



**Bryant City Council
Regular Meeting**
June 27th, 2017
Boswell Municipal Complex - City Hall Courtroom

AGENDA

INVOCATION

PLEDGE OF ALLEGIANCE

CALL TO ORDER

APPROVAL OF MINUTES

Approval of the May 30th, 2017 Regular City Council Meeting Minutes

Documents:

[Minutes May 30 2017 reg council meeting.pdf](#)

COMMITTEE And COMMISSION REPORTS

ANNOUNCEMENTS And PRESENTATIONS

DEPARTMENT REPORTS

- *Department Reports are given on a quarterly basis unless otherwise requested*

PUBLIC COMMENTS

- *Public Comments should be limited the three (3) minutes per speaker*

OLD BUSINESS

NEW BUSINESS

Finance Department

Presented by Joy Black, Finance Director

1. Presentation and Approval of the 2017 May Year to Date City Financial Report (see attachment)

2. Resolution- A Resolution Providing for the Adoption of an Amended Budget for the City of Bryant for the twelve month period beginning January 1, 2017 and ending December 31, 2017. (see attachment)

Documents:

[BUDADJUN.pdf](#)
[MTDREPMAY.pdf](#)

Fire Department

Fire Chief Jordan and Staff Attorney Chris Madison Presenting

3. Resolution- Resolution Authorizing the Mayor to Purchase Real Property and Accept a Warranty Deed for Property Described in the Attached Contract, Such Property Located in the City of Bryant, Saline County, Arkansas; and for Other Purposes.

Documents:

[Resolution Fire Property \(1\).pdf](#)

Parks And Recreation Department

Chris Treat Parks Director and Staff Attorney Chris Madison Presenting

4. Resolution- Resolution Authorizing the Mayor to Purchase Real Property and Accept a Warranty Deed for Property Described in the Attached Contract, Such Property Located in the City of Bryant, Saline County, Arkansas; and for Other Purposes

5. Ordinance with Emergency Clause- An Ordinance Amending Ordinance 2016-32; Declaring an Emergency; and for Other Purposes

Documents:

[Parks Property Resolution \(1\).pdf](#)
[2017 Ordinance Amending Ordinance 2016-32 \(Tractor\).pdf](#)

Planning & Community Development

Assistant Planning Director Truett Smith Presenting

6. Ordinance- An Ordinance Amending the Comprehensive Zoning Ordinance of the City of Bryant to Rezone Certain Property from R-E (Residential No Sewer) to C-2 (Highway Commercial). (1101 Reynolds Road)

7. Ordinance- An Ordinance Amending the Comprehensive Zoning ordinance of the City of Bryant to Rezone Certain Property from R-2 to PUD (3927 Springhill Road).

8. Ordinance with Emergency Clause- An Ordinance Amending the Comprehensive Zoning Ordinance of the City of Bryant to Amend the Conditional Use Permit Process, Add Conditional Uses to C-1 and C-2, as well as Modifying the Amendment Process for the Zoning Code and Declaring an Emergency.

Documents:

[1101 North Reynolds Road ReZoning Ord.pdf](#)
[1101 North Reynolds Road ReZoning Maps \(1\).pdf](#)
[3927 Springhill Road ReZone Ord.pdf](#)
[Olde Savannah Civil Plans \(1\).pdf](#)
[Olde Savannah Rend \(1\) \(1\).pdf](#)
[Ordinance Conditional Use.pdf](#)

Public Works Department

Presenter Mark Grimmett Public Works Director

9. Ordinance- An Ordinance Charging and Authorizing the Stormwater Manager to Issue Citations for Violations of the City of Bryant Stormwater Management Ordinance and Regulations.

Documents:

[Ordinance Authorizing Stormwater Manager to issue citations \(3\).pdf](#)

MAYOR COMMENTS

COUNCIL COMMENTS

ADJOURNMENT

210 SW 3rd St.
Bryant. AR 72022
[\(501\)943-0999](tel:(501)943-0999)

Bryant City Council
Regular Meeting
May 30th, 2017
Boswell Municipal Complex-City Hall Courtroom

APPROVED MINUTES

4 pages

- **INVOCATION:** by Alderman Roedel
- **CALL TO ORDER:** by Mayor Dabbs at 7pm.
- **PLEDGE**
- **ROLL CALL:** Present: Alderman Roedel, Scott, Permenter, Higginbotham, Billingsley, Miller, Henson. ABSENT- Alderman Gladden
- **QUORAM PRESENT**

Approval of The April 25 2017 Minutes

Motion to approved the April 25 2017 Minutes by Alderman Miller, seconded by Alderman Henson. Voice vote: 7 yeas and 1 nay. Passed

Approval of The May 9 2017 Special Minutes

Motion to approved the May 9th, 2017 Minutes by Alderman Billingsley with correction, seconded by Alderman Roedel Voice vote 7 yeas and 1 nay. Passed

Approval of The May 15 2017 Special Minutes

Action taken: Motion to approved the May 15, 2017 Minutes by Alderman Billingsley with corrections, seconded by Alderman Scott. Voice vote 7 yeas and 1 nay. Passed

Action taken: Motion made by Alderman Roedel to add air B&B to the agenda, seconded by Alderman Miller. Voice vote: 7 yeas and 1 nay Alderman Gladden – absent. Passed

Action taken: Motion made by Alderman Roedel to add Round-about to the agenda, seconded by Alderman Permenter. Voice vote: 7 yeas and 1 nay – Alderman Gladden - absent. Passed

COMMITTEE and COMMISSION REPORTS
NONE

ANNOUNCEMENTS and PRESENTATIONS

NONE

DEPARTMENT REPORTS

Listen to recording for further details at [www. http://cityofbryant.com/AgendaCenter](http://cityofbryant.com/AgendaCenter)

- Mark Grimmett - Director of Public Works
- Chris Treat - Parks Department
- Alderman Miller - Council Member
- Staff Attorney - Chris Madison
- Truett Smith – Planning Department

Action taken: Motion made by Alderman Roedel to put a moratorium starting June 15th, 2017 on Air B & B, seconded by Alderman Miller. Voice vote: 7 yeas and 1 nay – absent Alderman Gladden. Passed

Action taken: Motion amended by Alderman Roedel to put a one (1) year moratorium on the Air B & B, seconded by Alderman Miller. Voice vote: 5 yeas and 3 nays – Alderman Permenter, Gladden, Henson. Passed.

PUBLIC COMMENTS

Listen to recording for further details at [www. http://cityofbryant.com/AgendaCenter](http://cityofbryant.com/AgendaCenter)

Katherine Roberts
Karen Johnson

Jonda Brown
Michael McNamara

Doug Smith

Debbie Broadway

OLD BUSINESS

Round - About – Item added to the agenda after the approval of the minutes.

Action taken: Motion made to approve the Round-About by Alderman Roedel, seconded by Alderman Scott. Roll call vote: 2 yeas Alderman Billingsley and Scott, 6 nays – Alderman Gladden (absent), Henson, Higginbotham, Miller, Permenter, Roedel. Failed.

NEW BUSINESS

Finance Presenting - Staff Attorney Chris Madison

Presentation and Approval of the 2017 April Year to Date City Financial Report.

Action taken: Motion to approval by Alderman Billingsley, seconded by Alderman Higginbotham. Voice vote: 7 yeas, and 1 nay Absent Alderman Gladden. Passed

Resolution - A Resolution Providing for the Adoption of an Amended Budget for the City of Bryant for the twelve - month period beginning January 1, 2017 and ending December 31, 2017.

Action taken: Motion to approve by Alderman Miller, seconded by Alderman Scott. Voice vote: 7 yeas, and 1 nay Alderman Gladden - Absent. Passed **RESOLUTION 2017 - 20**

Human Resources Presenting - Charlotte Rue, Chris Treat

Resolution - Resolution Regarding a New Policy for the City of Bryant Parks Department – Parks Department Compensatory Time.

Action taken: Motion to approve by Alderman Scott, seconded by Alderman Miller.

Voice vote: 7 yeas and 1 nay Alderman Gladden - absent. Passed **RESOLUTION 2017 - 21**

Planning Department Presenter: Truett Smith

Ordinance with Emergency Clause - An ordinance agreeing to the movement of the billboard located in the street right-of-way near 22576 I-30 Frontage Road and declaring an emergency.

Action taken: Motion to **suspend** the rules and read first, second and third reading by title only by Alderman Billingsley, seconded by Alderman Miller. Voice vote: 7 yeas and 1 nay. Passed. Ordinance read by Clerk Sue Ashcraft by title only.

Action taken: Motion to **adopt** by Alderman Miller, seconded by Alderman Higginbotham.

Roll call vote: 7 yeas and 1 nay – Absent Alderman Gladden. Passed **ORDINANCE 2017 - 11**

Action Taken: Motion to approve **Emergency Clause** by Alderman Roedel, seconded by Alderman Henson. Roll Call vote: 7 yeas and 1 nay – absent Alderman Gladden. Passed

Ordinance - An ordinance amending the master transportation plan, Walk, Bike, Drive - Bryant, for the City of Bryant, Arkansas to remove a proposed road from the plan.

Action taken: Motion to **suspend** the rules and read first, second and third reading by title only by Alderman Higginbotham, seconded by Alderman Roedel. Voice vote 7 yeas and 1 nay. Passed Ordinance read by Clerk Sue Ashcraft by title only.

Action taken: Motion to **adopt** by Alderman Miller, seconded by Alderman Scott. Roll call vote: 7 yeas and 1 nay – Alderman Gladden - absent. Passed **ORDINANCE 2017-12**

Ordinance - An ordinance amending the comprehensive zoning ordinance of the City of Bryant to rezone certain property from R-1 to Heart of Bryant-Neighborhood Residential.

Action taken: Motion to **suspend** the rules and read first, second and third reading by title only by Alderman Billingsley, seconded by Alderman Henson. Voice vote 4 yeas and 4 nays. Failed. Roll call vote: 4 yeas – Alderman Billingsley, Scott, Miller, Henson, and 4 nays Alderman Permenter, Higginbotham, Roedel, Gladden – Absent. Failed

Public Works Department Mark Grimmatt Public Works Director presenting

Resolution - Resolution Authorizing the Mayor to Execute an Agreement with Salem Water Users Association Regarding City of Bryant Sewer Customers.

Action taken: Motion to approve by Alderman Roedel, seconded by Alderman Higginbotham.
Voice vote: 7 yeas and 1 nay Absent Alderman Gladden. Passed **RESOLUTION 2017 – 22**

Action taken: Motion made to go to Executive section by Alderman Henson, seconded by Alderman Scott. Voice vote 7 yeas, and 1 nay- absent Alderman Gladden. Passed
Time Left 8:32 p.m. Returned 9:04 p.m. Mayor Dabbs stated that no action taken.

Council back in section.

MAYOR COMMENTS

- Have a good month.

COUNCIL COMMENTS

NONE

ADJOURNMENT

Motion by Alderman Henson, seconded by Alderman Permenter. Motion carried.
Time 9:05 p.m.

Mayor Jill Dabbs

ATTEST

City Clerk Sue Ashcraft

RESOLUTION NO. 2017 _____

A RESOLUTION PROVIDING FOR THE ADOPTION OF AN AMENDED BUDGET FOR THE CITY OF BRYANT FOR THE TWELVE MONTH PERIOD BEGINNING JANUARY 1, 2017 AND ENDING DECEMBER 31, 2017

WHEREAS, the City of Bryant, Arkansas adopted a budget for The City of Bryant on December 20, 2016, recorded as Resolution 2016-42, and

WHEREAS, the City of Bryant, Arkansas, desires to amend said Budget for Fiscal Year 2017 as attached.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF BRYANT, ARKANSAS THAT:

This resolution (with attachment) shall be known as the amended budget resolution for the City of Bryant, Arkansas, for
Section 1. the twelve (12) month period beginning January 1, 2017 and ending December 31, 2017.

- General Fund 600.00
- Parks 1/8 Fund 390,750.00
- Street Fund (84,750.00)

Section 2. The amended city budget for the calendar year 2017 is hereby amended and adopted to read as attached.

PASSED AND APPROVED this _____ day of June, 2017.

APPROVED:

Jill Dabbs, Mayor

Approved as to Form:

Richard Chris Madison, Staff Attorney

ATTEST:

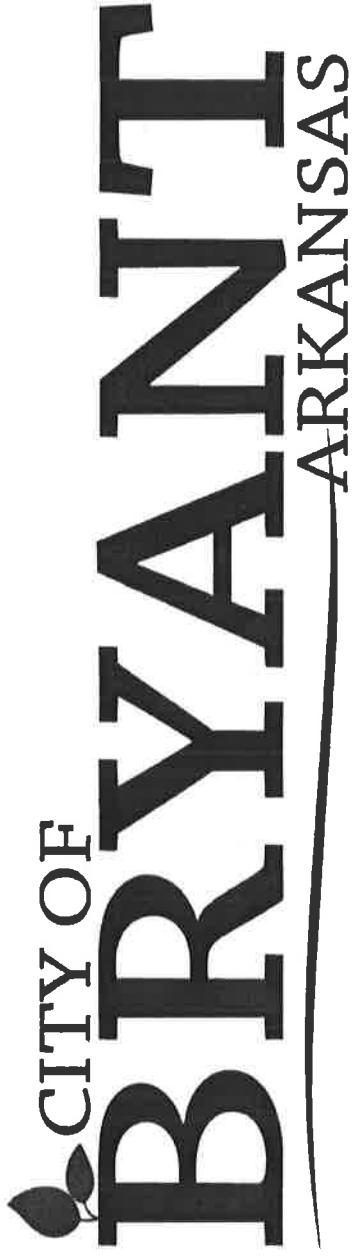
Sue Ashcraft, City Clerk

General Ledger

Budget Adjustment June List



Account Number	Description	Original	New Budget	Transfer	Transaction Description	Transfer
FUND 001 - General						
DEPT 0100 -						
001-0100-5060	Travel & Training Expense	14,500.00	15,600.00	1,100.00	For August 2017 Iworq Conference Attendance	Transfer from 001-0500-5604
001-0100-5060	Travel & Training Expense	15,600.00	15,100.00	-500.00	Disc. Training for Dept Heads use	Transfer to 001-0100-5583
001-0100-5550	Prof Services - Acctg & Audit	0.00	10,460.00	10,460.00		Transfer from 001-0100-5586
001-0100-5583	Prof Services - Legal	25,000.00	25,500.00	500.00	Disc. Training for Dept Heads use	Transfer from 001-0100-5060
001-0100-5586	Prof Services - Other	58,286.00	47,826.00	-10,460.00		Transfer to 001-0100-5550
001-0100-5600	Miscellaneous Expense	100.00	700.00	600.00	Health Heart Assessments covered by Grant	
DEPT 0200 - Animal						
001-0200-5322	Supplies - Operating	2,000.00	1,525.00	-475.00		Transfer to 001-0200-5480
001-0200-5480	Dues & Subscriptions	900.00	1,375.00	475.00		Transfer from 001-0200-5322
001-0200-5480	Dues & Subscriptions	1,375.00	71,375.00	70,000.00	Moving Spillman pay out of Capital to Subscription Line	Transfer from 001-0200-5803
001-0200-5803	Fixed Assets - A/C	70,000.00	0.00	-70,000.00	Moving Spillman pay out of Capital to Subscription Line	Transfer to 001-0200-5480
DEPT 0400 - Parks						
001-0400-5060	Travel & Training Expense	13,200.00	12,950.00	-250.00	Replace Kristen's broken cell phone	Transfer to 001-0430-5300
DEPT 0410 - Mills Pool						
001-0410-5020	FICA Expense	0.00	250.00	250.00		Transfer from 001-0410-5025
001-0410-5025	Worker's Comp Expense	6,131.00	5,881.00	-250.00		Transfer to 001-0410-5020
DEPT 0430 - Bishop						
001-0430-5300	Supplies - Office	2,200.00	2,450.00	250.00	Replace Kristen's broken cell phone	Transfer from 001-0400-5060
DEPT 0500 - Fire						
001-0500-5604	Hardware - New & Renewals	10,000.00	8,900.00	-1,100.00	For August 2017 Iworq Conference Attendance	Transfer to 001-0100-5060
DEPT 0600 - Police						
001-0600-4900	Sale of Fixed Assets	-64,500.00	-104,500.00	-40,000.00	Old Car Sales to be used for Roof Repair and Possibly HVAC Repai	
001-0600-5102	Repairs & Maint - Building	15,000.00	55,000.00	40,000.00	Old cars sales used for Maintenance	
Total General Fund		169,792.00	170,392.00	600.00		
FUND 045 - Park 1/8						
DEPT 0400 - Parks						
045-0400-5620	Xfer to General	130,250.00	521,000.00	390,750.00		
FUND 080 - Street Fund						
080-0800-4640	Reimbursement Revenue	0.00	-85,400.00	-85,400.00	Money paid back from AHTD	
080-0800-5112	Utilities - Water	500.00	1,200.00	700.00	Not enough money budgeted for Echo Lake Sprinklers	
Total Street Fund		500.00	-84,200.00	-84,700.00		



