODUCTS INSTALLED ON THE PROJECT OR CAUSED BY ANY OTHER PARTY.		9.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS AND/OR RELOCATION OF EXISTING UTILITIES THAT ARE DAMAGED AS A RESULT OF WORK OF THIS PROJECT.		13.3. ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.	
5. CONSTRUCTION PROCEDURES, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING STANDARDS UNLESS OTHERWISE MODIFIED ON THE DRAWINGS OR IN THESE NOTES OR SPECIFICATIONS.		9.5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROPERLY DISCONNECTING, ABANDONING, RELOCATING, AND/OR ADJUSTING ALL AFFECTED UTILITIES WITHIN THE PROJECT AREA.		13.4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS	
5.1. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION - ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT		9.6. ALL UTILITY WORK SHALL BE COORDINATED AND EXECUTED IN ACCORDANCE WITH THE OWNER AND/OR GOVERNING UTILITY COMPANY CODES, SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.		13.5. UPON PARTIAL OR FINAL COMPLETION OF GRADING WORK, SPREAD TOPSOIL, SEED, FERTILIZER, AND MULCH IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE STORM WATER POLLUTION PREVENTION PLAN.	
5.2. INTERNATIONAL BUILDING CODE		9.7. DESIGN AND ALIGNMENT OF UNDERGROUND TELEPHONE, TV CABLE, GAS AND ELECTRIC SERVICES SHALL BE PROVIDED BY THE INDIVIDUAL UTILITIES AND ARE NOT NECESSARILY SHOWN WITH THESE PLANS. CONTRACTOR SHALL PROVIDE CONDUITS SIZED TO ACCOMMODATE UTILITY ROUTING WITH PULL STRINGS WHERE NECESSARY.			
5.3. ACI 315 MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES		9.8. CONTRACTOR TO PROVIDE ALL NECESSARY APPURTENANCES NECESSARY FOR COMPLETE UTILITY SERVICES WHICH ARE NOT PROVIDED BY THE UTILITY COMPANY.			
5.4. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING STEEL.		10. DISPOSAL OF DEBRIS, WASTE OR SPOIL			
6. SITE		10.1. BURNING OF DEBRIS AND WASTE IS NOT ALLOWED. CONTRACTOR MAY BE REQUIRED TO PROPERLY HAUL AWAY AND DISPOSE OF ANY WASTE MATERIAL REMOVED FROM THE SITE.			
6.1. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.		10.2. ANY WASTE OR SPOIL MATERIAL WHICH IS EXCAVATED FROM THE JOB SITE IS TO BE DISPOSED OF AS DIRECTED BY THE ENGINEER OR OWNER.			
6.2. CONTRACTOR IS NOT TO PERFORM WORK BEYOND THE DESIGNATED WORK LIMITS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNER.		10.3. REMOVAL AND DISPOSAL OF EXCAVATED WASTE MATERIAL IS CONSIDERED SUBSIDIARY TO ALL OTHER ITEMS IN THE PROJECT, AND WILL NOT BE PAID FOR SEPARATELY.			
6.3. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.		10.4. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIAL REMOVED FROM THIS SITE.			
6.4. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL ITEMS, SHOWN TO BE REMOVED OR RELOCATED AND NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE REQUIRED TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.		10.5. CONTRACTOR SHALL REMOVE FROM SITE AND DISPOSE OF MATERIAL ENCOUNTERED IN GRADING OPERATIONS THAT, IN OPINION OF THE ENGINEER, IS UNSUITABLE OR UNDESIRABLE FOR BACKFILLING OR SUBGRADE PURPOSES. DISPOSE OF IN A MANNER SATISFACTORY TO ENGINEER. BACKFILL UNDERCUT AREAS WITH LAYERS OF SUITABLE MATERIAL AND COMPACT AS SPECIFIED HEREIN.			
6.5. CONTRACTOR TO ADJUST ALL EXISTING AND PROPOSED MANHOLES, VALVE BOXES, ETC. TO FINISH GRADE, WHERE REQUIRED.					

BY					
REVISION					
DATE					

Designing our client's success
GarNat Engineering, LLC
P.O. Box 116 (72018) Ph (501) 408-4650
2909 Military Road Fx (888) 900-3068
Benton, Arkansas 72015 garmatengineering@gmail.com

**CUSTOM ADVERTISING
OFFICE & SHOPS ADDITION
BRYANT, ARKANSAS**



10-5-2022

CONTENTS:

GENERAL NOTES

PROJECT NO:
21069

DATE:
JULY 2021

SHEET NO:

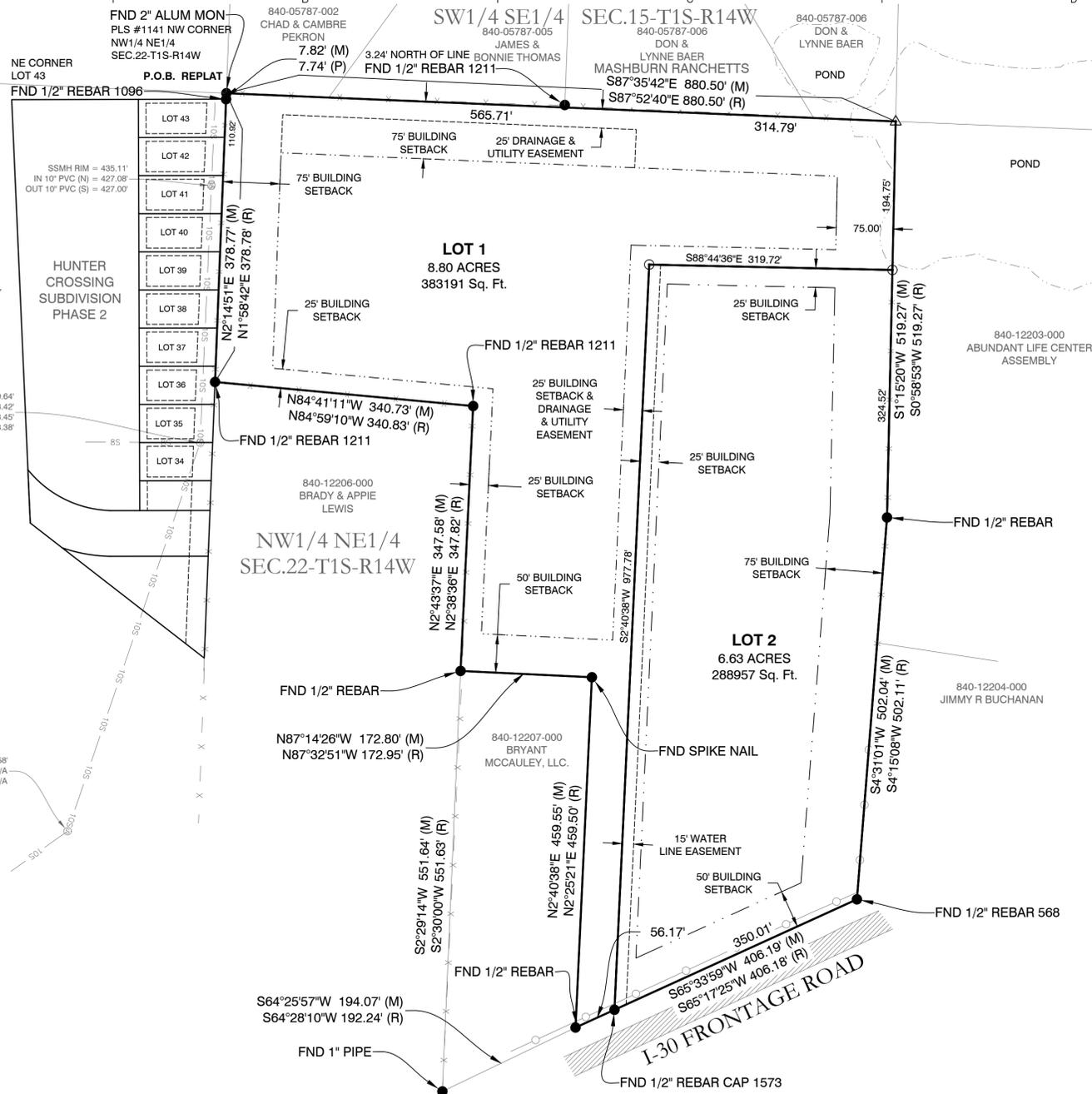
G1.0

SE1/4 SW1/4
SEC.15-T1S-R14W

NE1/4 NW1/4
SEC.22-T1S-R14W

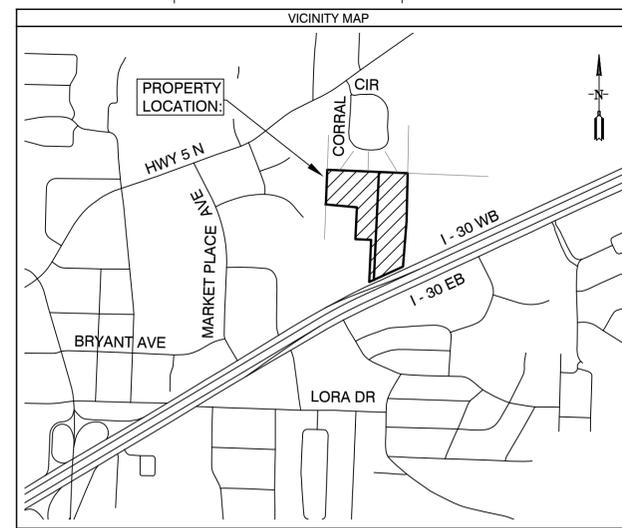
SW1/4 SE1/4
SEC.15-T1S-R14W

NW1/4 NE1/4
SEC.22-T1S-R14W



PROPERTY SPECIFICATIONS:	
ZONING CLASSIFICATION:	C-3
LOT SIZE:	320,404 SQUARE FEET
NUMBER OF LOTS:	1
SOURCE OF WATER:	CITY OF BRYANT
SOURCE OF SEWER:	CITY OF BRYANT
BUILDING SETBACKS:	
FRONT:	50'
REAR:	75'
SIDE:	25' OR AS SHOWN
LOT CORNERS:	SET #4 REBAR WITH CAP

SURVEY LEGEND	
△	Computed point
●	Found monument
○	Set #4 RB/Plas. Cap
(M)	Measured
(R)	Record
(P)	Platted



PROPERTY DESCRIPTION:

OVERALL SUBDIVISION DESCRIPTION
PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A FOUND 2" ALUMINUM MONUMENT PLS#1141 FOR THE NORTHWEST CORNER OF THE SAID NW1/4 NE1/4; THENCE S87°35'42"E - 880.50 FEET ALONG THE NORTH LINE THEREOF TO A COMPUTED POINT WHICH FALLS IN AN EXISTING POND THEREOF; THENCE LEAVING SAID NORTH LINE S1°15'20"W - 519.27 FEET TO A FOUND 1/2" REBAR; THENCE S4°31'01"W - 502.04 FEET TO A FOUND 1/2" REBAR W/CAP 568 LOCATED ON THE NORTHERLY RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD; THENCE ALONG SAID RIGHT OF WAY S65°33'59"W - 406.19 FEET TO 1/2" REBAR; ; THENCE LEAVING SAID RIGHT OF WAY N2°40'38"E - 459.55 FEET TO A FOUND SPIKE NAIL; THENCE N87°14'26"W - 172.80 FEET TO A FOUND 1/2" REBAR; THENCE N2°43'37"E - 347.58 FEET TO A FOUND 1/2" REBAR W/CAP 1211; THENCE N84°41'11"W - 340.73 FEET TO A FOUND 1/2" REBAR W/CAP #1211 LOCATED ON THE WEST LINE OF THE SAID NW1/4 NE1/4; THENCE ALONG SAID WEST LINE N2°14'51"E - 378.77 FEET TO THE POINT OF BEGINNING, CONTAINING 15.43 ACRES, MORE OR LESS. SUBJECT TO ANY EXISTING EASEMENTS AND THE RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD.

DOCUMENTS USED:

- DEED BOOK 1998 PAGE 11732 QCD WILLIAMS
- PREVIOUS SURVEY BY BROWN DATED 9/14/08
- NEIGHBORING SURVEY BY RASBURY DATED 2/4/05

BASIS OF BEARINGS:

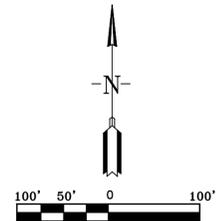
BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 17, 2021.

THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.

THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.



SURVEY PLAT CODE:
500-01S-14W-0-22-140-62-1573



09-26-2022

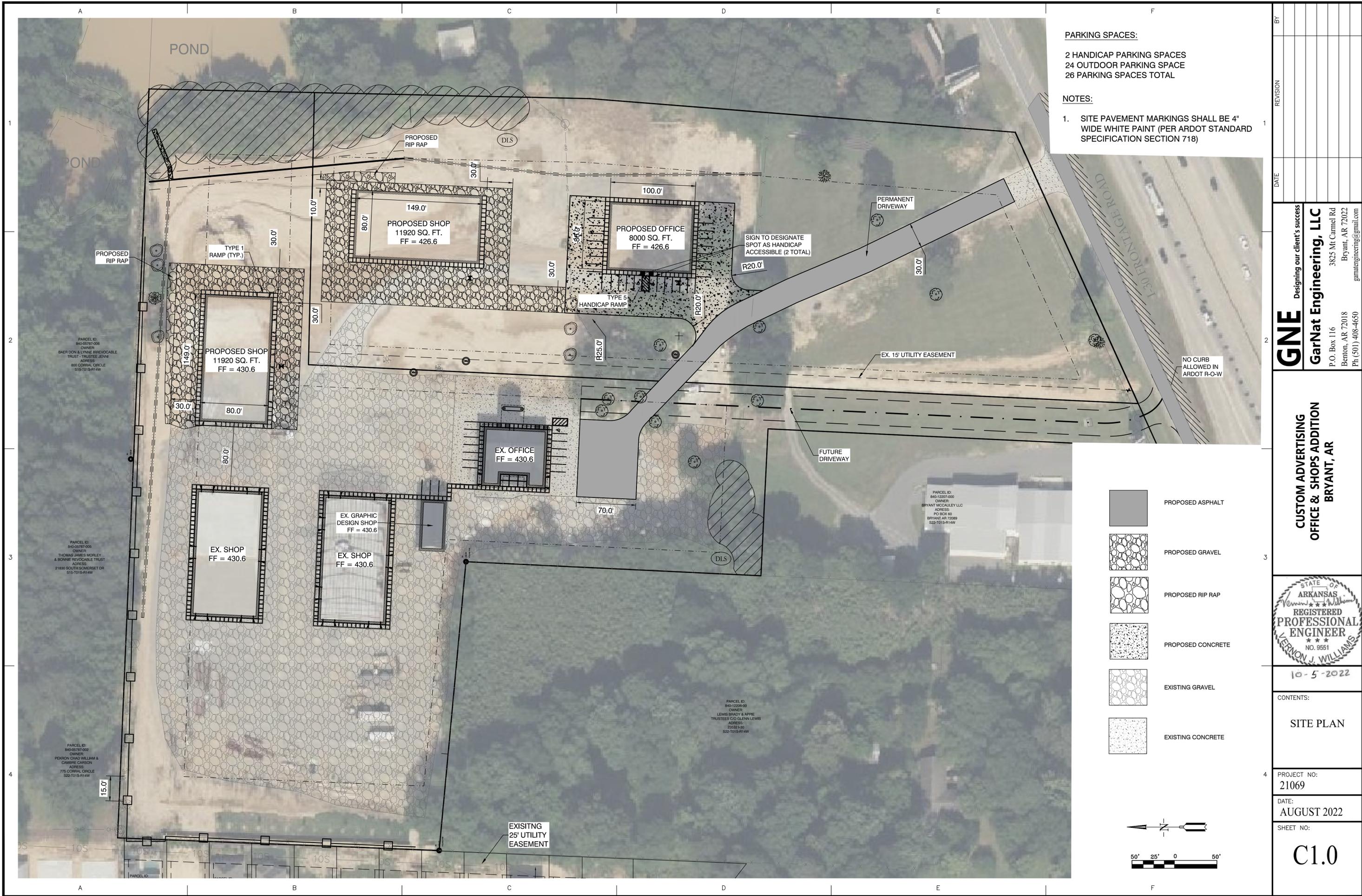
**FINAL PLAT
CUSTOM ADVERTISING
SUBDIVISION TO THE
CITY OF BRYANT,
SALINE COUNTY, ARKANSAS**

PLAT CERTIFICATES:

<p>OWNER: Name: Northside Center LLC & So Diggin, Inc. d/b/a Custom Advertising of AR Address: P.O. Box 91, Alexander, AR 72002</p>	<p>DEVELOPER: Name: Northside Center LLC Address: P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF RECORDING: CERTIFICATE OF SURVEYING ACCURACY: I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on 9/26/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located. Date: _____ Signed: _____ George P. Wooden Registered Land Surveyor No. 1573, Arkansas</p>
<p>CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat. Date: _____ Signed: _____ William Smith P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF FINAL PLAT APPROVAL: Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____ All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations. Date: _____ Signed: _____ Rick Johnson, Chairman Bryant Planning Commission</p>	<p>CERTIFICATE OF ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with. Date: _____ Signed: _____ Vernon J. Williams Registered Professional Engineer No. 9551, Arkansas</p>

BY	
REVISION	
DATE	
<p>Designing our client's success GarNat Engineering, LLC 3825 Mt. Carmel Rd Bryant, AR 72022 garnatengineering@gmail.com</p>	
<p>FOR: CUSTOM ADVERTISING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST CITY OF BRYANT, ARKANSAS</p>	
<p>STATE OF ARKANSAS NO. 1573 SIGNATURE GEORGE P. WOODEN</p>	
<p>9-26-22</p>	
<p>CONTENTS: FINAL PLAT</p>	
PROJECT NO:	21069
DATE:	SEPT. 26 2022
SHEET NO:	V1.0

J:\Projects\2021 Projects\1569 23738 12-31-21 - Jimmy Prewitt\Survey\21069 CUSTOM ADVERTISING SUBDIVISION FINAL PLAT 23738 12-31-21 - Jimmy Prewitt-2021-090222.dwg



PARKING SPACES:
2 HANDICAP PARKING SPACES
24 OUTDOOR PARKING SPACE
26 PARKING SPACES TOTAL

NOTES:
1. SITE PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT (PER ARDOT STANDARD SPECIFICATION SECTION 718)

REVISION	DATE	BY

GNE Designing our client's success
GarNat Engineering, LLC
3825 Mt. Carmel Rd
Bryant, AR 72022
P.O. Box 116
Bryant, AR 72018
PH: (501) 408-4650
garnatengineering@gmail.com

**CUSTOM ADVERTISING
OFFICE & SHOPS ADDITION
BRYANT, AR**



10-5-2022

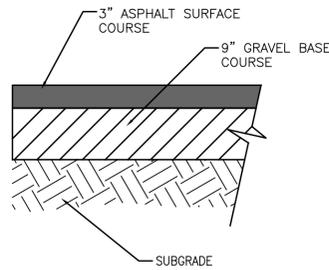
CONTENTS:
SITE PLAN

PROJECT NO:
21069

DATE:
AUGUST 2022

SHEET NO:
C1.0

I:\Projects\2022 Projects\21069 - 250' N - Jimmy Parker\Drawings\Office\Shop\Site Plan - SITE EDITION R2.dwg



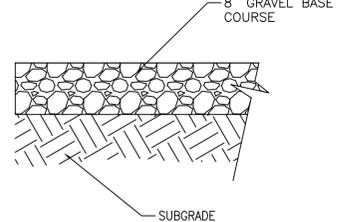
ASPHALT PAVING

NOT TO SCALE

NOTES:

- ASPHALT SURFACE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS OF SECTION 407 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- ASPHALT BINDER COURSE SHALL MEET MATERIAL & INSTALLATION REQUIREMENTS OF SECTION 406 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.

1



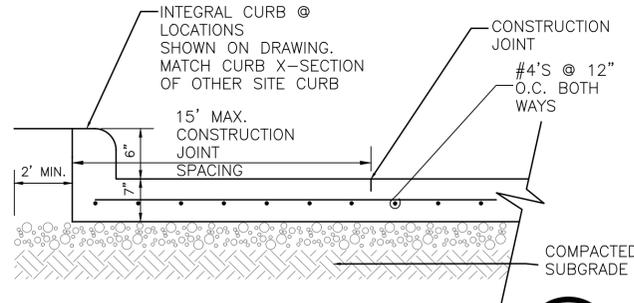
GRAVEL PAVING DETAIL

NOT TO SCALE

NOTES:

- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.
- CONTRACTOR TO REMOVE 8" OF MATERIAL TO REACH SUBGRADE.
- CONTRACTOR TO COORDINATE WITH OWNER'S GEOTECHNICAL ENGINEER ON APPROVAL OF SUBGRADE. SUBGRADE SHALL BE PROOF ROLLED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH GRAVEL BASE.

2



CONCRETE PAVING

NOT TO SCALE

NOTES:

- CONCRETE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS OF SECTION 501 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- REINFORCED STEEL SHALL MEET MATERIAL & INSTALLATION REQUIREMENTS OF SECTION 502 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION. USE OF EPOXY COATED STEEL IS NOT REQUIRED.
- GRAVEL BASE COURSE SHALL MEET MATERIAL AND INSTALLATION REQUIREMENTS FOR AHTD CLASS 7 AGGREGATE BASE COURSE IN SECTION 303 OF AHTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- SUBGRADE SHALL BE COMPACTED TO A UNIFORM DENSITY OF NOT LESS THAN 95% OF THE MODIFIED PROCTOR.

3



12" x 18" 0.080 ALUMINUM HANDICAP SYMBOL SIMILAR TO 09A345 SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS



6" x 12" VAN ACCESSIBLE SIGNAGE WHERE APPROPRIATE, SIMILAR TO 09A626 SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS

60" ABOVE WALKING SURFACE

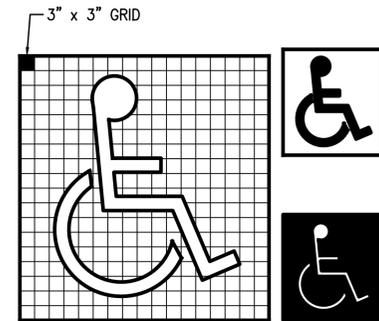
2 3/8" O.D. GALV. STEEL TUBING SIMILAR TO Q3C097, SARGENT-SOWELL, INC. GRAND PRARIE, TEXAS - ANCHOR 18" INTO CONCRETE

SIGN TO BE CENTERED ON HANDICAP PARKING SPACE

TYP. H.C. SIGN

NOT TO SCALE

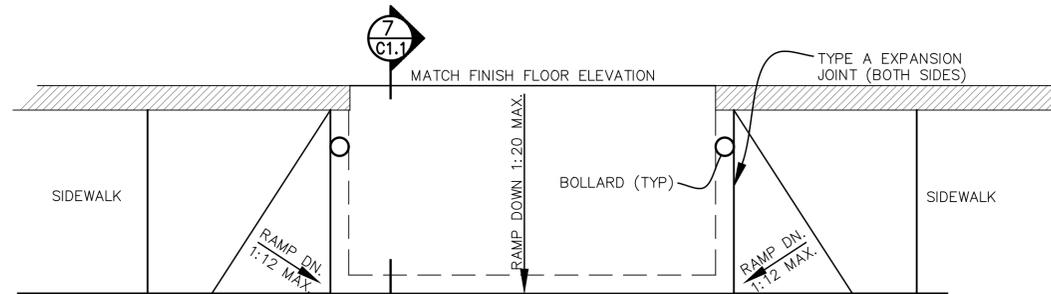
4



H.C. PAVEMENT EMBLEM

NOT TO SCALE

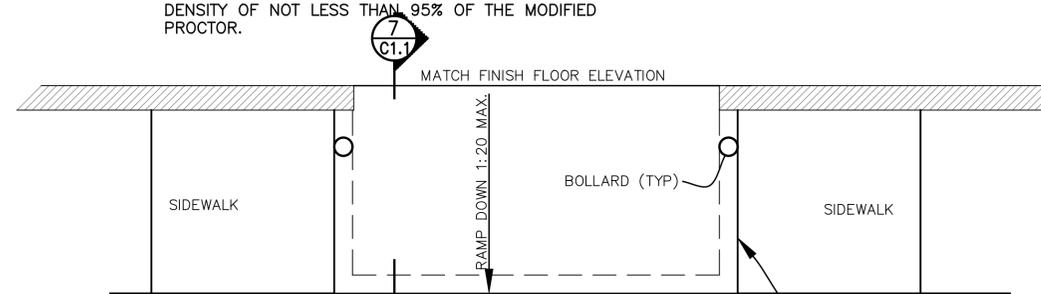
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APRON (TYPE 1)

NOT TO SCALE

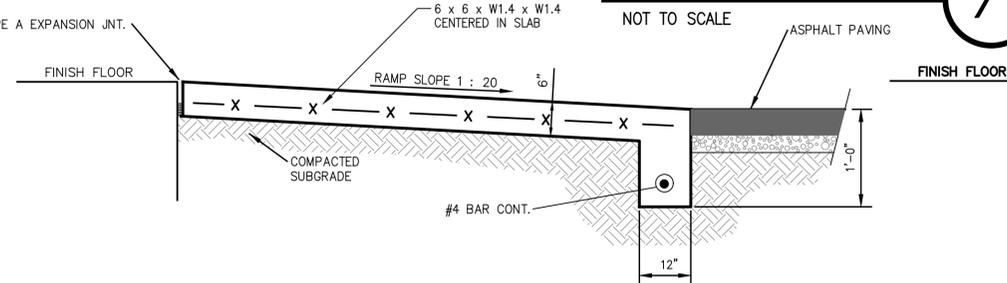
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APRON (TYPE 2)

NOT TO SCALE

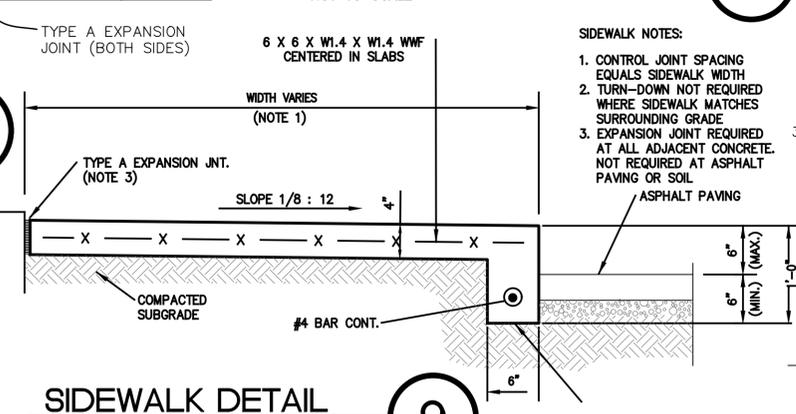
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SECTION AT APRON

NOT TO SCALE

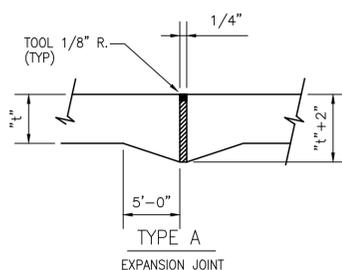
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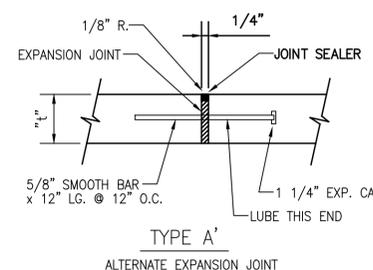
SIDEWALK DETAIL

NOT TO SCALE

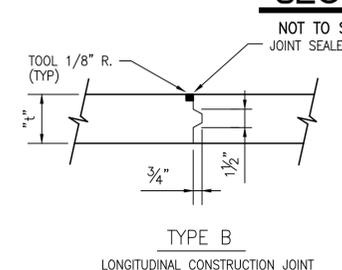
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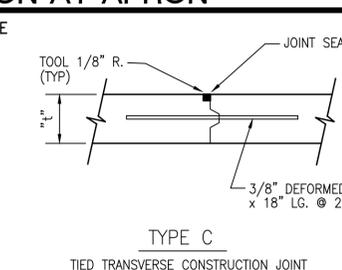
TYPE A EXPANSION JOINT



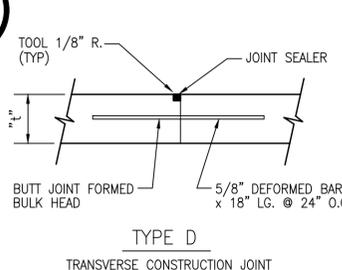
TYPE A' ALTERNATE EXPANSION JOINT



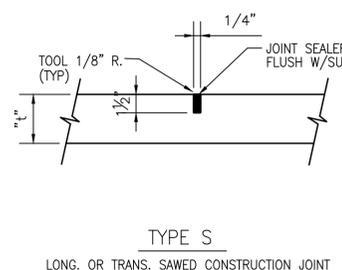
TYPE B LONGITUDINAL CONSTRUCTION JOINT



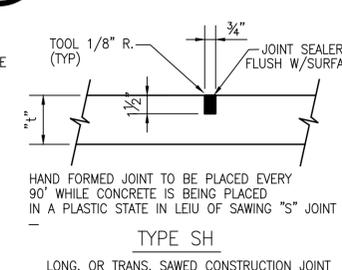
TYPE C TIED TRANSVERSE CONSTRUCTION JOINT



TYPE D TRANSVERSE CONSTRUCTION JOINT



TYPE S LONG. OR TRANS. SAWED CONSTRUCTION JOINT



TYPE SH LONG. OR TRANS. SAWED CONSTRUCTION JOINT

CONCRETE JOINTING DETAILS

NOT TO SCALE

10

NOTE: ALL JOINT SPACING NOT TO EXCEED 15'-0" INTERVALS

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10-5-2022

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 VERNON J. WILLIAMS
 NO. 9551

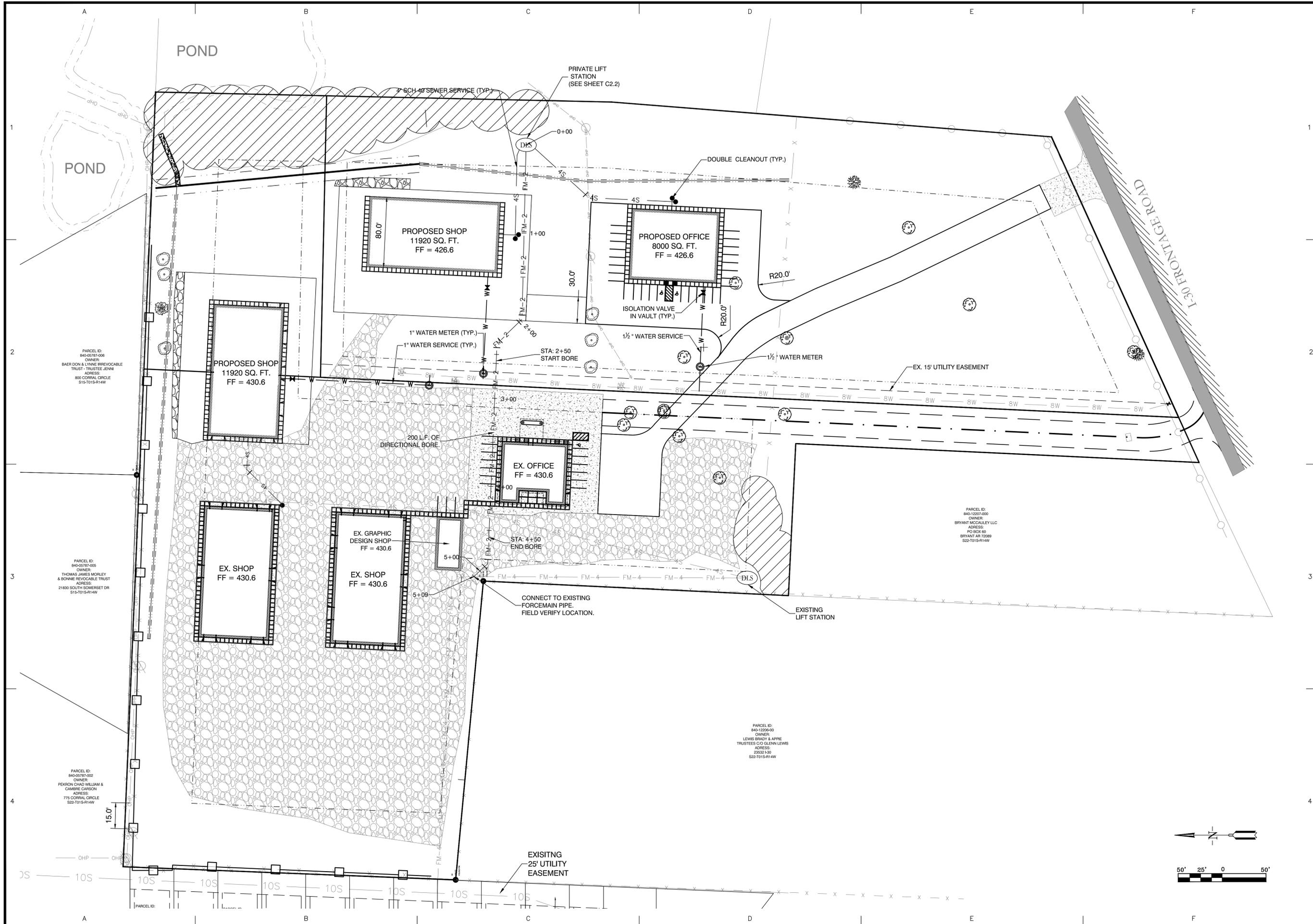
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21069

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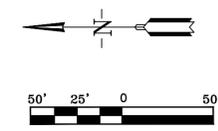
10-5-2022

CONTENTS:
 UTILITY PLAN

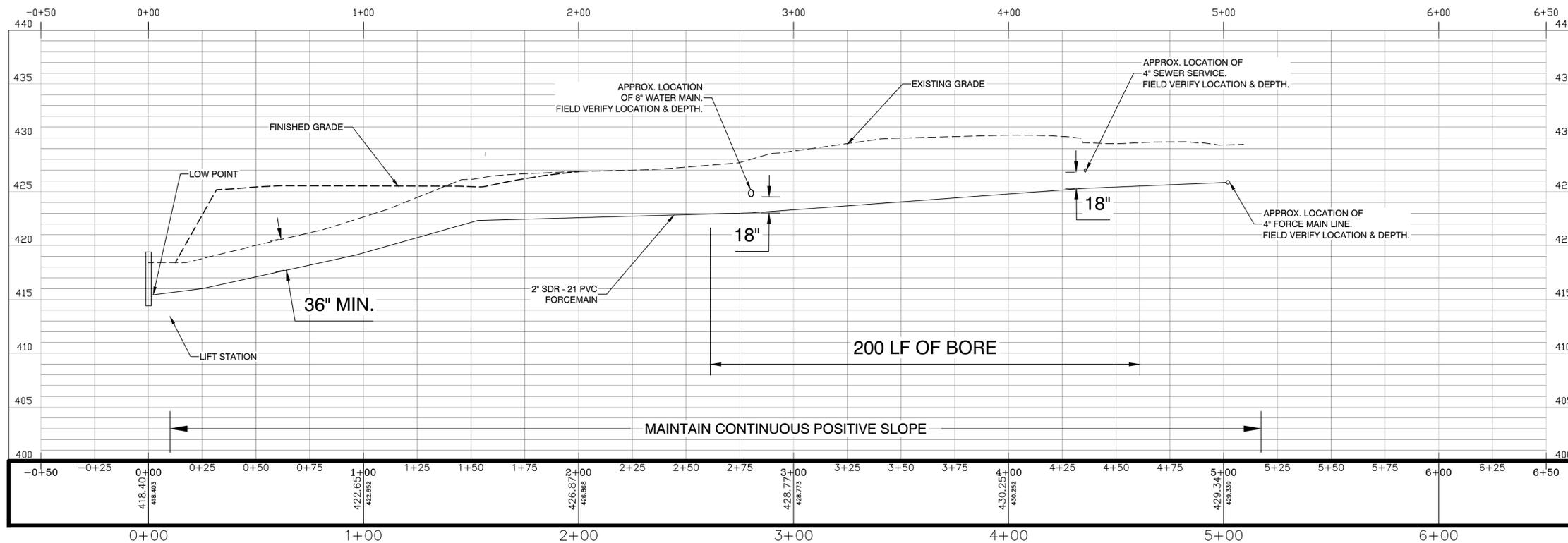
PROJECT NO:
 21069

DATE:
 AUGUST 2022

SHEET NO:
C2.0



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PROFILE

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AUGUST 2022

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C2.1

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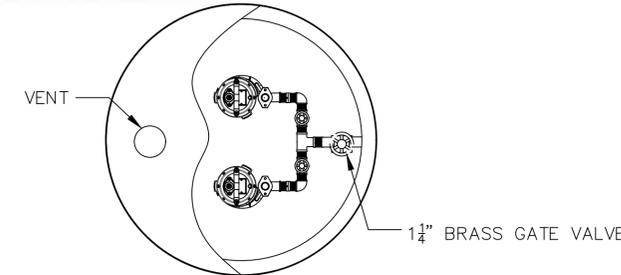
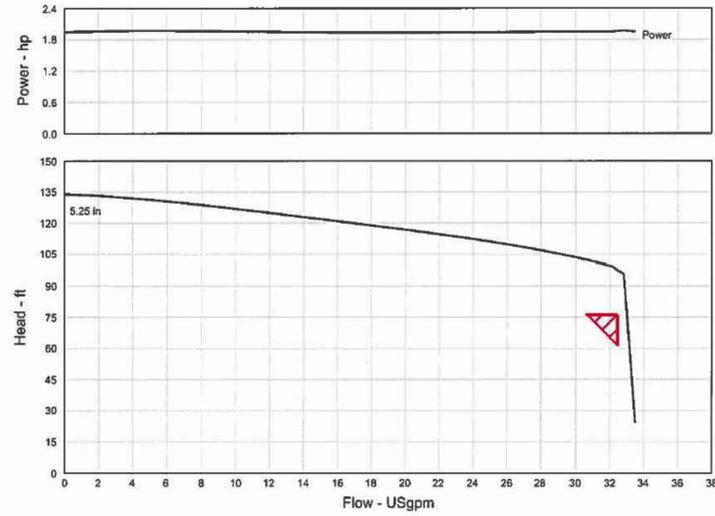


Customer :
Project name : Default

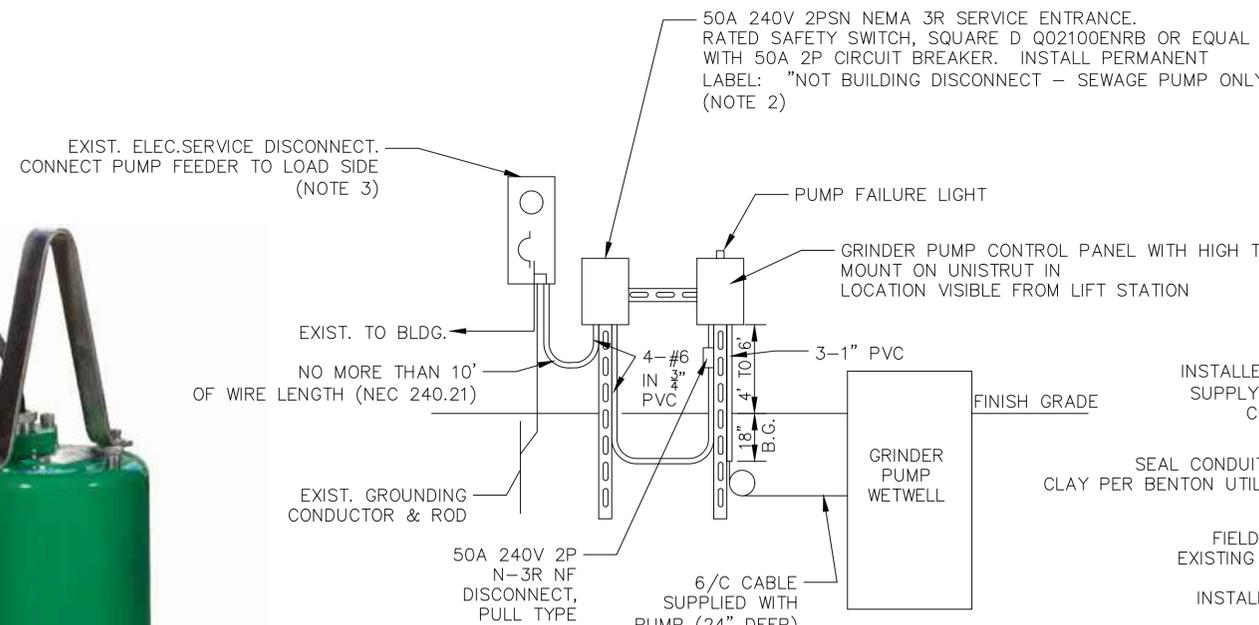
Pump Performance Datasheet
Encompass 2.0 - 17.0.3.0

Item number	: 014	Size	: Myers - VRS20
Service	:	Stages	: 1
Quantity	: 1	Based on curve number	: SUB_G_O_AH_00012_A_2 Rev 2016-12-07
Quote number	: 363843	Date last saved	: 16 Feb 2017 10:19 AM

Operating Conditions		Liquid	
Flow, rated	: 32.42 USgpm	Liquid type	: Water
Differential head / pressure, rated (requested)	: 76.23 ft	Additional liquid description	:
Differential head / pressure, rated (actual)	: 76.23 ft	Solids diameter, max	: 0.00 in
Suction pressure, rated / max	: 0.00 / 0.00 psi.g	Solids concentration, by volume	: 0.00 %
NPSH available, rated	: Ample	Temperature, max	: 68.00 deg F
Frequency	: 60 Hz	Fluid density, rated / max	: 1.000 / 1.000 SG
Performance		Viscosity, rated	: 1.00 cP
Speed, rated	: 3500 rpm	Vapor pressure, rated	: 0.34 psi.a
Impeller diameter, rated	: 5.25 in	Material	
Impeller diameter, maximum	: 5.25 in	Material selected	: Standard
Impeller diameter, minimum	: 5.25 in	Pressure Data	
Efficiency	: -	Maximum working pressure	: 57.99 psi.g
NPSH required / margin required	: - / 0.00 ft	Maximum allowable working pressure	: N/A
nq (imp. eye flow) / S (imp. eye flow)	: N/A Metric units	Maximum allowable suction pressure	: N/A
Minimum Continuous Stable Flow	: -	Hydrostatic test pressure	: N/A
Head, maximum, rated diameter	: 134.0 ft	Driver & Power Data (@Max density)	
Head rise to shutoff	: 75.78 %	Driver sizing specification	: Rated power
Flow, best eff. point	: -	Margin over specification	: 0.00 %
Flow ratio, rated / BEP	: -	Service factor	: 1.00
Diameter ratio (rated / max)	: 100.00 %	Power, hydraulic	: 0.62 hp
Head ratio (rated dia / max dia)	: 100.00 %	Power, rated	: 1.50 hp
Cq/Ch/Ce/Cn [ANSIHI 9.6.7-2010]	: 1.00 / 1.00 / 1.00 / 1.00	Power, maximum, rated diameter	: 1.97 hp
Selection status	: Acceptable	Minimum recommended motor rating	: 2.00 hp / 1.49 kW (Fixed)

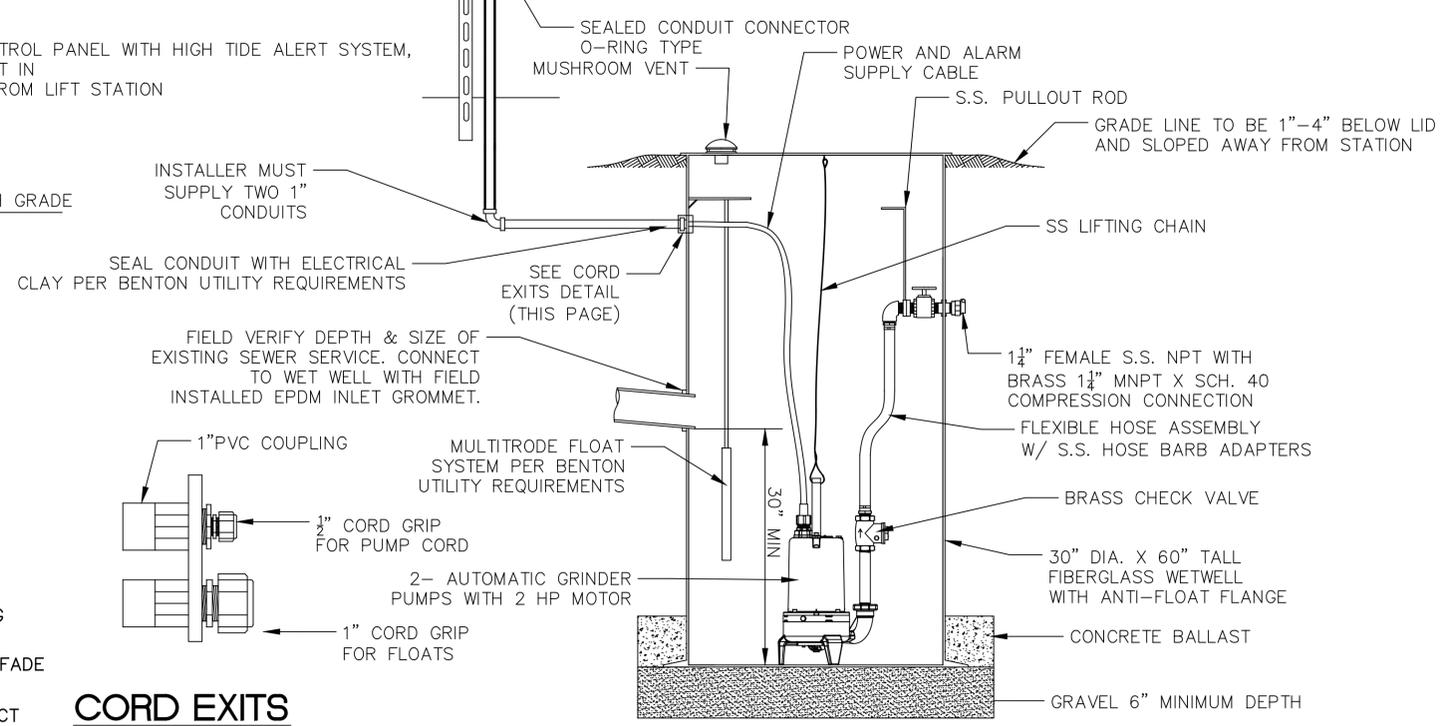


MYERS DUPLEX LIFT STATION - TOP VIEW
N.T.S.



LIFT STATION ELECTRICAL
OPTION 2
N.T.S.

- NOTES:
- PUMP LOCATED MORE THAN 90 FEET FROM BUILDING USING POWER FROM BUILDING SERVICE AND METER.
 - LABELS SHALL BE VINYL SELF ADHESIVE PRINTED IN NON-FADE BLACK ON WHITE, MINIMUM SIZE 4"X5".
 - PROVIDE 50A, 2P CIRCUIT BREAKER. INSTALL AND CONNECT PUMP FEEDER TO NEW BREAKER.



MYERS DUPLEX LIFT STATION - SECTION
N.T.S.

CORD EXITS
N.T.S.



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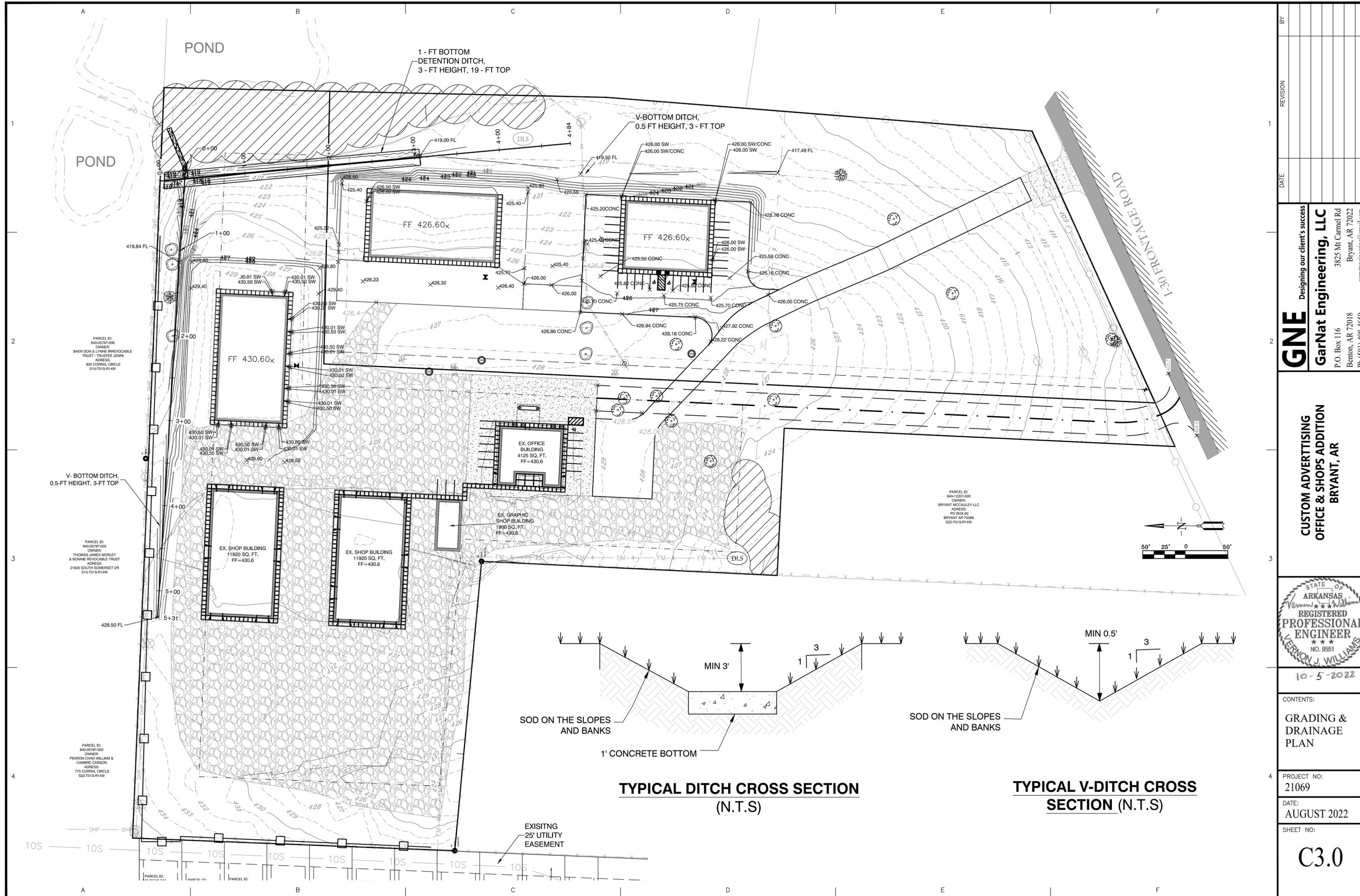
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STATION
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PROJECT NO:
21069

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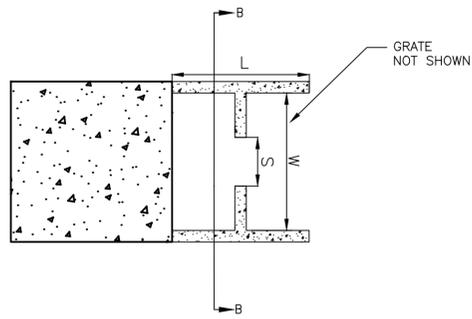
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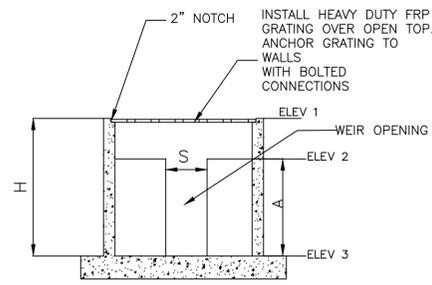
TYPICAL DITCH CROSS SECTION (N.T.S)

TYPICAL V-DITCH CROSS SECTION (N.T.S)

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SHEET NO: C3.0	

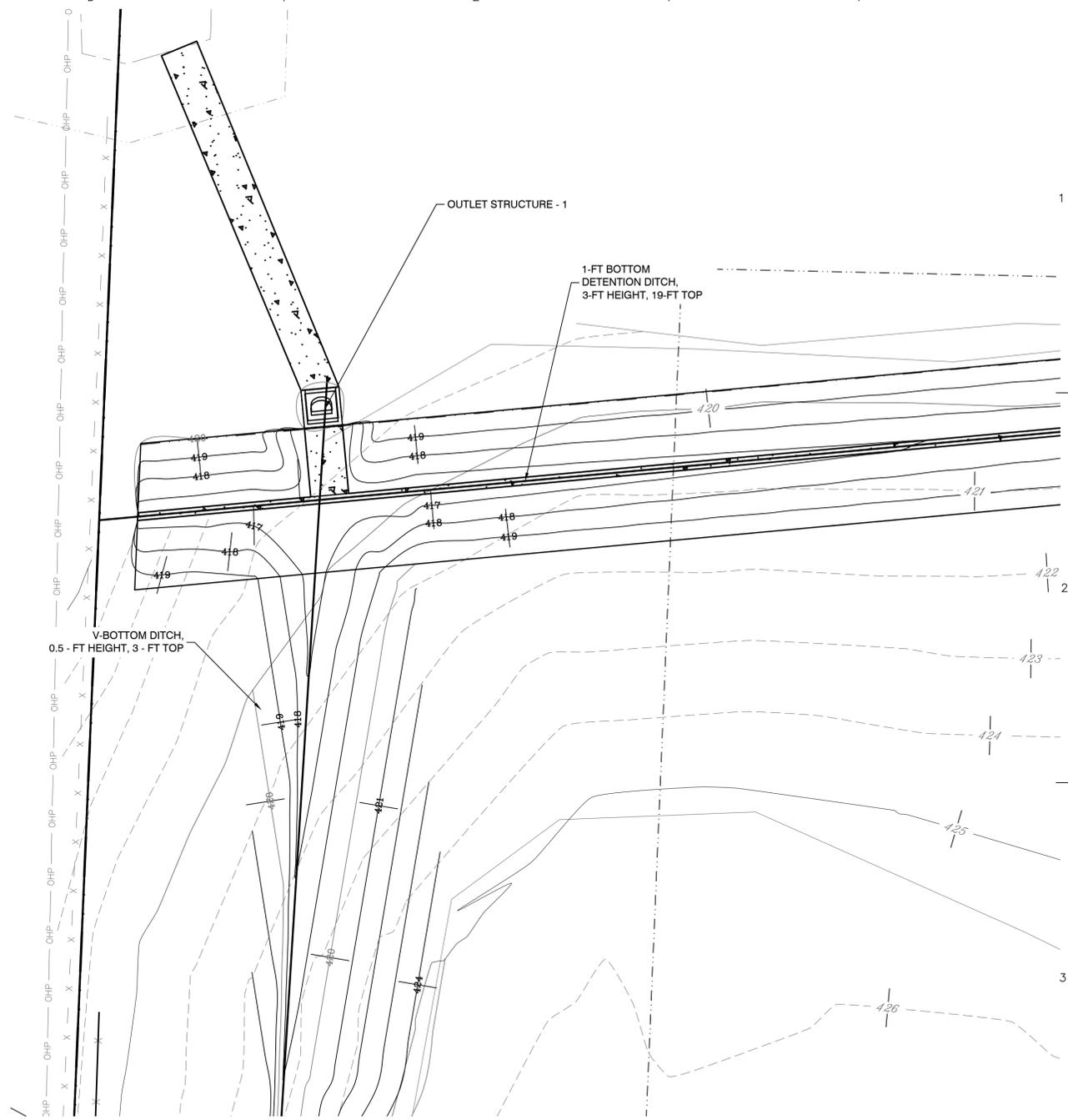


DITCH OUTLET STRUCTURE
PLAN VIEW
NOT TO SCALE



DITCH OUTLET STRUCTURE
SECTION B-B
NOT TO SCALE

OUTLET STRUCTURE								
OUTLET STRUCTURE	L	W	H	ELEV 1	ELEV 2	ELEV 3	S	A
1	5'-0"	5'-0"	4'-0"	420.00	419.00	416.00	1'-11"	3'-0"



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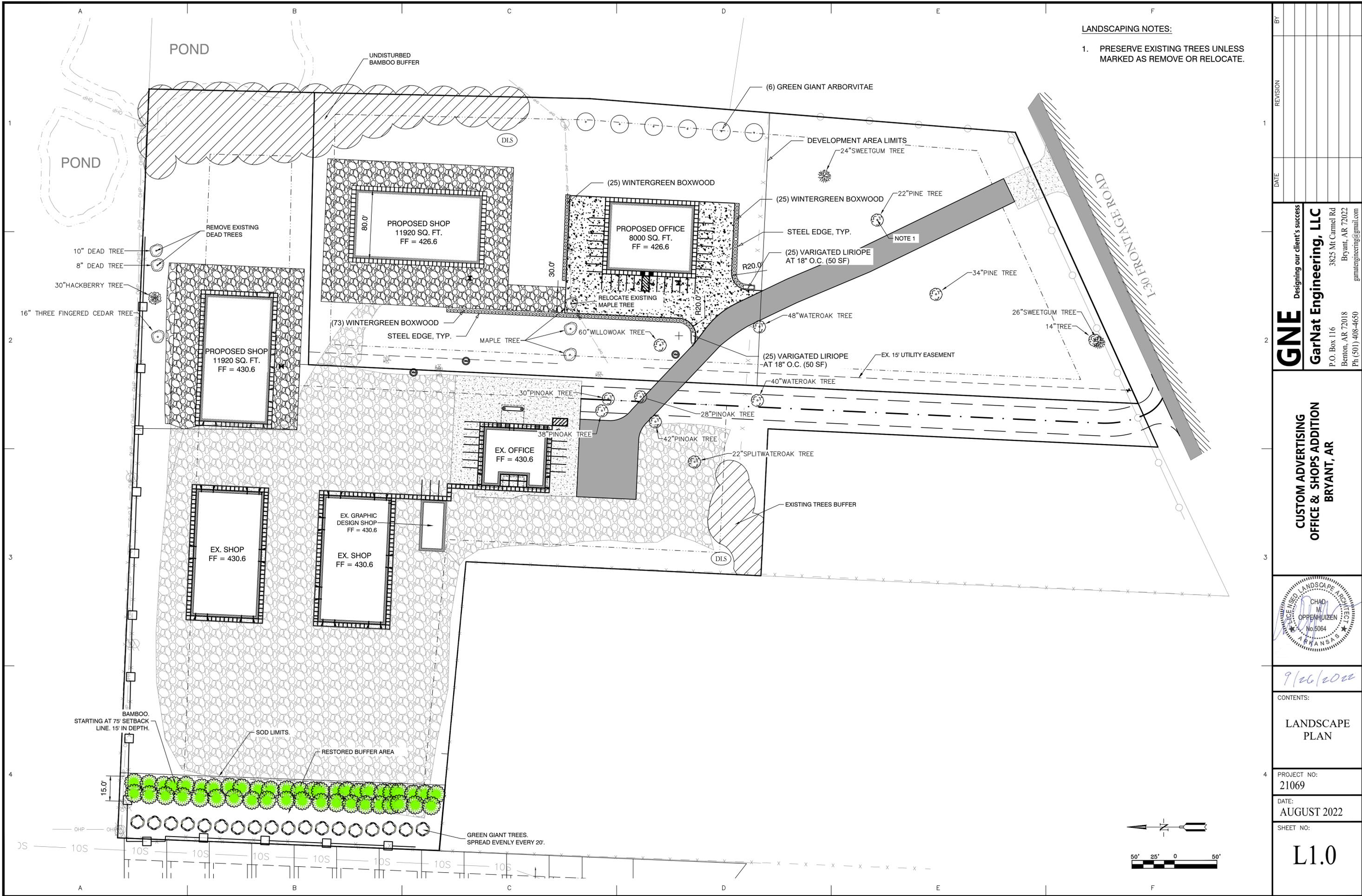
CONTENTS:
OUTLET STRUCTURE DETAILS

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C3.2

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LANDSCAPING NOTES:
 1. PRESERVE EXISTING TREES UNLESS MARKED AS REMOVE OR RELOCATE.