Financial Report

May 2017



General - Executive Summary Revenue & Expenditures

May 2017

	Annual Budget	YTD Budget	January	February	March	April	May	June	July	August	September	October	November	December	Actual YTD Total	Favorable (Unfavorable) Variance	Annual Budget Remaining
Revenues:																	
General	12,864,603	5,360,251	1,080,694	982,579	1,013,662	1,066,723	1,129,800	-	-	-	-	-	-	-	5,263,460	(76,791)	7,581,143
Administration	5,067,750	2,111,563	413,210	395,153	385,554	411,911	489,493	-	-	-	-	-	-	-	2,095,321	(16,242)	2,972,429
PCD	7,100	2,958	-	624	25	275	756	-	-	-	-	-	-	-	1,680	(1,278)	5,420
Animal Control	448,900	186,875	36,477	37,645	37,107	37,232	37,223	-	-	-	-	-	-	-	166,683	(1,192)	262,917
Court	704,900	293,708	84,108	45,626	48,256	89,774	69,413	-	-	-	-	-	-	-	347,176	53,467	367,724
Parks	2,158,708	889,462	205,298	145,841	149,931	173,738	176,867	-	-	-	-	-	-	-	657,671	(41,791)	1,301,037
Fire	2,676,650	1,115,396	217,096	218,917	218,820	217,801	217,801	-	-	-	-	-	-	-	1,087,740	(27,656)	1,589,210
Police	1,518,500	631,875	88,317	118,530	141,813	95,034	116,143	-	-	-	-	-	-	-	559,637	(72,298)	956,863
Code	284,195	118,415	36,193	32,242	32,256	25,755	22,107	-	-	-	-	-	-	-	148,554	30,139	135,641
Total Revenues	12,864,603	5,360,251	1,080,694	982,579	1,013,662	1,066,723	1,129,800	-	-	-	-	-	-	-	5,263,460	(76,791)	7,581,143
Expenditures:																	
General	13,444,918	5,602,049	962,373	1,047,165	1,007,575	876,645	925,449	-	-	-	-	-	-	-	4,841,208	760,841	8,603,710
Administration	1,097,909	457,462	41,913	68,794	87,366	59,800	64,675	-	-	-	-	-	-	-	321,548	135,915	776,362
PCD	367,143	152,976	24,655	10,051	39,073	10,061	13,212	-	-	-	-	-	-	-	97,033	55,943	270,110
Animal Control	451,282	188,034	24,925	28,344	26,810	22,311	25,349	-	-	-	-	-	-	-	127,539	60,486	323,744
Court	428,985	176,744	30,396	26,294	25,165	27,717	30,331	-	-	-	-	-	-	-	139,693	38,850	289,092
Parks	2,539,831	1,059,263	151,966	169,346	218,165	175,883	153,274	-	-	-	-	-	-	-	667,595	180,728	1,672,236
Fire	3,901,506	1,563,961	321,546	304,928	296,085	252,917	256,331	-	-	-	-	-	-	-	1,401,807	182,153	2,398,698
Police	4,425,512	1,843,963	364,863	415,815	319,906	305,960	356,396	-	-	-	-	-	-	-	1,763,049	80,914	2,662,463
Code	332,750	138,646	22,089	24,613	25,206	24,995	25,891	-	-	-	-	-	-	-	122,803	15,942	209,946
Total Expenditures	13,444,918	5,602,049	962,373	1,047,165	1,007,575	876,645	925,449	-	-	-	-	-	-	-	4,841,208	760,841	8,603,710
Excess (Deficit) of Revenues over Expenditures	(580,315)	(241,798)	98,221	(54,587)	6,087	188,078	204,354	-	-	-	-	-	-	-	442,252	-	(1,022,567)

Street - Executive Summary Revenue & Expenditures

	Annual Budget	YTD Budget	January	February	March	April	May	June	July	August	September	October	November	December	Actual YTD Total	Favorable (Unfavorable) Variance	Annual Budget Remaining
Revenues:																	
Street	2,751,316	1,146,383	213,268	279,044	196,596	228,020	388,561	-	-	-	-	-	-	-	1,305,489	159,106	1,445,829
Total Revenues	2,751,316	1,146,383	213,268	279,044	196,596	228,020	388,561	-	-	-	-	-	-	-	1,305,489	159,106	1,445,829
Expenditures:																	
Street	5,056,866	2,107,029	123,966	185,277	333,776	394,445	316,905	-	-	-	-	-	-	-	1,354,369	752,660	3,702,500
Total Expenditures	5,056,866	2,107,029	123,966	185,277	333,776	394,445	316,905	-	-	-	-	-	-	-	1,354,369	752,660	3,702,500
Excess (Deficit) of Revenues over Expenditures	(2,305,550)	(960,646)	89,302	93,768	(137,180)	(166,425)	71,656	-	-	-	-	-	-	-	(49,880)	-	(2,256,671)



Cash Reserves

May 2017

Reviewed 3.2.16

120 days cash = \$4M

Days

Operating Acct	4,685,076
Sales Tax Fund	1,238,037
Franchise Fees	1,045,570
Designated Tax	991,492
Animal Donation	22,224
Park 1/8 Tax	101,099
Fire Donation	3,218
Fire 3/8 Tax	17,046
Police Donation	1,939
Total	8,105,700
	243
	(120,421)
	-4
	(66,743)
	-2
	238

Springhill Fire Department
Emergency Telephone Service

Street 120 days cash = \$935k

Operating Acct	1,327,436
Designated Tax	858,599
Capital	2,186,035
Total	4,372,070
	281
	Watch Carefully

Stormwater: \$500,000 - \$430K Projects
\$70 Vehicles
Street: \$285K Equipment
\$722 Infrastructure
\$1,241 Projects
\$841K Alcoa
\$400K Heart of Bryant

Springhill Fire Department Summary

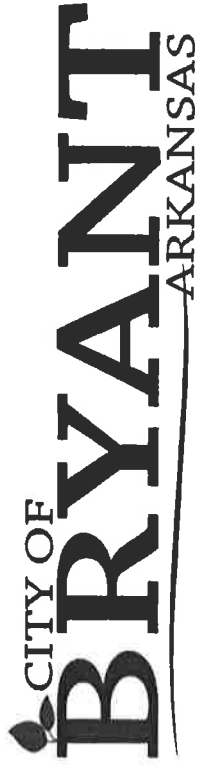
Beginning Balance (as of January 1, 2017)	\$ 126,161
2017 Revenue (Act 001-0510-4152)	\$ 2,003
2017 Expenses (Act 001-0510-5XXX all)	\$ 7,743
Current Balance as of this report ending date	\$ 120,421

Emergency Telephone Service

Beginning Balance (as of January 1, 2017)	\$ 107,474
2017 Revenue (Act 001-0610-4650)	\$ 23,657
2017 Expenses (Act 001-0610-5650)	\$ 64,388
Current Balance as of this report ending date	\$ 66,743

Designated Tax Fund Summary

Administration	\$ 1,026
Animal Control	\$ 167,681
Parks	\$ 51,701
Fire	\$ 277,989
Police	\$ 493,095
Street	\$ 858,599
Total	\$ 1,850,091



Water .Wastewater Cash Reserves

May 2017

Reviewed 10/19/16
120 days cash = \$2.3M

	500	Revenue Fund	5,989,871
	510	Operating Fund	814,992
			6,804,863
			355
Reserved - Fixed Assets Vehicles		510-0900-5808	98,000
Reserved - Fixed Assets Infrastructure		510-0900-5816	1,623,500
Reserved - Fixed Assets Equipment		510-0900-5821	130,000
Reserved - Fixed Assets DeGray Agreen		510-0900-5822	95,000
Reserved - Fixed Assets Vehicles		510-0950-5808	119,000
Reserved - Fixed Assets Equipment		510-0950-5810	363,000
Reserved - Fixed Assets Infrastructure		510-0950-5816	2,025,000
Reserved - Dewatering Facility		510-0950-5819	2,550,000
			7,003,500
			156
			2
			Spent 91,700
			36
			Spent 97,300
			3
			Spent 80,000
			2
			Spent 0
			3
			Spent 105,000
			8
			Spent 188,000
			45
			Spent 201,200
			57
			Spent all
			199

Difference 199

City of Bryant - Financial Statements

REVENUE	001	002	003	005	010	020	030	031	045	050	051	055	060	061	062	066	068
	General Fund	Sales Tax Fund	Franchise Fees	Designated Tax Fund	Electronic Fund	Animal Control Donation	Act 1256 of 1995	Act 1809 of 2001	Park 1/8 Sales Tax O&M	Fire Act 833 Of 1991	Police Donation	Fire 3/8 Sales Tax	Act 988 of 1991	Act 918 of 1983	Federal Drug Control	State Drug Control	
Taxes - Sales	4,386	376,408															
Taxes - Property	129,498																
Licenses Permits & Fees	20,743																
Membership Fees	30,612																
Rental Fees	20,335																
Park Program Fees	22,283																
Fines & Forfeitures	67,556																
Sales of Services	19,916		114,607											1,343	816		
Miscellaneous Rev	11,194						36,724	2,638									
Intergovernmental Reimbursement	776,229																
Sale of Equipment																	
Donation Revenue	3,367																
Bond Revenue	5,334																
Sponsorships	182	54	45	82		1	36,724	2,641	47,055	0	1	141,154	0	1,344	817	0	825
Interest Revenue	1,129,803	376,462	114,652	376,491	0	1											
Total Revenue																	
Expense																	
Personnel Cost	719,213																
Building & Ground Exp	54,376						395										
Vehicle Expense	34,643																
Supply Expense	17,199																
Operations Expense	6,014																
Professional Services	32,873																
Miscellaneous	21,777							2,011									
Intergovernmental Reimbursement		322,750	90,500	347,000					43,417			130,167					25
Contract/Don Expense																	
Grant Expense	10,878																
Bond Expense																	
Fixed Assets	25,979																
Interest Expense	2,497																
Construction Projects																	
Total Expense	925,449	322,750	90,500	347,000	0	0	36,724	2,011	43,417	0	0	144,825	0	0	0	0	25
Change in Fund Balance/Net Position	204,354	53,712	24,053	29,491	1	1	(0)	630	3,639	0	1	(3,671)	0	1,344	817	0	800
Beginning Fund Balance/Net Position	4,480,722	1,184,325	1,021,517	1,820,599	167,068	7,989	1	69,247	7,974,619	3,217	21,201	20,717	1,939	21,522	12,800	2,344	12,932
Ending Fund Balance/Net Position	4,685,076	1,238,037	1,045,570	1,850,090	167,068	7,990	1	69,877	101,099	3,218	21,202	17,046	1,939	22,865	13,617	2,344	13,732
End Bank Bal	4,335,646	1,238,036	1,045,569	1,850,091	593,007	22,224	1	69,877	101,100	3,217	21,200	17,046	1,939	22,865	13,616	2,343	13,733
Outstand Checks	103,773				135,281						0						
Dep in Transit	(10,246)																
GL on Bank Recon	4,242,120	1,238,036	1,045,569	1,850,091	457,726	22,224	1	69,877	101,100	3,217	21,200	17,046	1,939	22,865	13,616	2,343	13,733
Other Bal Sheet Items	(442,956)	(1)	(1)	1	290,658	14,234	0	(0)	0	(1)	(2)	0	(0)	(0)	(0)	(0)	0

	080	110	113	114	140	147	157	185	186	187	188	500	510	515	520
	Street Fund	Special Redemp Fund	Debt Service Reserve	Bond Fund	Park Bond 2006 DS	Park&Rec Const Fund	Fire Const Fund	Street Bond 2016 DS	Street Bond 2016 DSR	Stre Const Fund	Street Bond 2016	Revenue Water	Water Operating	Stormwater Utility	Depreciation Water
REVENUE															
Taxes - Sales	29,462				188,204										
Taxes - Property	156,452														
Licenses Permits & Fees															
Membership Fees															
Rental Fees															
Park Program Fees															
Fines & Forfeitures															
Sales of Services															
Miscellaneous Rev	13,028											626,250	28,407		
Intergovernmental	104,167											17,168	1,200,002		
Reimbursement	85,403											52		22,908	
Sale of Equipment															
Donation Revenue															
Grant Revenue															
Bond Revenue															
Sponsorships															
Interest Revenue	55	389	389	405	188,204	2,252	2,762	72	190	7,872	22	643,470	1,228,409	22,919	0
Total Revenue	388,567	389	389	188,610	188,204	2,252	2,762	53,609	190	7,872	22	643,470	1,228,409	22,919	0
Expense															
Personnel Cost	67,467														
Building & Ground Exp	3,107														
Vehicle Expense	11,521														
Supply Expense	3,453														
Operations Expense	9,909														
Professional Services	33,792														
Miscellaneous	573														
Intergovernmental															
Reimbursement															
Contract/Don Expense															
Grant Expense															
Bond Expense															
Fixed Assets															
Interest Expense															
Construction Projects															
Total Expense	316,905	0	389	0	188,204	0	0	83	0	0	0	1,306,906	536,676	0	5
Change in Fund															
Balance/Net Position	71,661	389	0	188,610	0	2,252	2,762	53,526	190	7,872	22	(663,436)	691,733	22,919	(5)
Beginning Fund	1,255,775	1,144	742,409	905,559	(1)	4,300,955	5,274,511	160,563	325,257	14,953,000	36,836	6,653,306	123,259	226,550	5
Ending Fund	1,327,436	1,534	742,409	1,094,169	(1)	4,303,207	5,277,273	214,089	325,447	14,960,872	36,858	5,989,871	814,992	249,469	(0)
Balance/Net Position	1,356,436	1,534	742,409	1,094,169	0	4,303,207	5,277,273	214,090	325,447	14,960,872	36,858	5,823,477	636,265	249,469	0
OutStand Checks	62,294												139,298		
Dep in Transit															
GL on Bank Recon	1,294,142	1,534	742,409	1,094,169	0	4,303,207	5,277,273	214,090	325,447	14,960,872	36,858	5,818,227	496,966	249,469	0
Other Bal Sheet Items	(33,294)	0	0	0	1	0	0	0	(0)	0	(0)	(171,643)	(318,026)	0	0

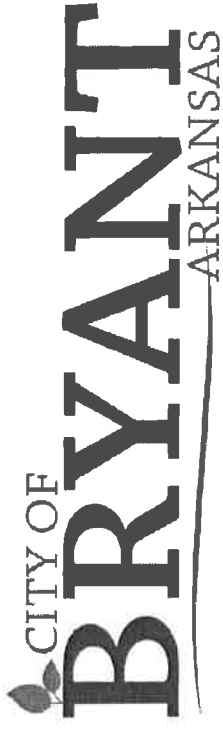
City of Bryant - Financial Statements

	525	530	535	540	550	555	560	600	601	605	Totals
	Depreciation	Sub-Div	Sub-Div	Fair Share	Impact Water	Impact WW	Salem	W/WW Bond	W/WW Bond	W/WW Bond	
	WW	Water	Impact WW	Share	Water	WW	Royalty	2008A DS	2008A DSR	2008B DSR	
REVENUE											
Taxes - Sales											1,163,073.87
Taxes - Property											285,949.82
Licenses Permits & Fees											20,742.61
Memberships Fees											30,611.59
Rental Fees											20,335.00
Park Program Fees											22,282.76
Fines & Forfeitures											109,900.16
Sales of Services											760,772.63
Miscellaneous Rev											69,796.88
Intergovernmental			3,055		9,600	9,500	52	59,795			2,260,870.91
Reimbursement											85,402.64
Sale of Equipment											18,167.50
Donation Revenue											0.00
Grant Revenue											3,367.48
Bond Revenue											188,204.17
Sponsorships											5,334.00
Interest Revenue	51	0	8,056	0	12	13	2	80	404	521	15,878.04
Total Revenue	17,024	0	8,056	0	9,612	9,513	54	59,875	404	521	5,060,690.06
Expense											
Personnel Cost											914,118.06
Building & Ground Exp											87,185.88
Vehicle Expense											55,873.00
Supply Expense											148,879.79
Operations Expense											79,951.49
Professional Services											69,361.29
Miscellaneous											26,649.30
Intergovernmental				2			144		36	46	2,449,411.84
Reimbursement		8,055									0.00
Contract/Don Expense											0.00
Grant Expense											10,878.20
Bond Expense											50,231.29
Fixed Assets									44	57	341,948.55
Interest Expense											35,863.30
Construction Projects											0.00
Total Expense	0	8,055	0	2	0	0	144	0	80	103	4,270,351.99
Change in Fund											
Balance/Net Position	17,024	(8,055)	8,056	(2)	9,612	9,513	(90)	59,875	324	418	790,338.07
Beginning Fund	1,113,658	8,056	8,055	2	272,841	273,940	43,401	303,790	157,551	202,540	46,288,564.57
Ending Fund	1,130,682	0	16,111	(0)	282,454	283,452	43,311	363,665	157,875	202,957	47,078,902.64
End Bank Bal	1,130,681	0	16,110	0	282,454	282,453	43,456	363,665	157,876	202,957	46,852,665.27
OutStand Checks											457,922.60
Dep in Transit											(22,272.90)
GI on Bank Recon	1,130,681	0	16,110	0	282,454	282,453	43,456	363,665	157,876	202,957	46,417,015.57
Other Bal Sheet Items	(0)	(0)	(0)	0	0	(1,000)	145	(1)	0	(0)	(661,887)

General Ledger

Budget Status

User: jblack
 Printed: 6/16/2017 - 12:04 PM
 Period: 5, 2017



Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 001	General Fund							
Dept 001-0100	Administration							
R15	Taxes - Property							
001-0100-4150	State Turnback	248,000.00	18,164.24	108,541.93	139,458.07	0.00	139,458.07	56.23
001-0100-4151	Saline County Treas - Turnback	500,000.00	111,334.01	184,735.80	315,264.20	0.00	315,264.20	63.05
	R15 Sub Totals:	748,000.00	129,498.25	293,277.73	454,722.27	0.00	454,722.27	60.79
R60	Miscellaneous Revenue							
001-0100-4600	Miscellaneous Revenue	1,000.00	0.00	2,145.20	-1,145.20	0.00	-1,145.20	0.00
	R60 Sub Totals:	1,000.00	0.00	2,145.20	-1,145.20	0.00	-1,145.20	0.00
R62	Intergovernmental Tsfrs							
001-0100-4627	Xfer from Sales Tax	3,873,000.00	322,750.00	1,613,750.00	2,259,250.00	0.00	2,259,250.00	58.33
001-0100-4628	Xfer Franchise Tax Fd 21	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0100-4629	Xfer Franchise Tax Fd21	444,750.00	37,062.50	185,312.50	259,437.50	0.00	259,437.50	58.33
	R62 Sub Totals:	4,317,750.00	359,812.50	1,799,062.50	2,518,687.50	0.00	2,518,687.50	58.33
R85	Interest Revenue							
001-0100-4850	Interest Revenue	1,000.00	181.87	835.19	164.81	0.00	164.81	16.48
	R85 Sub Totals:	1,000.00	181.87	835.19	164.81	0.00	164.81	16.48
	Revenue Sub Totals:	5,067,750.00	489,492.62	2,095,320.62	2,972,429.38	0.00	2,972,429.38	58.65
E01	Personnel Expense							
001-0100-5000	Salary Expense	526,944.72	39,155.43	196,782.63	330,162.09	0.00	330,162.09	62.66
001-0100-5001	Elected Off. 2009-24,2011-27	206,263.04	16,420.76	82,103.80	124,159.24	0.00	124,159.24	60.19
001-0100-5005	SWB Reimbursement	-545,000.00	-45,416.65	-227,083.25	-317,916.75	0.00	-317,916.75	0.00
001-0100-5010	Overtime Expense	8,800.00	72.34	703.86	8,096.14	0.00	8,096.14	92.00
001-0100-5020	FICA Expense	61,342.91	4,146.32	20,955.12	40,387.79	0.00	40,387.79	65.84
001-0100-5022	Unemployment Expense	1,728.00	0.00	1,462.81	265.19	0.00	265.19	15.35
001-0100-5025	Worker's Comp Expense	2,000.00	0.00	1,998.37	1.63	0.00	1.63	0.08
001-0100-5030	APERS Expense	108,290.12	7,215.23	36,264.31	72,025.81	0.00	72,025.81	66.51
001-0100-5038	Pension Expense	2,180.00	179.37	896.85	1,283.15	0.00	1,283.15	58.86
001-0100-5040	Health Insurance Expense	104,774.40	7,373.20	37,551.51	67,222.89	0.00	67,222.89	64.16