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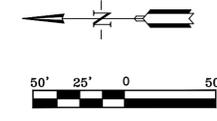
9/26/2022

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 LANDSCAPE PLAN

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 21069

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 AUGUST 2022

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L1.0



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LANDSCAPING NOTES:

- REPORT ANY DISCREPANCIES FOUND IN THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE DESIGNER OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- THE NUMBER OF PLANTS OR INTENDED COVERAGE AREAS SHOWN SHALL SUPERSEDE NOTED QUANTITIES. TREE LOCATIONS ARE DIAGRAMMATIC.
- ALL PLANT MATERIALS MUST BE APPROVED PRIOR TO INSTALLATION. SUBSTITUTIONS OF SIZE OR TYPE OF MATERIAL ARE NOT PERMITTED WITHOUT WRITTEN APPROVAL PRIOR TO DELIVERY OR INSTALLATION.
- ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. REPLACE ANY DAMAGED, DESTROYED, OR REMOVED PLANT MATERIALS WITH THE SAME VARIETY AND SIZE PRIOR TO FINAL ACCEPTANCE.
- PLANT STORAGE TO BE LOCATED OUT OF VEHICULAR USE AREAS AND NEAR A WATERING SYSTEM TO OPTIMIZE SURVIVAL.
- ALL PLANTING BEDS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3-INCHES SHREDDED HARDWOOD OR CYPRESS MUGH.
- ALL SHRUBS AND TREES SHALL RECEIVE PLANTING BACKFILL OF 2/3 TOPSOIL AND 1/3 COMPOST BY VOLUME AND 2 POUNDS OF 14-14-14 TIMED-RELEASE FERTILIZER PER CUBIC YARD OF BACKFILL.
- ALL BEDS INSIDE LAWN AREAS TO BE EDGED WITH 4" PAINTED STEEL EDGING.
- ALL TREES AND SHRUBS SHALL BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING.
- TREES SHALL NOT BE TOPPED AT ANY TIME. PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- COORDINATE ALL INSTALLATION ACTIVITIES WITH IRRIGATION WORK AND IMMEDIATELY REPAIR DAMAGES TO FINISH GRADES, SOD, AND PLANT MATERIALS UNTIL FINAL ACCEPTANCE.
- SEE GRADING AND DRAINAGE PLAN FOR PROPOSED SLOPES, SWALES, BERMS, AND WATER FEATURES. MAINTAIN PROPER FINISH GRADES IN ALL AREAS AS INDICATED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO PROVIDE MINIMUM TOPSOIL DEPTHS AND CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL AREAS.
- TOPSOIL SHALL BE FREE OF STONES, ROOTS, CLODS, AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FROM PLANT GROWTH.
- LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- IDENTIFICATION LABELS MUST BE ATTACHED TO ALL PLANT MATERIALS AND SHALL REMAIN INTACT UNTIL FINAL ACCEPTANCE OF THE WORK. REMOVE ALL TAGS AND LABELS FOLLOWING FINAL ACCEPTANCE.
- CALIPER OF TREES TO BE MEASURED 6-INCHES ABOVE GROUND LEVEL FOR TREES UP TO 4-INCH CALIPER SIZE.
- GENERAL CONTRACTOR SHALL PROVIDE 6-INCH DIAMETER MINIMUM SCHEDULE 40 PVC SLEEVING FOR IRRIGATION TO ALL CURB ISLANDS AND UNDER ALL DRIVE ISLE CROSSINGS.
- CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR RECENT FIRE FLOW INFORMATION.

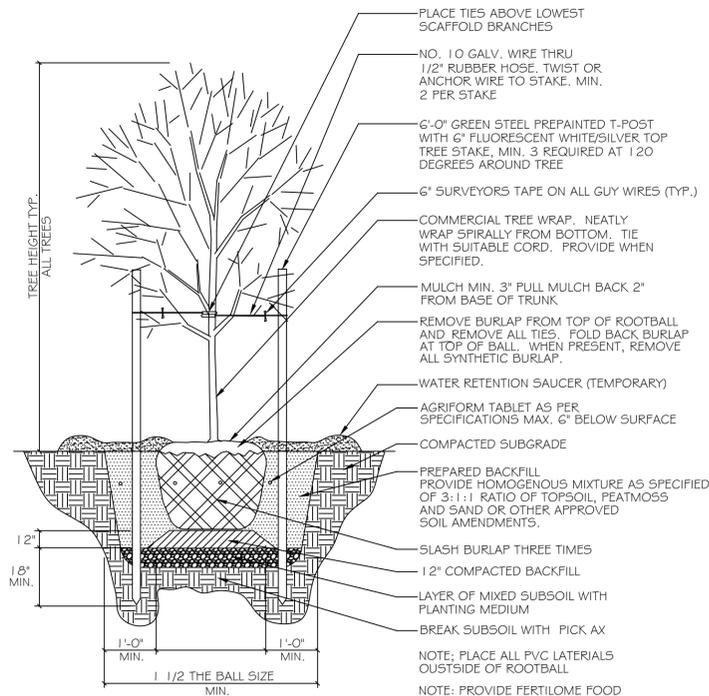
LEGEND:

PLAN QUANTITIES:

Quantity	Common Name/Botanical Name	Size	Remarks
6	Green Giant Arborvitae <i>Thuja standishii x plicata</i> 'Green Giant'	6 - 8'	Specimen, Full to Ground
123	Wintergreen Boxwood <i>Buxus sinica</i> var. <i>Insularis</i> 'Wintergreen'	3 gallon, 18" HT	Full well branched shrub with uniform shape, Space plants 4' o.c.
50	Varigated Liriope <i>Liriope muscari</i> 'Variegata'	1 gallon	Space plant at 18" o.c.
	Bermuda Tifway 419 <i>Cynodon Dactylon</i> var. <i>Tifway 419</i>	Sod	Solid sod, all areas indicated with close knit joints



NOTE: PLANTS SHALL BE SET SLIGHTLY HIGHER THAN GRADE TO ALLOW FOR SETTLING & POSITIVE DRAINAGE.



TREE PLANTING DETAIL
No Scale

SODDING OF DISTURBED AREAS

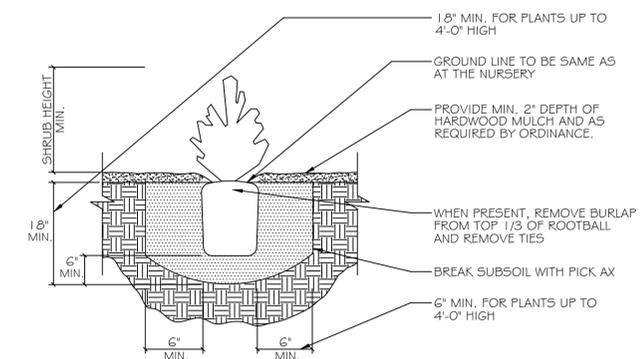
AREAS AND LIMITS OF SODDING ARE INDICATED BASED ON ANTICIPATED DISTURBANCE BY GRADING OPERATIONS. CONTRACTOR TO PROVIDE ADDITIONAL SODDING IN ANY OTHER AREAS DISTURBED BY WORK UNDER THIS CONTRACT. EXCAVATE AND REMOVE ANY REMAINING TURF AND SOIL TO A 4-INCH MINIMUM DEPTH WITHIN NEW SOD AREAS. HAND EXCAVATION REQUIRED WITHIN DRIP LINES OF TREE AREAS TO AVOID DAMAGE TO EXISTING ROOTS.

MAINTENANCE AND WARRANTY

CONTRACTOR TO PROVIDE FULL MAINTENANCE OF INSTALLED LANDSCAPE AND IRRIGATION UNTIL DATE OF FINAL ACCEPTANCE. ADDITIONALLY, CONTRACTOR TO PROVIDE ONE YEAR WARRANTY FOR ALL LANDSCAPE AND IRRIGATION WORK FROM THE DATE OF FINAL ACCEPTANCE.

IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE AUTOMATIC IRRIGATION SYSTEM FOR ALL NEW LANDSCAPE AND TURF AREAS SHOWN ON THE PLANS. SYSTEM WILL REQUIRE PROVIDING BACKFLOW PREVENTER, PERMITTING, POWER CONNECTION, CONTROLLER, AND ALL OTHER WORK REQUIRED FOR A COMPLETE AND FUNCTIONING SYSTEM THAT PROVIDES 100% COVERAGE. COORDINATE LOCATION OF CONTROLLER WITH OWNER, GENERAL CONTRACTOR, AND ELECTRICAL CONTRACTOR. COORDINATE LOCATION OF IRRIGATION SLEEVES WITH GENERAL CONTRACTOR PRIOR TO FULLY MOBILIZING TO SITE. CONTRACTOR TO REFER TO THE UTILITY PLAN SHEET FOR CURRENT FIRE FLOW INFORMATION.



SHRUB PLANTING DETAIL
No Scale

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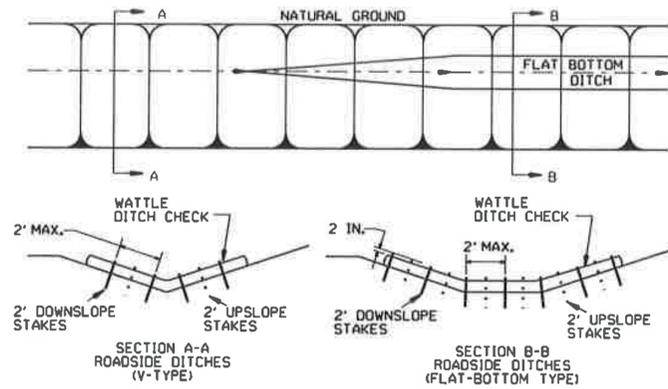
DATE:
AUGUST 2022

SHEET NO:

L1.1

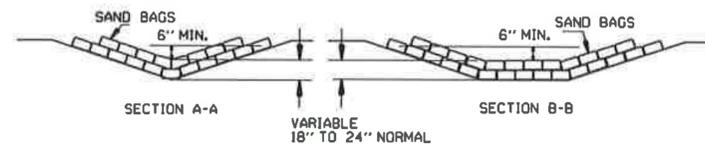
GENERAL NOTES

INSTALL A MINIMUM OF 2 UPSLOPE STAKES AND 4 DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.

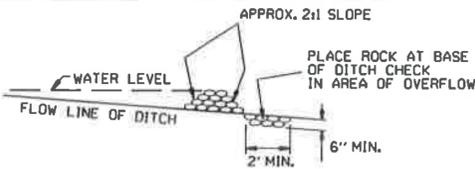


WATTLE DITCH CHECK (E-1)

NUMBER OF SAND BAGS AND ARRANGEMENT VARIABLE WITH ON-SITE CONDITIONS. PLACE SAND BAGS AT BASE OF DITCH CHECK IN AREA OF OVERFLOW.

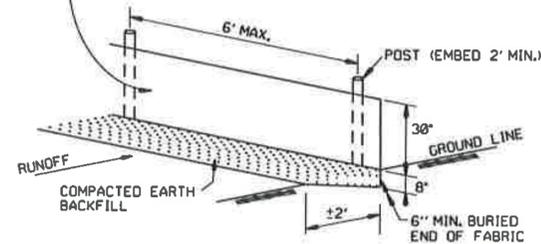


SAND BAG DITCH CHECK (E-5)

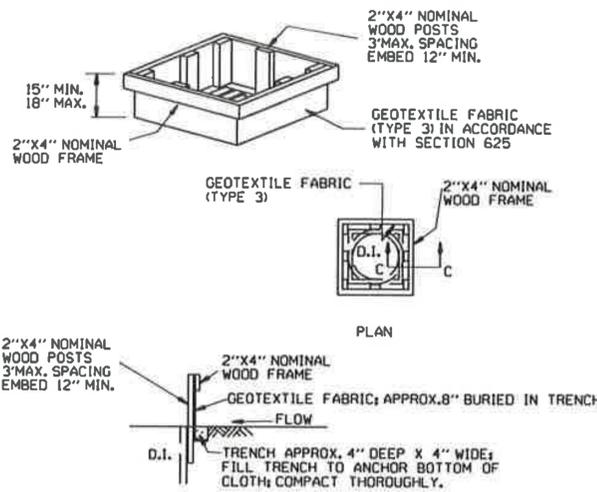


ROCK DITCH CHECK (E-6)

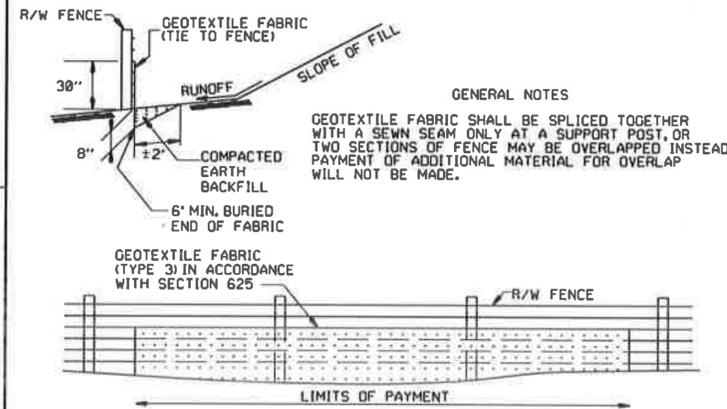
GENERAL NOTES
 GEOTEXTILE FABRIC (TYPE 4) IN ACCORDANCE WITH SECTION 625
 GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD. PAYMENT OF ADDITIONAL MATERIAL FOR OVERLAP WILL NOT BE MADE.



SILT FENCE (E-11)

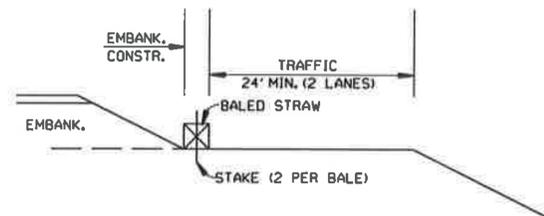


DROP INLET SILT FENCE (E-7)

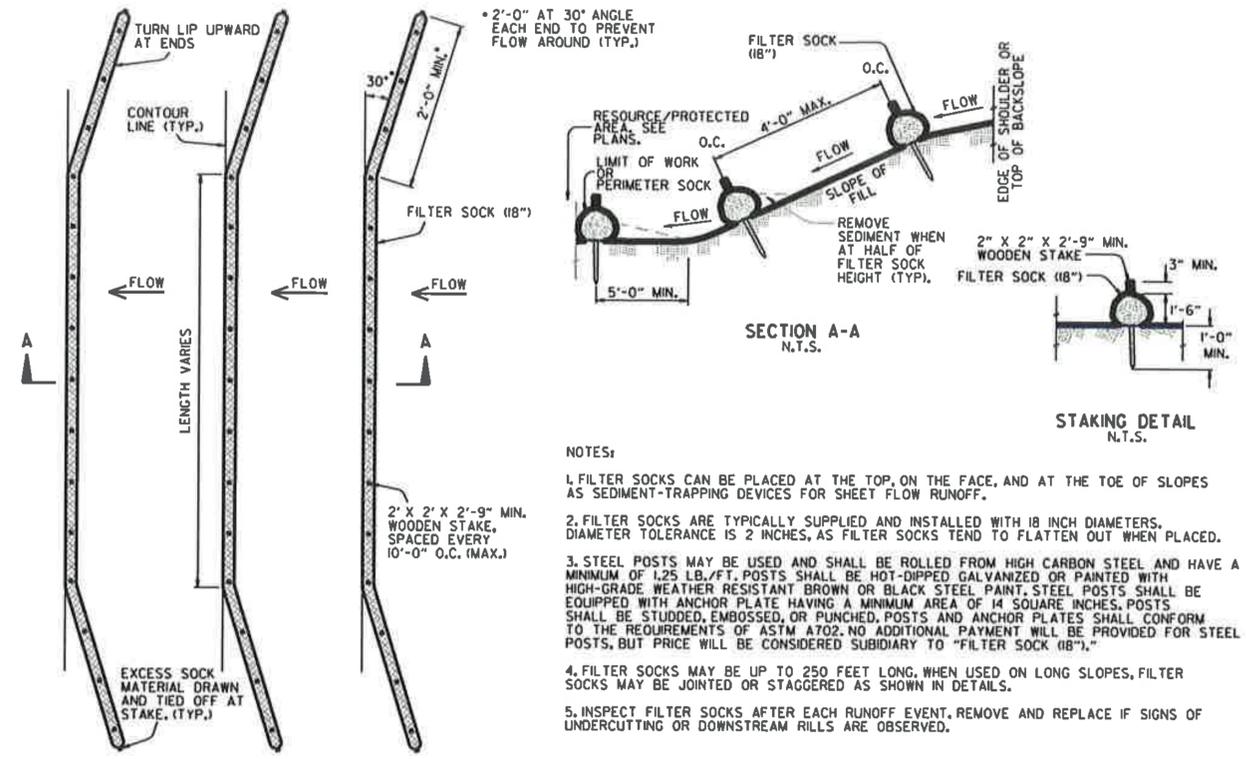


SILT FENCE ON R/W FENCE (E-4)

GENERAL NOTES
 1. STRAW BALES SHALL BE INSTALLED SO THAT THE BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES. THE BALES SHALL BE A MINIMUM OF 30 INCHES IN LENGTH.
 2. NO GAPS SHALL BE LEFT BETWEEN BALES.
 3. BALED STRAW FILTER BARRIERS COMPLETED AND ACCEPTED WILL BE MEASURED BY THE BALE IN PLACE AS AUTHORIZED BY THE ENGINEER AND WILL BE PAID FOR AT THE CONTRACT UNIT PRICE BID PER BALE FOR BALED STRAW DITCH CHECKS.

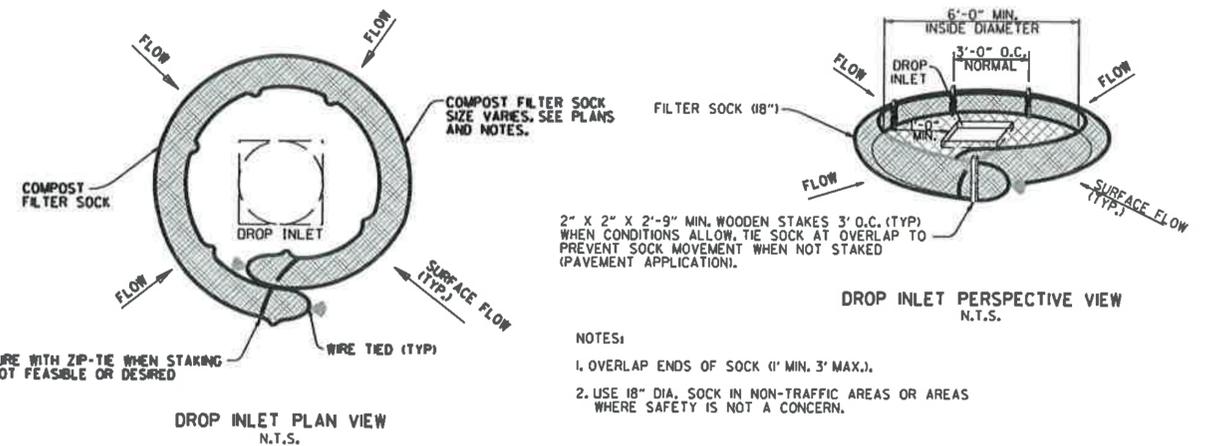


BALED STRAW FILTER BARRIER (E-2)



FILTER SOCK ALONG SLOPE (E-3)

NOTES:
 1. FILTER SOCKS CAN BE PLACED AT THE TOP, ON THE FACE, AND AT THE TOE OF SLOPES AS SEDIMENT-TRAPPING DEVICES FOR SHEET FLOW RUNOFF.
 2. FILTER SOCKS ARE TYPICALLY SUPPLIED AND INSTALLED WITH 18 INCH DIAMETERS. DIAMETER TOLERANCE IS 2 INCHES, AS FILTER SOCKS TEND TO FLATTEN OUT WHEN PLACED.
 3. STEEL POSTS MAY BE USED AND SHALL BE ROLLED FROM HIGH CARBON STEEL AND HAVE A MINIMUM OF 1.25 LB./FT. POSTS SHALL BE HOT-DIPPED GALVANIZED OR PAINTED WITH HIGH-GRADE WEATHER RESISTANT BROWN OR BLACK STEEL PAINT. STEEL POSTS SHALL BE EQUIPPED WITH ANCHOR PLATE HAVING A MINIMUM AREA OF 14 SQUARE INCHES. POSTS SHALL BE STUDDED, EMBOSSED, OR PUNCHED. POSTS AND ANCHOR PLATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A702. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR STEEL POSTS, BUT PRICE WILL BE CONSIDERED SUBSIDIARY TO "FILTER SOCK (18\"/>



COMPOST FILTER SOCK DROP INLET PROTECTION (E-13)

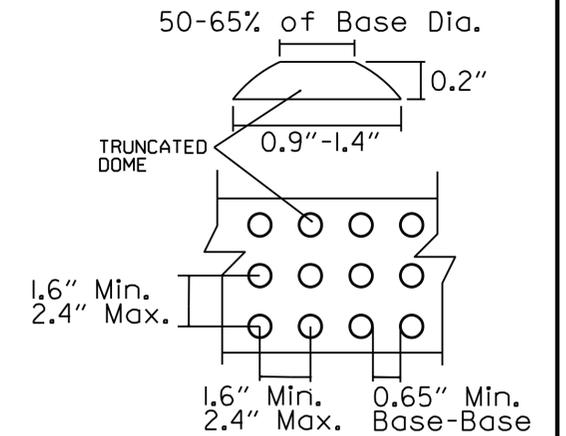
NOTES:
 1. OVERLAP ENDS OF SOCK (1' MIN. 3' MAX.).
 2. USE 18\"/>

DATE	REVISION	
11-16-17	ADDED FILTER SOCK E-3 AND E-13	
12-15-11	DELETED BALED STRAW DITCH CHECK & ADDED WATTLE DITCH CHECK	
1-18-98	ADDED NOTES	
07-02-98	ADDED BALED STRAW FILTER BARRIER (E-2)	
07-20-95	REVISED SILT FENCE E-4 AND E-11	7-20-95
07-15-94	REV. E-4 & E-11 MIN. 13\"/>	
06-02-94	REVISED E-1, 4, 7 & 11; DELETED E-2 & 3	6-2-94
04-01-93	REDRAWN	
10-01-92	REDRAWN	
08-02-76	ISSUED R.O.M.	298-7-28-76
		FILMED

ARKANSAS STATE HIGHWAY COMMISSION
 TEMPORARY EROSION CONTROL DEVICES
 STANDARD DRAWING TEC-1

GENERAL NOTES FOR DETECTABLE WARNING DEVICES

THE DETECTABLE WARNING DEVICE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS 6 TO 8 INCHES FROM THE FACE OF THE CURB. TRUNCATED DOMES IN THE DETECTABLE WARNING SURFACE SHALL MEET THE REQUIREMENTS OF THE GEOMETRIC CONFIGURATION SHOWN. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES. DETECTABLE WARNING DEVICE SHALL BE 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNING DEVICE SHALL BE ON THE ARDOT QUALIFIED PRODUCTS LIST FOR CAST-IN-PLACE TACTILE PANELS (ADA DETECTABLE WARNING).



DETECTABLE WARNING DEVICE DETAIL

GENERAL NOTES:

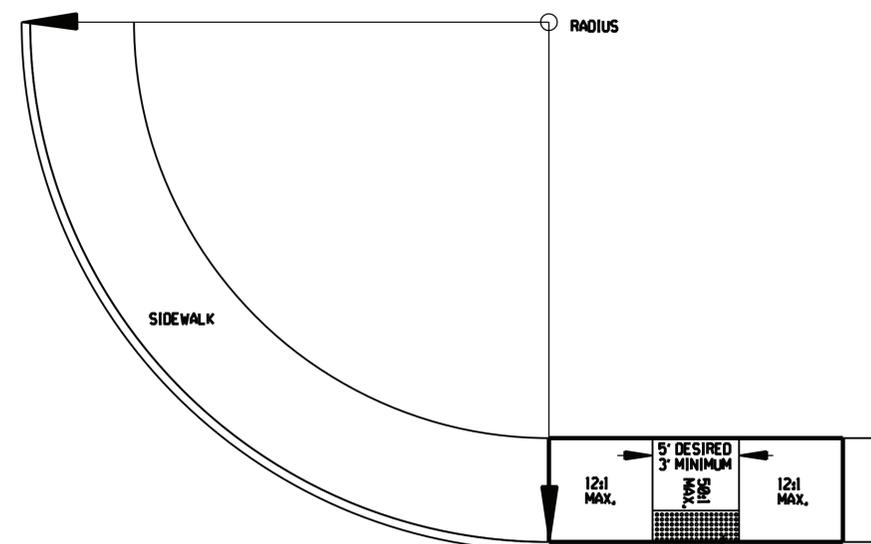
IN ALTERATIONS WHEELCHAIR RAMPS ARE TO BE PROVIDED AT CURBED STREET INTERSECTIONS WITH PEDESTRIAN TRAFFIC AND MID-BLOCK CROSSWALK LOCATIONS. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1. THE SURFACE TEXTURE OF THE RAMP SHALL CONFORM TO A CLASS 6 FINISH ACCORDING TO SECTION 802.19. THE NORMAL GUTTER GRADE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. ALL PAYEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION. THE MINIMUM THICKNESS OF THE RAMP, WALK, & LANDING SHALL BE 4". THE MINIMUM WIDTH OF THE RAMPS SHALL BE THE EXISTING WALK WIDTH OR 36", WHICHEVER IS GREATER. MINOR MODIFICATIONS OF THESE DETAILS, AS APPROVED BY THE ENGINEER, MAY BE MADE TO ADJUST TO LOCAL CONDITIONS.

RAMP SELECTION CRITERIA

FIRST CHOICE	TYPE 1	CORNER LOCATIONS WITH THE WALK ADJACENT TO THE CURB (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 2	CORNER LOCATIONS WITH THE WALK OFFSET FROM THE CURB A DISTANCE INSUFFICIENT TO ALLOW THE REQUIRED RAMP SLOPE (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 3	CORNER LOCATIONS WITH THE WALK OFFSET FROM THE CURB A DISTANCE SUFFICIENT TO ALLOW THE REQUIRED RAMP SLOPE (BOTH NEW CONSTRUCTION AND ALTERATIONS).
	TYPE 4	TANGENT LOCATIONS (BOTH NEW CONSTRUCTION AND ALTERATIONS).
SECOND CHOICE	TYPE 5	TANGENT LOCATIONS (ALTERATIONS ONLY).
THIRD CHOICE	TYPE 6	CORNER LOCATIONS (ALTERATIONS ONLY). THIS RAMP MAY BE USED ONLY IF THE TYPE 5 RAMPS CANNOT BE PLACED AT THE ENDS OF THE RADIUS.
FOURTH CHOICE		IF SITE CONSTRAINTS PREVENT THE CONSTRUCTION OF ANY OF THE TYPES LISTED, THEN AND ONLY THEN CAN THE 12:1 MAX. SLOPE ON THE RAMP BE EXCEEDED TO PROVIDE ACCESS TO THE STREET LEVEL (ALTERATIONS ONLY). THE SLOPE CAN BE STEEPENED TO A 10:1 MAX. FOR A MAX. LENGTH OF 5' OR A 8:1 MAX. FOR A MAX. LENGTH OF 2'. SLOPES STEEPER THAN 8:1 ARE NOT ALLOWED UNDER ANY CIRCUMSTANCES.

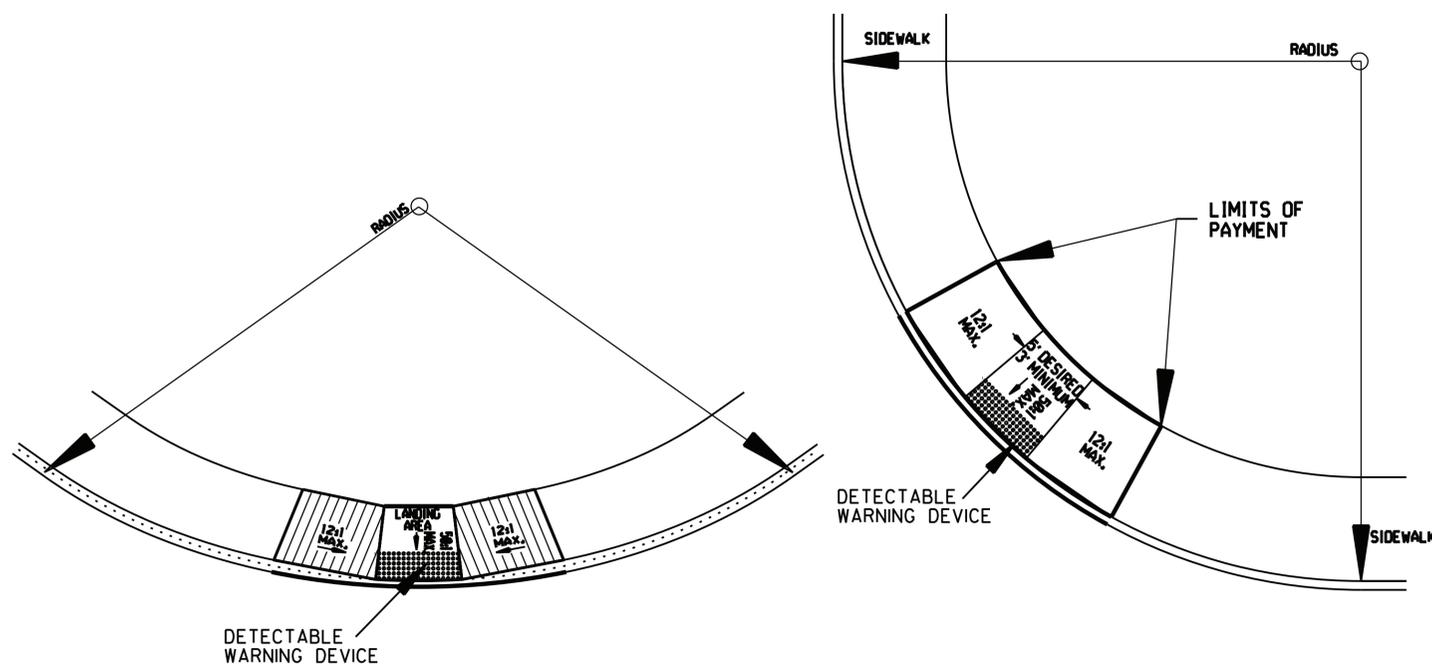
NOTE: IN ALTERATIONS, THE SELECTION OF THE TYPE OF WHEELCHAIR RAMP TO BE CONSTRUCTED SHALL BE BASED ON THE AMOUNT OF RIGHT-OF-WAY AVAILABLE, AND ON THE PRESENCE OF OTHER SITE CONSTRAINTS (UTILITIES, BUILDINGS, ETC.). THE TABLE ABOVE LISTS THE ORDER IN WHICH THE RAMPS ARE TO BE CONSIDERED.

AN ALTERATION IS DEFINED AS A PROJECT THAT CHANGES OR AFFECTS THE USE OF A PEDESTRIAN PATHWAY (OVERLAYS, SIGNALIZATION PROJECTS, ETC.) BUT DOES NOT REQUIRE THE PURCHASE OF ADDITIONAL RIGHT-OF-WAY. ALL PROJECTS THAT REQUIRE THE PURCHASE OF ADDITIONAL RIGHT-OF-WAY WILL USUALLY BE CONSIDERED NEW CONSTRUCTION FOR THE PURPOSES OF THE CHART ABOVE.



TYPE 5 RAMP

NOTE: THE CROSS SLOPE OF THE RAMPS AND SIDEWALKS SHALL NOT EXCEED 2.0% UNLESS REQUIRED TO MATCH STREET LONGITUDINAL GRADE.



TYPE 6 RAMP

10-9-03	REVISED GENERAL NOTES & ADDED NOTE.
4-10-03	REVISED DETECTABLE WARNING DEVICE DETAIL
8-22-02	ADDED DETECTABLE WARNING DEVICES DETAILS
11-18-98	REV. FOURTH CHOICE NOTE
8-12-98	REVISED TEXTURE
7-02-98	ISSUED
DATE	REVISION

ARKANSAS STATE HIGHWAY COMMISSION

WHEELCHAIR RAMPS ALTERATIONS ONLY

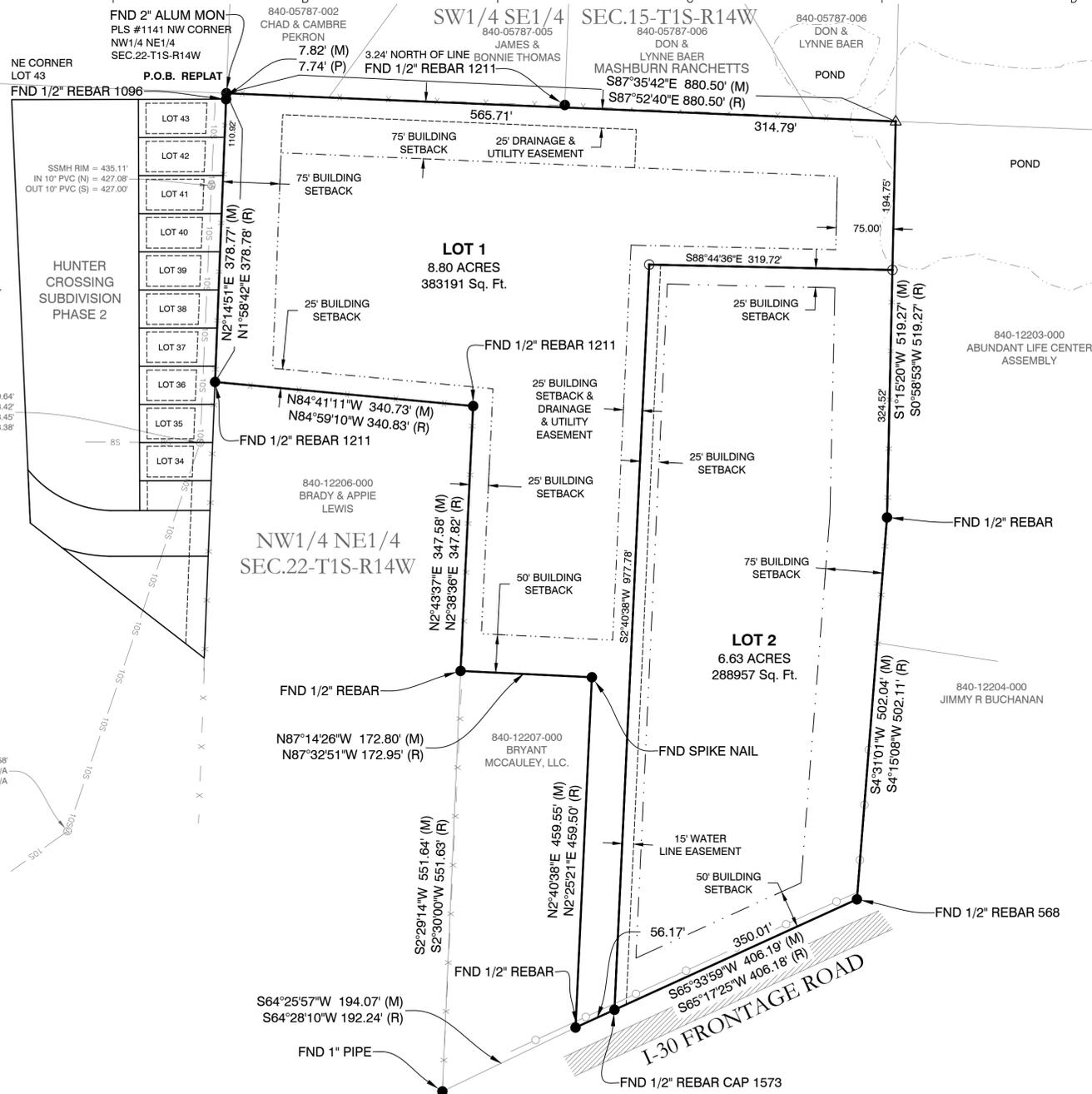
STANDARD DRAWING WR-2

SE1/4 SW1/4
SEC.15-T1S-R14W

NE1/4 NW1/4
SEC.22-T1S-R14W

SW1/4 SE1/4 SEC.15-T1S-R14W

NW1/4 NE1/4
SEC.22-T1S-R14W

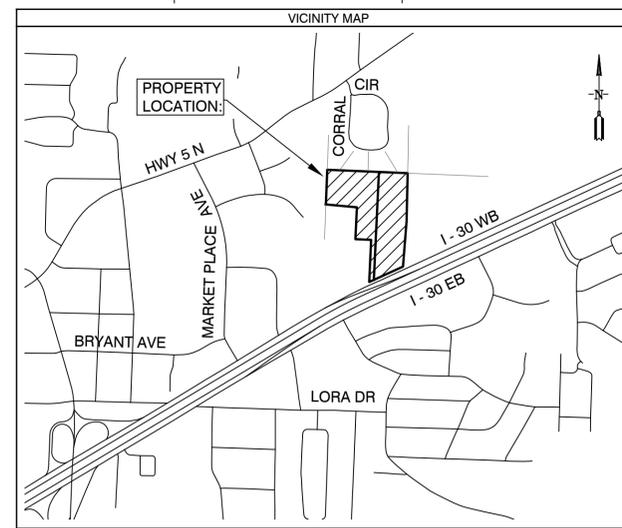


PROPERTY SPECIFICATIONS:

ZONING CLASSIFICATION: C-3
 LOT SIZE: 320,404 SQUARE FEET
 NUMBER OF LOTS: 1
 SOURCE OF WATER: CITY OF BRYANT
 SOURCE OF SEWER: CITY OF BRYANT
 BUILDING SETBACKS:
 FRONT - 50'
 REAR - 75'
 SIDE - 25' OR AS SHOWN
 LOT CORNERS: SET #4 REBAR WITH CAP

SURVEY LEGEND

△ - Computed point
 ● - Found monument
 ○ - Set #4 RB/Plas. Cap
 (M) - Measured
 (R) - Record
 (P) - Platted



PROPERTY DESCRIPTION:

OVERALL SUBDIVISION DESCRIPTION
 PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A FOUND 2" ALUMINUM MONUMENT PLS#1141 FOR THE NORTHWEST CORNER OF THE SAID NW1/4 NE1/4; THENCE S87°35'42"E - 880.50 FEET ALONG THE NORTH LINE THEREOF TO A COMPUTED POINT WHICH FALLS IN AN EXISTING POND THEREOF; THENCE LEAVING SAID NORTH LINE S1°15'20"W - 519.27 FEET TO A FOUND 1/2" REBAR; THENCE S4°31'01"W - 502.04 FEET TO A FOUND 1/2" REBAR W/CAP 568 LOCATED ON THE NORTHERLY RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD; THENCE ALONG SAID RIGHT OF WAY S65°33'59"W - 406.19 FEET TO 1/2" REBAR; ; THENCE LEAVING SAID RIGHT OF WAY N2°40'38"E - 459.55 FEET TO A FOUND SPIKE NAIL; THENCE N87°14'26"W - 172.80 FEET TO A FOUND 1/2" REBAR; THENCE N2°43'37"E - 347.58 FEET TO A FOUND 1/2" REBAR W/CAP 1211; THENCE N84°41'11"W - 340.73 FEET TO A FOUND 1/2" REBAR W/CAP #1211 LOCATED ON THE WEST LINE OF THE SAID NW1/4 NE1/4; THENCE ALONG SAID WEST LINE N2°14'51"E - 378.77 FEET TO THE POINT OF BEGINNING, CONTAINING 15.43 ACRES, MORE OR LESS. SUBJECT TO ANY EXISTING EASEMENTS AND THE RIGHT OF WAY OF THE WESTBOUND I-30 FRONTAGE ROAD.

DOCUMENTS USED:

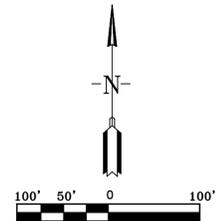
- DEED BOOK 1998 PAGE 11732 QCD WILLIAMS
- PREVIOUS SURVEY BY BROWN DATED 9/14/08
- NEIGHBORING SURVEY BY RASBURY DATED 2/4/05

BASIS OF BEARINGS:

BENCHMARK(S) PROVIDED ARE REBAR AND COORDINATES ON BENCHMARKS ARE NORTH AMERICAN DATUM 1983, ARKANSAS SOUTH ZONE, US SURVEY FEET, GRID COORDINATES AND ELEVATIONS ARE NAVD 1988. COORDINATES AND ELEVATIONS WERE ESTABLISHED USING GPS AND WERE PROCESSED USING THE NATIONAL GEODETIC SURVEYS "ONLINE POSITIONING USER SERVICE" (OPUS).

CERTIFICATIONS:

BY AFFIXING MY SEAL AND SIGNATURE, I GEORGE P. WOODEN, PS NO.1573, HEREBY CERTIFY THAT THIS DRAWING CORRECTLY DEPICTS A SURVEY COMPILED UNDER MY SUPERVISION ON MAY 17, 2021.
 THIS SURVEY WAS BASED ON LEGAL DESCRIPTIONS AND TITLE WORK FURNISHED BY OTHERS AND DOES NOT REPRESENT A TITLE SEARCH.
 THIS PROPERTY IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN ZONE "X" OF THE F.E.M.A. MAP PANEL 05125C0240E EFFECTIVE DATE JUNE 05, 2020.



SURVEY PLAT CODE:
500-01S-14W-0-22-140-62-1573



09-26-2022

**FINAL PLAT
 CUSTOM ADVERTISING
 SUBDIVISION TO THE
 CITY OF BRYANT,
 SALINE COUNTY, ARKANSAS**

PLAT CERTIFICATES:

<p>OWNER: Name: Northside Center LLC & So Diggin, Inc. d/b/a Custom Advertising of AR Address: P.O. Box 91, Alexander, AR 72002</p>	<p>DEVELOPER: Name: Northside Center LLC Address: P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF RECORDING: I, George P. Wooden, hereby certify that this plat correctly represents a boundary survey made by me or under my supervision on 9/26/2022; that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source of Title; and that all monuments which were found or placed on the property are correctly described and located.</p>
<p>CERTIFICATE OF OWNER: We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat. Date: _____ Signed: _____ William Smith P.O. Box 91, Alexander, AR 72002</p>	<p>CERTIFICATE OF SURVEYING ACCURACY: Pursuant to the City of Bryant Subdivision Rules and Regulations, this document was given approval by the Bryant Planning Commission at a meeting held _____ All of the document is hereby accepted, and this certificate executed under the authority of said rules and regulations. Date: _____ Signed: _____ Rick Johnson, Chairman Bryant Planning Commission</p>	<p>CERTIFICATE OF FINAL PLAT APPROVAL: Approval of the final plat shall become null and void unless said plat is filed for record within one hundred twenty (120) days from the date of execution of this certificate.</p>
<p>CERTIFICATE OF ENGINEERING ACCURACY: I, Vernon J. Williams, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their locations, size, type, and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with. Date: _____ Signed: _____ Vernon J. Williams Registered Professional Engineer No. 9551, Arkansas</p>		

BY	
REVISION	
DATE	
<p>FOR: CUSTOM ADVERTISING LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 14 WEST CITY OF BRYANT, ARKANSAS</p>	
<p>9-26-22</p>	
<p>CONTENTS: FINAL PLAT</p>	
PROJECT NO:	21069
DATE:	SEPT. 26 2022
SHEET NO:	V1.0

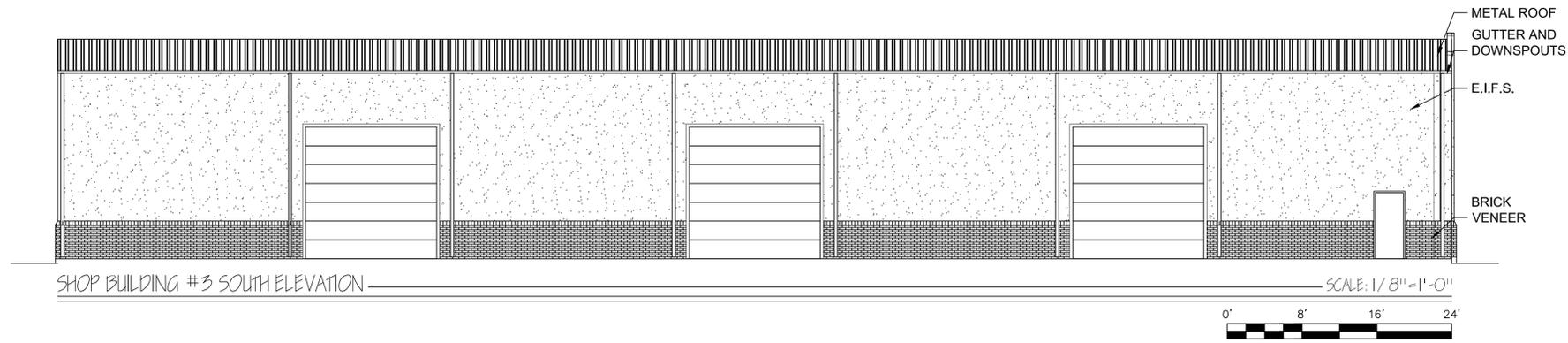
Designing our client's success

GarNat Engineering, LLC
 3825 Mt. Carmel Rd
 Bryant, AR 72022
 P.O. Box 116
 Benton, AR 72015
 Ph: (501) 408-4650
 garmatengineering@gmail.com



09-26-2022

#2147



COPYRIGHT, TBA

1192 MANIS ROAD, SUITE F-8
LITTLE ROCK, ARKANSAS, 72211
OFFICE: 501-576-3676
FAX: 501-576-3766
thead@planning@shopdub.net



SHEET TITLE:

SHOP BUILDING #3

A NEW DEVELOPMENT FOR:
CUSTOM ADVERTISING
 BRYANT ARKANSAS

PROJECT # 2267

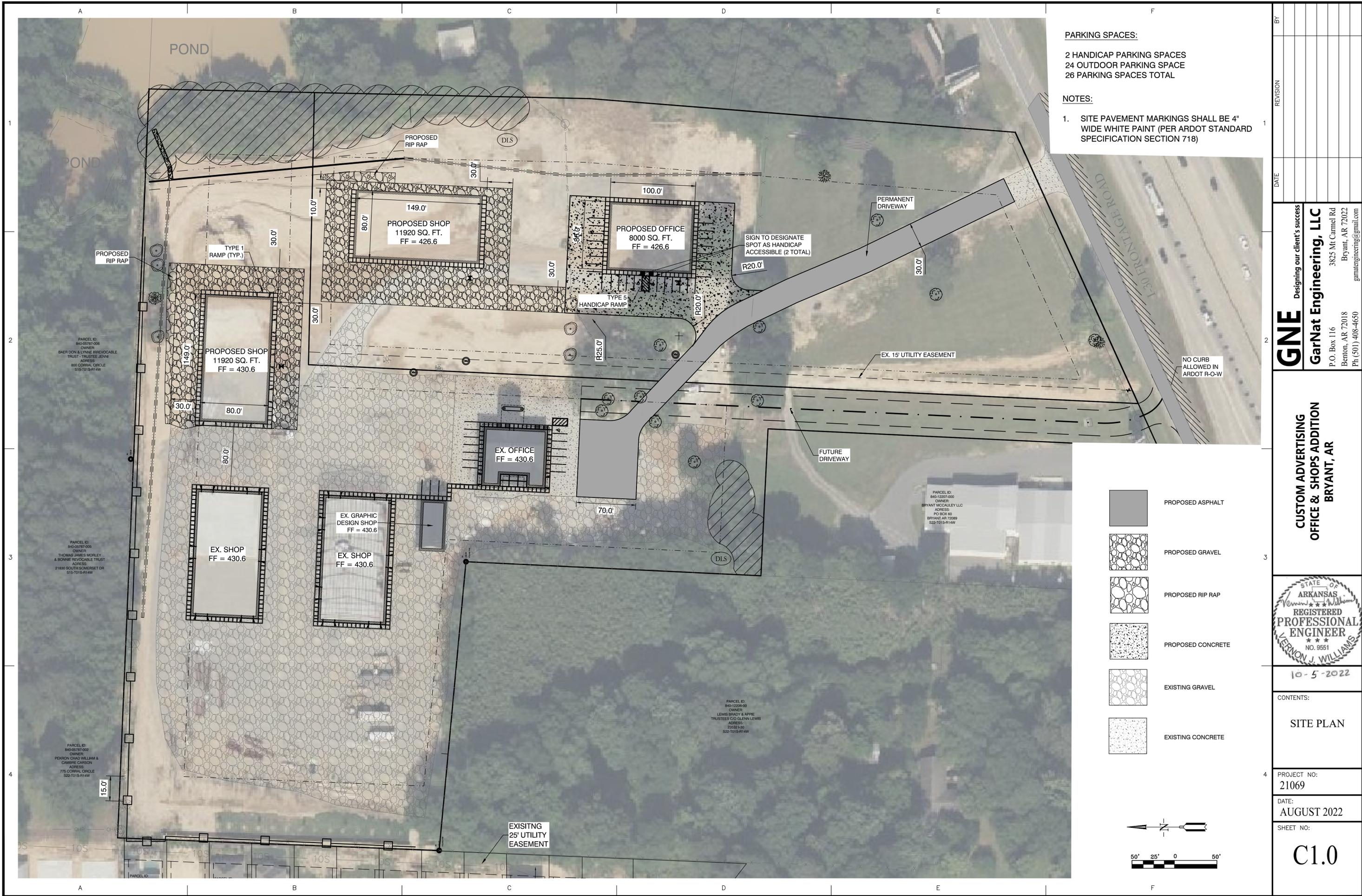
DATE: 09/28/2022

SHEET #

A1.0

FILE #

OF



PARKING SPACES:

- 2 HANDICAP PARKING SPACES
- 24 OUTDOOR PARKING SPACE
- 26 PARKING SPACES TOTAL

NOTES:

- SITE PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT (PER ARDOT STANDARD SPECIFICATION SECTION 718)

REVISION	DATE	BY

GNE Designing our client's success
GarNat Engineering, LLC
 3825 Mt. Carmel Rd
 P.O. Box 116
 Bryant, AR 72018
 PH: (501) 408-4650
 garmatengineering@gmail.com

**CUSTOM ADVERTISING
OFFICE & SHOPS ADDITION
BRYANT, AR**



10-5-2022

CONTENTS:
SITE PLAN

PROJECT NO:
21069

DATE:
AUGUST 2022

SHEET NO:
C1.0

A:\Projects\2022 Projects\21069 23788 - 20 - N - Army Posters\Drawings\Office\Shop\Office\Site Plan.dwg
 10/5/2022 10:50:00 AM
 3825 Mt. Carmel Rd
 Bryant, AR 72018
 PH: (501) 408-4650
 garmatengineering@gmail.com

Bryant Planning Commission

LARGE SCALE DEVELOPMENT COMMERCIAL BUILDING CHECKLIST

CITY OF BRYANT
210 SW 3RD STREET
BRYANT, AR 72022
501-943-0309

PC MEETING DATE: SECOND MONDAY OF EACH MONTH
TIME: 6:00 P.M.
PLACE: COURTROOM - BRYANT OFFICE COMPLEX
AGENDA DEADLINE: 5:00 P.M. THREE WEEKS PRIOR TO THE REGULARLY SCHEDULED MEETING DATE

REQUIREMENTS FOR SUBMISSION

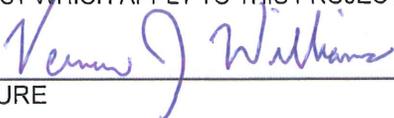
LETTER TO PLANNING COMMISSION STATING YOUR REQUEST
COMPLETED CHECKLIST (SUBDIVISION OR BUILDING)
ADA/ABA FORM COMPLETED
TWO FULL SETS OF BUILDING PLANS
20 FOLDED COPIES OF SITE PLAN (MINIMUM SIZE 17" X 34") THAT INCLUDES THE FOLLOWING:
VICINITY MAP - LEGAL DESCRIPTION - LANDSCAPING PLAN
20 FOLDED COPIES OF FLOOR PLAN
20 COPIES OF FRONT AND REAR BUILDING ELEVATIONS
AN IBM COMPATIBLE DISKETTE IN PDF FORMAT
COPY OF ADEQ STORMWATER POLLUTION PREVENTION PLAN FOR PROPERTY PARCEL CONTAINING ONE ACRE OR LARGER.
COPY OF STORMWATER DETENTION APPROVAL BY ENGINEER
\$250.00 FOR STORMWATER DETENTION AND DRAINAGE PLAN REVIEW

ALL REQUIREMENTS LISTED ABOVE MUST BE COMPLETED AND ATTACHED BEFORE SUBMITTING APPLICATION TO BE PLACED ON THE PLANNING COMMISSION AGENDA.

NOTE: WHEN MAKING CHANGES TO AN APPROVED SITE PLAN, A REVISED SITE PLAN MUST BE SUBMITTED TO THE BRYANT PLANNING COMMISSION FOR APPROVAL. THIS MUST BE DONE PRIOR TO IMPLEMENTATION. FAILURE TO COMPLY WILL RESULT IN PENALTIES/FINES BEING IMPOSED IN ACCORDANCE WITH CITY ORDINANCES.

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

SIGNATURE



DATE



IV. SITE COVERAGE COMPLIANCE WITH REQUIREMENTS

(FOR YOUR CONVENIENCE WE HAVE LISTED THE THREE COMMERCIAL ZONING SITE COVERAGE REQUIREMENTS - CHOOSE THE ZONING FOR THIS PROJECT AND COMPLETE ONLY THAT SECTION)

	<u>YES</u>	<u>NO</u>
1. C-1 Zoning - Neighborhood Commercial		
Lot area: minimum of 2,500 square feet; maximum 16,000 square feet	_____	_____
Front Yard: none required	_____	_____
Side Yard: minimum of 5 feet each side	_____	_____
Rear Yard: minimum of 55 feet	_____	_____
Maximum lot coverage of 70% of the total area of the site for all principal, accessory buildings, parking lots, sidewalks, private streets, or drives.	_____	_____
Parking: one space per each 200 sq. ft. of commercial use	_____	_____
Loading areas: physically separated from all streets with 10 ft grassy area	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 2. C-2 Zoning - Lots fronting along roadways designated as Interstate 30 and frontage roads, State Highway 5 and 183		
Front Yard: not less than 50 feet from front property line	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 feet is required	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 35% of the total area of the site for all principal and accessory buildings	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____
 3. C-2 Zoning - Lots fronting along roadways designated as interior local.		
Front Yard: none required	_____	_____
Side Yard: not required, except where they abut a street or a residential lot line then a minimum of 25 percent of lot dimension	_____	_____
Rear Yard: minimum of 15 feet, except where they abut residential area then a minimum of 55 feet is required	_____	_____
A maximum lot coverage of 85% of the total area of the site for all principal, accessory buildings and parking	_____	_____
Parking: one space per each 300 sq. ft. of occupied space	_____	_____
When abuts a residential district, a minimum 6' high wood, rock, or masonry fence is required with a landscape screen	_____	_____

City of Bryant Commercial Building Checklist

Name of Development Custom Advertising Phase 2
Site Location 23738 I-30 N Current zoning C-3
Owner William Smith Phone 501-607-2677

I. BASIC INFORMATION NEEDED ON THE SITE PLAN

- ▲ 1. Name of Development
- ▲ 2. Current zoning
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Name and address of the architect, landscape architect, engineer, surveyor, or other person involved in the preparation of the plan
- ▲ 5. Date of preparation of the plan
- ▲ 6. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 7. Legal description of the property with exact boundary lines
- ▲ 8. North arrow & Scale
- ▲ 9. Identification of any land areas within the 100 year floodplain and within the 100 year floodway
- ▲ 10. Lot area in square feet
- ▲ 11. Show scale (not less than 1" = 100') (paper size minimum 17" X 34")
- ▲ 12. Existing streams, drainage channels, and other bodies of water
- ▲ 13. Drainage easements for stormwater run-off and detention shown & labeled
- ▲ 14. Location and name of existing streets
- ▲ 15. Show source of water supply
- ▲ 16. Show location of waste water connection to municipal system & sanitary sewer layout
- ▲ 17. Fire Hydrant placement
- ▲ 18. Proposed location of buildings and other structures, parking areas, drives, loading areas, service areas, alleys, walks, screening, and public streets
- ▲ 19. Sufficient dimensions to indicate relationship between buildings, property lines, parking areas and other elements of the plan
- ▲ 20. Extent and character of proposed landscaping. Common and/or Botanical plant names and sizes of new vegetation must be clearly indicated.
- ▲ 21. Location, massing and pattern of existing vegetation to be retained
- ▲ 22. Existing structures on the site
- ▲ 23. Pedestrian and vehicular access points, sidewalks, crosswalks, etc.
- ▲ 24. Typical building elevations depicting the style, size and exterior construction materials of the buildings proposed. Where several building types are proposed on the plan, such as apartments and commercial buildings, a separate sketch shall be prepared for each type. The elevations shall be drawn at a minimum scale of 1/16" to a foot and must show adjoining context.
- ▲ 25. Any variance approvals

II. ADDITIONAL INFORMATION NEEDED, BUT NOT ON THE SITE PLAN

COMMERCIAL BUILDING WORKSHEET

	Yes	No
Site is compatible with Master Street Plan		
Proposed improvement is within building line setbacks Front <u>50</u> ft. Side <u>25</u> ft. CNR Side <u>N/A</u> ft. Back <u>25</u> ft.	✓	
Parking requirements can be satisfied		
Floor Space <u>8,000</u> sq.ft. divided by 300 = <u>26.6</u> (no. of parking spaces required)	✓	
Improvement is outside 100 year flood plain (if answer is no - Provide 404 Permit for site)	✓	
Lowest building floor level and all mechanical equipment are above FEMA 100 year flood elevation		
Will there be a dumpster located on the site?		
Will there be a construction site office?		✓
Have you made "One Call"?		✓
Structure and site complies with ADA (Americans with Disability Act) and ABA (Architectural Barriers Act) Accessibility Guidelines	✓	
Design complies with Arkansas Plumbing Code and National Electric Code requirements	✓	
Foundation and structure meet earthquake requirements for Zone 1.	✓	
Structure meets Arkansas Energy Code for specified use.	✓	
Complies with Arkansas Fire Prevention Code	✓	
Complies with International Code Council regulations	✓	
Will a Site Clearance Permit be required? (City Ordinance 2002-03)	✓	
Are you granted any variances by the Board of Adjustment?		
If you have been granted a variance please explain in detail:		

III. LANDSCAPING COMPLIANCE WITH REQUIREMENTS

	YES	NO
No planting within 5 feet of a fire hydrant	✓	_____
Spacing will be 40' between trees	✓	_____
Tree must be a minimum 3" in diameter at the base and 12' + tall	✓	_____
Existing trees meeting the minimum size can be counted to meet above criteria	✓	_____
No trees can be planted within 30 feet of a property corner or driveway	✓	_____
Shrubs along street right-of-way lines cannot exceed 30 inches in height	✓	_____

V. SITE PLAN ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 26. Letter to Planning Commission stating your request
- ▲ 27. Completed Checklist
- ▲ 28. Completed ADA/ABA Form
- ▲ 29. Two full sets of Building Plans
- ▲ 30. 20 copies of Site Plan (folded to no larger than 8 ½ X 14 size) that includes vicinity map and landscaping plan (minimum size 17" X 34" paper)
- ▲ 31. 20 copies of Landscaping Plan (folded to no larger than 8 ½ X 14 size)
- ▲ 32. 20 copies of building floor plan (folded to no larger than 8 ½ X 14 size)
- ▲ 33. Copy of Stormwater Detention approval
- ▲ 34. Copy of ADEQ Stormwater Pollution Prevention Plan for property containing one acre or larger.
- ▲ 35. IBM compatible diskette or CD with data in PDF format.
- ▲ 36. Receipt for \$250.00 for Stormwater Detention and Drainage Plan review

I CERTIFY that the design of Custom Advertising Phase 2 in the City of Bryant, Arkansas complies with the above regulations, laws and codes.

Vernon J Williams
 Owner Agent
 P.O. Box 91
 Mailing Address
Alexander, AR, 72002
 City

Vernon J Williams
 Engineer/Architect
501-408-4650
 Phone #
10/05/2022
 Date

CITY USE

Action Taken:

Special Conditions:

Permit Issued:	Date _____	Sq.Ft. _____	Amount \$ _____
----------------	------------	--------------	-----------------

Construction Completed Certified For Occupancy:	Date: _____
	Inspector: _____

Permit No. _____

BUILDING PERMIT

ADA/ABA ACCESSIBILITY STANDARDS

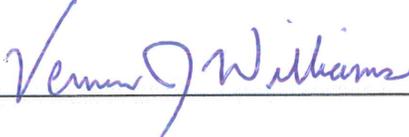
The *Americans with Disability Act* and *Architectural Barriers Act* Accessibility Guidelines were prepared by the U.S. Access Board and mandated by the U. S. Department of Justice regulations implementing Title III as the official ADA/ABA accessibility guidelines. **All new construction, remodeling, and modifications must conform to these building standards** for places of public accommodation and commercial facilities. Residential is exempt.