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0100-5042	Employee Assistance Program	4,500.00	375.00	1,875.00	2,625.00	0.00	2,625.00	58.33
001-0100-5050	Physical & Drug Screen Exp	600.00	0.00	175.00	425.00	150.00	275.00	45.83
001-0100-5054	BYOD - Admin	1,175.00	125.00	575.00	600.00	0.00	600.00	51.06
001-0100-5055	Uniform Expense	400.00	0.00	0.00	400.00	0.00	400.00	100.00
001-0100-5057	Vehicle Allowance	6,000.00	461.52	2,307.60	3,692.40	0.00	3,692.40	61.54
001-0100-5060	Travel & Training Expense	14,500.00	20.00	9,500.50	4,999.50	2,291.02	2,708.48	18.68
001-0100-5061	Training Aids	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0100-5062	Travel & Training - Mayor	6,500.00	167.60	7,135.57	-635.57	332.32	-967.89	0.00
001-0100-5063	Travel & Training - City Clerk	5,000.00	150.00	150.00	4,850.00	0.00	4,850.00	97.00
001-0100-5065	First Aid Expense	900.00	0.00	0.00	900.00	0.00	900.00	100.00
E01 Sub Totals:		517,398.19	30,445.12	173,354.68	344,043.51	2,773.34	341,270.17	65.96
E10	Building & Grounds Exp							
001-0100-5102	Repairs & Maint - Building	35,830.00	2,648.65	3,178.07	32,651.93	12.53	32,639.40	91.10
001-0100-5104	Repairs & Maint - Grounds	5,500.00	0.00	0.00	5,500.00	140.50	5,359.50	97.45
001-0100-5110	Utilities - Electric	8,400.00	353.35	2,116.26	6,283.74	0.00	6,283.74	74.81
001-0100-5111	Utilities - Gas	1,000.00	9.36	462.51	537.49	0.00	537.49	53.75
001-0100-5112	Utilities - Water	750.00	44.35	288.97	461.03	0.00	461.03	61.47
001-0100-5115	Communication Exp - Telephone	14,010.00	1,153.83	5,764.70	8,245.30	0.00	8,245.30	58.85
001-0100-5116	Communication Exp - Cellular	4,800.00	0.00	1,722.03	3,077.97	535.52	2,542.45	52.97
001-0100-5117	Communication Exp - Cellular	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0100-5120	Insurance - Property	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0100-5130	Sanitation	1,080.00	86.24	391.73	688.27	0.00	688.27	63.73
001-0100-5142	Janitorial Supplies and Main	3,560.00	286.12	1,378.46	2,181.54	840.00	1,341.54	37.68
001-0100-5145	Tools	1,000.00	34.84	86.27	913.73	87.19	826.54	82.65
E10 Sub Totals:		77,430.00	4,616.74	15,389.00	62,041.00	1,615.74	60,425.26	78.04
E20	Vehicle Expense							
001-0100-5200	Fuel Expense	1,500.00	275.06	580.66	919.34	0.00	919.34	61.29
001-0100-5210	Service & Repair - Vehicle	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0100-5212	Service & Repair - Equipment	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0100-5213	Equipment Repairs	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0100-5225	Insurance Expense - Vehicle	925.00	0.00	467.50	457.50	0.00	457.50	49.46
E20 Sub Totals:		3,925.00	275.06	1,048.16	2,876.84	0.00	2,876.84	73.30
E30	Supply Expense							
001-0100-5300	Supplies - Office	4,500.00	1,316.50	2,817.14	1,682.86	109.13	1,573.73	34.97
001-0100-5334	Supplies - Volunteer	2,000.00	0.00	61.54	1,938.46	0.00	1,938.46	96.92
001-0100-5350	Postage Expense	3,000.00	0.00	-7.20	3,007.20	0.00	3,007.20	100.24
E30 Sub Totals:		9,500.00	1,316.50	2,871.48	6,628.52	109.13	6,519.39	68.63
E40	Operations Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0100-5480	Dues & Subscriptions	2,500.00	0.00	529.00	1,971.00	279.00	1,692.00	67.68
001-0100-5481	Municipal/Metro Dues-Admin	20,000.00	0.00	0.00	20,000.00	0.00	20,000.00	100.00
001-0100-5505	Mayor's Expense	3,000.00	682.26	2,076.76	923.24	60.78	862.46	28.75
001-0100-5506	City Clerk Expense	4,000.00	0.00	1,865.10	2,134.90	252.99	1,881.91	47.05
001-0100-5510	Meeting Expense	500.00	0.00	0.00	500.00	0.00	500.00	100.00
	E40 Sub Totals:	30,000.00	682.26	4,470.86	25,529.14	-592.77	24,936.37	83.12
E55	Professional Services							
001-0100-5515	Special Elec or Permit Fee Exp	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0100-5550	Prof Services - Acctg & Audit	0.00	10,460.00	10,460.00	-10,460.00	0.00	-10,460.00	0.00
001-0100-5553	Prof Services - Advertising	7,500.00	344.45	1,136.89	6,363.11	3,009.99	3,353.12	44.71
001-0100-5583	Prof Services - Legal	25,000.00	50.00	13,105.17	11,894.83	10,563.91	1,330.92	5.32
001-0100-5586	Prof Services - Other	58,286.00	6,286.00	12,572.00	45,714.00	6,286.00	39,428.00	67.65
001-0100-5588	Prof Services - Legal Notices	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
001-0100-5589	Prof Services - Printing	100.00	0.00	0.00	100.00	0.00	100.00	100.00
	E55 Sub Totals:	95,886.00	17,140.45	37,274.06	58,611.94	19,859.90	38,752.04	40.41
E60	Miscellaneous Expense							
001-0100-5600	Miscellaneous Expense	100.00	707.12	650.65	-550.65	0.00	-550.65	0.00
001-0100-5604	Hardware - New & Renewals	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
001-0100-5608	Software - New & Renewals	8,520.00	39.96	779.92	7,740.08	159.00	7,581.08	88.98
	E60 Sub Totals:	10,620.00	747.08	1,430.57	9,189.43	159.00	9,030.43	85.03
E68	Donation Expense							
001-0100-5680	Boys and Girls Club Contract	35,000.00	0.00	17,500.00	17,500.00	0.00	17,500.00	50.00
001-0100-5681	Sr. Adults Contract	20,000.00	0.00	10,000.00	10,000.00	5,000.00	5,000.00	25.00
001-0100-5682	Historic Society Contract	10,000.00	0.00	0.00	10,000.00	5,000.00	5,000.00	50.00
	E68 Sub Totals:	65,000.00	0.00	27,500.00	37,500.00	10,000.00	27,500.00	42.31
	Expense Sub Totals:	809,759.19	55,223.21	263,338.81	546,420.38	35,109.88	511,310.50	63.14
	Dept 0100 Sub Totals:	-4,257,990.81	-434,269.41	-1,831,981.81	-2,426,009.00	35,109.88		
Dept 001-0110								
E60	Miscellaneous Expense							
001-0110-5604	Hardware - New & Renewals	77,000.00	-2,459.60	-1,459.60	78,459.60	0.00	78,459.60	101.90
001-0110-5606	IT Projects & Labor	127,400.00	8,700.00	38,750.00	88,650.00	0.00	88,650.00	69.58
001-0110-5608	Software - New & Renewals	44,950.00	2,300.00	17,249.69	27,700.31	1,069.90	26,630.41	59.24
001-0110-5610	Website	6,600.00	0.00	0.00	6,600.00	0.00	6,600.00	100.00
001-0110-5612	IT Tools & Supplies	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0110-5614	Copiers & Maintenance	31,200.00	911.24	3,668.65	27,531.35	800.00	26,731.35	85.68

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E60 Sub Totals:		288,150.00	9,451.64	58,208.74	229,941.26	1,869.90	228,071.36	79.15
Expense Sub Totals:		288,150.00	9,451.64	58,208.74	229,941.26	1,869.90	228,071.36	79.15
Dept 0110 Sub Totals:		288,150.00	9,451.64	58,208.74	229,941.26	1,869.90		
Dept 001-0120								
R20	Licenses Permits & Fees	2,500.00	135.00	290.00	2,210.00	0.00	2,210.00	88.40
001-0120-4206	Annex/Rezoning Fees	4,500.00	621.00	1,390.00	3,110.00	0.00	3,110.00	69.11
001-0120-4250	Subdivision Plat & Filing Fees							
R20 Sub Totals:		7,000.00	756.00	1,680.00	5,320.00	0.00	5,320.00	76.00
R50	Sale of Services	100.00	0.00	0.00	100.00	0.00	100.00	100.00
001-0120-4538	Plotter Copies - PC Dev							
R50 Sub Totals:		100.00	0.00	0.00	100.00	0.00	100.00	100.00
Revenue Sub Totals:		7,100.00	756.00	1,680.00	5,420.00	0.00	5,420.00	76.34
E01	Personnel Expense	92,571.69	4,631.20	23,028.00	69,543.69	0.00	69,543.69	75.12
001-0120-5000	Salary Expense	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0120-5010	Overtime Expense	9,466.84	354.28	1,761.60	7,705.24	0.00	7,705.24	81.39
001-0120-5020	FICA Expense	288.00	0.00	177.01	110.99	0.00	110.99	38.54
001-0120-5022	Unemployment Expense	1,200.00	0.00	1,200.00	0.00	0.00	0.00	0.00
001-0120-5025	Worker's Comp Expense	15,369.34	541.02	2,686.55	12,682.79	0.00	12,682.79	82.52
001-0120-5030	APERS Expense	22,006.80	449.50	1,798.00	20,208.80	0.00	20,208.80	91.83
001-0120-5040	Health Insurance Expense	150.00	0.00	0.00	150.00	0.00	150.00	100.00
001-0120-5050	Physical & Drug Screen Exp	10,000.00	1,032.38	5,159.48	4,840.52	200.00	4,640.52	46.41
001-0120-5060	Travel & Training Expense							
E01 Sub Totals:		151,552.67	7,008.38	35,810.64	115,742.03	200.00	115,542.03	76.24
E10	Building & Grounds Exp	1,560.00	88.34	446.16	1,113.84	0.00	1,113.84	71.40
001-0120-5110	Utilities - Electric	310.00	2.34	115.63	194.37	0.00	194.37	62.70
001-0120-5111	Utilities - Gas	150.00	11.09	72.25	77.75	0.00	77.75	51.83
001-0120-5112	Utilities - Water	1,300.00	107.36	536.71	763.29	0.00	763.29	58.71
001-0120-5115	Communication Exp - Telephone	720.00	0.00	0.00	720.00	0.00	720.00	100.00
001-0120-5116	Communication Exp - Cellular	300.00	21.56	107.80	192.20	0.00	192.20	64.07
001-0120-5130	Sanitation							
E10 Sub Totals:		4,340.00	230.69	1,278.55	3,061.45	0.00	3,061.45	70.54
E30	Supply Expense	700.00	0.00	645.40	54.60	0.00	54.60	7.80
001-0120-5300	Supplies - Office	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0120-5350	Postage Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E30 Sub Totals:		1,200.00	0.00	645.40	554.60	0.00	554.60	46.22
E40	Operations Expense							
001-0120-5480	Dues & Subscriptions	20,000.00	0.00	16,807.66	3,192.34	0.00	3,192.34	15.96
001-0120-5510	Meeting Expense	100.00	0.00	19.75	80.25	0.00	80.25	80.25
E40 Sub Totals:		20,100.00	0.00	16,827.41	3,272.59	0.00	3,272.59	16.28
E55	Professional Services							
001-0120-5553	Prof Services - Advertising	2,000.00	0.00	174.20	1,825.80	470.60	1,355.20	67.76
001-0120-5571	Prof Services - Engineering	13,980.00	1,080.00	5,340.00	8,640.00	1,080.00	7,560.00	54.08
001-0120-5574	Prof Services - GIS	6,120.00	0.00	0.00	6,120.00	0.00	6,120.00	100.00
001-0120-5589	Prof Services - Printing	300.00	0.00	65.40	234.60	0.00	234.60	78.20
E55 Sub Totals:		22,400.00	1,080.00	5,579.60	16,820.40	1,550.60	15,269.80	68.17
E60	Miscellaneous Expense							
001-0120-5600	Miscellaneous Expense	150,000.00	4,893.40	35,241.54	114,758.46	0.00	114,758.46	76.51
001-0120-5606	IT Projects & Labor	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
001-0120-5608	Software - New & Renewals	12,500.00	0.00	1,650.00	10,900.00	0.00	10,900.00	86.85
001-0120-5610	Website Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E60 Sub Totals:		167,500.00	4,893.40	36,891.54	130,658.46	0.00	130,658.46	77.98
Expense Sub Totals:		367,142.67	13,212.47	97,033.14	270,109.53	1,750.60	268,358.93	73.09
R20	Animal Control							
Dept 001-0200	Dept 0120 Sub Totals:	360,042.67	12,456.47	95,353.14	264,689.53	1,750.60		
R20	Licenses Permits & Fees							
001-0200-4202	Adoption Revenue	4,000.00	425.00	1,480.00	2,520.00	0.00	2,520.00	63.00
001-0200-4222	Misc Revenue - Animal Control	8,000.00	926.07	3,481.38	4,518.62	0.00	4,518.62	56.48
001-0200-4224	Dog License Fee	2,000.00	50.00	628.00	1,372.00	0.00	1,372.00	68.60
001-0200-4246	Spay & Neuter Revenue	12,500.00	865.00	4,225.00	8,275.00	0.00	8,275.00	66.20
R20 Sub Totals:		26,500.00	2,266.07	9,814.38	16,685.62	0.00	16,685.62	62.96
R40	Fines & Forfeitures							
001-0200-4420	Animal Control Fines	6,000.00	290.00	2,535.00	3,465.00	0.00	3,465.00	57.75
R40 Sub Totals:		6,000.00	290.00	2,535.00	3,465.00	0.00	3,465.00	57.75
R62	Intergovernmental Tsfis							
001-0200-4627	Xfer Designated Tax	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
R62 Sub Totals:		416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E01								
	Revenue Sub Totals:	448,500.00	37,222.73	185,682.68	262,817.32	0.00	262,817.32	58.60
	Personnel Expense							
	Salary Expense	160,371.13	9,394.79	52,453.97	107,917.16	0.00	107,917.16	67.29
	SWB Reimbursement	43,600.00	3,633.33	18,166.65	25,433.35	0.00	25,433.35	58.33
	Overtime Expense	11,000.00	1,054.02	4,576.86	6,423.14	0.00	6,423.14	58.39
	FICA Expense	13,109.90	751.58	4,120.09	8,989.81	0.00	8,989.81	68.57
	Unemployment Expense	732.00	0.00	612.21	119.79	0.00	119.79	16.36
	Worker's Comp Expense	1,138.00	0.00	1,134.18	3.82	0.00	3.82	0.34
	APERS Expense	23,978.82	1,515.07	8,269.43	15,709.39	0.00	15,709.39	65.51
	Health Insurance Expense	49,407.60	2,750.82	14,203.60	35,204.00	0.00	35,204.00	71.25
	Physical & Drug Screen Exp	500.00	0.00	183.38	316.62	25.00	291.62	58.32
	Uniform Expense	1,000.00	0.00	130.78	869.22	47.05	822.17	82.22
	Travel & Training Expense	2,000.00	0.00	150.00	1,850.00	100.00	1,750.00	87.50
	First Aid Expense	500.00	0.00	31.44	468.56	0.00	468.56	93.71
	E01 Sub Totals:	307,337.45	19,099.61	104,032.59	203,304.86	172.05	203,132.81	66.09
E10								
	Building & Grounds Exp							
	Repairs & Maint - Building	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
	Repairs & Maint - Grounds	400.00	115.92	115.92	284.08	59.08	225.00	56.25
	Utilities - Electric	8,900.00	379.16	3,719.79	5,180.21	0.00	5,180.21	58.20
	Utilities - Gas	350.00	16.89	205.91	144.09	0.00	144.09	41.17
	Utilities - Water	840.00	42.88	257.25	582.75	0.00	582.75	69.38
	Communication Exp - Telephone	7,400.00	614.24	3,069.00	4,331.00	0.00	4,331.00	58.53
	Communication Exp - Cellular	3,180.00	0.00	805.29	2,374.71	267.64	2,107.07	66.26
	Insurance - Property	700.00	0.00	0.00	700.00	0.00	700.00	100.00
	Alarm	650.00	0.00	-69.91	719.91	0.00	719.91	110.76
	Sanitation	1,500.00	125.41	587.58	912.42	0.00	912.42	60.83
	Supplies - B&G	500.00	0.00	0.00	500.00	0.00	500.00	100.00
	Janitorial Supplies and Main	3,000.00	413.83	549.84	2,450.16	62.95	2,387.21	79.57
	Tools	1,500.00	15.43	37.24	1,462.76	9.93	1,452.83	96.86
	E10 Sub Totals:	30,920.00	1,723.76	9,277.91	21,642.09	399.60	21,242.49	68.70
E20								
	Vehicle Expense							
	Fuel Expense	4,000.00	557.45	1,371.02	2,628.98	0.00	2,628.98	65.72
	Service & Repair - Vehicle	2,000.00	32.66	474.68	1,525.32	0.00	1,525.32	76.27
	Service & Repair - Equipment	100.00	0.00	0.00	100.00	0.00	100.00	100.00
	Equipment Repairs	1,000.00	0.00	367.33	632.67	0.00	632.67	63.27
	Insurance Expense - Vehicle	1,300.00	0.00	1,287.97	12.03	0.00	12.03	0.93
	E20 Sub Totals:	8,400.00	590.11	3,501.00	4,899.00	0.00	4,899.00	58.32
E30								
	Supply Expense							
	Supplies - Office	1,200.00	22.33	484.18	715.82	1.90	713.92	59.49