The ADA/ABA accessibility guidelines contain general design standards for building and site elements, such as accessible entrances and routes, ramps, parking spaces, stairs, elevators, restrooms, signage, etc. Also included are specific standards for restaurants, medical care facilities, libraries and transportation facilities and vehicles, and places of lodging.

The guidelines also include "scoping" requirements that outline the necessary features or appropriate quantity for achieving ready access. For example, at least 50 percent of all public entrances to buildings must be accessible with an accessible path of travel. In public restrooms, at least one bathroom stall must be accessible unless there are more than six stalls, in which case the number increases.

I hereby certify that I have read and examined the above notice and will comply with all guidelines of the ADA Accessibility Guidelines. I further understand that a copy of the ADA/ABA Regulations are available for inspection during business hours of City Hall or I may obtain a copy by writing:

The Access Board
1331 F Street, NW, Suite 1000
Washington, DC 20004-1111
(202) 272-0080 (v) (202) 272-0082 (TTY) (202) 272-0081 (fax)
(800) 872-2253 (v) (800) 993-2822 (TTY)
email: info@access-board.gov

Signature of Contractor or Authorized Agent  Date 10/05/2022

Signature of Owner (if owner-builder) _____ Date _____

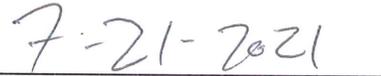
Application of Permit Approved: _____ Date _____
Commission - Chairman

AFFIDAVIT

I, William Smith, Owner of Northside Center, LLC certify by my signature below that I hereby authorize Vernon Williams of GarNat Engineering, LLC to act as Northside Center, LLC's agent regarding the Large Scale Development Commercial Building for the Custom Advertising's Project.

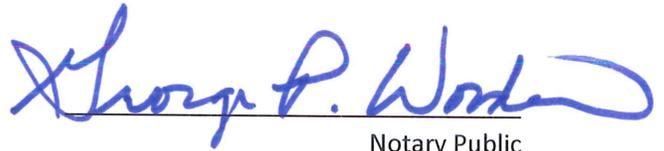


William Smith
Owner
Northside Center, LLC



Date

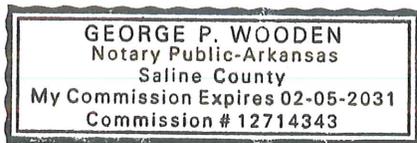
Subscribed and sworn to me a Notary Public on this 21 day of JULY, 2021.



Notary Public

My Commission Expires:

02-05-2031



Designing our client's success

P.O. Box 116 (72018)
3825 Mt. Carmel Rd
Bryant, Arkansas 72022
PH: (501) 408-4650
FX: (888) 900-3068
garnatengineering@gmail.com

October 5, 2022

Mr. Truett Smith
Bryant Planning Coordinator/Planning Commission Secretary
210 SW 3rd Street
Bryant, AR 72022

Re: Large Scale Development Commercial Building – Custom Advertising Phase 2

Dear Mr. Smith:

Please allow this letter and following list of enclosures to serve as my application for approval of the referenced site plan. It is my desire that this matter be included on the agenda for your November, 2022 City of Bryant planning Commission meeting.

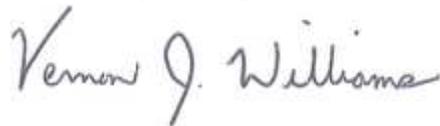
List of Enclosures

- 2 Full Set Plans
- Affidavit
- 8 Copies of Site Plan
- 8 Copies of Final Plat
- 1 Copy of Shop Building Elevation
- Bryant Large Development Checklist
- ADA/ABA Accessibility Standards Form
- Drainage Study (Sent Separately by Email)
- Review fee of \$250.00

If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,

GarNat Engineering, LLC



Vernon J. Williams, P.E., President

Bryant Planning Commission

Subdivision Checklist

Approved by
Bryant Planning Commission
07/14/2003 Revised 6/18/2007

Instructions

The attached checklist must be completed by the owner and subdivision engineer and must be submitted along with the Preliminary Plat Plan and other specified documentation for review and approval by the Planning Commission. The owner may not begin developing the subdivision until the review of the Preliminary Plat plan is approved.

No changes or alterations can be made to the approved Preliminary Plat Plan without Planning Commission approval.

When all lots have been surveyed, the utilities and drainage measures are in place, and roads have been constructed, the owner and engineer will submit a Final Plat Plan for approval by the Commission. This Final Plat Plan will incorporate all approved changes and will be verified by the City Engineer. No lots will be sold or rights-of-way and easements conveyed until the Final Plat has been submitted and approved.

Fees due to City of Bryant upon submission of Preliminary Plat application

- \$300.00 + \$3.00 per lot - for Subdivision preliminary plat review
- \$250.00 or \$25.00 per lot (**whichever is greater**) - Stormwater Detention and Drainage Plan Engineering Fee
- A Surety Bond or Cashier's check in the amount of 10% of the estimated development cost must be furnished within 10 days after Preliminary Plat approval.

Fees due to Bryant Water and Sewer Department upon submission of Final Plat application

- \$100 per lot - Water/Sewer Impact Fee
- \$100 per Subdivision Phase - Water/Sewer Flushing Fee

Fees due to City of Bryant upon submission of Final Plat application

- \$25.00 + \$1.00 per lot - for Subdivision Final Plat review

City of Bryant Subdivision Checklist

MARKET PLACE II SUBDIVISION

Subdivision/Project Name PHASE II LOTS 12 THROUGH 16

Contact Person VERNON WILLIAMS Phone (501) 408-4650

Mailing Address 3825 MT CARMEL ROAD, BRYANT, AR
72022

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning C-2
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length oftangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
 - 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or....
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

MARKET PLACE II
 PHASE II

 Name of Subdivision

George Woodson

 Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.

[Signature]

 Owner Signature

Vernon J. Williams

 Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____

GNE

3825 Mt Carmel Rd.
Bryant, AR 72022

GarNat Engineering, LLC

P.O. Box 116
Benton, AR 72018

October 5, 2022

Mr. Truett Smith
Bryant Planning Coordinator/Planning Commission Secretary
210 SW 3rd Street
Bryant, AR 72022

Re: Final Plat – Market Place II Subdivision Phase II Lots 12 through 16

Dear Mr. Smith:

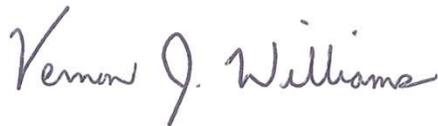
Please allow this letter and following list of enclosures to serve as my application for approval of the referenced final plat. It is my desire that this matter be included on the agenda for your October 10 ,2022 City of Bryant Planning Commission meeting. The developer for the project is Bryant Realty Company, LLC, 422 North Main Street, Benton, Arkansas 72015 bferg620@gmail.com (501) 840-2282.

List of Enclosures

- 8 Copies of the Final Plat
- Bryant Subdivision Checklist
- Digital copy of documents- transmitted by email
- Final Plat review fees of \$30.00

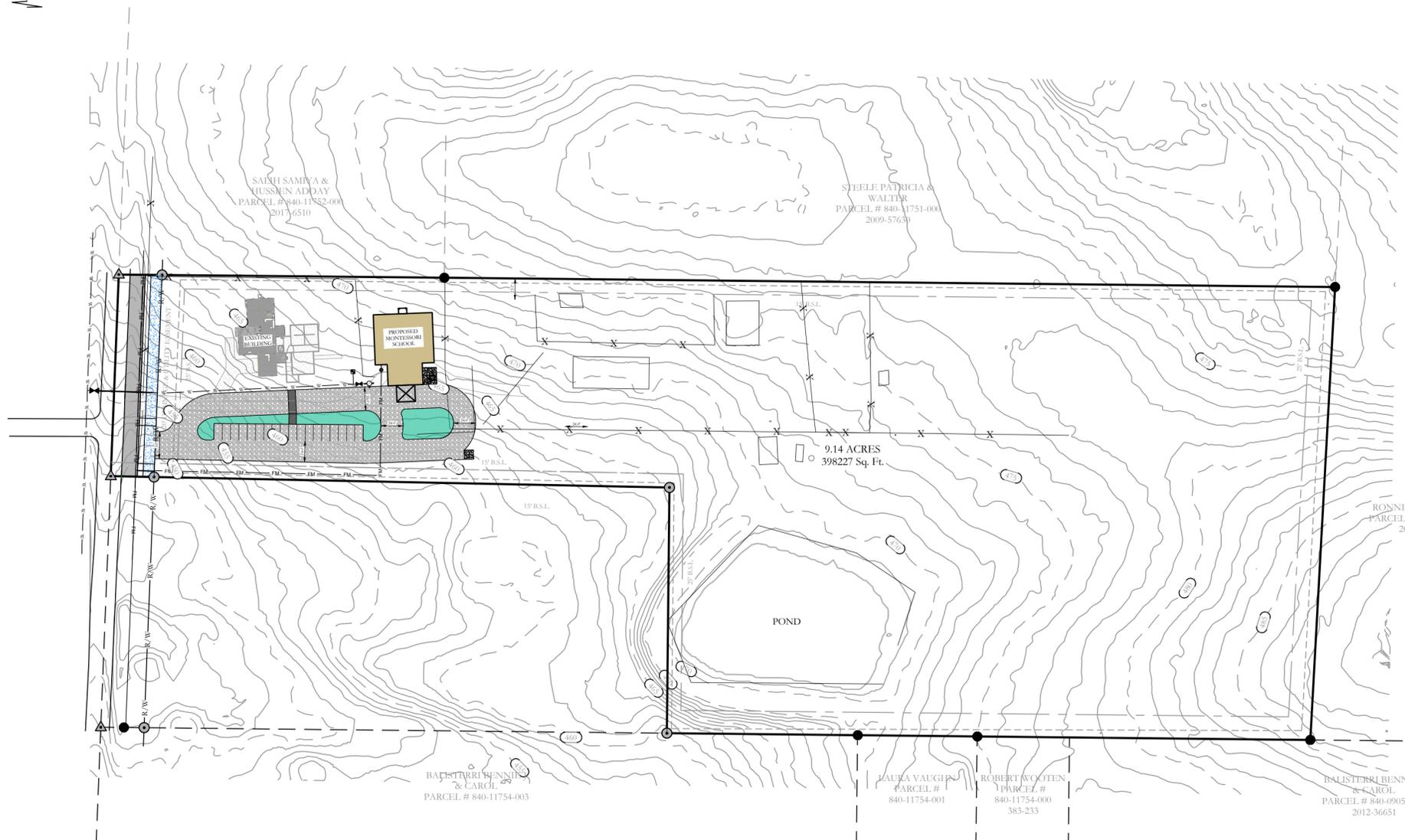
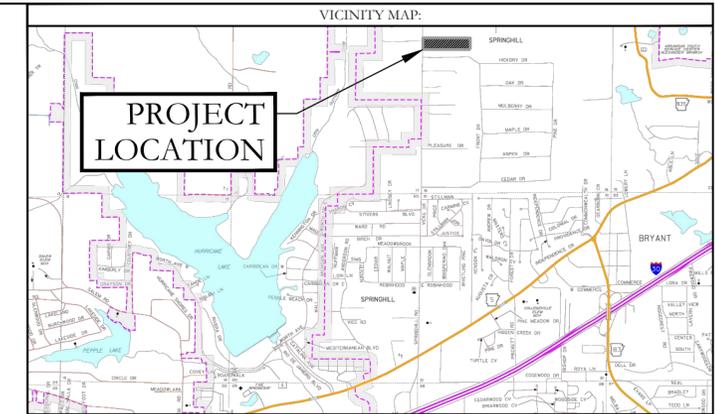
If you have questions or need any additional information, please do not hesitate to contact me.

Sincerely,
GarNat Engineering, LLC



Vernon J. Williams, P.E., President

FIP
NW CORNER NW 1/4 NW 1/4
SECTION 16, T-01-S, R-14-W



UTILITY PLAN LEGEND	
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	SANITARY SEWER LINE
	WATER LINE
	SEWER MANHOLE
	SANITARY SEWER CLEANOUT

SOUND IN PAVEMENT
SW CORNER SW 1/4 SW 1/4
SECTION 16, T-01-S, R-14-W

LEGAL DESCRIPTION:
PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 16, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, THENCE S2°15'35"W ALONG WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 819.14 FEET TO THE **POINT OF BEGINNING**; THENCE S89°26'33"E, A DISTANCE OF 353.66 FEET TO A FOUND IRON PIN AT THE SOUTHEAST CORNER OF LAND DESCRIBED IN INSTRUMENT #2017-006510 FILED IN SALINE COUNTY, ARKANSAS; THENCE ALONG THE SOUTH PROPERTY LINE OF LAND DESCRIBED IN INSTRUMENT #2009-57630 FILED IN SALINE COUNTY, ARKANSAS, S89°23'57"E, A DISTANCE OF 967.93 FEET TO A 3/8" FOUND IRON PIN WITH CAP #128 ON THE WEST PROPERTY LINE OF LANDS OWNED BY RONNY BROADWAY DESCRIBED INSTRUMENT #2020-017777 FILED IN SALINE COUNTY, ARKANSAS; THENCE LEAVING SAID SOUTH LINE ALONG THE WEST LINE OF BROADWAY, S03°06'57"W, A DISTANCE OF 494.53 FEET TO A 3/8" REBAR AND THE NORTH LINE OF LANDS DESCRIBED IN SALINE COUNTY DOCUMENT #2012-36651; THENCE N89°23'43"W, A DISTANCE OF 1313.94 FEET ALONG THE NORTH LINE OF LANDS OWNED BY BALISTERRI, WOOTEN AND VAUGH; THENCE N02°15'55"E, A DISTANCE OF 493.91 FEET TO THE POINT OF BEGINNING, CONTAINING 14.71 ACRES, MORE OR LESS.

A PORTION OF THE PROPERTY DESCRIBED HEREON LIES WITHIN THE 100 YEAR FLOODPLAIN, ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL #05125C0225E, DATED: 6/5/2020.

BUILDING SETBACKS:
FRONT - 25' OR AS SHOWN
REAR - 25' OR AS SHOWN
SIDE - 15' OR AS SHOWN

EASEMENTS: UTILITY & DRAINAGE (D.E. & U.E.)
FRONT - 15' OR AS SHOWN
REAR - 10' OR AS SHOWN
SIDE - 5' OR AS SHOWN
LOT CORNERS: SET 1/2" REBAR WITH CAP

BASIS OF BEARINGS:
GRID NORTH ARKANSAS
COORDINATE SYSTEM,
SOUTH ZONE BY G.P.S.
OBSERVATIONS



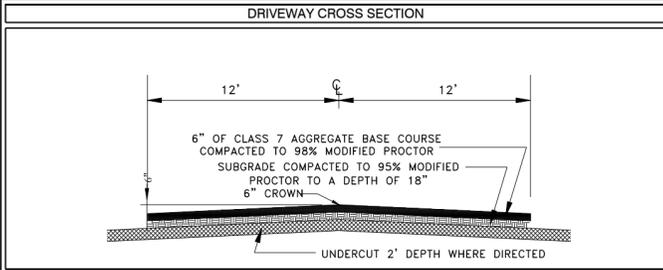
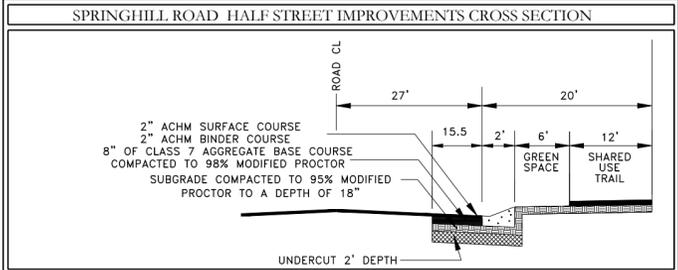
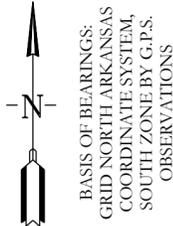
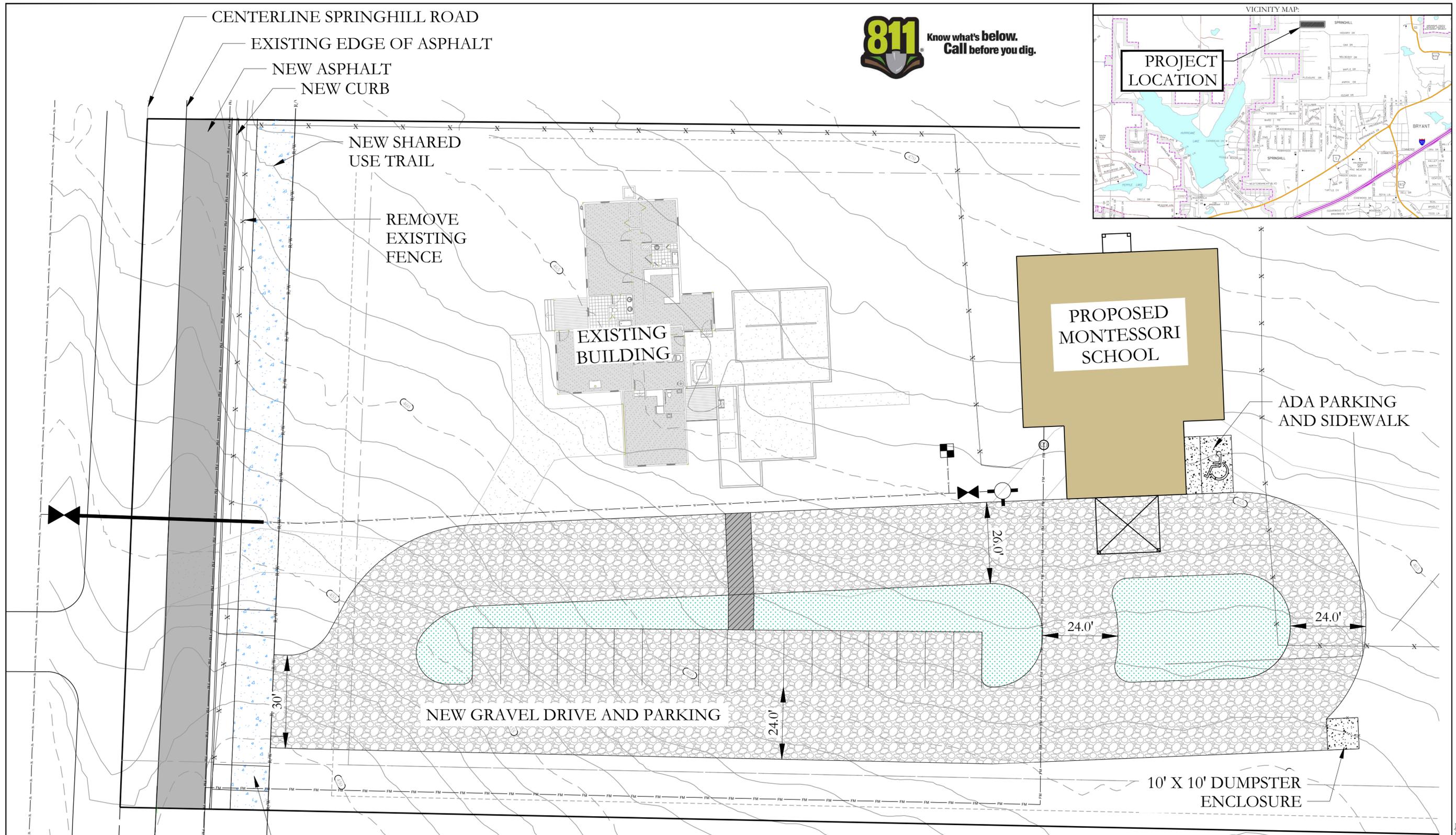
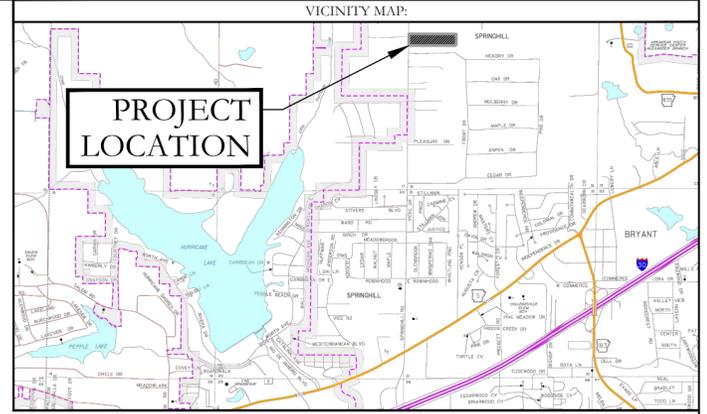
SITE PLAN
NUCKOLS ESTATES
A SUBDIVISION, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS



LEGEND	
	Found Aliquot Corner
	Found monument
	Set 1/2" Rebar
	Computed point
	Measured
	Plat/Deed
	Fence

HOPE CONSULTING ENGINEERS - SURVEYORS		117 S. Market Street, Benton, Arkansas 72015 PH. (501)315-2626 FAX (501) 315-0024 www.hopeconsulting.com	
FOR USE AND BENEFIT OF: SHANNON NUCKOLS			
SITE PLAN NUCKOLS ESTATES A SUBDIVISION, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS			
DATE: 08/10/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER:	
REVISED:	CHECKED BY:	20-0673	
SHEET: 500	SCALE: 1"= 100'	1762	

K:\Land Projects\2019\Survey\2020\20-0673 M&S\Site Plan\06-28-22 phase 1.dwg



HOPE CONSULTING
ENGINEERS - SURVEYORS

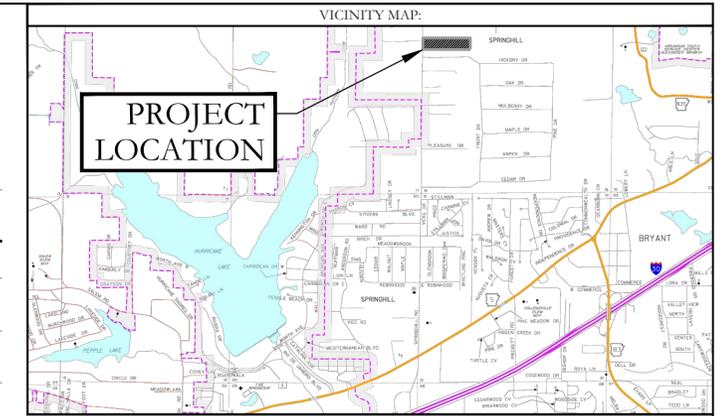
117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

CONSTRUCTION PLAN
NUCKOLS ESTATES
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	08/10/2022	C.A.D. BY:	B.JOHNSON	DRAWING NUMBER:	
REVISED:	08/24/2022	CHECKED BY:		20-0673	
SHEET:	500	SCALE:	1" = 100'		
	01S	14W	0 16	400	62 1762

K:\Land Projects\2010\Survey\2020\206073 M&S\Site_010\Springhill Road\210673_Site_Plan-06-28-22.dwg - Phase 1 - L:\overby



6X6 TAPPING SLEEVE
AND 6" GATE VALVE

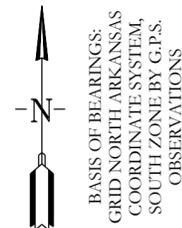
60 LF 12" STEEL
ENCASEMENT

DUPLEX GRINDER
PUMP STATION AND
1-1/4" FORCE MAIN

PROPOSED
MONTESSORI
SCHOOL

NEW GRAVEL DRIVE AND PARKING

8X2 TAPPING SLEEVE
AND 2" GATE VALVE
AND 2X1-1/4 REDUCER



BASIS OF BEARINGS:
GRID NORTH ARKANSAS
COORDINATE SYSTEM,
SOUTH ZONE BY G.P.S.
OBSERVATIONS

UTILITY PLAN LEGEND

- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER LINE
- WATER LINE
- SEWER MANHOLE
- SANITARY SEWER CLEANOUT

HOPE
CONSULTING
ENGINEERS - SURVEYORS

117 S. Market Street,
Benton, Arkansas 72015
PH. (501)315-2626
FAX (501) 315-0024
www.hopeconsulting.com

FOR USE AND BENEFIT OF:
SHANNON NUCKOLS

UTILITY PLAN
NUCKOLS ESTATES
BRYANT, SALINE COUNTY, ARKANSAS

DATE:	08/10/2022	C.A.D. BY:	B. JOHNSON	DRAWING NUMBER:	
REVISED:		CHECKED BY:		20-0673	
SHEET:	500	SCALE:	1" = 100'		
	01S	14W	0 16	400	62 1762

HOPE

CONSULTING

ENGINEERS - SURVEYORS

September 28, 2022

Truett Smith
City of Bryant
210 Southwest Third St., Bryant, AR 72022

RE: Rezone Request from R2 to PUD (Planned Unit Development)
Parcel #: 840-11625-125

Dear Mr. Truett Smith,

I represent NXT Gen Homes LLC, in the above-captioned matter. This 54 acre piece of property is located inside the City of Bryant. This property has access to Bryant water and sewer. This development will be for single family residential homes.

Hilltop Manor will create a mixture of lot and home sizes in a unique neighborhood. This neighborhood will feature abundant green space for the neighborhood to gather. Our clients neighborhoods have been extremely successful in West Little Rock. They are excited to bring their unique neighborhood to Bryant.

It is our goal to be included on the November 14th, 2022 Planning Commission agenda.

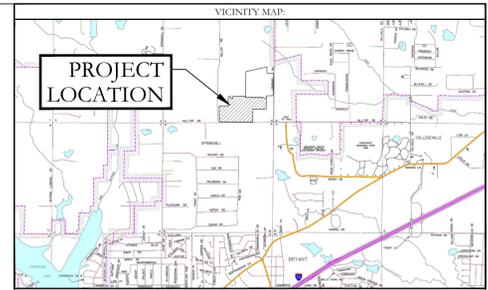
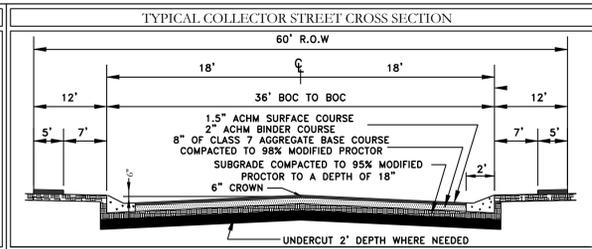
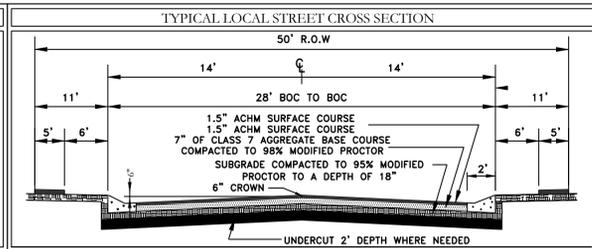
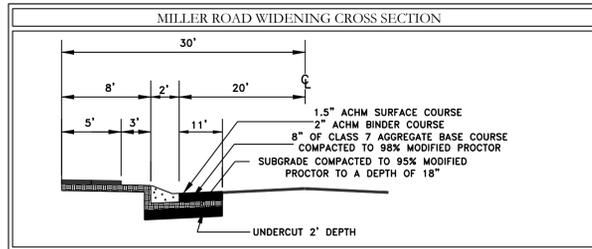
Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,



Jonathan Hope
Hope Consulting, Inc.

117 SOUTH MARKET ST. BENTON, ARKANSAS 72015
501-315-2626
WWW.HOPECONSULTING.COM



OWNER: NXT GEN HOMES LLC
 Name: 19218 SUMMERSHADE DRIVE
 Address: BRYANT, AR 72022

DEVELOPER: NXT GEN HOMES LLC
 Name: 19218 SUMMERSHADE DRIVE
 Address: BRYANT, AR 72022

CERTIFICATE OF OWNER:
 We, the undersigned, owners of the real estate shown and described herein do hereby certify that we have had off-platted and subdivided, and do hereby lay off, plat and subdivide said real estate in accordance with the within plat.

Date of Execution _____ Name: _____
 Source of Title: D.R. BOOK _____ PAGE: _____

CERTIFICATE OF PRELIMINARY SURVEYING ACCURACY:
 I, Jonathan L. Hope, hereby certify that this proposed preliminary plat correctly represents a survey completed by me, or under my supervision on _____, that the boundary lines shown hereon correspond with the description in the deeds cited in the above Source Title; and that all monuments which were found or placed on the property are correctly described and located.

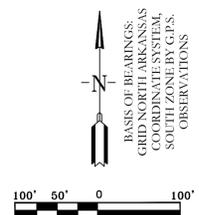
Date of Execution _____ Signed: Jonathan L. Hope
 Registered Professional Land Surveyor No. 1762
 Arkansas

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY:
 I, William W. McFadden, hereby certify that this plat correctly represents a survey and a plan made by me or under my supervision; that all monuments shown hereon actually exist and their location, size, type and material are correctly shown; and that all requirements of the City of Bryant Subdivision Rules and Regulations have been fully complied with.

Date of Execution _____ Signed: William W. McFadden
 Registered Professional Engineer, No. 14048 Arkansas

CERTIFICATE OF PRELIMINARY PLAT APPROVAL:
 All requirements of the City of Bryant Subdivision Rules and Regulations relative to the preparation and submittal of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted, subject of further provisions of said Rules and Regulations.