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0200-5302	Supplies - Kitchen	200.00	0.00	45.96	154.04	8.33	145.71	72.86
001-0200-5306	Supplies - Food Allowance	1,500.00	89.35	150.97	1,349.03	23.18	1,325.85	88.39
001-0200-5322	Supplies - Operating	2,000.00	203.33	249.27	1,750.73	10.58	1,740.15	87.01
001-0200-5350	Postage Expense	100.00	0.00	0.00	100.00	0.00	100.00	100.00
001-0200-5370	Medicine Expense	4,000.00	1,570.30	2,069.24	1,930.76	0.00	1,930.76	48.27
001-0200-5371	Spay & Neuter Vouchers	1,000.00	0.00	300.00	700.00	0.00	700.00	70.00
	E30 Sub Totals:	10,000.00	1,885.31	3,299.62	6,700.38	43.99	6,656.39	66.56
E40	Operations Expense							
001-0200-5141	Pest/Chem/Seed/Fert	1,020.00	82.13	410.65	609.35	0.00	609.35	59.74
001-0200-5323	Material and Maint.	200.00	0.00	0.00	200.00	0.00	200.00	100.00
001-0200-5480	Dues & Subscriptions	900.00	232.54	1,371.06	-471.06	0.00	-471.06	0.00
001-0200-5593	Animal Care Charges	2,000.00	29.25	181.31	1,818.69	83.83	1,734.86	86.74
	E40 Sub Totals:	4,120.00	343.92	1,963.02	2,156.98	83.83	2,073.15	50.32
E55	Professional Services							
001-0200-5577	Prof Services - Incineration & Disp	3,000.00	345.00	690.00	2,310.00	0.00	2,310.00	77.00
001-0200-5589	Prof Services - Printing	25.00	0.00	0.00	25.00	0.00	25.00	100.00
001-0200-5592	Prof Services - Veterinarian	13,500.00	1,267.34	4,544.53	8,955.47	465.00	8,490.47	62.89
	E55 Sub Totals:	16,525.00	1,612.34	5,234.53	11,290.47	465.00	10,825.47	65.51
E60	Miscellaneous Expense							
001-0200-5600	Miscellaneous Expense	500.00	13.65	70.30	429.70	0.00	429.70	85.94
001-0200-5606	IT Projects & Labor	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0200-5608	Software - New & Renewals	1,980.00	79.92	159.84	1,820.16	0.00	1,820.16	91.93
	E60 Sub Totals:	3,980.00	93.57	230.14	3,749.86	0.00	3,749.86	94.22
E80	Fixed Assets							
001-0200-5803	Fixed Assets - A/C	70,000.00	0.00	0.00	70,000.00	0.00	70,000.00	100.00
	E80 Sub Totals:	70,000.00	0.00	0.00	70,000.00	0.00	70,000.00	100.00
	Expense Sub Totals:	451,282.45	25,348.62	127,538.81	323,743.64	1,164.47	322,579.17	71.48
	Dept 0200 Sub Totals:	2,782.45	-11,874.11	-58,143.87	60,926.32	1,164.47		
Dept 001-0300	Fines & Forfeitures							
R40	Act 316 of 1991 Revenue	200.00	18.12	90.60	109.40	0.00	109.40	54.70
001-0300-4400	City Attorney Reim	26,000.00	2,190.68	10,953.40	15,046.60	0.00	15,046.60	57.87
001-0300-4412	Court Fines	400,000.00	52,360.65	202,058.39	197,941.61	0.00	197,941.61	49.49
001-0300-4414	District Court Reim	14,000.00	1,181.04	5,905.20	8,094.80	0.00	8,094.80	57.82
001-0300-4416	Judge Retirement Reim	4,700.00	394.84	1,974.20	2,725.80	0.00	2,725.80	58.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0300-4426	Ordinance 89-15 Revenue	23,000.00	1,966.60	9,833.00	13,167.00	0.00	13,167.00	57.25
001-0300-4428	Warrant Fees	65,000.00	9,087.00	33,442.00	31,558.00	0.00	31,558.00	48.55
R40 Sub Totals:		532,900.00	67,198.93	264,256.79	268,643.21	0.00	268,643.21	50.41
R60	Miscellaneous Revenue	12,000.00	2,214.09	6,262.39	5,737.61	0.00	5,737.61	47.81
001-0300-4600	Miscellaneous Revenue	12,000.00	2,214.09	6,262.39	5,737.61	0.00	5,737.61	47.81
R64	Reimbursement	160,000.00	0.00	76,656.57	83,343.43	0.00	83,343.43	52.09
001-0300-4640	Saline County	160,000.00	0.00	76,656.57	83,343.43	0.00	83,343.43	52.09
R64 Sub Totals:		704,900.00	69,413.02	347,175.75	357,724.25	0.00	357,724.25	50.75
Revenue Sub Totals:								
E01	Personnel Expense	226,214.25	16,880.55	79,874.14	146,340.11	0.00	146,340.11	64.69
001-0300-5000	Salary Expense	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0300-5010	Overtime Expense	15,489.51	1,266.20	5,986.49	9,503.02	0.00	9,503.02	61.35
001-0300-5020	FICA Expense	1,008.00	0.00	804.78	203.22	0.00	203.22	20.16
001-0300-5022	Unemployment Expense	800.00	0.00	800.00	0.00	0.00	0.00	0.00
001-0300-5025	Worker's Comp Expense	32,237.82	2,447.70	11,148.98	21,088.84	0.00	21,088.84	65.42
001-0300-5030	APERS Expense	6,000.00	0.00	0.00	6,000.00	0.00	6,000.00	100.00
001-0300-5038	Pension Expense-Judge Rtmnt	60,195.60	3,182.38	14,981.58	45,214.02	0.00	45,214.02	75.11
001-0300-5040	Health Insurance Expense	750.00	25.00	25.00	725.00	150.00	575.00	76.67
001-0300-5050	Physical & Drug Screen Exp	500.00	10.97	10.97	489.03	0.00	489.03	97.81
001-0300-5055	Uniform Expense	10,500.00	2,433.44	5,034.26	5,465.74	32.76	5,432.98	51.74
001-0300-5060	Travel & Training Expense	30,000.00	2,405.18	12,025.91	17,974.09	0.00	17,974.09	59.91
001-0300-5070	Judge - Share to State	384,195.18	28,651.42	130,692.11	253,503.07	182.76	253,320.31	65.94
E10	Building & Grounds Exp	10,000.00	57.84	338.38	9,661.62	202.44	9,459.18	94.59
001-0300-5102	Repairs & Maint - Building	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0300-5103	Repairs and Maint	6,000.00	353.35	1,453.00	4,547.00	331.63	4,215.37	70.26
001-0300-5110	Utilities - Electric	1,200.00	9.35	462.50	737.50	0.00	737.50	61.46
001-0300-5111	Utilities - Gas	650.00	44.35	288.97	361.03	0.00	361.03	55.54
001-0300-5112	Utilities - Water	6,700.00	555.76	2,777.12	3,922.88	0.00	3,922.88	58.55
001-0300-5115	Communication Exp - Telephone	1,080.00	86.24	391.72	688.28	0.00	688.28	63.73
001-0300-5130	Sanitation	360.00	0.00	0.00	360.00	0.00	360.00	100.00
001-0300-5142	Janitorial Supplies and Main	26,990.00	1,106.89	5,711.69	21,278.31	534.07	20,744.24	76.86
E30	Supply Expense	6,000.00	442.45	1,826.05	4,173.95	408.39	3,765.56	62.76
001-0300-5300	Supplies - Office	6,000.00	442.45	1,826.05	4,173.95	408.39	3,765.56	62.76

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0300-5350	Postage Expense	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
	E30 Sub Totals:	7,500.00	442.45	1,826.05	5,673.95	408.39	5,265.56	70.21
E40	Operati6n Expense							
001-0300-5480	Dues & Subscriptions	3,000.00	35.00	890.58	2,109.42	0.00	2,109.42	70.31
	E40 Sub Totals:	3,000.00	35.00	890.58	2,109.42	0.00	2,109.42	70.31
E55	Professional Services							
001-0300-5553	Prof Services - Advertising	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0300-5589	Prof Services - Printing	4,000.00	0.00	0.00	4,000.00	0.00	4,000.00	100.00
	E55 Sub Totals:	4,500.00	0.00	0.00	4,500.00	0.00	4,500.00	100.00
E60	Miscellaneous Expense							
001-0300-5608	Software - New & Renewals	1,959.90	0.00	374.40	1,585.50	609.30	976.20	49.81
001-0300-5614	Copier Maint & Lease	840.00	95.48	398.59	441.41	70.00	371.41	44.22
	E60 Sub Totals:	2,799.90	95.48	772.99	2,026.91	679.30	1,347.61	48.13
	Expense Sub Totals:	428,985.08	30,331.24	139,893.42	289,091.66	1,804.52	287,287.14	66.97
	Dept 0300 Sub Totals:	-275,914.92	-39,081.78	-207,282.33	-68,632.59	1,804.52		
Dept 001-0400	Parks General							
R62	Intergovernmental Trsfrs							
001-0400-4627	Xfer Designated Tax	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
001-0400-4629	Xfer Park 1/8 O & M	521,000.00	43,416.66	217,083.30	303,916.70	0.00	303,916.70	58.33
	R62 Sub Totals:	937,000.00	78,083.32	390,416.60	546,583.40	0.00	546,583.40	58.33
	Revenue Sub Totals:	937,000.00	78,083.32	390,416.60	546,583.40	0.00	546,583.40	58.33
E01	Personnel Expense							
001-0400-5000	Salary Expense	280,392.40	20,456.71	97,027.63	183,364.77	0.00	183,364.77	65.40
001-0400-5001	Part Time Labor	20,000.00	1,079.51	6,860.62	13,139.38	0.00	13,139.38	65.70
001-0400-5005	SWB Reimbursement	174,400.00	14,533.33	72,666.65	101,733.35	0.00	101,733.35	58.33
001-0400-5010	Overtime Expense	7,000.00	700.50	1,315.88	5,684.12	0.00	5,684.12	81.20
001-0400-5020	FICA Expense	22,368.13	1,713.12	8,108.21	14,259.92	0.00	14,259.92	63.75
001-0400-5022	Unemployment Expense	1,642.96	0.00	1,009.09	633.87	0.00	633.87	38.58
001-0400-5025	Worker's Comp Expense	3,831.00	0.00	3,745.35	85.65	0.00	85.65	2.24
001-0400-5030	APERS Expense	39,727.10	3,134.72	14,594.48	25,132.62	0.00	25,132.62	63.26
001-0400-5040	Health Insurance Expense	82,094.76	4,121.26	19,932.65	62,162.11	0.00	62,162.11	75.72
001-0400-5050	Physical & Drug Screen Exp	1,050.00	25.00	200.00	850.00	375.00	475.00	45.24
001-0400-5055	Uniform Expense	3,000.00	0.00	2,680.72	319.28	0.00	319.28	10.64
001-0400-5057	Vehicle Allowance	6,000.00	461.54	2,307.70	3,692.30	0.00	3,692.30	61.54

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0400-5060	Travel & Training Expense	13,200.00	0.00	820.00	12,380.00	0.00	12,380.00	93.79
	E01 Sub Totals:	654,706.35	46,225.69	231,268.98	423,437.37	375.00	423,062.37	64.62
E10	Building & Grounds Exp							
001-0400-5104	Repairs & Maint - Grounds	0.00	0.00	-6.79	6.79	0.00	6.79	0.00
001-0400-5110	Utilities - Electric	0.00	29.99	-61.37	61.37	0.00	61.37	0.00
001-0400-5120	Insurance - Property	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0400-5145	Tools	1,000.00	53.59	271.50	728.50	393.09	335.41	33.54
	E10 Sub Totals:	2,500.00	83.58	203.34	2,296.66	393.09	1,903.57	76.14
E20	Vehicle Expense							
001-0400-5200	Fuel Expense	15,000.00	1,716.09	3,113.20	11,886.80	0.00	11,886.80	79.25
001-0400-5225	Insurance Expense - Vehicle	3,000.00	0.00	1,610.50	1,389.50	0.00	1,389.50	46.32
	E20 Sub Totals:	18,000.00	1,716.09	4,723.70	13,276.30	0.00	13,276.30	73.76
E30	Supply Expense							
001-0400-5350	Postage Expense	100.00	0.00	0.00	100.00	0.00	100.00	100.00
001-0400-5380	Prisoner Care Expense	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	E30 Sub Totals:	1,100.00	0.00	0.00	1,100.00	0.00	1,100.00	100.00
E55	Professional Services							
001-0400-5550	Prof Services - Acctg & Audit	5,000.00	500.00	5,000.00	0.00	0.00	0.00	0.00
001-0400-5586	Prof Services - Other	50,000.00	0.00	0.00	50,000.00	3,075.42	46,924.58	93.85
	E55 Sub Totals:	55,000.00	500.00	5,000.00	50,000.00	3,075.42	46,924.58	85.32
E60	Miscellaneous Expense							
001-0400-5604	Hardware - New & Renewals	5,000.00	24.63	3,576.44	1,423.56	0.00	1,423.56	28.47
001-0400-5606	IT Projects & Labor	1,500.00	69.99	709.97	790.03	0.00	790.03	52.67
001-0400-5608	Software - New & Renewals	3,180.00	79.92	159.84	3,020.16	0.00	3,020.16	94.97
	E60 Sub Totals:	9,680.00	174.54	4,446.25	5,233.75	0.00	5,233.75	54.07
E80	Fixed Assets							
001-0400-5810	Fixed Assets - Equipment	35,000.00	0.00	22,298.43	12,701.57	0.00	12,701.57	36.29
	E80 Sub Totals:	35,000.00	0.00	22,298.43	12,701.57	0.00	12,701.57	36.29
	Expense Sub Totals:	775,986.35	48,699.90	267,940.70	508,045.65	3,843.51	504,202.14	64.98
	Dept 0400 Sub Totals:	-161,013.65	-29,383.42	-122,475.90	-38,537.75	3,843.51		
Dept 001-0410	Mills Pool and Park							
R36	Park Program Fees							
001-0410-4384	Tennis	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R50	R36 Sub Totals:	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
	Sale of Services							
001-0410-4500	Mills Pool-Admin/Concessions	65,000.00	7,651.25	9,679.75	55,320.25	0.00	55,320.25	85.11
001-0410-4534	Pavillion Fees	5,000.00	642.50	2,610.30	2,389.70	0.00	2,389.70	47.79
	R50 Sub Totals:	70,000.00	8,293.75	12,290.05	57,709.95	0.00	57,709.95	82.44
R74	Sponsorships							
001-0410-4740	Sponsorship/Rebates	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	R74 Sub Totals:	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	Revenue Sub Totals:	77,000.00	8,293.75	12,290.05	64,709.95	0.00	64,709.95	84.04
E01	Personnel Expense							
001-0410-5001	Part Time Labor	11,000.00	0.00	0.00	11,000.00	0.00	11,000.00	100.00
001-0410-5020	FICA Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0410-5022	Unemployment Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0410-5025	Worker's Comp Expense	6,131.00	0.00	3,745.35	2,385.65	0.00	2,385.65	38.91
001-0410-5050	Physical & Drug Screen Exp	2,700.00	0.00	0.00	2,700.00	750.00	1,950.00	72.22
	E01 Sub Totals:	19,831.00	0.00	3,745.35	16,085.65	750.00	15,335.65	77.33
E10	Building & Grounds Exp							
001-0410-5102	Repairs & Maint - Building	1,000.00	0.00	30.58	969.42	0.00	969.42	96.94
001-0410-5104	Repairs & Maint - Grounds	5,000.00	4.96	764.33	4,235.67	412.29	3,823.38	76.47
001-0410-5105	Repairs & Maint - Pool	5,000.00	41.43	41.43	4,958.57	900.00	4,058.57	81.17
001-0410-5110	Utilities - Electric	6,000.00	1,255.96	5,474.03	525.97	0.00	525.97	8.77
001-0410-5111	Utilities - Gas	150.00	16.89	84.45	65.55	0.00	65.55	43.70
001-0410-5112	Utilities - Water	700.00	55.23	275.61	424.39	0.00	424.39	60.63
001-0410-5120	Insurance - Property	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0410-5130	Sanitation	1,080.00	172.52	516.81	563.19	0.00	563.19	52.15
	E10 Sub Totals:	19,430.00	1,546.99	7,187.24	12,242.76	1,312.29	10,930.47	56.26
E30	Supply Expense							
001-0410-5308	Supplies - Concession	5,000.00	0.00	0.00	5,000.00	381.56	4,618.44	92.37
001-0410-5328	Supplies - Pools	9,500.00	1,823.65	2,880.33	6,619.67	760.95	5,858.72	61.67
	E30 Sub Totals:	14,500.00	1,823.65	2,880.33	11,619.67	1,142.51	10,477.16	72.26
E70	Grant Expense							
001-0410-5700	Grant Expense	9,000.00	0.00	0.00	9,000.00	0.00	9,000.00	100.00
	E70 Sub Totals:	9,000.00	0.00	0.00	9,000.00	0.00	9,000.00	100.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Expense Sub Totals:	62,761.00	3,370.64	13,812.92	48,948.08	3,204.80	45,743.28	72.88
Dept 001-0420	Dept 0410 Sub Totals:	-14,239.00	-4,923.11	1,522.87	-15,761.87	3,204.80		
R36	Midland Park							
001-0420-4380	Park Program Fees							
	Soccer	0.00	0.00	10,125.00	-10,125.00	0.00	-10,125.00	0.00
R36 Sub Totals:		0.00	0.00	10,125.00	-10,125.00	0.00	-10,125.00	0.00
R74	Sponsorships							
001-0420-4740	Sponsorship/Rebates	25,250.00	0.00	0.00	25,250.00	0.00	25,250.00	100.00
R74 Sub Totals:		25,250.00	0.00	0.00	25,250.00	0.00	25,250.00	100.00
E10	Revenue Sub Totals:	25,250.00	0.00	10,125.00	15,125.00	0.00	15,125.00	59.90
001-0420-5104	Building & Grounds Exp							
	Repairs & Maint - Grounds	28,500.00	0.00	4,035.38	24,464.62	3,350.70	21,113.92	74.08
E10 Sub Totals:		28,500.00	0.00	4,035.38	24,464.62	3,350.70	21,113.92	74.08
Expense Sub Totals:		28,500.00	0.00	4,035.38	24,464.62	3,350.70	21,113.92	74.08
Dept 001-0430	Dept 0420 Sub Totals:	3,250.00	0.00	-6,089.62	9,339.62	3,350.70		
R30	Bishop Park							
001-0430-4300	Membership Fees	180,000.00	9,015.09	50,740.66	129,259.34	0.00	129,259.34	71.81
001-0430-4301	Membership Family	85,000.00	6,920.00	36,860.00	48,140.00	0.00	48,140.00	56.64
001-0430-4302	Membership Senior	45,000.00	2,750.00	14,750.00	30,250.00	0.00	30,250.00	67.22
001-0430-4303	Membership Adults	20,000.00	1,550.00	8,490.00	11,510.00	0.00	11,510.00	57.55
001-0430-4304	Membership Youth	35,000.00	1,979.50	7,073.00	27,927.00	0.00	27,927.00	79.79
001-0430-4305	Membership Silver Sneakers	10,500.00	325.00	7,700.00	2,800.00	0.00	2,800.00	26.67
001-0430-4310	Silver & Fit Annual Fees	1,530.00	720.00	2,490.00	-960.00	0.00	-960.00	0.00
001-0430-4311	Membership 3 Mo Adult	6,030.00	1,170.00	1,656.00	4,374.00	0.00	4,374.00	72.54
001-0430-4312	Membership 3 Mo Youth	8,505.00	720.00	3,411.00	5,094.00	0.00	5,094.00	59.89
001-0430-4313	Membership 3 Mo Senior	15,010.00	950.00	3,646.00	11,364.00	0.00	11,364.00	75.71
001-0430-4314	Membership 3 Mo Family	1,500.00	240.00	621.00	879.00	0.00	879.00	58.60
001-0430-4318	Membership 3 Mo College	1,020.00	120.00	366.00	654.00	0.00	654.00	64.12
001-0430-4319	Membership 6 Mo College	4,020.00	630.00	3,234.00	786.00	0.00	786.00	19.55
001-0430-4320	Membership 6 Mo Military	7,500.00	600.00	3,200.00	4,300.00	0.00	4,300.00	57.33
001-0430-4321	Membership Annual Adult	5,040.00	360.00	3,048.00	1,992.00	0.00	1,992.00	39.52
001-0430-4322	Membership Annual Youth	40,080.00	1,554.00	27,211.00	12,869.00	0.00	12,869.00	32.11
001-0430-4323	Membership Annual Senior	18,144.00	1,008.00	13,603.04	4,540.96	0.00	4,540.96	25.03