This Certificate shall expire _____
 Signed: Rick Johnson, Chairman
 Bryant Planning Commission



PROPERTY SPECIFICATIONS:	
OWNER: NXT GEN HOMES LLC 19218 SUMMERSHADE DRIVE BRYANT, AR 72022	NUMBER OF LOTS: 208
DEVELOPER/SUBDIVIDER: NXT GEN HOMES LLC 19218 SUMMERSHADE DRIVE BRYANT, AR 72022	SOURCE OF WATER: CITY OF BRYANT
ENGINEERS: HOPE CONSULTING, INC. 117 S MARKET STREET BENTON, AR 72015	SOURCE OF SEWER: CITY OF BRYANT
NAME OF SUBDIVISION: HILLTOP MANOR	SOURCE OF ELECTRIC: ENTERGY
SOURCE OF TITLE: DEED BOOK 209, PAGE 02892	SOURCE OF GAS: CENTERPOINT
	DEED BOOK 209, PAGE 02892
	BUILDING SETBACKS:
	FRONT: 25' OR AS SHOWN
	REAR: 15' OR AS SHOWN
	SIDE: 8' OR AS SHOWN
	UTILITY & DRAINAGE EASEMENTS:
	FRONT: 10' OR AS SHOWN
	REAR: 5' OR AS SHOWN
	SIDE: 5' OR AS SHOWN

By affixing my seal and signature, I Jonathan L. Hope, Arkansas PLS No. 1762, hereby certify that this drawing correctly depicts a survey compiled by me or under my direct supervision.

NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.

No portion of the property described hereon lies within the 100 year floodplain, according to the Flood Insurance Rate Map, panel # 05125C0225E, Dated: 06/05/2020

HOPE CONSULTING
 ENGINEERS - SURVEYORS

117 S. Market Street,
 Benton, Arkansas 72015
 PH. (501)315-2626
 FAX (501) 315-0024
 www.hopeconsulting.com

FOR USE AND BENEFIT OF:
NXT GEN HOMES LLC

**PLANNED UNIT DEVELOPMENT (PUD)
 HILLTOP MANOR SUBDIVISION**
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

DATE: 09/28/2022	C.A.D. BY: BJOHNSON	DRAWING NUMBER: 20-1341
REVISED:	CHECKED BY:	
SHEET:	SCALE: 1"=100'	
500	01S	14W 0 09 200 62 1762

**PLANNED UNIT DEVELOPMENT (PUD)
 HILLTOP MANOR SUBDIVISION**
 A SUBDIVISION IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS.

LEGEND

- - Aliquot Corner
- - Found monument
- ⊙ - Set 1/2" Rebar
- △ - Computed point
- (M) - Measured
- (P) - Plat/Deed
- - Fence



City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 9/27/2022

Applicant or Designee:

Name Jonathan Hope
Address 117 S. Market Street
Phone 501-315-2626
Email Address jonathan@hopeconsulting.com

Property Owner (If different from Applicant):

Name NXT GEN Homes, LLC
Address 19218 SUMMERSHADE DR
Phone 501-240-0049
Email Address scott@arlr.et

Property Information:

Address _____
Parcel Number 840-11625-125
Existing Zoning Classification R-2
Requested Zoning Classification PUD

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)
54 Acres See Exhibit Attached

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- If someone, other than the owner, will be handling the zoning process, we will require a

letter from the owner of said property, giving him or her authority to do so.

- Recent surveyed plat of the property including vicinity map

Additional Requirements:

*Items below **must be completed before the public hearing can occur.** Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.*

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
- Posting of Property: The city shall provide signs to post on the property involved for the fifteen (15) consecutive days leading up to Public hearing. One (1) sign is required for every two hundred (200) feet of street frontage.
- Notification of adjacent landowners: Applicant shall attempt to inform by certified letter, return receipt requested, all owners of land within three hundred (300) feet of any boundary of the subject property of the public hearing. (Sample letter attached below)
- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

I _____, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, November 14th, 2022 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a rezone request at the site of
Parcel #840-11625-125 (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

September 27, 2022

RE: Rezoning Petition

The property located at NE Corner f Miller and Hilltop is being considered for rezoning from R2 to PUD. The property is more particularly described as follows:

Parcel # 840-11625-125

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday November 14th, 2022 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3rd Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0857 or by contacting me at 501-860-0467.

Thank you for your consideration in this matter.

Sincerely,


Jonathan Hope
Hope Consulting



PROPERTY DESCRIPTION DOCUMENT NUMBER 2019-015717

THE PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, SECTION 23, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS:
 BEGINNING 370 FEET EAST OF THE NORTHWEST CORNER OF SAID WEST HALF OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER AND RUN THENCE EAST 71 FEET; THENCE SOUTH 420 FEET; THENCE WEST 71 FEET; THENCE NORTH 420 FEET TO THE POINT OF BEGINNING;

SUBJECT TO THE RIGHT OF WAY OF JOHNSWOOD ROAD

1" X 2" STEEL BAR
 NW CORNER
 W 1/2 SW 1/4 SE 1/4
 SECTION 23
 T-1-S, R-14-W

P.O.C. S 87°53'25" E 370.15' (MEAS.)
 370.00' (DEED)

P.O.B. L1

JOHNSWOOD ROAD (60' R/W)

S 87°53'33" E 878.44'

NE CORNER
 SW 1/4 SE 1/4
 SECTION 23
 T-1-S, R-14-W

EDGE OF ASPHALT DR

47.44'

39.79'

2.82'

REBAR #5

218.72'

REBAR W/CAP# 128
 NE CORNER
 LOT 28,
 CAMBRIDGE PLACE S/D
 PHASE 2

0.68 ACRES
 29575 SQ. FT.

LINE TABLE CHART (MEAS.)

LINE	BEARING	DISTANCE
L1	S 87°53'33" E	70.42'
L2	N 86°59'40" W	71.00'

LINE TABLE CHART (DEED)

LINE	BEARING	DISTANCE
L1	S 90°00'00" E	71.00'
L2	N 90°00'00" W	71.00'

N 00°00'00" E 420.00' (DEED)
 N 02°53'00" E 417.72' (MEAS.)

S 00°00'00" E 420.00' (DEED)
 S 02°50'12" W 418.83' (MEAS.)

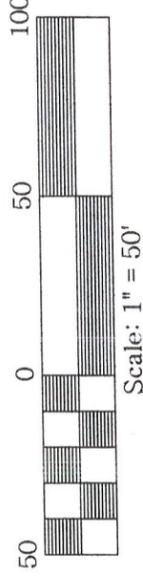
BYRON DRIVE
 (50' R/W)

NORTH RIGHT OF WAY LINE OF BYRON DRIVE

#5 REBAR AT BASE OF TREE

#5 REBAR BEARS 2.46'
 EAST OF CORNER

- LEGEND
- - FOUND MONUMENT
 - - SET #5 REBAR/CAP #1506
 - △ - COMPUTED POINT
 - ⊕ - CONTROLLING CORNER
 - * - FENCE



308 W. South Street
 Benton, AR 72015
 Office/Fax: (501) 860-6893
 E-Mail: aaron@razsurvey.com

FILE: C:\DRAWINGS\1S-14WS 23 SERGIO MARTINEZ

STATE CODE: 500-01S-14W-0-23-230-62-1506

FOR USE AND BENEFIT OF:
SERGIO MARTINEZ

PROPERTY ADDRESS:
 2008 JOHNSWOOD ROAD
 BRYANT, AR.

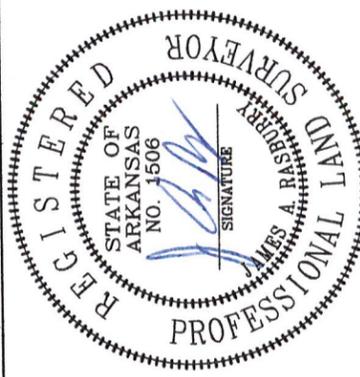
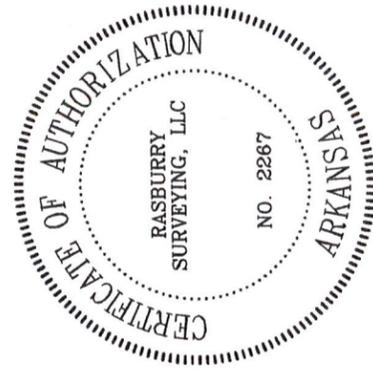
FIELDWORK DATE: 8-22-22

PLAT DATE: 9-26-22

DRAWN BY: DCR

CHECKED BY: JAR

JOB#: 22-245



THE BEARING SYSTEM IS BASED ON
 GRID NORTH PER GPS OBSERVATION





City of Bryant, Arkansas
Community Development
210 SW 3rd Street Bryant, AR 72022
501-943-0943

Rezoning Application

Applicants are advised to read the Amendments section of Bryant Zoning Code prior to completing and signing this form. The Zoning Code is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 10/05/2022

Applicant or Designee:

Name Sergio R Martinez
Address 2008 Johnswood rd
Phone _____
Email Address _____

Property Owner (If different from Applicant):

Name Sergio R Martinez
Address 15611 Lindsey Dr Alexander, Ar 72002
Phone (501) 765-1726
Email Address martinez055@outlook.com

Property Information:

Address 2008 Johnswood rd
Parcel Number 2019-015717
Existing Zoning Classification R4
Requested Zoning Classification R2

Legal Description (If Acreage or Metes and Bounds description, please attach in a legible typed format)

Application Submission Checklist:

- Letter stating request of zoning change from (Current Zoning) to (Requested Zoning) and to be placed on the Planning Commission Agenda
- Completed Rezoning Application
- Rezoning Application Fee (\$40 fee for lot and block descriptions or \$125 for acreage or metes and bound descriptions)
- N/A If someone, other than the owner, will be handling the zoning process, we will require a

- letter from the owner of said property, giving him or her authority to do so.
- Recent surveyed plat of the property including vicinity map

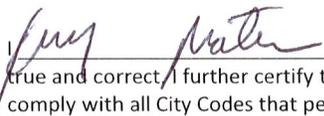
Additional Requirements:

*Items below **must be completed before the public hearing can occur.** Failure to provide notices in the following manners shall require delay of the public hearing until notice has been properly made.*

- Publication: Public Notice shall be published by the applicant at least one (1) time fifteen (15) days prior to the public hearing at which the rezoning application will be heard. Once published please provide a proof of publication to the Community Development office. (Sample notice attached below)
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- Certified list of property owners, all return receipts, and a copy of the notice shall be provided to the Community Development Department at least five (5) days prior to the public hearing.

Note: that this is not an exhaustive guideline regarding the Conditional Use Permit Process. Additional information is available in the Bryant Zoning Ordinance.

READ CAREFULLY BEFORE SIGNING

, do hereby certify that all information contained within this application is true and correct. I further certify that the owner of the property authorizes this proposed application. I understand that I must comply with all City Codes that pertain to this project and that it is my responsibility to obtain all necessary permits as needed.

NOTICE OF PUBLIC HEARING

A public hearing will be held on Monday, November 14th, 2022 at 6:00 P.M.
at the Bryant City Office Complex, 210 Southwest 3rd Street, City of Bryant, Saline
County, for the purpose of public comment on a conditional use request at the site of
2008 Johnswood Rd, Bryant, AR 72022 (address).

A legal description of this property can be obtained by contacting the Bryant Department
of Community Development.

Rick Johnson
Chairman Board of Zoning Adjustment
City of Bryant

*This notice is to be run in the legal notices section of the Saline Courier
no less than 15 days prior to the public hearing.*

SAMPLE LETTER

Date

Name

Address

RE: Rezoning Petition

The property located at 2008 Johnswood rd is being considered for rezoning from RE to R2. The property is more particularly described as follows:

INSERT LEGAL DESCRIPTION OF PROPERTY

An application has been filed with the City of Bryant Planning Commission to rezone the property. As part of this process, a public hearing will be held on Monday _____, 2021 at 6:00 PM in the Boswell Community Center Courtroom, 210 SW 3rd Street, Bryant, AR 72022.

Public comments will be accepted at that time regarding this rezoning. Since you own property within 300 feet of the property in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0857 or by contacting me at _____.

Thank you for your consideration in this matter.

Sincerely,

Your Signature

Your Name

Sergio Martinez
Sergio Martinez

October 12, 2022

City of Bryant
Community Development
210 SW 3rd Street
Bryant, AR 72022

RE: **Target Building Signage and Drive Up Parking Variance Application**

Mr. Leonard:

Please accept this justification letter in response to the City of Bryant’s sign variance application, revised parking layout, and front walk/site sustainability improvements.

Building Signage and Exterior Improvements

The applicant is seeking a variance in the number of signs allowed per street frontage (Section 3.04 – Signs in Commercial C-2 District). The building is situated on a corner lot, allowing for one additional sign on the east frontage of the building, facing Mt. Carmel Road.

Target is proposing 4 signs on the frontage of the building facing northwest toward Mt. Carmel Road. The store currently has one large bullseye sign with “Target” underneath and a CVS Pharmacy sign. The proposed signage on the front of the building includes the following:

- 13’-0” bullseye 132.73 sf
 - 1’-2” “Order Pickup” sign 24.59 sf
 - “Drive Up” sign with 24” letters 77.10 sf
 - CVS Pharmacy sign (existing to remain) 36.62 sf
- 271.04 sf total**

Section 3.04 of the signage code for Commercial C-2 districts allows for two square feet per one linear foot of building façade. The front of the building is approximately 404’ in width, allowing for 808 square feet of total sign area. The proposed sign area is well below this threshold at approximately 271 square feet. The additional “Drive Up” sign is intended to be used as a wayfinding sign to direct customers utilizing the drive-up service to the correct location within the parking lot. The proposed “Order Pickup” sign near the entrance of the building is intended to direct customers to the front entrance for order pickup. Target has found that including these signs reduces customer confusion and circulating the parking lot, reducing the potential for collisions or other incidents. The existing CVS Pharmacy sign is intended to remain in place. All signs are of high quality and are intended to maintain a subtle but effective presence.

The east side of the store will also include one bullseye with “Target” sign (195.7 sf). The street frontage along the eastern side of the building is 347’-5” yielding an allowable signage area of approximately 695 square feet; the proposed signage area is well within the limits at approximately 196 sf. This sign is allowable as stated in Section 3.04 of the signage code for buildings fronting multiple streets.

In addition to the building signage, the proposed façade improvements include the installation of EIFS panelling along the front and east side of the store frontage.

Drive Up Parking Modifications

Target is proposing relocating and expanding the existing Drive-Up area including wayfinding signage. Wayfinding signage on the building is desired to give Target patrons an easy and identifiable location to pick up their online orders. As part of Target's "Drive Up" program, they are expanding the number of stalls at this store location. Along with expanding the total number of stalls, the drive up location is being relocated and a curb ramp installed to align with a proposed doorway from the building utilized by team members (doorway under separate permit). The relocation is proposed to provide a safer and more direct route for team members.

Exterior Site Sustainability and Front Walk Modifications

The existing parking lot islands contain mostly mulch and an unsustainable sod mix. Target is proposing to improve the planting materials within the parking lot islands, replacing the existing planting material with groundcover plant material to reduce urban heat island effect, amend soil in landscape area near critical root zone to create a healthier environment for tree species, and encourage pollinators prosperity. The design impact is anticipated to reduce CO2 with site vegetation and intercept additional rainwater runoff.

In addition to the revised planting within the parking lot, Target is proposing to improve a portion of the front entry walk with the installation of cart storage, bike racks, and benches with planter walls and plantings. Plans and a narrative for the site sustainability are provided with this submittal.

Additional Site Lighting – Drive Up Area

As part of the Drive Up expansion, the applicant is proposing to install two additional site lights for employee and customer safety in the drive up area. The proposed site lights will match existing site lights on site in type, size, color, and finish. Preliminary lighting plans are provided with this submittal.

Should you have any questions or require additional information, please do not hesitate to contact me at christian.jones@kimley-horn.com

Sincerely,



Christian Jones, P.E.
KIMLEY-HORN AND ASSOCIATES, INC



T 2 2 0 4 Bryant, AR

09.23.2022

Exterior Site Sustainability

Haley Maitre

Summary:

The Bryant design focuses on promoting biodiversity, while stewarding in the natural heritage of the central Arkansas region and maintaining a high-level of guest experience. With the implantation of native vegetation, pollinators are supported through the supply of additional food and shelter. Native plants are the best foundation for diversity and ecological growth within a community. Native plants are also more likely to establish quickly and provide year-round beauty. Cleaner air is also a byproduct of species restoration, as plants absorb the carbon dioxide emitted by cars. These native species showcase horticultural appeal at the front of each store and add economic value through the transformation of a parking area.

Site Challenges:

- Existing plant material lacks diversity and abundance within the parking islands
- The reoccurrence of plant species creates a mono-culture and the subsequent lack of biodiversity is not beneficial to pollinator species
- Existing parking islands consist of mostly mulch and an unsustainable sod mix

Design Response:

- Add groundcover plant material to reduce urban heat island effect and encourage pollinators prosperity
- Amended soil in landscape areas near critical root zone to create a healthier environment for the tree species
- Convert the turf area in the large linear landscape island to a regenerative landscape area.

Design Impact:

- Total Amended Soil Area: 18,276 SF
- Total Number of Parking Island Modified: 28
- Total Amount of CO₂ Sequestered Annually by Site Vegetation: 7,780 lbs of CO₂
- Runoff Intercepted by Site Vegetation: 57,800 gallons/year

Recommendations & Future Opportunities: Low to Medium Scope

- Utilize areas within landscape islands as potential rain gardens and stormwater filtration efforts
- Install additional landscape islands to minimize existing paving field and reduce the urban heat island effect
- Increase pollinator garden species in sodded perimeter areas to increase sustainability, biodiversity, and aesthetic qualities
- Add landscape islands at catch basins to mitigate stormwater and improve water quality.



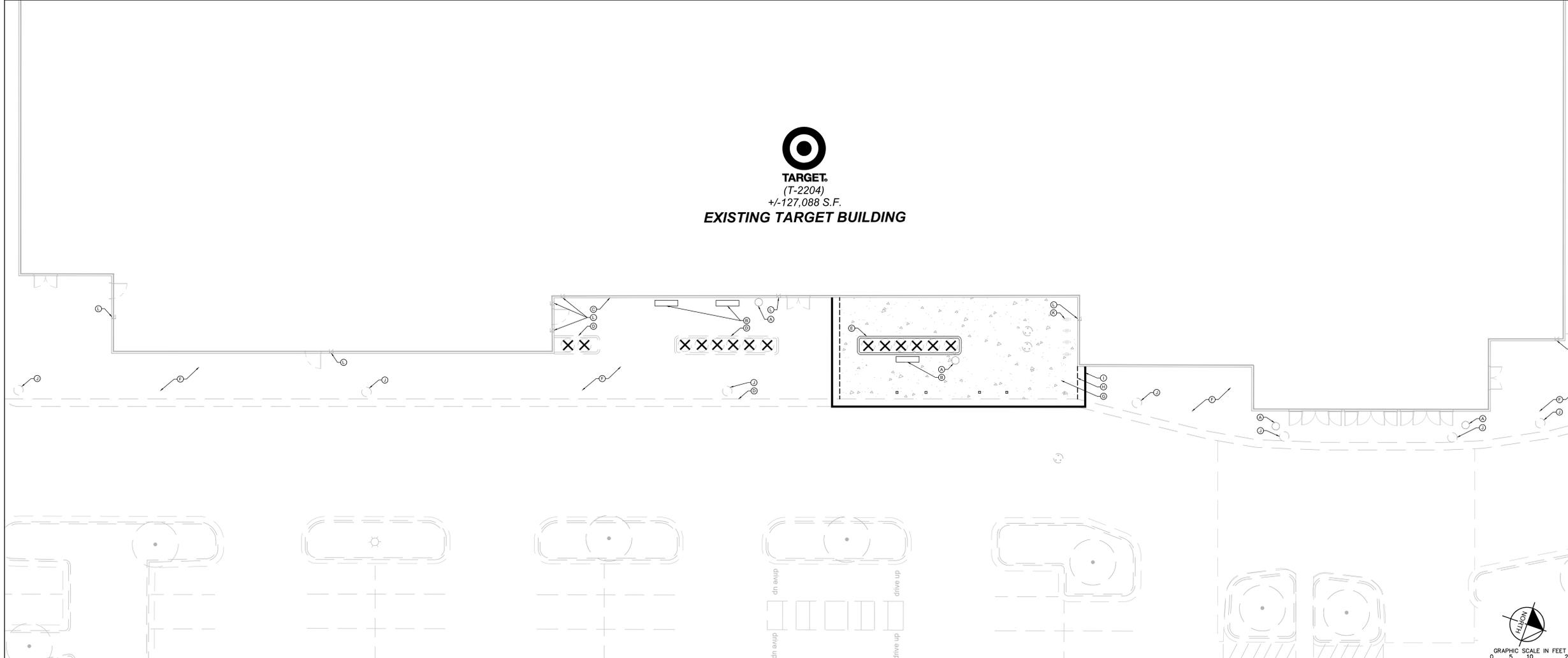
TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

TARGET
(T-2204)
+/-127,088 S.F.
EXISTING TARGET BUILDING

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
401 B STREET, SUITE 600
SAN DIEGO, CA 92101
PHONE: 619-234-9411
WWW.KIMLEY-HORN.COM

Date	No.	Description
09/23/2022	0	DESIGN DEVELOPMENT SUBMITTAL



1 DEMO PLAN
SCALE: 1"=10'

L100

DEMOLITION PLAN NOTES

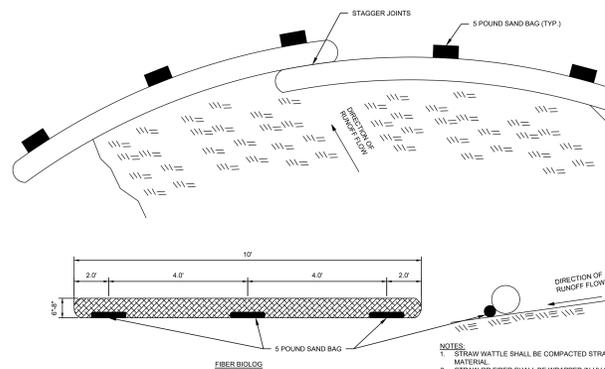
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNER'S REPRESENTATIVE.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY OF MANFELD, RICHLAND COUNTY AND ODOT.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

KEYNOTE LEGEND

- ⊙ REMOVE TRASH RECEPTACLE (TYP.)
- ⊙ REMOVE BENCH (TYP.)
- ⊙ BUILDING CURB TO REMAIN (TYP.)
- ⊙ CONCRETE CURBS TO REMAIN (TYP.)
- ⊙ REMOVE CONCRETE CURB (TYP.)
- ⊙ CONCRETE SIDEWALK TO REMAIN (TYP.)
- ⊙ REMOVE CONCRETE SIDEWALK (TYP.)
- ⊙ SAWCUT LINE (TYP.)
- ⊙ FIBER BIO-LOG
- ⊙ SPHERICAL BOLLARD TO REMAIN (TYP.)
- ⊙ REMOVE BIKE RACK (TYP.)
- ⊙ SECURITY CAMERA TO REMAIN (TYP.)

LEGEND

- | EXISTING | REMOVALS | PROPERTY LINE (TYP.) |
|----------|----------|-------------------------------|
| | | CONCRETE SURFACE (TYP.) |
| | | FULL DEPTH SAWCUT (TYP.) |
| | | TREE (TYP.) |
| | | LIMITS OF CONSTRUCTION (TYP.) |
| | | CURB & GUTTER (TYP.) |
| | | WATERMANN (TYP.) |
| | | BIOM (TYP.) |
| | | STORM MANHOLE (TYP.) |
| | | ROOF DRAIN (TYP.) |
| | | HYDRANT (TYP.) |
| | | LIGHT POLE (TYP.) |
| | | SPHERICAL BOLLARD (TYP.) |
| | | CYLINDRICAL BOLLARD (TYP.) |
| | | BENCH (TYP.) |
| | | TRASH RECEPTACLE (TYP.) |
| | | BIKE RACK (TYP.) |
| | | BUILDING CURB (TYP.) |
| | | TABLE (TYP.) |
| | | CART STORAGE (TYP.) |



2 FIBER BIO-LOG
SCALE: N.T.S.

L100

- NOTES:**
- STRAW WHATTLE SHALL BE COMPACTED STRAW AND/OR ORGANIC FIBER MATERIAL.
 - STRAW OR FIBER SHALL BE WRAPPED IN UV STABILIZED DEGRADABLE TUBULAR POLYPROPYLENE PLASTIC NETTING.



Know what's below. Call 811 before you dig.

TARGET
BRYANT, AR
7377 ALCOA RD,
BRYANT, AR 72022

PROJECT NUMBER **T-2204**

CONFIG:

DRAWN BY: CDE

CHECKED BY: EIW

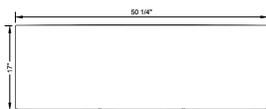
DEMO PLAN
FRONT WALK

L100

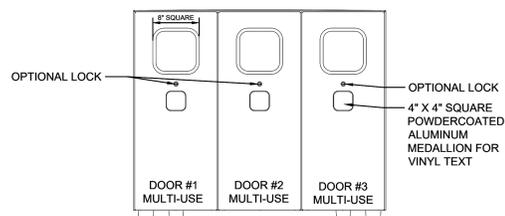


Know what's below.
Call before you dig.

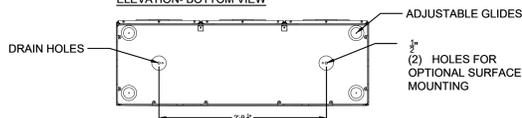
PLAN- TOP VIEW



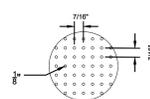
ELEVATION- FRONT VIEW



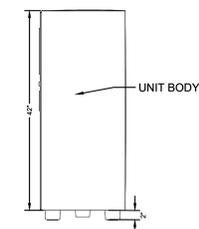
ELEVATION- BOTTOM VIEW



OPTIONAL PERFORATED DETAIL



ELEVATION- SIDE VIEW



*IT IS NOT RECOMMENDED TO DRILL HOLES FOR ANCHORING UNTIL UNIT IS ON SITE.

MANUFACTURER: LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

MODEL: TRIPLE UNIT TRASH / RECYCLING RECEPTACLE

FINISH: METALLIC STEEL/ POWDER COAT

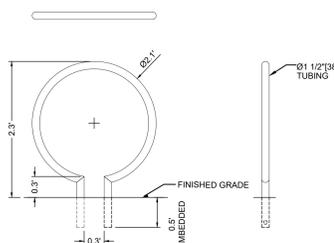
NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

MANUFACTURER: LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

MODEL: RING BIKE RACK

FINISH: POWDER COAT METALLIC STEEL

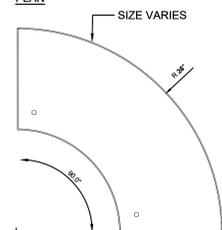
NOTE: INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS



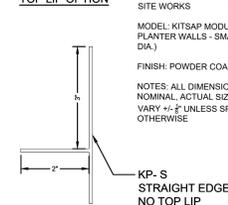
2 RING BIKE RACK

SCALE: N.T.S. L201

PLAN



TOP LIP OPTION



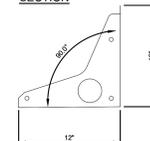
MANUFACTURER: TOURNESOL SITE WORKS

MODEL: KITSAP MODULAR PLANTER WALLS - SMALL (5' DIA.)

FINISH: POWDER COAT WHITE

NOTES: ALL DIMENSIONS ARE NOMINAL, ACTUAL SIZE MAY VARY +/- 1/8" UNLESS SPECIFIED OTHERWISE

SECTION



3 TOURNESOL PLANTER WALL

SCALE: N.T.S. L201

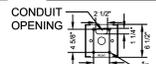
1 TRIPLE UNIT TRASH / RECYCLING RECEPTACLE

SCALE: N.T.S. L201

PLAN- TOP VIEW



BASE PLATE DETAIL



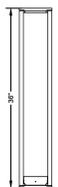
MANUFACTURER: LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
(830) 430-6209

MODEL: PROFILE UNLIT PERIMETER BOLLARD

FINISH: METALLIC STEEL/POWDER COAT

NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

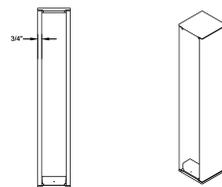
ELEVATION- FRONT



ELEVATION- BACK

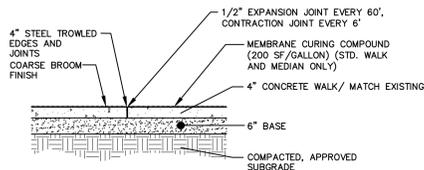


SIDE SECTION



4 PROFILE BOLLARD

SCALE: N.T.S. L201



NOTE: ALL EXCAVATION, 6" GRANULAR BASE, COMPACTION AND BACKFILL INCIDENTAL TO UNIT PRICE BID FOR 4" SIDEWALK.

5 CONCRETE SIDEWALK

SCALE: N.T.S. L201



TARGET
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
401 B STREET, SUITE 600
SAN DIEGO, CA 92101
PHONE: 619-234-9411
WWW.KIMLEY-HORN.COM

Date No. Description

09/23/2022 0 DESIGN DEVELOPMENT SUBMITTAL



BRYANT, AR
7377 ALCOA RD.
BRYANT, AR 72022

PROJECT NUMBER T-2204

CONFIG:

DRAWN BY: CDE

CHECKED BY: EIW

SITE FURNITURE
DETAILS FRONT
WALK

L201



Know what's below.
Call before you dig.



EXISTING TARGET BUILDING

LEGEND

EXISTING



PROPERTY LINE (TYP.)

TREES TO BE PROTECTED (TYP.)

SHRUBS AND GROUNDCOVER TO REMAIN AND ENHANCED WITH NEW PLANTING

STORM CATCHBASIN (TYP.)

HYDRANT (TYP.)

LIGHT POLE (TYP.)

CART STORAGE (TYP.)



TARGET
1000 NICOLLETT MALL
MINNEAPOLIS, MN 55403

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
401 B STREET, SUITE 600
SAN DIEGO, CA 92101
PHONE: 619-234-2411
WWW.KIMLEY-HORN.COM

Date No. Description

09/23/2022 0 DESIGN DEVELOPMENT SUBMITTAL

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	GAL	HT
	2	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	B # B	3' GAL
	2	NYSSA SYLVATICA / BLACK GUM	B # B	3' GAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	GAL	
	47	ARONIA ARBUTIFOLIA / RED CHOKEBERRY	3 GAL	
	184	ILEX GLABRA / INKBERY HOLLY	3 GAL	
	57	ITEA VIRGINICA / VIRGINIA SKEETSPIRE	3 GAL	
	51	RHUS AROMATICA / FRAGRANT SUMAC	3 GAL	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	GAL	
	326	CALYPTOCARPUS VIALIS / HORSEHERB	1 GAL	24" o.c.
	1278	IRIS VERSICOLOR / BLUE FLAG	1 GAL	12" o.c.
	1912	RUDBECKIA X 'AMERICAN GOLD RUSH' / AMERICAN GOLD RUSH CONEFLOWER	1 GAL	12" o.c.
	619	SOLIDAGO RUSOSA / WRINKLELEAF GOLDENROD	1 GAL	24" o.c.
	1261	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL	30" o.c.
GROUND COVER AREAS	QTY	BOTANICAL / COMMON NAME	GAL	
	204	SHREDDED HARDWOOD MULCH	MULCH	

NOTE:

- TOTAL SOIL AREA TO BE AMENDED: 18,276 SF
- AMENDED SOIL PROFILE FROM TOP TO BOTTOM:
 - 3" DEPTH SHREDDED HARDWOOD MULCH
 - 18"-24" DEPTH AMENDED SOIL PER SPECIFICATIONS
 - FILTER FABRIC WRAPPING FREE DRAINING AGGREGATE
 - 4" DEPTH FREE DRAINING AGGREGATE BASE
 - 3" WIDE PERFORATED PIPE WITH DRAIN AND SOCK FOR SOIL AERATION THROUGH DEPTH OF AMENDED SOIL PROFILE. PIPE LOCATIONS TO BE DETERMINE BY LANDSCAPE ARCHITECT IN CONSTRUCTION DOCUMENT SET.

PROPOSED PLANT LOCATIONS IN EXISTING SHRUB AND GROUNDCOVER AREAS TO REMAIN ARE APPROXIMATE. THESE PROPOSED PLANTS SHALL BE LOCATED WITHIN OPEN SPACES BETWEEN EXISTING SHRUB AND GROUNDCOVER PLANTS TO ENHANCE THE AREA AND PLANTED IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT.



TARGET
T-2204
4112 688 S.F.
EXISTING TARGET BUILDING



GRAPHIC SCALE IN FEET
0 15 30 60



Know what's below.
Call before you dig.



BRYANT, AR
7377 ALCOA RD,
BRYANT, AR 72022

PROJECT NUMBER T-2204

CONFIG:
DRAWN BY: OS
CHECKED BY: KSS/HM

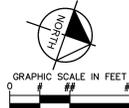
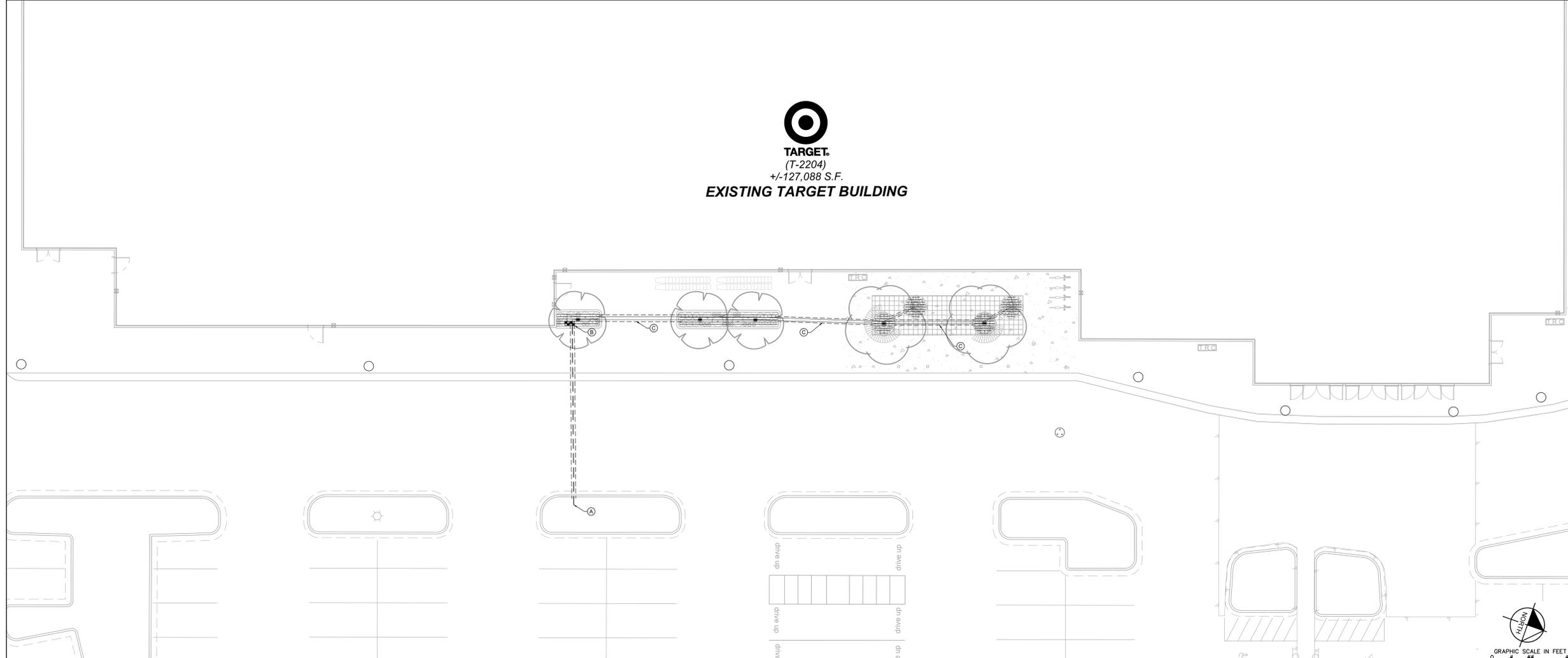
LANDSCAPE PLAN
EXTERIOR SITE

L301



Know what's below.
Call 811 before you dig.

Date	No.	Description
09/23/2022	0	DESIGN DEVELOPMENT SUBMITTAL



1 IRRIGATION PLAN
SCALE: 1"=10'

IRRIGATION NOTES

- IRRIGATION SYSTEM IS DIAGRAMMATIC. CONTRACTOR TO VERIFY AND DESIGN PER ACTUAL PRESSURE, PER LOCAL CODES, AND PER SITE REQUIREMENTS. FIELD VERIFY LOCATION OF COMPONENTS WITH ACTUAL CONDITIONS PRIOR TO INSTALLATION. ADJUST AS NEEDED FOR COMPLETE COVERAGE. SYSTEM TO INCLUDE ALL PLUMBING AND ELECTRICAL, INCLUDING CONDUIT, SLEEVING, AND WEATHER-PROOF ENCLOSURES. SYSTEM SHALL BE COMPLETE. CONTRACTOR TO PROVIDE SHOP DRAWINGS, DESIGN PRESSURE DESIGN CALCULATIONS, AND RELATED PRODUCT SHEETS FOR OWNER OR LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM AT THE COMPLETION OF THE PROJECT. SYSTEM SHALL HAVE A ONE-YEAR WARRANTY ON PARTS AND LABOR. THE IRRIGATION SYSTEM SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION. SEE SITE IRRIGATION SPECIFICATION SECTION FOR ADDITIONAL REQUIREMENTS. IF APPLICABLE, ZONE PARAMETERS: TURF AREAS SHALL HAVE SPRAYS/ROTORS, SHRUBS/PERENNIAL AREAS SHALL HAVE DRIP, AND TREES SHALL HAVE BUBBLERS.
- ALL PIPE 1.5" OR GREATER SHALL BE SDR 26 CLASS 200 FOR MAINLINE AND CLASS 160 FOR LATERAL PVC PIPE (DO NOT EXCEED 35 GPM FOR 1.5" AND 58 GPM FOR 2"). ALL PIPE 1.25" OR 1" SHALL BE 100 POLY PIPE OR CLASS 160 PVC PIPE, AS INDICATED (DO NOT EXCEED 15 GPM FOR 1" AND 22 GPM FOR 1.25"). PIPE SIZE TO BE IDENTIFIED BY CONTRACTOR PER ZONE REQUIREMENTS. DEPTH OF PIPE TO BE APPROXIMATELY 18" FOR MAINLINE AND 12" FOR LATERAL LINES, OR AS REQUIRED. FIELD VERIFY. LOCATE IRRIGATION PIPE AWAY FROM PLANT MATERIAL.
- ALL WIRING, BACKFLOW PREVENTOR, AND PLUMBING AS PER LOCAL CODE. WATER CONNECTION BY MECHANICAL AND UTILITY CONTRACTOR. VERIFY AND ADD BOOSTER PUMP AS REQUIRED. VERIFY POWER CONNECTION WITH ELECTRICAL.
- ALL VALVES, FLOW SENSORS, AND QUICK COUPLERS SHALL BE LOCATED IN VALVE BOXES (SIZED FOR NORMAL MAINTENANCE, FLUSH WITH FINAL GRADE. PROVIDE (2) QUICK COUPLER KEYS AND HOSE SWIVELS. PROVIDE DECODERS FOR 2-WIRE SYSTEM AT EACH VALVE. FOR DRIP ZONES, PROVIDE DRIP KIT OF VALVE, PRESSURE REDUCER, AND FILTER WITHIN ONE VALVE BOX. DRIP ZONE AIR RELIEF VALVE AND FLUSH VALVE TO BE IN SEPARATE VALVE BOXES.
- CONTROLLER TO BE COMMERCIAL TYPE, SIZED FOR NUMBER OF ZONES, CAPABLE OF 2-WIRE TECHNOLOGY, INCLUDING DECODER MODULE AND SURGE PROTECTION. SYSTEM TO BE 2-WIRE TECHNOLOGY WITH REQUIRED GROUNDING/LIGHTNING PROTECTION). MOUNT AND CONNECT CONTROLLER AND OTHER CONTROLLER ACCESSORIES, SUCH AS HAND HELD REMOTE, WEATHERRAINFREEZE SENSOR, FLOW SENSOR, AND OTHER RELATED ITEMS. THIS ALSO INCLUDES PAINTED CONDUIT AND MOUNTING BORDERS AND HARDWARE FOR ALL EXPOSED AREA, AS DIRECTED BY OWNER. INSTALL WEATHERRAINFREEZE SENSOR ON EXTERIOR WEATHER EXPOSED VERTICAL SURFACE(S) PER OWNER'S APPROVAL.
- FIRST YEAR WINTERIZATION AND SPRING START UP OF SYSTEM SHALL BE PERFORMED BY IRRIGATION CONTRACTOR, UNLESS INDICATED OTHERWISE.
- MINIMUM 4" PVC SCHEDULE 40 SLEEVING SHALL BE REQUIRED UNDER ALL WALKS AND PAVEMENTS FOR IRRIGATION PIPE AND WIRES. PROVIDE 12" LENGTH OF #8 REBAR AT EACH TEMPORARILY SEALED END, STAND PIPE, OR OTHER APPROVED METHODS FOR FUTURE LOCATING. EXTEND SLEEVING AT LEAST 1 FOOT BEYOND EDGE OF PAVEMENT. PROVIDE PVC STAND PIPE FOR LOCATING ENDS OF SLEEVING. PROVIDE MINIMUM TWO SIZES LARGER THAN PIPE SIZE. PROVIDE ADDITIONAL SLEEVING FOR WIRING, AS NEEDED. SLEEVE DEPTH IS

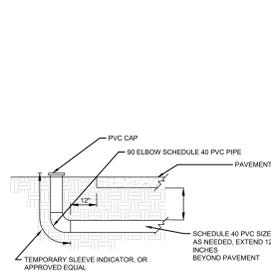
IRRIGATION KEYNOTES

- Ⓐ POINT OF CONNECTION, VERIFY LOCATION WITH OWNER
- Ⓑ MAINLINE & VALVES SHOWN FOR CLARITY. INSTALL MAINLINE AND VALVE WITHIN THE PROPERTY LINE, 6" FROM B.O.C. WHEN POSSIBLE, AND IN GREEN SPACE. COORDINATE WITH OTHER DISCIPLINES TO AVOID CONFLICTS (TYP.)
- Ⓒ ALL DRIP ZONES TO HAVE MINIMUM 12" SETBACK (CLEAR ZONE) BETWEEN DRIPLINE AND SOD EDGE OR PAVEMENT EDGE. (TYP.)

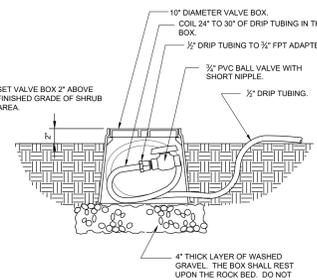
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD RWS-M-B-C W/ RWS-SOCK 1401 MINI ROOT WATERING SYSTEM WITH 4" DIAMETER X 18" LONG WITH LOCKING GRATE, SEMI-RIGID MESH TUBE AND RAIN BIRD 1401 0.25 GPM OR 1402 0.5 GPM BUBBLER AS INDICATED. WITH CHECK VALVE AND SAND SOCK FOR SANDY SOIL.	5	30
	RAIN BIRD KCE-100 PERI-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PRESS VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM@30 GPM	2	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XF-CV 0.4-2 XF-CV SUB-SURFACE AND ON-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 4.3PSI CHECK VALVE, 0.4 GPM EMITTER AT 12" O.C. DRIPLINE LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY 1/2" INSERT FITTINGS	215.6 L.F.	
	IRRIGATION LATERAL LINE, PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE, ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" SIZE	237.6 L.F.	
	IRRIGATION MAINLINE, PVC SCHEDULE 40	48.9 L.F.	
	PIPE SLEEVE, PVC SCHEDULE 40	120.1 L.F.	

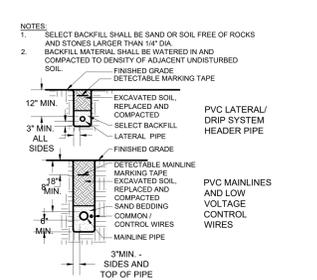
2 TYPICAL SLEEVE DETAIL
SCALE: N.T.S.



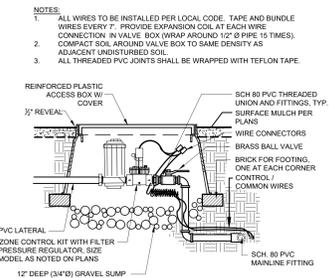
3 DRIP FLUSH VALVE
SCALE: 1 1/2" = 1'-0"



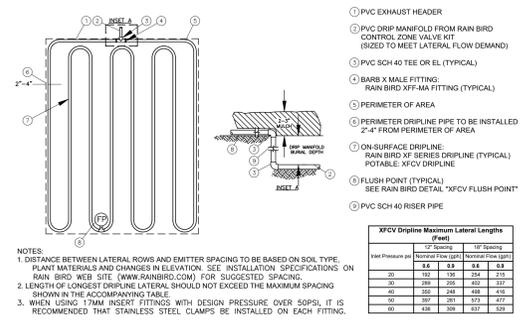
4 PIPE TRENCHING AND BACKFILL - MAINLINE, LATERALS, AND MARKING TAPE
SCALE: N.T.S.



5 DRIP ZONE CONTROL KIT
SCALE: N.T.S.



6 XF-CV ON-SURFACE DRIPLINE - QUICK LAYOUT
SCALE: N.T.S.



NOTES:

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
- LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

XF-CV Dripline Maximum Lateral Lengths (feet)	12" Spacing	18" Spacing
Max Pressure per Foot (PSI)	0.25	0.37
20	102	154
30	200	302
40	302	454
50	397	597
60	454	675



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form.

The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 10/12/2022

Note: Electrical Permits may be Required. Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name Target Corporation
 Address PO Box 9456
 City, State, Zip Minneapolis, MN 55440
 Phone _____
 Email Address matthew.flansburg@target.com

Property Owner

Name Target Corporation
 Address PO Box 9456
 City, State, Zip Minneapolis, MN 55440
 Phone _____
 Email Address matthew.flansburg@target.com

GENERAL INFORMATION

Name of Business Target
 Address/Location of sign 7377 Alcoa Road, Bryant, AR 72022
 Zoning Classification C-2

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a **Site Plan showing placement of sign(s) and any existing sign(s) on the property is required** to be submitted. **Renderings of the sign(s) showing the correct dimensions is also required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

Christian Jones on behalf of
 I Target Corp., do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval	
				Top of Sign	Bottom of Sign		
Drive Up	A	Facade	50.5" x 18'-4" x 5"	77.1	24.0'	19.75'	
Bullseye (front)	B	Facade	13.0' x 13.0' x 6"	132.73	27.5'	14.5'	
Order Pickup	C	Facade	1'-2" x 12'-10" x 5"	24.59	11'-4"	10'-2"	
Bullseye w/ Target (side)	D	Facade	16.3' x 12' x 6"	195.7	27'-11"	11'-9"	
CVS	E	Facade (existing)	2' x 18'-3" x 2'-6"	36.62	20'-10"	18'-10"	
	G						

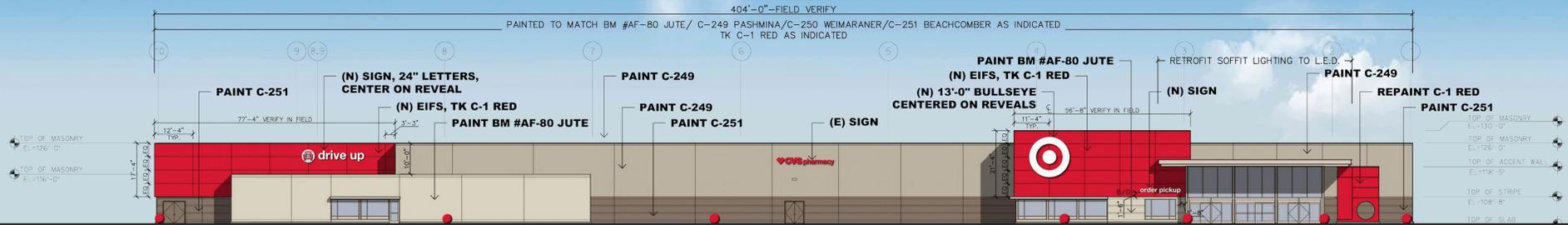
T2204 Bryant

Legend

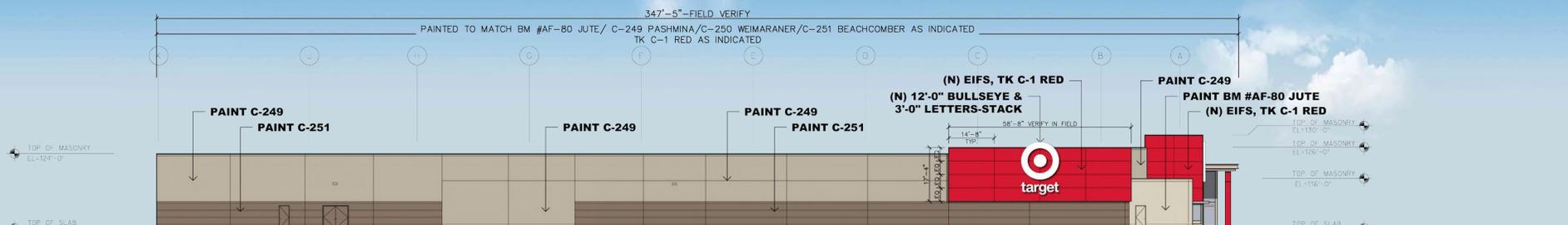
-  DU Door (Anticipated)
-  Existing DU
-  Proposed DU

DU Door (Anticipated)

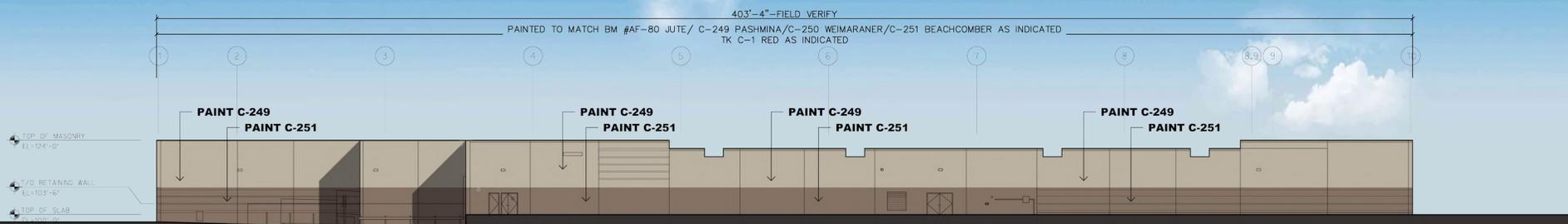




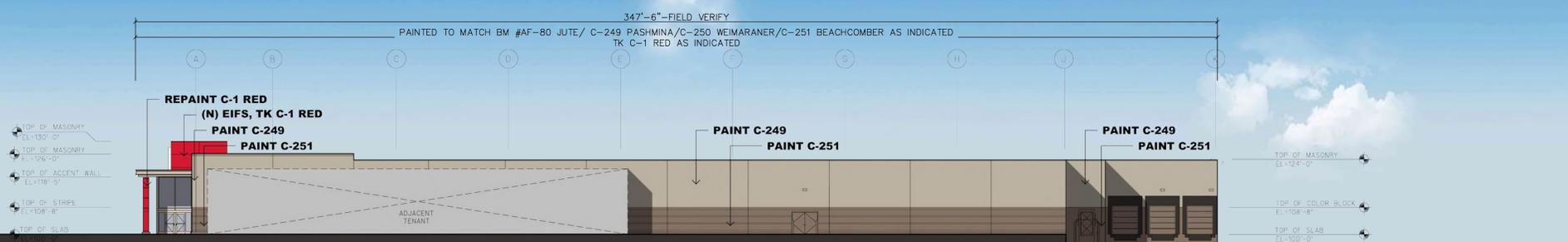
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

COLOR KEY:

- BM #AF-80 JUTE
- C-249 (BM #AF-100) PASHMINA
- C-251 (BM #0993) BEACHOMBER
- C-1 (TK #8010-1) RED
- (E) C-20 (TK #11110-37) CHAMPAGNE
- (E) SOFFIT PAINT C-1 (TK #8010-1) RED

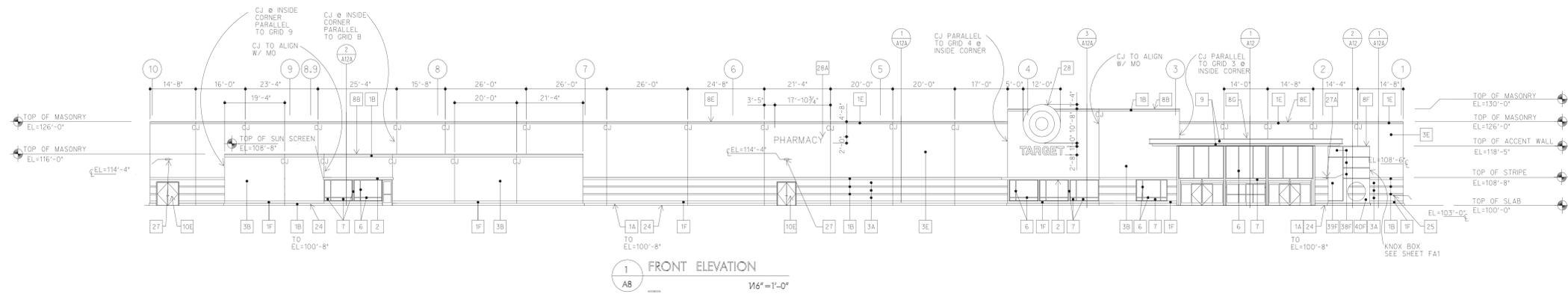
NOTE:

- * PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.
- *STORE EXTERIOR WALLS ARE PRIMARILY CMU
- *EXISTING SPHERICAL BOLLARDS REPAINT C-1 RED U.N.O.
- *BEN-2 : MODERN, COLOR.....SILVER

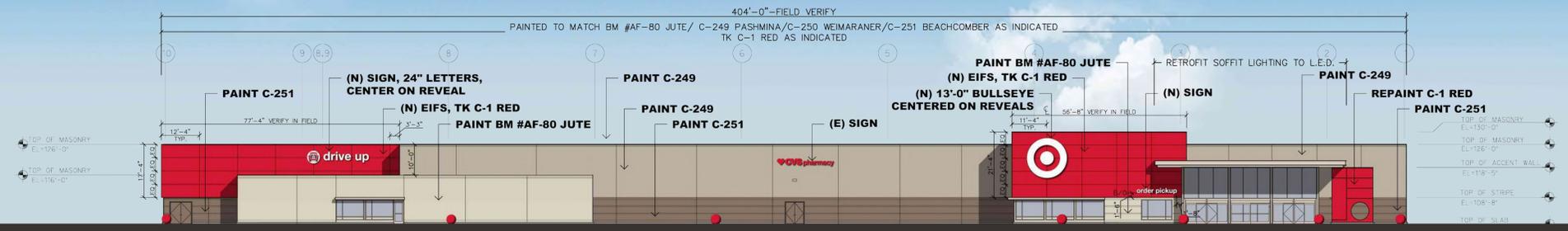
GENERAL NOTE

- * AREA TO BE PAINTED STARTS AT TOP OF CURB OR REVEAL AND CONTINUES TO TOP OF PARAPET/FLASHING OR REVEAL. PAINT COLOR AND FINISH TRANSITIONS OCCUR AT EXISTING VERTICAL CONTROL JOINTS OR AT INSIDE BUILDING CORNERS, U.N.O.
- * ALL EXISTING WALL-MOUNTED ITEMS TO BE PAINTED TO MATCH ADJ. WALL SURFACE, U.N.O.
- * PATCH ALL VISIBLE HOLES FROM MOUNTING OF REMOVED SIGNS WITH LIKE MATERIALS. RESTORE WALL SURFACE TO ' LIKE NEW' APPEARANCE.



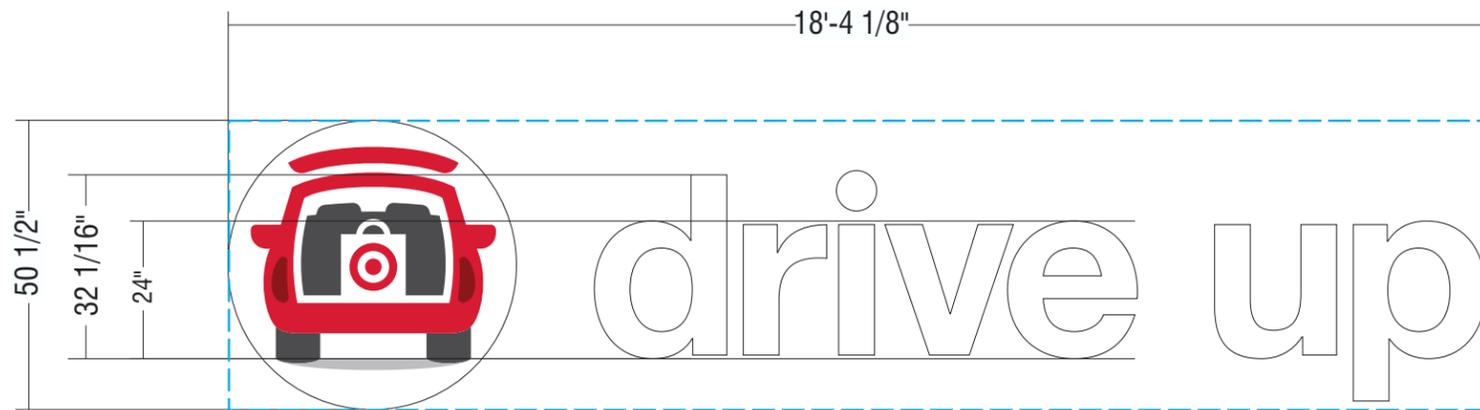


Existing Condition



Front Elevation





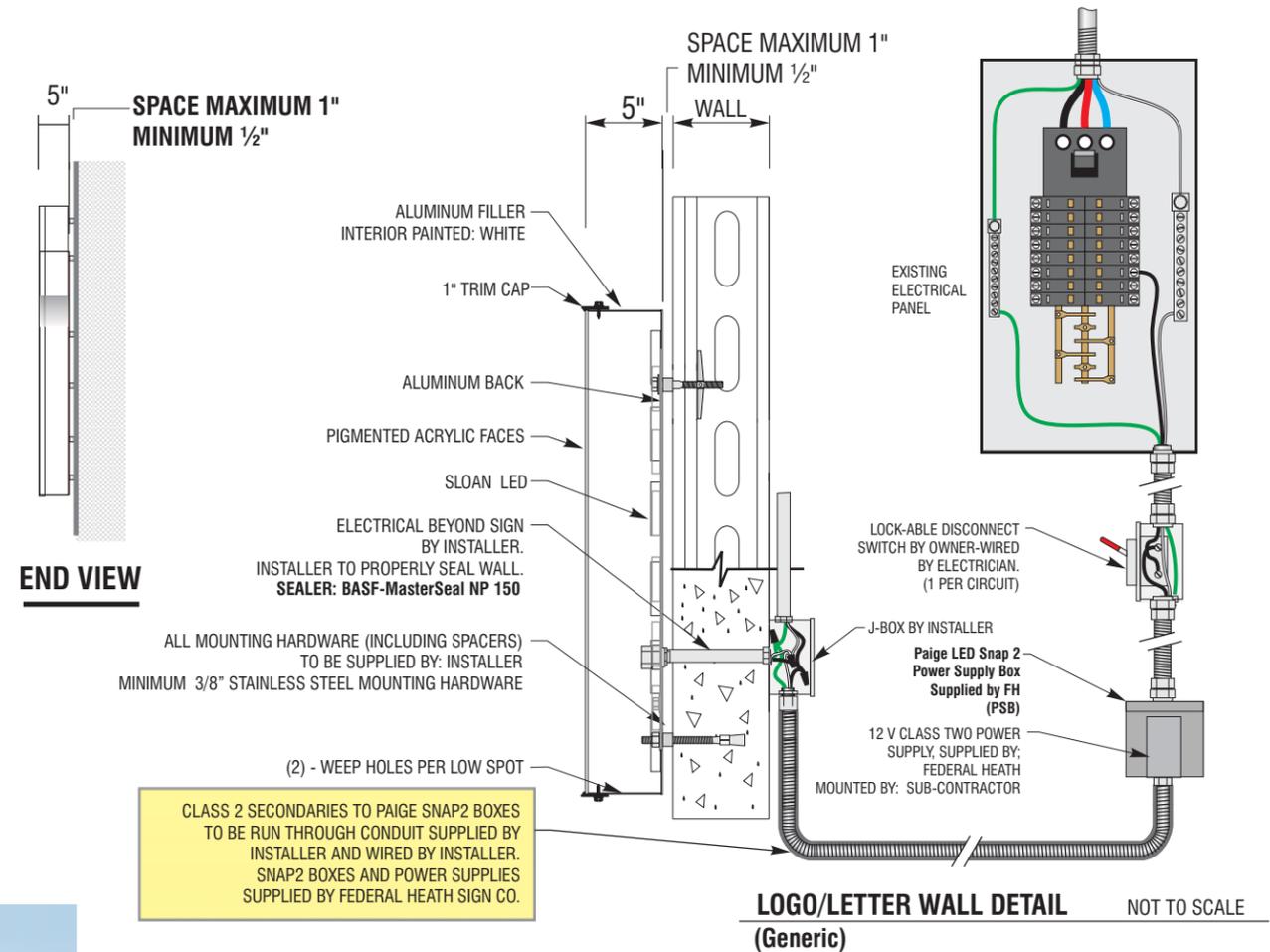
DU24W-LOGO ACRYLIC FACED INT. ILLUM. "LOGO & LETTER SET"