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R30 Sub Totals:		483,879.00	30,611.59	188,099.70	295,779.30	0.00	295,779.30	61.13
Rental Fees								
001-0430-4332	Equipment Rental	1,000.00	110.00	875.00	125.00	0.00	125.00	12.50
001-0430-4334	After Hours Charge Bishop	1,400.00	0.00	1,386.00	14.00	0.00	14.00	1.00
001-0430-4336	Room Rental Large Room (both)	10,000.00	800.00	3,140.00	6,860.00	0.00	6,860.00	68.60
001-0430-4337	Room Rental Large Room	20,000.00	1,445.00	9,830.00	10,170.00	0.00	10,170.00	50.85
001-0430-4338	Room Rental Small Rooms (both)	900.00	305.00	1,625.00	-725.00	0.00	-725.00	0.00
001-0430-4339	Room Rental Small Room	6,000.00	350.00	3,290.00	2,710.00	0.00	2,710.00	45.17
001-0430-4340	Room Rental Party Room	30,000.00	1,680.00	10,260.00	19,740.00	0.00	19,740.00	65.80
001-0430-4341	Room Rental Court Gym	5,000.00	270.00	1,070.00	3,930.00	0.00	3,930.00	78.60
001-0430-4342	Room Rental Full Gym	2,000.00	300.00	1,920.00	80.00	0.00	80.00	4.00
001-0430-4343	Room Rental Full Facility	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0430-4344	Room Rental Fitness Room	500.00	0.00	220.00	280.00	0.00	280.00	56.00
001-0430-4345	Rental - Splash Pad	5,000.00	1,320.00	2,460.00	2,540.00	0.00	2,540.00	50.80
001-0430-4347	Competitive Pool Fees	9,200.00	3,605.00	10,347.00	-1,147.00	0.00	-1,147.00	0.00
001-0430-4348	Therapy Pool Fees	2,950.00	0.00	3,850.00	-900.00	0.00	-900.00	0.00
001-0430-4350	Use Agreement Fees	1,800.00	0.00	800.00	1,000.00	0.00	1,000.00	55.56
001-0430-4352	Rental - Outdoor Field Fees	29,500.00	50.00	520.00	28,980.00	0.00	28,980.00	98.24
001-0430-4354	Tournaments	69,000.00	1,600.00	12,960.00	56,040.00	0.00	56,040.00	81.22
001-0430-4356	Tournaments - Softball	2,100.00	8,500.00	11,250.00	-9,150.00	0.00	-9,150.00	0.00
R33 Sub Totals:		197,350.00	20,335.00	75,803.00	121,547.00	0.00	121,547.00	61.59
Park Program Fees								
001-0430-4257	Uncorking Fee - Beer/Wine	1,000.00	0.00	49.50	950.50	0.00	950.50	95.05
001-0430-4259	Uncorking Fee - Spirits	100.00	0.00	0.00	100.00	0.00	100.00	100.00
001-0430-4260	Parks Rental	100.00	0.00	0.00	100.00	0.00	100.00	100.00
001-0430-4360	Aerobic Classes	1,000.00	0.00	-1,046.00	2,046.00	0.00	2,046.00	204.60
001-0430-4362	Baseball	0.00	0.00	10,940.00	-10,940.00	0.00	-10,940.00	0.00
001-0430-4364	Basketball	50,000.00	2,000.00	7,009.00	42,991.00	0.00	42,991.00	85.98
001-0430-4366	BASS Swim Program	42,000.00	5,112.90	28,050.45	13,949.55	0.00	13,949.55	33.21
001-0430-4370	Flag Football	2,400.00	0.00	0.00	2,400.00	0.00	2,400.00	100.00
001-0430-4374	Private Instruction	2,750.00	937.50	4,765.07	-2,015.07	0.00	-2,015.07	0.00
001-0430-4376	Programs - Misc Activity	8,300.00	600.00	1,880.00	6,420.00	0.00	6,420.00	77.35
001-0430-4382	Pool Swim Lessons	55,000.00	13,632.36	40,971.80	14,028.20	0.00	14,028.20	25.51
001-0430-4386	Track	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0430-4390	Volleyball Adult/Youth	10,000.00	0.00	555.00	9,445.00	0.00	9,445.00	94.45
R36 Sub Totals:		173,650.00	22,282.76	93,174.82	80,475.18	0.00	80,475.18	46.34
Sale of Services								
001-0430-4500	Concessions - Bishop	60,000.00	4,273.26	21,825.50	38,174.50	0.00	38,174.50	63.62
001-0430-4514	Daily Admissions Adults	20,004.00	1,690.00	8,339.00	11,665.00	0.00	11,665.00	58.31
001-0430-4516	Daily Admissions Senior	1,000.00	172.00	712.00	288.00	0.00	288.00	28.80

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0430-4518	Daily Admissions Youth	20,000.00	1,976.00	8,796.00	11,204.00	0.00	11,204.00	56.02
001-0430-4520	Multiple Adults	6,615.00	135.00	1,350.00	5,265.00	0.00	5,265.00	79.59
001-0430-4522	Multiple Senior	1,500.00	120.00	525.00	975.00	0.00	975.00	65.00
001-0430-4524	Multiple Youth	1,710.00	210.00	540.00	1,170.00	0.00	1,170.00	68.42
001-0430-4530	Merchandise Sales	3,000.00	76.00	347.00	2,653.00	0.00	2,653.00	88.43
001-0430-4532	Spectator Admissions	8,000.00	0.00	4,361.72	3,638.28	0.00	3,638.28	45.48
001-0430-4534	Red Cross Programs	8,000.00	2,970.00	7,510.00	490.00	0.00	490.00	6.13
	R50 Sub Totals:	129,829.00	11,622.26	54,306.22	75,522.78	0.00	75,522.78	58.17
R60	Miscellaneous Revenue							
001-0430-4394	Disc Golf Project - Bishop Park	0.00	104.00	104.00	-104.00	0.00	-104.00	0.00
001-0430-4600	Miscellaneous Revenue	1,000.00	200.00	960.22	39.78	0.00	39.78	3.98
	R60 Sub Totals:	1,000.00	304.00	1,064.22	-64.22	0.00	-64.22	0.00
R70	Grant Revenue							
001-0430-4700	Grant Revenue - Other	3,000.00	0.00	3,000.00	0.00	0.00	0.00	0.00
001-0430-4702	Grant - Veterans	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R70 Sub Totals:	3,000.00	0.00	3,000.00	0.00	0.00	0.00	0.00
R74	Sponsorships							
001-0430-4740	Sponsorship/Rebates	10,000.00	2,000.00	8,994.80	1,005.20	0.00	1,005.20	10.05
001-0430-4742	Scoreboard Signage BP	110,000.00	3,334.00	20,396.57	89,603.43	0.00	89,603.43	81.46
	R74 Sub Totals:	120,000.00	5,334.00	29,391.37	90,608.63	0.00	90,608.63	75.51
	Revenue Sub Totals:	1,108,708.00	90,489.61	444,839.33	663,868.67	0.00	663,868.67	59.88
E01	Personnel Expense							
001-0430-5000	Salary Expense	418,946.80	27,327.92	143,939.51	275,007.29	0.00	275,007.29	65.64
001-0430-5001	Part Time Labor	169,000.00	8,632.91	46,584.69	122,415.31	0.00	122,415.31	72.44
001-0430-5010	Overtime Expense	5,000.00	765.61	3,498.15	1,501.85	0.00	1,501.85	30.04
001-0430-5020	FICA Expense	43,434.54	2,940.31	15,309.79	28,124.75	0.00	28,124.75	64.75
001-0430-5022	Unemployment Expense	5,811.95	0.00	2,664.55	3,147.40	0.00	3,147.40	54.15
001-0430-5025	Workers Comp Expense	6,720.00	0.00	6,719.76	0.24	0.00	0.24	0.00
001-0430-5030	APERS Expense	60,451.08	4,073.55	21,013.56	39,437.52	0.00	39,437.52	65.24
001-0430-5040	Health Insurance Expense	92,647.86	4,482.50	24,002.34	68,645.52	0.00	68,645.52	74.09
001-0430-5050	Physical & Drug Screen Exp	4,200.00	0.00	75.00	4,125.00	300.00	3,825.00	91.07
001-0430-5055	Uniform Expense	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
	E01 Sub Totals:	808,212.23	48,222.80	263,807.35	544,404.88	300.00	544,104.88	67.32
E10	Building & Grounds Exp							
001-0430-5102	Repairs & Maint - Building	45,000.00	772.73	7,946.06	37,053.94	7,220.14	29,833.80	66.30
001-0430-5104	Repairs & Maint - Grounds	60,600.00	3,262.00	28,499.86	32,100.14	36,201.71	-4,101.57	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0430-5105	Repairs & Maint - Pool	55,000.00	1,707.99	17,991.12	37,008.88	5,767.02	31,241.86	56.80
001-0430-5106	Repairs & Maint - Splash Pad	2,000.00	178.64	178.64	1,821.36	149.15	1,672.21	83.61
001-0430-5110	Utilities - Electric	180,000.00	16,609.06	82,479.06	97,520.94	0.00	97,520.94	54.18
001-0430-5111	Utilities - Gas	30,000.00	-270.40	21,362.78	8,637.22	0.00	8,637.22	28.79
001-0430-5112	Utilities - Water	20,000.00	949.24	8,013.01	11,986.99	0.00	11,986.99	59.93
001-0430-5115	Communication Exp - Telephone	16,000.00	1,555.50	7,769.70	8,230.30	0.00	8,230.30	51.44
001-0430-5116	Communication Exp - Cellular	4,800.00	0.00	943.04	3,856.96	315.53	3,541.43	73.78
001-0430-5120	Insurance - Property	18,000.00	0.00	0.00	18,000.00	0.00	18,000.00	100.00
001-0430-5130	Sanitation	37,000.00	2,225.47	10,548.83	26,451.17	0.00	26,451.17	71.49
001-0430-5140	Supplies - B&G	2,000.00	0.00	129.21	1,870.79	21.95	1,848.84	92.44
001-0430-5142	Janitorial Supplies and Main	25,000.00	1,845.71	9,017.35	15,982.65	2,189.80	13,792.85	55.17
	E10 Sub Totals:	495,400.00	28,835.94	194,878.66	300,521.34	51,865.30	248,656.04	50.19
E20	Vehicle Expense							
001-0430-5212	Service & Repair - Equipment	11,000.00	1,515.03	3,967.76	7,032.24	2,541.96	4,490.28	40.82
001-0430-5214	Service & Repair - Heavy Equip	30,000.00	0.00	0.00	30,000.00	0.00	30,000.00	100.00
	E20 Sub Totals:	41,000.00	1,515.03	3,967.76	37,032.24	2,541.96	34,490.28	84.12
E30	Supply Expense							
001-0430-5300	Supplies - Office	2,200.00	318.34	1,561.32	638.68	0.00	638.68	29.03
001-0430-5308	Supplies - Concession	45,000.00	5,738.49	13,076.93	31,923.07	4,700.00	27,223.07	60.50
001-0430-5330	Supplies - Park Programs	18,000.00	10.89	5,554.24	12,445.76	0.00	12,445.76	69.14
001-0430-5332	Supplies - Resale Merchandise	2,000.00	596.11	804.51	1,195.49	325.00	870.49	43.52
	E30 Sub Totals:	67,200.00	6,663.83	20,997.00	46,203.00	5,025.00	41,178.00	61.28
E40	Operations Expense							
001-0430-5141	Pest/Chem/Seed/Fert	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0430-5460	BASS Program Expense	12,500.00	3,849.08	8,570.38	3,929.62	805.92	3,123.70	24.99
001-0430-5461	Aquatic Program Expense	4,000.00	0.00	1,540.04	2,459.96	557.81	1,902.15	47.55
001-0430-5475	Credit Card Fees	7,950.00	0.00	10,436.19	-2,486.19	0.00	-2,486.19	0.00
001-0430-5480	Dues & Subscriptions	500.00	0.00	180.00	320.00	0.00	320.00	64.00
	E40 Sub Totals:	25,450.00	3,849.08	20,726.61	4,723.39	1,363.73	3,359.66	13.20
E55	Professional Services							
001-0430-5553	Prof Services - Advertising	3,000.00	15.00	15.00	2,985.00	0.00	2,985.00	99.50
001-0430-5585	Prof Service - Basketball	43,305.00	0.00	29,010.00	14,295.00	0.00	14,295.00	33.01
001-0430-5586	Prof Services - Other	69,000.00	6,708.87	18,909.01	50,090.99	817.82	49,273.17	71.41
001-0430-5587	Prof Services - Aerobic Instr	43,024.00	3,924.00	17,890.00	25,134.00	2,412.00	22,722.00	52.81
001-0430-5589	Prof Services - Printing	1,000.00	0.00	0.00	1,000.00	555.90	444.10	44.41
	E55 Sub Totals:	159,329.00	10,647.87	65,824.01	93,504.99	3,785.72	89,719.27	56.31
E60	Miscellaneous Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0430-5485	Inspections & Monitoring	3,392.80	0.00	454.20	2,938.60	565.00	2,373.60	69.96
	E60 Sub Totals:	3,392.80	0.00	454.20	2,938.60	565.00	2,373.60	69.96
E80	Fixed Assets							
001-0430-5811	Other Assets-Bishop	50,000.00	0.00	0.00	50,000.00	53,352.79	-3,352.79	0.00
001-0430-5812	Scoreboard Signage Bishop	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E80 Sub Totals:	50,000.00	0.00	0.00	50,000.00	53,352.79	-3,352.79	0.00
	Expense Sub Totals:	1,649,984.03	99,734.55	570,655.59	1,079,328.44	118,799.50	960,528.94	58.21
	Dept 0430 Sub Totals:	541,276.03	9,244.94	125,816.26	415,459.77	118,799.50		
Dept 001-0440	Alcoa Park							
R36	Park Program Fees							
001-0440-4260	Parks Rental	500.00	0.00	0.00	500.00	0.00	500.00	100.00
	R36 Sub Totals:	500.00	0.00	0.00	500.00	0.00	500.00	100.00
R74	Sponsorships							
001-0440-4740	Sponsorship/Rebates	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	R74 Sub Totals:	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	Revenue Sub Totals:	5,500.00	0.00	0.00	5,500.00	0.00	5,500.00	100.00
E10	Building & Grounds Exp							
001-0440-5104	Repairs & Maint - Grounds	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
001-0440-5110	Utilities -Electric	5,200.00	741.47	3,943.90	1,256.10	0.00	1,256.10	24.16
001-0440-5112	Utilities - Water	3,000.00	192.92	1,034.78	1,965.22	0.00	1,965.22	65.51
	E10 Sub Totals:	13,200.00	934.39	4,978.68	8,221.32	0.00	8,221.32	62.28
	Expense Sub Totals:	13,200.00	934.39	4,978.68	8,221.32	0.00	8,221.32	62.28
	Dept 0440 Sub Totals:	7,700.00	934.39	4,978.68	2,721.32	0.00		
Dept 001-0450	Ashley Park							
R36	Park Program Fees							
001-0450-4260	Parks Rental	250.00	0.00	0.00	250.00	0.00	250.00	100.00
	R36 Sub Totals:	250.00	0.00	0.00	250.00	0.00	250.00	100.00
R74	Sponsorships							
001-0450-4740	Sponsorship/Rebates	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	R74 Sub Totals:	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E10	Revenue Sub Totals:							
001-0450-5104	Building & Grounds Exp	5,250.00	0.00	0.00	5,250.00	-0.00	5,250.00	100.00
001-0450-5110	Repairs & Maint - Grounds	5,000.00	0.00	3,503.78	1,496.22	0.00	1,496.22	29.92
001-0450-5112	Utilities - Electric	3,400.00	534.60	2,608.32	791.68	0.00	791.68	23.28
	Utilities - Water	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	E10 Sub Totals:	9,400.00	534.60	6,112.10	3,287.90	0.00	3,287.90	34.98
	Expense Sub Totals:	9,400.00	534.60	6,112.10	3,287.90	0.00	3,287.90	34.98
Dept 001-0500	Dept 0450-Sub Totals:	4,150.00	534.60	6,112.10	-1,962.10	0.00		
R15	Fire Department							
001-0500-4156	Taxes - Property	700.00	0.00	118.29	581.71	0.00	581.71	83.10
	Fire Rescue Funds	700.00	0.00	118.29	581.71	0.00	581.71	83.10
R60	R15 Sub Totals:	250.00	884.55	884.55	-634.55	0.00	-634.55	0.00
001-0500-4600	Miscellaneous Revenue	250.00	884.55	884.55	-634.55	0.00	-634.55	0.00
	R60 Sub Totals:	250.00	884.55	884.55	-634.55	0.00	-634.55	0.00
R62	Intergovernmental Tsfrs							
001-0500-4627	Xfer Designated Tax	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
001-0500-4629	Xfer Fire Special Tax	1,562,000.00	130,166.66	650,833.30	911,166.70	0.00	911,166.70	58.33
	R62 Sub Totals:	2,603,000.00	216,916.66	1,084,583.30	1,518,416.70	0.00	1,518,416.70	58.33
R66	Sale of Equipment							
001-0500-4650	Sale of Fixed Assets	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0500-4900	Sale of Fixed Assets	8,000.00	0.00	0.00	8,000.00	0.00	8,000.00	100.00
	R66 Sub Totals:	8,000.00	0.00	0.00	8,000.00	0.00	8,000.00	100.00
R70	Grant Revenue							
001-0500-4700	Grant Revenue - Other	0.00	0.00	150.56	-150.56	-150.56	0.00	0.00
	R70 Sub Totals:	0.00	0.00	150.56	-150.56	-150.56	0.00	0.00
	Revenue Sub Totals:	2,611,950.00	217,801.21	1,085,736.70	1,526,213.30	-150.56	1,526,363.86	58.44
E01	Personnel Expense							
001-0500-5000	Salary Expense	2,163,136.09	156,039.89	788,107.01	1,375,029.08	0.00	1,375,029.08	63.57
001-0500-5010	Overtime Expense	194,584.06	8,802.19	70,337.73	124,246.33	0.00	124,246.33	63.85
001-0500-5020	FICA Expense	36,845.10	2,493.40	12,970.74	23,874.36	0.00	23,874.36	64.80
001-0500-5022	Unemployment Expense	7,632.00	0.00	7,348.45	283.55	0.00	283.55	3.72

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0500-5025	Worker's Comp Expense	77,309.00	0.00	59,729.08	17,579.92	0.00	17,579.92	22.74
001-0500-5030	APERS Expense	5,038.35	388.89	1,952.07	3,086.28	0.00	3,086.28	61.26
001-0500-5035	LOPFI Expense	542,951.67	36,631.53	185,503.75	357,447.92	0.00	357,447.92	65.83
001-0500-5036	LOPFI Perm Advance	-150,000.00	0.00	-813.13	-149,186.87	0.00	-149,186.87	0.00
001-0500-5040	Health Insurance Expense	488,035.80	36,084.58	172,642.44	315,393.36	0.00	315,393.36	64.63
001-0500-5050	Physical & Drug Screen Exp	10,000.00	0.00	322.00	9,678.00	225.00	9,453.00	94.53
001-0500-5055	Uniform Expense	16,000.00	819.33	3,273.77	12,726.23	544.58	12,181.65	76.14
001-0500-5060	Travel & Training Expense	12,650.00	0.00	6,018.48	6,631.52	219.78	6,411.74	50.69
001-0500-5061	Training Aids	7,500.00	0.00	1,301.20	6,198.80	0.00	6,198.80	82.65
E01 Sub Totals:		3,411,682.07	241,259.81	1,308,693.59	2,102,988.48	989.36	2,101,999.12	61.61
E10	Building & Grounds Exp							
001-0500-5102	Repairs & Maint - Building	38,500.00	2,033.59	9,262.10	29,237.90	1,346.78	27,891.12	72.44
001-0500-5110	Utilities - Electric	39,900.00	2,760.00	13,764.27	26,135.73	0.00	26,135.73	65.50
001-0500-5111	Utilities - Gas	4,000.00	143.63	1,527.08	2,472.92	0.00	2,472.92	61.82
001-0500-5112	Utilities - Water	6,300.00	516.90	1,983.93	4,316.07	0.00	4,316.07	68.51
001-0500-5115	Communication Exp - Telephone	18,000.00	1,699.12	8,062.38	9,937.62	0.00	9,937.62	55.21
001-0500-5116	Communication Exp - Cellular	9,300.00	0.00	1,672.73	7,627.27	557.74	7,069.53	76.02
001-0500-5120	Insurance - Property	7,500.00	0.00	0.00	7,500.00	0.00	7,500.00	100.00
001-0500-5130	Sanitation	2,000.00	96.48	708.78	1,291.22	247.50	1,043.72	52.19
001-0500-5142	Janitorial Supplies and Main	11,000.00	558.42	3,210.71	7,789.29	53.68	7,735.61	70.32
001-0500-5145	Tools	1,200.00	0.00	839.40	360.60	200.04	160.56	13.38
E10 Sub Totals:		137,700.00	7,808.14	41,031.38	96,668.62	2,405.74	94,262.88	68.46
E20	Vehicle Expense							
001-0500-5200	Fuel Expense	35,000.00	2,664.78	8,188.82	26,811.18	151.06	26,660.12	76.17
001-0500-5210	Service & Repair - Vehicle	2,500.00	44.71	299.10	2,200.90	0.00	2,200.90	88.04
001-0500-5212	Service & Repair - Equipment	3,000.00	904.86	1,334.46	1,665.54	785.38	880.16	29.34
001-0500-5216	Service & Repair - Apparatus	42,000.00	80.82	4,848.60	37,151.40	101.45	37,049.95	88.21
001-0500-5218	Tire Expense	8,000.00	0.00	641.62	7,358.38	0.00	7,358.38	91.98
001-0500-5225	Insurance Expense - Vehicle	22,000.00	0.00	19,196.16	2,803.84	0.00	2,803.84	12.74
001-0500-5230	Radios	5,973.46	0.00	635.40	5,338.06	0.00	5,338.06	89.36
E20 Sub Totals:		118,473.46	3,695.17	35,144.16	83,329.30	1,037.89	82,291.41	69.46
E30	Supply Expense							
001-0500-5300	Supplies - Office	3,250.00	31.58	369.63	2,880.37	0.00	2,880.37	88.63
001-0500-5302	Supplies - Kitchen	1,200.00	140.68	411.46	788.54	111.70	676.84	56.40
001-0500-5306	Supplies - Food Allowance	43,800.00	2,708.86	13,185.62	30,614.38	3,776.03	26,838.35	61.27
001-0500-5318	Supplies - Foam	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0500-5320	Supplies - Hazardous Mat'l	2,000.00	21.81	218.27	1,781.73	8.32	1,773.41	88.67
001-0500-5350	Postage Expense	300.00	0.00	8.80	291.20	0.00	291.20	97.07

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E40	E30 Sub Totals:	52,050.00	2,902.93	14,193.78	37,856.22	3,896.05	33,960.17	65.25
	Operations Expense							
001-0500-5141	Pest/Chem/Seed/Fert	1,200.00	0.00	444.58	755.42	222.29	533.13	44.43
001-0500-5323	Material and Maint	1,800.00	565.02	1,039.27	760.73	0.00	760.73	42.26
001-0500-5480	Dues & Subscriptions	1,000.00	0.00	265.00	735.00	0.00	735.00	73.50
001-0500-5530	Safety Program	11,000.00	0.00	0.00	11,000.00	0.00	11,000.00	100.00
E40 Sub Totals:		15,000.00	565.02	1,748.85	13,251.15	222.29	13,028.86	86.86
E55	Professional Services							
001-0500-5553	Prof Services - Advertising	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0500-5586	Prof Services - Other	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0500-5589	Prof Services - Printing	500.00	0.00	0.00	500.00	0.00	500.00	100.00
E55 Sub Totals:		3,000.00	0.00	0.00	3,000.00	0.00	3,000.00	100.00
E60	Miscellaneous Expense							
001-0500-5604	Hardware - New & Renewals	10,000.00	0.00	0.00	10,000.00	0.00	10,000.00	100.00
001-0500-5606	IT Projects & Labor	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0500-5608	Software - New & Renewals	600.00	99.90	199.80	400.20	0.00	400.20	66.70
E60 Sub Totals:		12,100.00	99.90	199.80	11,900.20	0.00	11,900.20	98.35
E80	Fixed Assets							
001-0500-5808	Fixed Assets - Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E80 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expense Sub Totals:		3,750,005.53	256,330.97	1,401,011.56	2,348,993.97	8,551.33	2,340,442.64	62.41
Dept 001-0510	Dept 0500 Sub Totals:	1,138,055.53	38,529.76	315,274.86	822,780.67	8,400.77		
R15	Springhill Vol Fire							
001-0510-4152	Taxes - Property	65,000.00	0.00	2,003.00	62,997.00	0.00	62,997.00	96.92
	Springhill VFD Assessment							
R15 Sub Totals:		65,000.00	0.00	2,003.00	62,997.00	0.00	62,997.00	96.92
Revenue Sub Totals:		65,000.00	0.00	2,003.00	62,997.00	0.00	62,997.00	96.92
E40	Operations Expense							
001-0510-5323	Material and Maint	20,000.00	0.00	795.59	19,204.41	6,947.76	12,256.65	61.28
E40 Sub Totals:		20,000.00	0.00	795.59	19,204.41	6,947.76	12,256.65	61.28
E80	Fixed Assets							
001-0510-5800	Fixed Assets - Springhill	31,500.00	0.00	0.00	31,500.00	27,190.00	4,310.00	13.68

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	E80 Sub Totals:	31,500.00	0.00	0.00	31,500.00	27,190.00	4,310.00	13.68
	Expense Sub Totals:	51,500.00	0.00	795.59	50,704.41	34,137.76	16,566.65	32.17
	Dept 0510 Sub Totals:	-13,500.00	0.00	-1,207.41	-12,292.59	34,137.76		
Dept 001-0600	Police							
R40	Fines & Forfeitures							
001-0600-4422	Intoximeter Revenue	800.00	67.14	335.70	464.30	0.00	464.30	58.04
	R40 Sub Totals:	800.00	67.14	335.70	464.30	0.00	464.30	58.04
R60	Miscellaneous Revenue							
001-0600-4600	Miscellaneous Revenue	70,000.00	7,791.24	9,972.69	60,027.31	0.00	60,027.31	85.75
	R60 Sub Totals:	70,000.00	7,791.24	9,972.69	60,027.31	0.00	60,027.31	85.75
R62	Intergovernmental Trsfns							
001-0600-4627	Xfer Designated Tax	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	R62 Sub Totals:	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
R66	Sale of Equipment							
001-0600-4900	Sale of Fixed Assets	64,500.00	18,167.50	85,850.94	-21,350.94	0.00	-21,350.94	0.00
	R66 Sub Totals:	64,500.00	18,167.50	85,850.94	-21,350.94	0.00	-21,350.94	0.00
R70	Grant Revenue							
001-0600-4700	Grant - Police DUJ/Step	26,700.00	3,367.48	2,569.99	24,130.01	0.00	24,130.01	90.37
001-0600-4702	Grant - Body Armor	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
001-0600-4704	Grant - JAG Equip	2,500.00	0.00	3,500.00	-1,000.00	0.00	-1,000.00	0.00
	R70 Sub Totals:	31,200.00	3,367.48	6,069.99	25,130.01	0.00	25,130.01	80.54
	Revenue Sub Totals:	1,207,500.00	116,143.36	535,979.32	671,520.68	0.00	671,520.68	55.61
E01	Personnel Expense							
001-0600-5000	Salary Expense	1,584,467.89	126,194.37	627,360.53	957,107.36	0.00	957,107.36	60.41
001-0600-5010	Overtime Expense	65,000.00	6,788.74	18,224.51	46,775.49	0.00	46,775.49	71.96
001-0600-5020	FICA Expense	128,601.05	10,085.05	49,005.82	79,595.23	0.00	79,595.23	61.89
001-0600-5022	Unemployment Expense	5,253.00	0.00	5,251.64	1.36	0.00	1.36	0.03
001-0600-5025	Worker's Comp Expense	28,121.00	0.00	20,955.64	7,165.36	0.00	7,165.36	25.48
001-0600-5030	APERS Expense	13,257.12	1,099.21	5,575.83	7,681.29	0.00	7,681.29	57.94
001-0600-5035	LOPFI Expense	378,560.35	29,249.48	141,455.86	237,104.49	0.00	237,104.49	62.63
001-0600-5036	LOPFI Prem Advance	-135,000.00	0.00	-733.57	-134,266.43	0.00	-134,266.43	0.00
001-0600-5040	Health Insurance Expense	345,422.40	27,382.62	131,537.04	213,885.36	0.00	213,885.36	61.92
001-0600-5050	Physical & Drug Screen Exp	3,000.00	300.00	900.00	2,100.00	750.00	1,350.00	45.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0600-5055	Uniform Expense	14,000.00	1,888.33	3,794.96	10,205.04	563.51	9,641.53	68.87
001-0600-5056	Uniform Expenses	15,120.00	1,218.42	5,358.42	9,761.58	0.00	9,761.58	64.56
001-0600-5057	Uniform Expense - New Officer	15,000.00	1,964.88	4,079.22	10,920.78	7,309.70	3,611.08	24.07
001-0600-5060	Travel & Training Expense	27,500.00	784.48	19,293.33	8,206.67	620.75	7,585.92	27.59
001-0600-5061	Training Aids	3,000.00	64.09	403.71	2,596.29	87.60	2,508.69	83.62
001-0600-5065	First Aid Expense	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0600-5705	Grant Expense - DUU/Step	26,700.00	518.84	3,624.68	23,075.32	0.00	23,075.32	86.42
	E01 Sub Totals:	2,518,502.81	207,538.51	1,036,087.62	1,482,415.19	9,331.56	1,473,083.63	58.49
E10	Building & Grounds Exp							
001-0600-5102	Repairs & Maint - Building	15,000.00	513.36	3,063.01	11,936.99	1,927.93	10,009.06	66.73
001-0600-5110	Utilities - Electric	13,000.00	985.56	4,691.50	8,308.50	50.69	8,257.81	63.52
001-0600-5111	Utilities - Gas	1,100.00	0.00	217.58	882.42	0.00	882.42	80.22
001-0600-5112	Utilities - Water	1,600.00	106.02	328.61	1,271.39	0.00	1,271.39	79.46
001-0600-5115	Communication Exp - Telephone	41,700.00	2,266.92	11,699.00	30,001.00	108.57	29,892.43	71.68
001-0600-5116	Communication Exp - Cellular	32,000.00	2,512.88	13,250.54	18,749.46	9,348.88	9,400.58	29.38
001-0600-5120	Insurance - Property	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
001-0600-5130	Sanitation	1,200.00	64.33	416.39	783.61	0.00	783.61	65.30
001-0600-5142	Janitorial Supplies and Main	10,000.00	233.68	1,269.25	8,730.75	203.24	8,527.51	85.28
	E10 Sub Totals:	118,100.00	6,682.75	34,935.88	83,164.12	11,639.31	71,524.81	60.56
E20	Vehicle Expense							
001-0600-5200	Fuel Expense	120,000.00	19,358.90	46,106.91	73,893.09	0.00	73,893.09	61.58
001-0600-5210	Service & Repair - Vehicle	45,000.00	3,796.45	12,212.28	32,787.72	11,579.55	21,208.17	47.13
001-0600-5212	Service & Repair - Equipment	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
001-0600-5213	Equipment Repairs	3,000.00	0.00	69.99	2,930.01	0.00	2,930.01	97.67
001-0600-5214	Service & Repair - Heavy Equip	750.00	0.00	0.00	750.00	0.00	750.00	100.00
001-0600-5218	Tire Expense	22,400.00	2,298.46	6,736.41	15,663.59	490.10	15,173.49	67.74
001-0600-5225	Insurance Expense - Vehicle	30,000.00	0.00	26,204.94	3,795.06	0.00	3,795.06	12.65
001-0600-5230	Radios	10,500.00	0.00	0.00	10,500.00	0.00	10,500.00	100.00
001-0600-5245	Narcotics Rental	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	E20 Sub Totals:	234,150.00	25,453.81	91,330.53	142,819.47	12,069.65	130,749.82	55.84
E30	Supply Expense							
001-0600-5300	Supplies - Office	5,000.00	1,047.83	3,477.80	1,522.20	311.82	1,210.38	24.21
001-0600-5310	Supplies - Weapons	3,000.00	0.00	1,599.03	1,400.97	0.00	1,400.97	46.70
001-0600-5312	Supplies - Ammunition	19,600.00	655.86	655.86	18,944.14	13.78	18,930.36	96.58
001-0600-5314	Supplies - Raid Vests	10,000.00	0.00	0.00	10,000.00	0.00	10,000.00	100.00
001-0600-5322	Supplies - Operating - CID	2,900.00	111.00	1,653.13	1,246.87	1,106.65	140.22	4.84
001-0600-5350	Postage Expense	800.00	223.35	254.80	545.20	181.50	363.70	45.46
001-0600-5380	Prisoner Care Expense	500.00	0.00	0.00	500.00	0.00	500.00	100.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E40	E30 Sub Totals:	41,800.00	2,038.04	7,640.62	34,159.38	1,613.75	32,545.63	77.86
	Operations Expense							
001-0600-5480	Dues & Subscriptions	2,000.00	0.00	-83.00	2,083.00	0.00	2,083.00	104.15
001-0600-5525	Comm Crime Prevention Outreach	5,900.00	0.00	435.26	5,464.74	0.00	5,464.74	92.62
001-0600-5530	Safety Program	2,000.00	0.00	0.00	2,000.00	19.35	1,980.65	99.03
001-0600-5531	Radios - Police	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
E40	E40 Sub Totals:	11,900.00	0.00	352.26	11,547.74	19.35	11,528.39	96.88
E55	Professional Services							
001-0600-5553	Prof Services - Advertising	1,000.00	0.00	0.00	1,000.00	-0.00	1,000.00	100.00
001-0600-5586	Prof Services - Other	13,000.00	666.94	1,426.89	11,573.11	687.60	10,885.51	83.73
001-0600-5589	Prof Services - Printing	1,560.00	0.00	214.62	1,345.38	0.00	1,345.38	86.24
001-0600-5616	Interpreter-Police	500.00	0.00	0.00	500.00	0.00	500.00	100.00
E55	E55 Sub Totals:	16,060.00	666.94	1,641.51	14,418.49	687.60	13,730.89	85.50
E60	Miscellaneous Expense							
001-0600-5604	Hardware - New & Renewals	19,800.00	0.00	1,169.78	18,630.22	12,459.89	6,170.33	31.16
001-0600-5606	IT Projects & Labor	5,000.00	0.00	-330.00	5,330.00	0.00	5,330.00	106.60
001-0600-5608	Software - New & Renewals	41,900.00	4,801.86	8,360.72	33,539.28	20,901.20	12,638.08	30.16
001-0600-5617	Misc/Equipment Police	800.00	219.32	368.47	431.53	0.00	431.53	53.94
E60	E60 Sub Totals:	67,500.00	5,021.18	9,568.97	57,931.03	33,361.09	24,569.94	36.40
E70	Grant Expense							
001-0600-5700	Grant Expense	10,445.00	10,878.20	10,878.20	-433.20	0.00	-433.20	0.00
E70	E70 Sub Totals:	10,445.00	10,878.20	10,878.20	-433.20	0.00	-433.20	0.00
E80	Fixed Assets							
001-0600-5840	Principal Loan - Vehicles	301,000.00	25,979.44	117,565.46	183,434.54	0.00	183,434.54	60.94
E80	E80 Sub Totals:	301,000.00	25,979.44	117,565.46	183,434.54	0.00	183,434.54	60.94
E85	Interest Expense							
001-0600-5850	Interest Expense	43,300.00	2,497.39	24,649.85	18,650.15	2,657.80	15,992.35	36.93
E85	E85 Sub Totals:	43,300.00	2,497.39	24,649.85	18,650.15	2,657.80	15,992.35	36.93
	Expense Sub Totals:	3,362,757.81	286,756.26	1,334,650.90	2,028,106.91	71,380.11	1,956,726.80	58.19
Dept 001-0610	Dept 0600 Sub Totals:	2,155,257.81	170,612.90	798,671.58	1,356,586.23	71,380.11		
R60	911 Dispatch							
001-0610-4650	Miscellaneous Revenue	75,000.00	0.00	23,657.33	51,342.67	0.00	51,342.67	68.46
	Emerg Telephone Service Rev							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	R60 Sub Totals:	75,000.00	0.00	23,657.33	51,342.67	0.00	51,342.67	68.46
	Revenue Sub Totals:	75,000.00	0.00	23,657.33	51,342.67	0.00	51,342.67	68.46
E01	Personnel Expense							
001-0610-5000	Salary Expense	246,909.13	16,468.32	82,793.07	164,116.06	0.00	164,116.06	66.47
001-0610-5010	Overtime Expense	40,000.00	5,778.82	31,161.37	8,838.63	0.00	8,838.63	22.10
001-0610-5020	FICA Expense	21,948.54	1,649.69	8,407.77	13,540.77	0.00	13,540.77	61.69
001-0610-5022	Unemployment Expense	1,534.27	0.00	1,185.67	368.60	0.00	368.60	23.72
001-0610-5025	Worker's Comp Expense	7,250.00	0.00	4,180.64	3,069.36	0.00	3,069.36	42.34
001-0610-5030	APERS Expense	36,692.62	3,157.22	15,894.19	20,798.43	0.00	20,798.43	56.68
001-0610-5040	Health Insurance Expense	71,199.00	5,016.26	26,016.18	45,182.82	0.00	45,182.82	63.46
	E01 Sub Totals:	425,553.56	32,070.31	169,638.89	255,914.67	0.00	255,914.67	60.14
E55	Professional Services							
001-0610-5565	Prof Services - Dispatch	1,950.00	0.00	0.00	1,950.00	0.00	1,950.00	100.00
	E55 Sub Totals:	1,950.00	0.00	0.00	1,950.00	0.00	1,950.00	100.00
E60	Miscellaneous Expense							
001-0610-5606	IT Projects & Labor	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
001-0610-5650	Emerg Telephone Service Exp	88,980.00	450.00	64,837.85	24,142.15	878.00	23,264.15	26.15
	E60 Sub Totals:	91,480.00	450.00	64,837.85	26,642.15	878.00	25,764.15	28.16
	Expense Sub Totals:	518,983.56	32,520.31	234,476.74	284,506.82	878.00	283,628.82	54.65
	Dept 0610 Sub Totals:	443,983.56	32,520.31	210,819.41	233,164.15	878.00		
Dept 001-0620	School Resource Officers							
R64	Reimbursement							
001-0620-4640	Bryant School - SRO Reim	234,000.00	0.00	0.00	234,000.00	0.00	234,000.00	100.00
	R64 Sub Totals:	234,000.00	0.00	0.00	234,000.00	0.00	234,000.00	100.00
	Revenue Sub Totals:	234,000.00	0.00	0.00	234,000.00	0.00	234,000.00	100.00
E01	Personnel Expense							
001-0620-5000	Salary Expense	337,713.20	24,063.40	117,749.18	219,964.02	0.00	219,964.02	65.13
001-0620-5010	Overtime Expense	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
001-0620-5020	FICA Expense	25,911.56	1,769.09	8,652.68	17,258.88	0.00	17,258.88	66.61
001-0620-5022	Unemployment Expense	1,527.00	0.00	1,524.55	2.45	0.00	2.45	0.16
001-0620-5025	Worker's Comp Expense	5,100.00	0.00	2,940.86	2,159.14	0.00	2,159.14	42.34
001-0620-5035	LOPFI Expense	77,904.05	5,582.88	27,316.89	50,587.16	0.00	50,587.16	64.94
001-0620-5036	LOPFI Prem Advance	-22,000.00	0.00	0.00	-22,000.00	0.00	-22,000.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0620-5040	Health Insurance Expense	71,414.40	5,483.70	26,501.56	44,912.84	0.00	44,912.84	62.89
001-0620-5050	Physical & Drug Screen Exp	500.00	0.00	0.00	500.00	0.00	500.00	100.00
001-0620-5056	Uniform Expenses	8,400.00	210.00	1,897.73	6,502.27	1,581.90	4,920.37	58.58
001-0620-5060	Travel & Training Expense	12,000.00	0.00	4,456.92	7,543.08	0.00	7,543.08	62.86
	E01 Sub Totals:	519,470.21	37,109.07	191,040.37	328,429.84	1,581.90	326,847.94	62.92
E10	Building & Grounds Exp							
001-0620-5116	Communication Exp - Cellular	12,000.00	0.00	2,360.91	9,639.09	748.59	8,890.50	74.09
	E10 Sub Totals:	12,000.00	0.00	2,360.91	9,639.09	748.59	8,890.50	74.09
E60	Miscellaneous Expense							
001-0620-5608	Software - New & Renewals	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
	E60 Sub Totals:	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
	Expense Sub Totals:	533,970.21	37,109.07	193,401.28	340,568.93	2,330.49	338,238.44	63.34
	Dept 0620 Sub Totals:	299,970.21	37,109.07	193,401.28	106,568.93	2,330.49		
Dept 001-0630	Supply Expense							
E30	Supplies - Food Allowance	1,800.00	0.00	217.13	1,582.87	332.49	1,250.38	69.47
001-0630-5306		1,800.00	0.00	217.13	1,582.87	332.49	1,250.38	69.47
	E30 Sub Totals:	1,800.00	0.00	217.13	1,582.87	332.49	1,250.38	69.47
E40	Operations Expense							
001-0630-5500	K9 Training	5,500.00	0.00	0.00	5,500.00	458.85	5,041.15	91.66
	E40 Sub Totals:	5,500.00	0.00	0.00	5,500.00	458.85	5,041.15	91.66
E55	Professional Services							
001-0630-5592	Prof Services - Veterinarian	2,500.00	0.00	302.99	2,197.01	186.04	2,010.97	80.44
	E55 Sub Totals:	2,500.00	0.00	302.99	2,197.01	186.04	2,010.97	80.44
	Expense Sub Totals:	9,800.00	0.00	520.12	9,279.88	977.38	8,302.50	84.72
	Dept 0630 Sub Totals:	9,800.00	0.00	520.12	9,279.88	977.38		
Dept 001-0700	Code Enforcement							
R10	Taxes - Sales							
001-0700-4656	Alcohol Sales Tax Collected	35,000.00	4,386.49	22,343.32	12,656.68	0.00	12,656.68	36.16
	R10 Sub Totals:	35,000.00	4,386.49	22,343.32	12,656.68	0.00	12,656.68	36.16
R20	Licenses Permits & Fees							
001-0700-4200	Act 474 Commercial Surcharge	5,000.00	827.70	3,569.74	1,430.26	0.00	1,430.26	28.61