Scale: 3/8" = 1'-0"

77.1 SQ.FT.

SCOPE OF WORK:

MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS

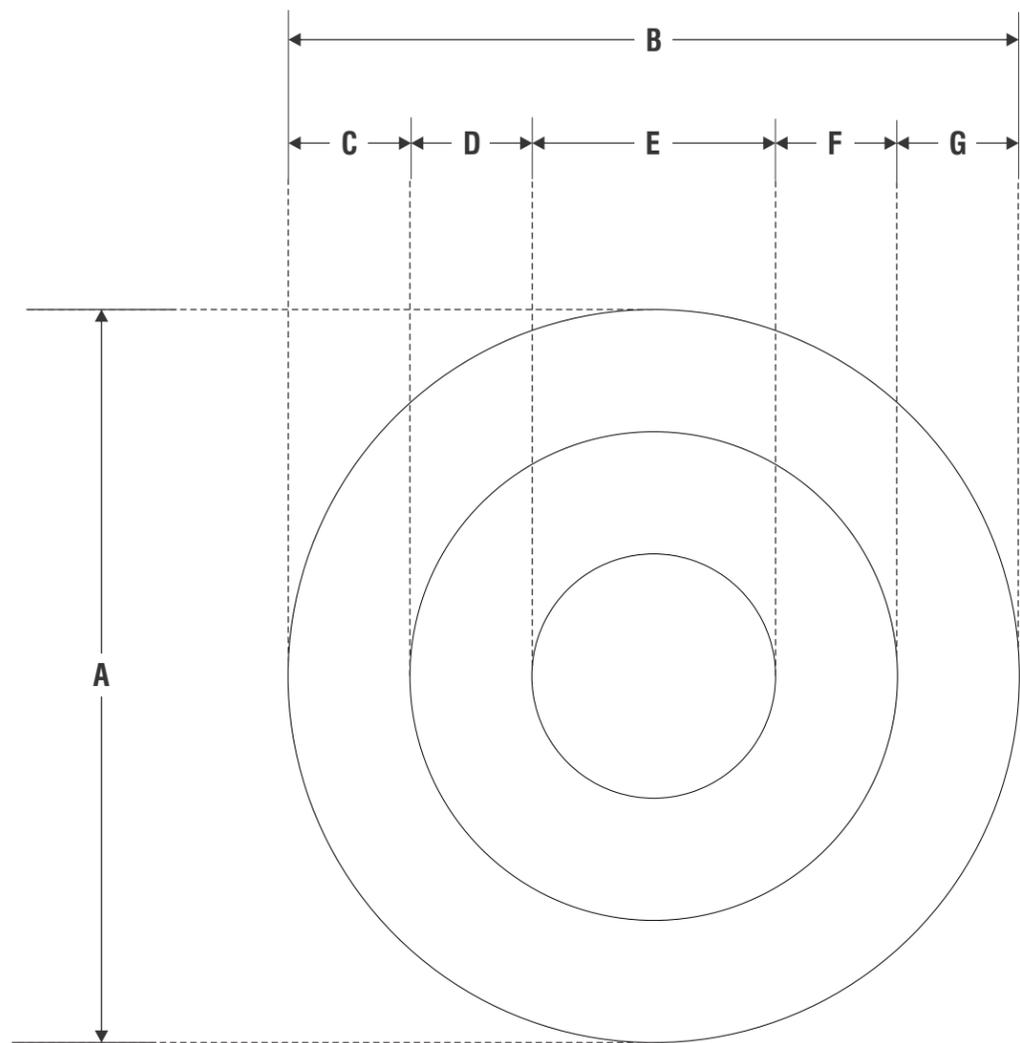


GENERIC (PARTIAL) ELEVATION NOTE: PLACEMENT CAN VARY

scale 3/32" = 1'-0"

MATERIAL FINISH COLORS (Letters & Logo)			
Returns	Faces	Trim-Cap	Illumination

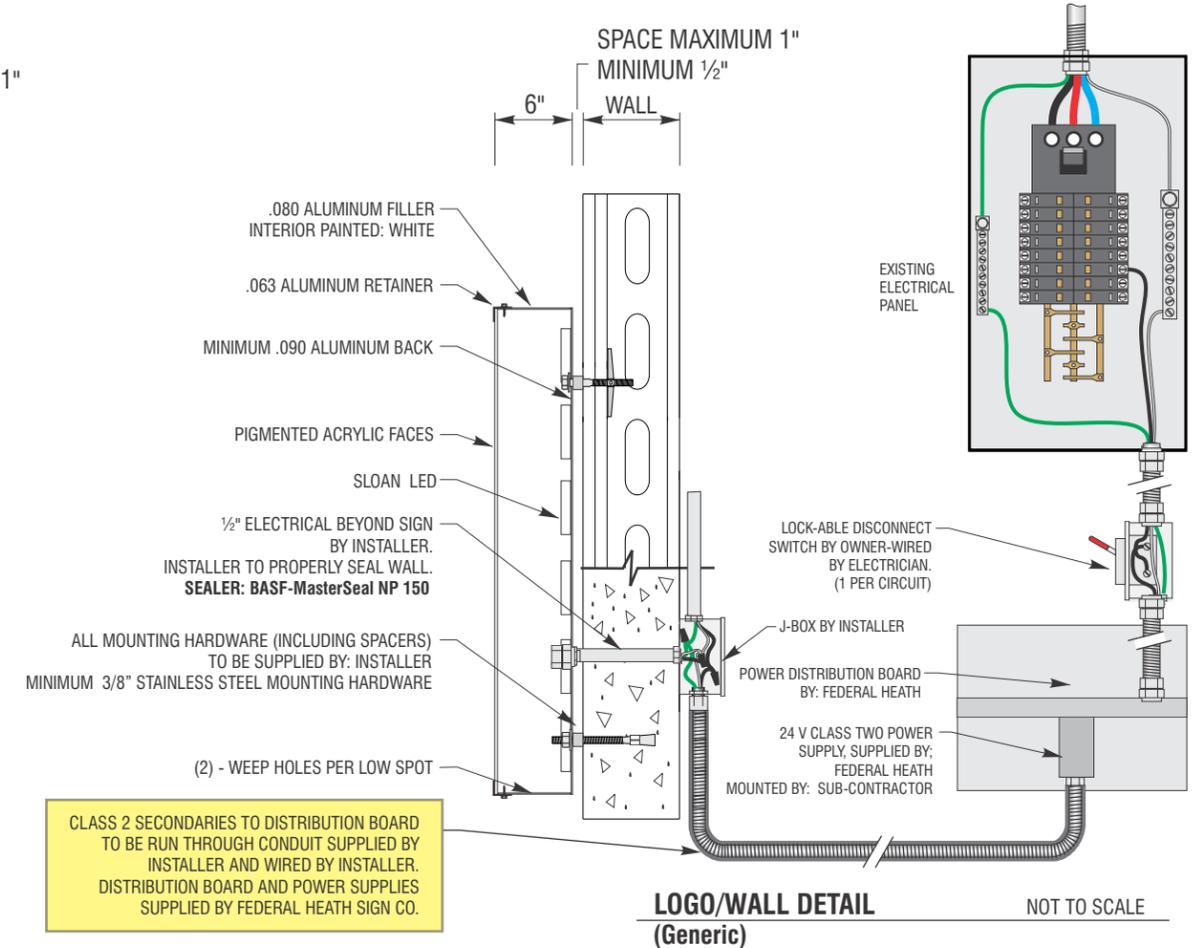
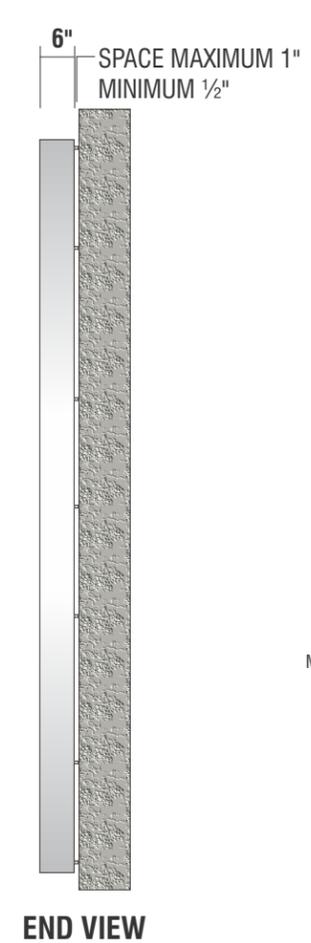
CAR LOGO COLORS			
Target Red PMS 186	DARK RED PMS 188	DARK GRAY PMS 425	LIGHT GRAY PMS 421



ACRYLIC FACED INTERNALLY ILLUMINATED "BULLSEYE"

MANUFACTURE AND INSTALL CHANNEL LOGO AS SHOWN AND NOTED

SIGN TYPE	A	B	C	D	E	F	G	RETAINER	SQ.FT.	QTY
156 BULLSEYE-W	13'-0"	13'-0"	2'-2"	2'-2"	4'-4"	2'-2"	2'-2"	1 1/2"	132.73	1



MATERIAL FINISH COLORS

WHITE Returns	7328 WHITE ATUGLAS Acrylic Faces	WHITE Retainer/Trim-Cap	Sloan White LED Illumination
---------------	----------------------------------	-------------------------	------------------------------

CLASS 2 SECONDARIES TO DISTRIBUTION BOARD TO BE RUN THROUGH CONDUIT SUPPLIED BY INSTALLER AND WIRED BY INSTALLER. DISTRIBUTION BOARD AND POWER SUPPLIES SUPPLIED BY FEDERAL HEATH SIGN CO.

LOGO/WALL DETAIL (Generic) NOT TO SCALE

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

NEW & REMODEL CONSTRUCTION

ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

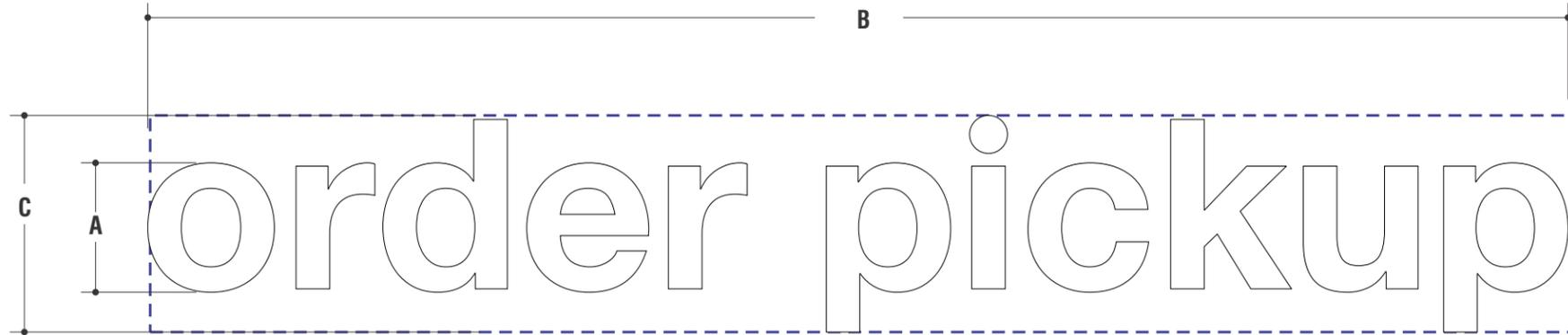
INSTALLER REQUIREMENTS FOR EIFS WALLS

IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

GENERAL NOTE

- INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
- TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
- ISOLATE ALL ALUMINUM FROM STEEL.

SIGN B



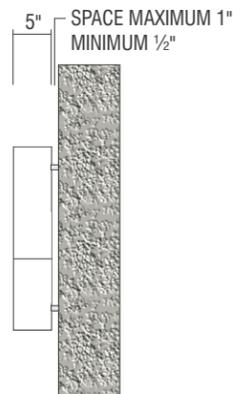
ACRYLIC FACED INTERNALLY ILLUMINATED (Remote) CHANNEL LETTERS

MANUFACTURE AND INSTALL CHANNEL LETTERS AS SHOWN AND NOTED

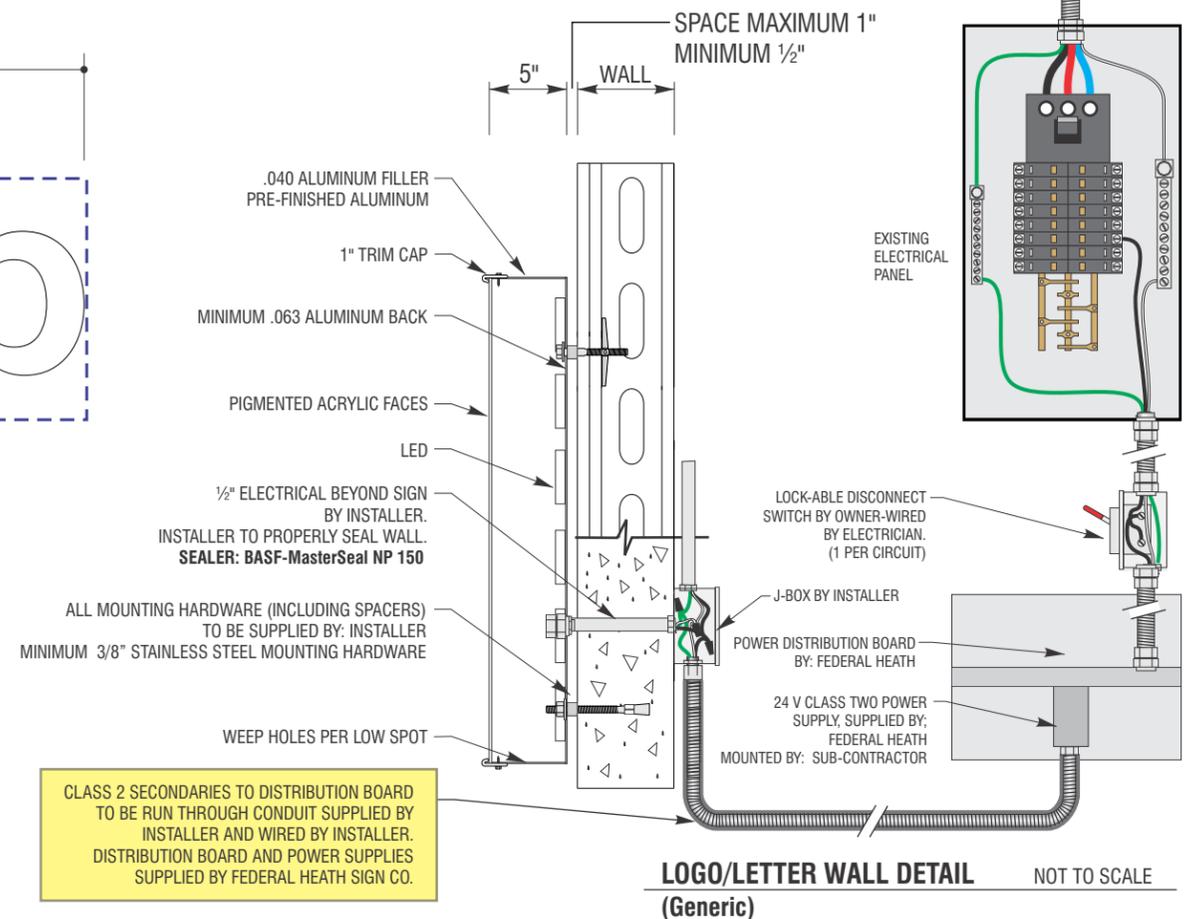
SIGN TYPE	A	B	C	SQ.FT.	QTY
OPU14-REMOTE-W	1'-2"	12'-10"	1'-11"	24.59	1

MATERIAL FINISH COLORS

	GLOSS WHITE Returns		7328 LD WHITE (ATUGLAS or Equiv.) Acrylic Faces		WHITE Retainer/Trim-Cap		Sloan White LED Illumination
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END VIEW



LOGO/LETTER WALL DETAIL (Generic) NOT TO SCALE

Total: 0.0 Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

CUSTOMER TO PROVIDE DEDICATED BRANCH CIRCUITS FOR SIGNS ONLY PER NEC CODE 600.5

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS. PROPERLY SIZED GROUND WIRE THAT CAN BE TRACED BACK TO BREAKER PANEL IS REQUIRED.

INSTALLER REQUIREMENTS

ALL MOUNTING HARDWARE, SECONDARY WIRING AND CONDUITS ARE TO BE PROVIDED BY THE INSTALLATION CONTRACTOR. ALL PENETRATIONS IN THE WALL ARE TO BE SEALED WITH SILICONE AND TO BE WATERTIGHT.

ANY DEVIATION FROM FEDERAL HEATH REQUIREMENTS MAY RESULT IN DAMAGE TO OR IMPROPER OPERATION OF SIGNAGE, CAUSING DELAYS AND ADDITIONAL COSTS.

NEW & REMODEL CONSTRUCTION

ADEQUATE BEHIND THE WALL BACKING AND ACCESS IS REQUIRED FOR THE INSTALLATION OF NEW SIGNAGE. CUSTOMER TO FORWARD APPROVED SIGNAGE DRAWINGS TO THE ON SITE CONTACT TO INSURE THAT THE REQUIRED PROVISIONS ARE MADE DURING CONSTRUCTION, PRIOR TO THE SIGN INSTALLATION.

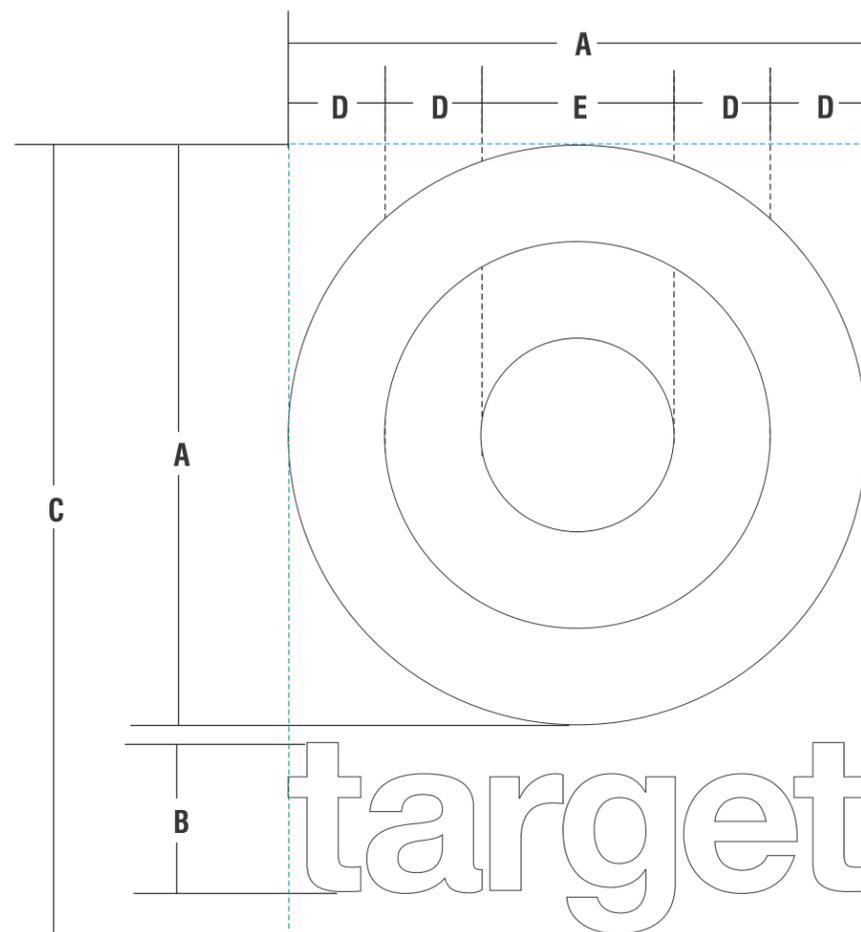
INSTALLER REQUIREMENTS FOR EIFS WALLS

IT IS THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR TO PROVIDE ANY WALL SPACERS REQUIRED TO KEEP EIFS WALL MATERIAL FROM BEING COMPACTED DURING INSTALLATION OF ANY MOUNTING BOLTS REQUIRED FOR SIGNAGE.

GENERAL NOTE

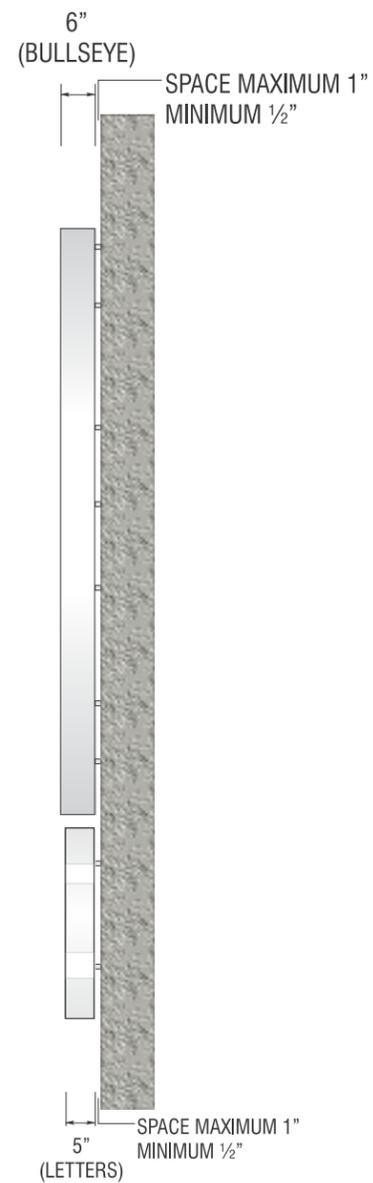
- INSTALLER SHALL VERIFY WALL CONDITION IN THE FIELD.
- TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED.
- ALL BOLT HOLES TO BE DRILLED OR PUNCHED.
- ISOLATE ALL ALUMINUM FROM STEEL.

SIGN C



ACRYLIC FACED INT. ILLUM. "LOGO & LETTER SET" | LC-S W

SCOPE OF WORK:
MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS



SIDE VIEW

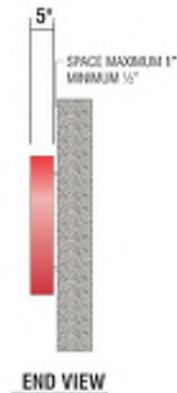
SIGN TYPE	A	B	C	D	E	RETAINER	AMPS CIRCUITS	SQ.FT.
LL144/37 LC-W	12'-0"	3'-1"	16' 3-3/4"	2'-0"	4'-0"	1 1/2"		195.7
LL132/34 LC-S W	11'-0"	2'-10"	14' 11-1/2"	1'-10"	3'-8"	1 1/2"		164.5
LL120/30 LC-S W	10'-0"	2'- 6-7/8"	13' 7-1/8"	1'-8"	3'-4"	1"		135.9
LL108/27 LC-S W	9'-0"	2' 3-3/4"	12' 2-7/8"	1'-6"	3'-0"	1"		110.2
LL96/24 LC-S W	8'-0"	2'-0-5/8"	10' 10-1/2"	1'-4"	2'-8"	1"		87
LL84/21 LC-S W	7'-0"	1' 9-1/2"	9' 5-1/4"	1'-2"	2'-4"	1"		66.6
LL72/18 LC-S W	6'-0"	1' 6-1/2"	8' 1-7/8"	1'-0"	2'-0"	1"		48.9
LL60/15 LC-S W	5'-0"	1' 3-3/8"	6' 9-1/2"	10"	1'-8"	1"		34
LL48/12 LC-S W	4'-0"	1' 0-3/8"	5' 3-1/4"	8"	1'-4"	1"		21.75
LL36/9 LC-S W	3'-0"	9-1/4"	4'-1"	6"	1'-0"	1"		12.25
LL24/6 LC-S W	2'-0"	6-1/8"	2'-8 5/8"	4"	8"	1"		5.4
LL156/ 40 LC-S W	13'-0"	3'-4"	17' 8-1/16"	2'-2"	4'-4"	1 1/2"		229.7
LL168/ 44 LC-S W	14'-0"	3'-8"	19'-3/8"	2'-4"	4'-8"	1 1/2"		271.3

MATERIAL FINISH COLORS

WHITE Returns	7328 White ATUGLAS Acrylic Faces	White Trimcap/Retainer	Sloan White LED Illumination
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STACKED LOGO & LETTERS - LC-S | internally-illuminated channel | WHITE

SIGN D



ACRYLIC FACED INTERNALLY ILLUMINATED CHANNEL LETTERS

MANUFACTURE AND INSTALL CHANNEL LOGO & LETTERS AS SHOWN AND NOTED

DESIGNATES HEIGHT OF LOGO (Heart)
 CVS-12-CL

SIGN TYPE	A	B	C	D	E	AMPS CIRCUITS	SQ. FT.
CVS-12-CL	11 5/8"	9'-1 1/4"	1'-2 3/4"	2'-8"	4'-10 1/2"		9.48
CVS-16-CL	12 1/2"	12'-2 1/4"	1'-7 3/4"	3'-6 3/4"	6'-6 1/4"		16.63
CVS-18-CL	17 1/2"	13'-9"	1'-10 1/4"	4'-8 1/4"	7'-4"		20.62
CVS-20-CL	19 1/2"	15'-3"	2'-0 3/4"	4'-5 1/2"	8'-1 3/4"		25.41
CVS-24-CL	23 5/8"	18'-3 3/4"	2'-5 3/4"	5'-4 1/4"	9'-9 1/4"		36.62
CVS-30-CL	29 1/8"	22'-10"	3'-1"	6'-8"	12'-2 1/4"		57.00
CVS-32-CL	31 1/8"	24'-4 3/4"	3'-3 1/2"	7'-1 1/2"	13'-8 1/4"		65.85
CVS-36-CL	34 7/8"	27'-4 3/4"	3'-8 1/4"	8'-0"	14'-7 1/2"		82.18



SIGN E



City of Bryant, Arkansas
 Community Development
 210 SW 3rd Street Bryant, AR 72022
 501-943-0943

SIGN PERMIT APPLICATION

Applicants are advised to read the Sign Ordinance prior to completing and signing this form. The Sign Ordinance is available at www.cityofbryant.com under the Planning and Community Development tab.

Date: 9/30/22

Note: Electrical Permits may be Required, Please contact the Community Development Office for more information.

Sign Co. or Sign Owner

Name SEIZ SIGN CO.
 Address 1231 CENTRAL AVE
 City, State, Zip HOT SPRINGS, AR 71901
 Phone 501-623-3181
 Email Address RONNY@SEIZSIGNS.COM

Property Owner

Name ALEX HAMILTON
 Address 2422 SPRINGHILL RD
 City, State, Zip BRYANT, AR 72022
 Phone _____
 Email Address ALEXILTON@GMAIL.COM

GENERAL INFORMATION

Name of Business HAMILTON FAMILY DENTISTRY
 Address/Location of sign 2422 SPRINGHILL RD.
 Zoning Classification _____

Please use following page to provide details on the signs requesting approval. Along with information provided on this application, a Site Plan showing placement of sign(s) and any existing sign(s) on the property is **required** to be submitted. Renderings of the sign(s) showing the correct dimensions is also **required** to be submitted with the application. A thirty-five dollar (\$35) per sign payment will be collected at the time of permit issuance. According to the Sign Ordinance a fee for and sign variance or special sign permit request shall be one hundred dollars (\$100). Additional documentation may be required by Sign Administrator.

READ CAREFULLY BEFORE SIGNING

I, Ronny Skipper, do hereby certify that all information contained within this application is true and correct. I fully understand that the terms of the Sign Ordinance supersede the Sign Administrator's approval and that all signs must fully comply with all terms of the Sign Ordinance regardless of approval. I further certify that the proposed sign is authorized by the owner of the property and that I am authorized by the property owner to make this application. I understand

that no sign may be placed in public right of way. I understand that I must comply with all Building and Electrical Codes and that it is my responsibility to obtain all necessary permits.

Use table below to enter information regarding each sign for approval. Please use each letter to reference each sign rendering.

SIGN	Type (Façade, Pole, Monument, other)	Dimensions (Height, Length, Width)	Sqft (Measured in whole as rectangle)	Height of Sign (Measured from lot surface)		Column for Admin Certifying Approval
				Top of Sign	Bottom of Sign	
A	MONUMENT	4x8	32	7'	2.5'	
B						
C						
E						
F						
G						



Job Ticket Number: 8589

Salesperson: Robert B. - robertb@seizsigns.com

Start Date: 8/31/22

Customer/Folder: Hamilton Family Dentistry

File: HFD_MonumentSign_PROOF4

Last Revision:

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Seiz Sign Company 1231 Central Ave. Hot Springs, AR 71901 Phone: 501-623-3181 Fax: 501-623-4594 www.seizsigns.com



- 1 DF - 7' x 118.33" Monument Sign
- 2 SF - 15" Tall Dimensional Ellipse Logos
- 2 Sets - White Dimensional Letters
- 2 Sets - 6" Tall Dimensional Address Numbers

Paint:
Sherwin Williams - Iron Ore

Production

Designer: Merry - merry@seizsigns.com

Quantity: 1 DF

Substrate: Monument Sign

Production Notes:

Conditions & Approval

1. The client is responsible for content accuracy. Please proof the text, dimensions, and layout carefully. 2. Colors are representative only. There are variations in color between sign printing and paper printers. 3. All designs presented are the sole property of Seiz Sign Company, and may not be reproduced in part or whole without written permission from Seiz Sign Company. 4. By signing below you agree that all artwork is correct and give Seiz Sign Company permission to begin production.

Client Approval

Date