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
001-0700-4204	Amusement Game Fees	120.00	0.00	100.00	20.00	0.00	20.00	16.67
001-0700-4208	Business License	90,250.00	4,596.24	35,052.08	55,197.92	0.00	55,197.92	61.16
001-0700-4210	Commercial Remodel Permits	2,200.00	1,127.50	2,401.63	-201.63	0.00	-201.63	0.00
001-0700-4212	Drainage Fees	4,000.00	230.00	2,105.00	1,895.00	0.00	1,895.00	47.38
001-0700-4214	Electrical Permits	40,000.00	4,565.92	25,599.76	14,400.24	0.00	14,400.24	36.00
001-0700-4216	Electrical Reinspection	1,600.00	210.00	480.00	1,120.00	0.00	1,120.00	70.00
001-0700-4218	Fence Permits	300.00	25.00	75.00	225.00	0.00	225.00	75.00
001-0700-4220	HVACR Permits	22,100.00	1,791.56	12,533.34	9,566.66	0.00	9,566.66	43.29
001-0700-4226	Mobile Home Permits	1,150.00	0.00	1,210.50	-60.50	0.00	-60.50	0.00
001-0700-4228	New Commercial Permits	12,000.00	269.50	12,262.64	-262.64	0.00	-262.64	0.00
001-0700-4230	Permits - Other	2,500.00	0.00	280.00	2,220.00	0.00	2,220.00	88.80
001-0700-4232	Plumbing/Gas Inspections	15,000.00	1,166.22	7,803.11	7,196.89	0.00	7,196.89	47.98
001-0700-4234	Re-Inspection Fees	1,000.00	120.00	750.00	250.00	0.00	250.00	25.00
001-0700-4236	Residential Building Permits	20,000.00	2,055.90	13,857.12	6,142.88	0.00	6,142.88	30.71
001-0700-4238	Residential Remodel Permits	1,000.00	70.00	413.68	586.32	0.00	586.32	58.63
001-0700-4240	Sanitation License	175.00	0.00	200.00	-25.00	0.00	-25.00	0.00
001-0700-4242	Sign Permits	6,500.00	140.00	5,840.00	660.00	0.00	660.00	10.15
001-0700-4244	Solicitation Permits	500.00	60.00	225.00	275.00	0.00	275.00	55.00
001-0700-4248	Storage Building Permits	1,000.00	0.00	282.00	718.00	0.00	718.00	71.80
001-0700-4252	Swimming Pool Permits	300.00	0.00	240.00	60.00	0.00	60.00	20.00
001-0700-4258	Alcohol Permits - Revenue	22,000.00	465.00	930.00	21,070.00	0.00	21,070.00	95.77
	R20 Sub Totals:	248,695.00	17,720.54	126,210.60	122,484.40	0.00	122,484.40	49.25
R64	Reimbursement							
001-0700-4560	Vacant Home Cleanup - Revenue	500.00	0.00	0.00	500.00	0.00	500.00	100.00
	R64 Sub Totals:	500.00	0.00	0.00	500.00	0.00	500.00	100.00
	Revenue Sub Totals:	284,195.00	22,107.03	148,553.92	135,641.08	0.00	135,641.08	47.73
E01	Personnel Expense							
001-0700-5000	Salary Expense	184,293.13	14,265.75	68,354.27	115,938.86	0.00	115,938.86	62.91
001-0700-5010	Overtime Expense	2,000.00	341.24	967.40	1,032.60	0.00	1,032.60	51.63
001-0700-5020	FICA Expense	14,251.43	1,097.19	5,200.95	9,050.48	0.00	9,050.48	63.51
001-0700-5022	Unemployment Expense	720.00	0.00	604.20	115.80	0.00	115.80	16.08
001-0700-5025	Worker's Comp Expense	250.00	0.00	210.00	40.00	0.00	40.00	16.00
001-0700-5030	APERS Expense	27,012.51	2,118.01	10,051.62	16,960.89	0.00	16,960.89	62.79
001-0700-5040	Health Insurance Expense	49,407.60	3,649.82	17,574.85	31,832.75	0.00	31,832.75	64.43
001-0700-5050	Physical & Drug Screen Exp	325.00	0.00	0.00	325.00	0.00	325.00	100.00
001-0700-5055	Uniform Expense	1,500.00	110.25	1,004.56	495.44	0.00	495.44	33.03
001-0700-5060	Travel & Training Expense	2,500.00	0.00	1,137.50	1,362.50	50.00	1,312.50	52.50
	E01 Sub Totals:	282,259.67	21,582.26	105,105.35	177,154.32	50.00	177,104.32	62.75

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E10	Building & Grounds Exp							
001-0700-5102	Repairs & Maint - Building	100.00	11.86	30.80	69.20	23.13	46.07	46.07
001-0700-5110	Utilities - Electric	1,140.00	63.97	309.22	830.78	0.00	830.78	72.88
001-0700-5111	Utilities - Gas	60.00	2.09	17.08	42.92	0.00	42.92	71.53
001-0700-5112	Utilities - Water	120.00	7.31	25.63	94.37	0.00	94.37	78.64
001-0700-5115	Communication Exp - Telephone	2,100.00	173.68	867.45	1,232.55	0.00	1,232.55	58.69
001-0700-5116	Communication Exp - Cellular	2,460.00	12.99	1,056.22	1,403.78	373.20	1,030.58	41.89
001-0700-5120	Insurance - Property	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E10 Sub Totals:	5,980.00	271.90	2,306.40	3,673.60	396.33	3,277.27	54.80
E20	Vehicle Expense							
001-0700-5200	Fuel Expense	5,000.00	895.28	2,198.00	2,802.00	0.00	2,802.00	56.04
001-0700-5210	Service & Repair - Vehicle	2,000.00	502.46	643.29	1,356.71	0.00	1,356.71	67.84
001-0700-5225	Insurance Expense - Vehicle	500.00	0.00	162.50	337.50	0.00	337.50	67.50
	E20 Sub Totals:	7,500.00	1,397.74	3,003.79	4,496.21	0.00	4,496.21	59.95
E30	Supply Expense							
001-0700-5300	Supplies - Office	500.00	125.92	307.09	192.91	0.00	192.91	38.58
001-0700-5350	Postage Expense	100.00	0.00	0.00	100.00	0.00	100.00	100.00
	E30 Sub Totals:	600.00	125.92	307.09	292.91	0.00	292.91	48.82
E40	Operations Expense							
001-0700-5405	Act 474 Surcharge	5,000.00	242.02	3,036.58	1,963.42	0.00	1,963.42	39.27
001-0700-5475	Credit Card Fees	2,500.00	246.20	1,441.40	1,058.60	0.00	1,058.60	42.34
001-0700-5480	Dues & Subscriptions	650.00	50.00	550.98	99.02	75.00	24.02	3.70
001-0700-5560	Vacant Home Cleanup	4,000.00	0.00	1,531.86	2,468.14	0.00	2,468.14	61.70
	E40 Sub Totals:	12,150.00	538.22	6,560.82	5,589.18	75.00	5,514.18	45.38
E55	Professional Services							
001-0700-5568	Prof Services - Elec Insp	15,000.00	1,225.00	4,520.00	10,480.00	0.00	10,480.00	69.87
001-0700-5589	Prof Services - Printing	260.00	0.00	0.00	260.00	0.00	260.00	100.00
	E55 Sub Totals:	15,260.00	1,225.00	4,520.00	10,740.00	0.00	10,740.00	70.38
E60	Miscellaneous Expense							
001-0700-5604	Hardware - New & Renewals	6,500.00	0.00	0.00	6,500.00	746.94	5,753.06	88.51
001-0700-5606	IT Projects & Labor	1,000.00	750.00	1,000.00	0.00	0.00	0.00	0.00
001-0700-5608	Software - New & Renewals	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
	E60 Sub Totals:	9,000.00	750.00	1,000.00	8,000.00	746.94	7,253.06	80.59
	Expense Sub Totals:	332,749.67	25,891.04	122,803.45	209,946.22	1,268.27	208,677.95	62.71

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Dept 0700 Sub Totals:	48,554.67	3,784.01	-25,750.47	74,305.14	1,268.27		
	Fund Revenue Sub Totals:	12,864,603.00	1,129,802.65	5,283,460.30	7,581,142.70	-150.56	7,581,293.26	58.93
	Fund Expense Sub Totals:	13,444,917.55	925,448.91	4,841,207.93	8,603,709.62	290,421.22	8,313,288.40	61.83
Fund 002	Fund 001 Sub Totals:	580,314.55	-204,353.74	-442,252.37	1,022,566.92	290,270.66		
Dept 002-0100	Sales Tax Fund							
R10	Administration							
002-0100-4105	Taxes - Sales							
	One Cent Sales Tax	3,873,000.00	376,408.35	1,807,073.84	2,065,926.16	0.00	2,065,926.16	53.34
	R10 Sub Totals:	3,873,000.00	376,408.35	1,807,073.84	2,065,926.16	0.00	2,065,926.16	53.34
R85	Interest Revenue							
002-0100-4850	Interest Revenue	250.00	53.68	237.03	12.97	0.00	12.97	5.19
	R85 Sub Totals:	250.00	53.68	237.03	12.97	0.00	12.97	5.19
E62	Revenue Sub Totals:	3,873,250.00	376,462.03	1,807,310.87	2,065,939.13	0.00	2,065,939.13	53.34
002-0100-5620	Intergovernmental Trsf							
	Xfer to General	3,873,000.00	322,750.00	1,613,750.00	2,259,250.00	0.00	2,259,250.00	58.33
	E62 Sub Totals:	3,873,000.00	322,750.00	1,613,750.00	2,259,250.00	0.00	2,259,250.00	58.33
	Expense Sub Totals:	3,873,000.00	322,750.00	1,613,750.00	2,259,250.00	0.00	2,259,250.00	58.33
	Dept 0100 Sub Totals:	-250.00	-53,712.03	-193,560.87	193,310.87	0.00		
	Fund Revenue Sub Totals:	3,873,250.00	376,462.03	1,807,310.87	2,065,939.13	0.00	2,065,939.13	53.34
	Fund Expense Sub Totals:	3,873,000.00	322,750.00	1,613,750.00	2,259,250.00	0.00	2,259,250.00	58.33
	Fund 002 Sub Totals:	-250.00	-53,712.03	-193,560.87	193,310.87	0.00		
Fund 003	Franchise Fees							
Dept 003-0100	Administration							
R50	Sale of Services							
003-0100-4502	AT&T / SW Bell Franchise Fee	150,000.00	24,169.94	67,788.58	82,211.42	0.00	82,211.42	54.81
003-0100-4506	Centerpoint Energy Franchise Fee	200,000.00	10,424.15	113,267.99	86,732.01	0.00	86,732.01	43.37
003-0100-4508	Fidelity Franchise Fee	15,000.00	0.00	15,082.47	-82.47	0.00	-82.47	0.00
003-0100-4510	Comcast Cable Franchise Fee	75,000.00	19,348.49	38,703.09	36,296.91	0.00	36,296.91	48.40
003-0100-4526	Entergy Franchise Fee	600,000.00	37,959.18	204,840.56	395,159.44	0.00	395,159.44	65.86

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
003-0100-4528	First Electric Franchise Fee	275,000.00	18,956.46	110,545.37	164,454.63	0.00	164,454.63	59.80
003-0100-4564	Windstream Franchise Fee	15,000.00	3,748.66	8,112.88	6,887.12	0.00	6,887.12	45.91
	R50 Sub Totals:	1,330,000.00	114,606.88	558,340.94	771,659.06	0.00	771,659.06	58.02
R85	Interest Revenue							
003-0100-4850	Interest Revenue	300.00	45.42	204.65	95.35	0.00	95.35	31.78
	R85 Sub Totals:	300.00	45.42	204.65	95.35	0.00	95.35	31.78
	Revenue Sub Totals:	1,330,300.00	114,652.30	558,545.59	771,754.41	0.00	771,754.41	58.01
E62	Intergovernmental Tsfr							
003-0100-5620	Xfer to General	444,750.00	37,062.50	185,312.50	259,437.50	0.00	259,437.50	58.33
003-0100-5622	Xfer to Street	444,750.00	0.00	0.00	444,750.00	0.00	444,750.00	100.00
	E62 Sub Totals:	889,500.00	37,062.50	185,312.50	704,187.50	0.00	704,187.50	79.17
	Expense Sub Totals:	889,500.00	37,062.50	185,312.50	704,187.50	0.00	704,187.50	79.17
Dept 003-0400	Dept 0100 Sub Totals:	-440,800.00	-77,589.80	-373,233.09	-67,566.91	0.00		
E62	Intergovernmental Tsfr							
003-0400-5626	Xfer to Other	444,750.00	0.00	0.00	444,750.00	0.00	444,750.00	100.00
	E62 Sub Totals:	444,750.00	0.00	0.00	444,750.00	0.00	444,750.00	100.00
	Expense Sub Totals:	444,750.00	0.00	0.00	444,750.00	0.00	444,750.00	100.00
Dept 003-0800	Dept 0400 Sub Totals:	444,750.00	0.00	0.00	444,750.00	0.00		
E62	Intergovernmental Tsfr							
003-0800-5622	Xfer to Fund 185	641,750.00	53,537.00	266,363.87	375,386.13	374,758.79	627.34	0.10
	E62 Sub Totals:	641,750.00	53,537.00	266,363.87	375,386.13	374,758.79	627.34	0.10
	Expense Sub Totals:	641,750.00	53,537.00	266,363.87	375,386.13	374,758.79	627.34	0.10
	Dept 0800 Sub Totals:	641,750.00	53,537.00	266,363.87	375,386.13	374,758.79		
	Fund Revenue Sub Totals:	1,330,300.00	114,652.30	558,545.59	771,754.41	0.00	771,754.41	58.01
	Fund Expense Sub Totals:	1,976,000.00	90,599.50	451,676.37	1,524,323.63	374,758.79	1,149,564.84	58.18

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 005	Fund 003 Sub Totals:	645,700.00	-24,052.80	-106,869.22	752,569.22	374,758.79		
Dept 005-0100	Designated Tax Fund - Gen'l							
R85	Administration							
005-0100-4850	Interest Revenue	700.00	82.38	379.32	320.68	0.00	320.68	45.81
	Interest Revenue							
	R85 Sub Totals:	700.00	82.38	379.32	320.68	0.00	320.68	45.81
	Revenue Sub Totals:	700.00	82.38	379.32	320.68	0.00	320.68	45.81
Dept 005-0200	Dept 0100 Sub Totals:	-700.00	-82.38	-379.32	-320.68	0.00		
R10	Animal Control							
005-0200-4100	Taxes - Sales	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
	Designated Tax - AC							
	R10 Sub Totals:	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
E62	Revenue Sub Totals:	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
005-0200-5620	Intergovernmental Tsfr	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
	Xfer to General - AC							
	E62 Sub Totals:	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
	Expense Sub Totals:	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
Dept 005-0400	Dept 0200 Sub Totals:	0.00	-2,974.18	-7,374.09	7,374.09	0.00		
R10	Parks General							
005-0400-4100	Taxes - Sales	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
	Designated Tax - Park							
	R10 Sub Totals:	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
E62	Revenue Sub Totals:	416,000.00	37,640.84	180,707.39	235,292.61	0.00	235,292.61	56.56
005-0400-5620	Intergovernmental Tsfr	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
	Xfer to General - Park							
	E62 Sub Totals:	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
	Expense Sub Totals:	416,000.00	34,666.66	173,333.30	242,666.70	0.00	242,666.70	58.33
	Dept 0400 Sub Totals:	0.00	-2,974.18	-7,374.09	7,374.09	0.00		

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Dept 005-0500	Fire Department							
R10	Taxes - Sales							
005-0500-4100	Designated Tax - Fire	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
005-0500-4105	Sale of Fixed Assets - Fire	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R10 Sub Totals:	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
	Revenue Sub Totals:	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
E62	Intergovernmental Tsfr							
005-0500-5620	Xfer to General - Fire	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	E62 Sub Totals:	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	Expense Sub Totals:	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	Dept 0500 Sub Totals:	0.00	-7,352.09	-18,018.47	18,018.47	0.00		
Dept 005-0600	Police							
R10	Taxes - Sales							
005-0600-4100	Designated Tax - Police	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
	R10 Sub Totals:	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
	Revenue Sub Totals:	1,041,000.00	94,102.09	451,768.47	589,231.53	0.00	589,231.53	56.60
E62	Intergovernmental Tsfr							
005-0600-5620	Xfer to General - Police	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	E62 Sub Totals:	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	Expense Sub Totals:	1,041,000.00	86,750.00	433,750.00	607,250.00	0.00	607,250.00	58.33
	Dept 0600 Sub Totals:	0.00	-7,352.09	-18,018.47	18,018.47	0.00		
Dept 005-0800	Street							
R10	Taxes - Sales							
005-0800-4100	Designated Tax - Street	1,250,000.00	112,922.49	542,122.12	707,877.88	0.00	707,877.88	56.63
	R10 Sub Totals:	1,250,000.00	112,922.49	542,122.12	707,877.88	0.00	707,877.88	56.63
	Revenue Sub Totals:	1,250,000.00	112,922.49	542,122.12	707,877.88	0.00	707,877.88	56.63
E62	Intergovernmental Tsfr							
005-0800-5622	Xfer to Street	1,250,000.00	104,166.66	520,833.30	729,166.70	0.00	729,166.70	58.33
	E62 Sub Totals:	1,250,000.00	104,166.66	520,833.30	729,166.70	0.00	729,166.70	58.33

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 010	Expense Sub Totals:	1,250,000.00	104,166.66	520,833.30	729,166.70	0.00	729,166.70	58.33
Dept 010-0000	Dept 0800-Sub Totals:	0.00	-8,755.83	-21,288.82	21,288.82	0.00		
E01	Fund Revenue Sub Totals:	4,164,700.00	376,490.73	1,807,453.16	2,357,246.84	0.00	2,357,246.84	56.60
010-0000-5058	Fund Expense Sub Totals:	4,164,000.00	346,999.98	1,734,999.90	2,429,000.10	0.00	2,429,000.10	58.33
	Fund 005 Sub Totals:	-700.00	-29,490.75	-72,453.26	71,753.26	0.00		
	Electronic Tax							
	Personnel Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Taxable Clothing Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E01 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0000 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund 010 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Animal Control Donation							
	Donation Revenue	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
	Donation Revenue	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	Donations Dog Park	3,500.00	0.00	0.00	3,500.00	0.00	3,500.00	100.00
	R68 Sub Totals:	5.00	1.00	4.61	0.39	0.00	0.39	7.80
	Interest Revenue							
	Interest Revenue	5.00	1.00	4.61	0.39	0.00	0.39	7.80
	R85 Sub Totals:	3,505.00	1.00	4.61	3,500.39	0.00	3,500.39	99.87
	Revenue Sub Totals:	5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
	Donation Expense							
	AC Donation Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E68 Sub Totals:		5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
Expense Sub Totals:		5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
Dept 0200 Sub Totals:		1,495.00	-1.00	-4.61	1,499.61	0.00		
Fund Revenue Sub Totals:		3,505.00	1.00	4.61	3,500.39	0.00	3,500.39	99.87
Fund Expense Sub Totals:		5,000.00	0.00	0.00	5,000.00	0.00	5,000.00	100.00
Fund 020 Sub Totals:		1,495.00	-1.00	-4.61	1,499.61	0.00		
Act 1256 of 1995 Court								
Fines & Forfeitures								
Act 1256 Civil Division		71,250.00	5,320.00	26,585.00	44,665.00	0.00	44,665.00	62.69
Act 1256 District Court Rev		360,000.00	31,403.55	133,300.51	226,699.49	0.00	226,699.49	62.97
R40 Sub Totals:		431,250.00	36,723.55	159,885.51	271,364.49	0.00	271,364.49	62.93
Revenue Sub Totals:		431,250.00	36,723.55	159,885.51	271,364.49	0.00	271,364.49	62.93
Personnel Expense								
Act 1256 Judge Retirement		5,200.00	394.84	1,974.20	3,225.80	0.00	3,225.80	62.03
E01 Sub Totals:		5,200.00	394.84	1,974.20	3,225.80	0.00	3,225.80	62.03
Operations Expense								
Act 316 of 1991 Expense		250.00	18.12	90.60	159.40	0.00	159.40	63.76
Act 918 of 1983 Expense		17,500.00	1,342.64	6,713.20	10,786.80	0.00	10,786.80	61.64
Act 1256 Co Admin of Justice		140,500.00	10,741.60	53,708.00	86,792.00	0.00	86,792.00	61.77
Act 1256 Court Costs		15,250.00	1,181.04	5,905.20	9,344.80	0.00	9,344.80	61.28
Act 1256-City Attorney		28,500.00	2,190.68	10,953.40	17,546.60	0.00	17,546.60	61.57
Act 1256 DFA (State)		197,250.00	18,820.89	70,372.21	126,877.79	0.00	126,877.79	64.32
Act 1256 Ordinance 89-15		26,000.00	1,966.60	9,833.00	16,167.00	0.00	16,167.00	62.18
Act 1256 Intoximeter Expense		900.00	67.14	335.70	564.30	0.00	564.30	62.70
E40 Sub Totals:		426,150.00	36,328.71	157,911.31	268,238.69	0.00	268,238.69	62.94
Expense Sub Totals:		431,350.00	36,723.55	159,885.51	271,464.49	0.00	271,464.49	62.93
Dept 0300 Sub Totals:		100.00	0.00	0.00	100.00	0.00		
Fund Revenue Sub Totals:		431,250.00	36,723.55	159,885.51	271,364.49	0.00	271,364.49	62.93

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Fund Expense Sub Totals:	431,350.00	36,723.55	159,885.51	271,464.49	0.00	271,464.49	62.93
Fund 031	Fund 030 Sub Totals:	100.00	0.00	0.00	100.00			
Dept 031-0300	Act 1809 of 2001 Court Auto							
R40	Fines & Forfeitures							
031-0300-4408	Act 1809 of 2001 Revenue	26,000.00	2,637.50	14,711.00	11,289.00	0.00	11,289.00	43.42
	R40 Sub Totals:	26,000.00	2,637.50	14,711.00	11,289.00	0.00	11,289.00	43.42
R85	Interest Revenue	20.00	3.14	14.02	5.98	0.00	5.98	29.90
031-0300-4850	Interest Revenue	20.00	3.14	14.02	5.98	0.00	5.98	29.90
	R85 Sub Totals:	20.00	3.14	14.02	5.98	0.00	5.98	29.90
	Revenue Sub Totals:	26,020.00	2,640.64	14,725.02	11,294.98	0.00	11,294.98	43.41
E60	Miscellaneous Expense	64,676.00	2,010.50	9,554.28	55,121.72	15,321.80	39,799.92	61.54
031-0300-5608	Software - New & Renewals	64,676.00	2,010.50	9,554.28	55,121.72	15,321.80	39,799.92	61.54
	E60 Sub Totals:	64,676.00	2,010.50	9,554.28	55,121.72	15,321.80	39,799.92	61.54
	Expense Sub Totals:	38,656.00	-630.14	-5,170.74	43,826.74			
	Dept 0300 Sub Totals:	38,656.00	-630.14	-5,170.74	43,826.74			
	Fund Revenue Sub Totals:	26,020.00	2,640.64	14,725.02	11,294.98	0.00	11,294.98	43.41
	Fund Expense Sub Totals:	64,676.00	2,010.50	9,554.28	55,121.72	15,321.80	39,799.92	61.54
	Fund 031 Sub Totals:	38,656.00	-630.14	-5,170.74	43,826.74			
Fund 045	Park 1/8 Sales Tax O & M							
Dept 045-0400	Parks General							
R10	Taxes - Sales							
045-0400-4110	Park 1/8 Sales Tax	521,000.00	47,051.04	225,884.22	295,115.78	0.00	295,115.78	56.64
	R10 Sub Totals:	521,000.00	47,051.04	225,884.22	295,115.78	0.00	295,115.78	56.64
R85	Interest Revenue	30.00	4.42	17.07	12.93	0.00	12.93	43.10
045-0400-4850	Interest Revenue	30.00	4.42	17.07	12.93	0.00	12.93	43.10
	R85 Sub Totals:	30.00	4.42	17.07	12.93	0.00	12.93	43.10

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E62	Revenue Sub Totals:	521,030.00	47,055.46	225,901.29	295,128.71	0.00	295,128.71	56.64
045-0400-5620	Intergovernmental Trsf							
	Xfer to General	130,250.00	43,416.66	217,083.30	-86,833.30	0.00	-86,833.30	0.00
	E62 Sub Totals:	130,250.00	43,416.66	217,083.30	-86,833.30	0.00	-86,833.30	0.00
	Expense Sub Totals:	130,250.00	43,416.66	217,083.30	-86,833.30	0.00	-86,833.30	0.00
	Dept 0400 Sub Totals:	-390,780.00	-3,638.80	-8,817.99	-381,962.01	0.00		
	Fund Revenue Sub Totals:	521,030.00	47,055.46	225,901.29	295,128.71	0.00	295,128.71	56.64
	Fund Expense Sub Totals:	130,250.00	43,416.66	217,083.30	-86,833.30	0.00	-86,833.30	0.00
	Fund 045 Sub Totals:	-390,780.00	-3,638.80	-8,817.99	-381,962.01	0.00		
Fund 050	Fire Donation							
Dept 050-0500	Fire Department							
R68	Donation Revenue	1,000.00	0.00	289.04	710.96	0.00	710.96	71.10
050-0500-4680	Donation Revenue	1,000.00	0.00	289.04	710.96	0.00	710.96	71.10
	R68 Sub Totals:	1,000.00	0.00	289.04	710.96	0.00	710.96	71.10
	Interest Revenue	0.00	0.15	0.66	-0.66	0.00	-0.66	0.00
R85	Interest Revenue	0.00	0.15	0.66	-0.66	0.00	-0.66	0.00
050-0500-4850	Interest Revenue	0.00	0.15	0.66	-0.66	0.00	-0.66	0.00
	R85 Sub Totals:	0.00	0.15	0.66	-0.66	0.00	-0.66	0.00
	Revenue Sub Totals:	1,000.00	0.15	289.70	710.30	0.00	710.30	71.03
E68	Donation Expense	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
050-0500-5580	Donations Expense Fire	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	E68 Sub Totals:	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
	Expense Sub Totals:	0.00	-0.15	-289.70	289.70	0.00		
	Dept 0500 Sub Totals:	1,000.00	0.15	289.70	710.30	0.00	710.30	71.03
	Fund Revenue Sub Totals:	1,000.00	0.15	289.70	710.30	0.00	710.30	71.03
	Fund Expense Sub Totals:	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 051	Fund 050 Sub Totals:							
Dept 051-0500	Act 833 of 1991 Fire	0.00	-0.15	-289.70	289.70	0.00		
R15	Fire Department							
051-0500-4150	Taxes - Property	15,000.00	0.00	0.00	15,000.00	473.46	14,526.54	96.84
	State Turnback							
	R15 Sub Totals:	15,000.00	0.00	0.00	15,000.00	473.46	14,526.54	96.84
R85	Interest Revenue	15.00	0.96	4.61	10.39	0.00	10.39	69.27
051-0500-4850	Interest Revenue							
	R85 Sub Totals:	15.00	0.96	4.61	10.39	0.00	10.39	69.27
E40	Revenue Sub Totals:	15,015.00	0.96	4.61	15,010.39	473.46	14,536.93	96.82
051-0500-5410	Operations Expense	15,000.00	0.00	2,174.68	12,825.32	0.00	12,825.32	85.50
	Act 833 Expense							
	E40 Sub Totals:	15,000.00	0.00	2,174.68	12,825.32	0.00	12,825.32	85.50
	Expense Sub Totals:	15,000.00	0.00	2,174.68	12,825.32	0.00	12,825.32	85.50
	Dept 0500 Sub Totals:	-15.00	-0.96	2,170.07	-2,185.07	473.46		
	Fund Revenue Sub Totals:	15,015.00	0.96	4.61	15,010.39	473.46	14,536.93	96.82
	Fund Expense Sub Totals:	15,000.00	0.00	2,174.68	12,825.32	0.00	12,825.32	85.50
Fund 055	Fund 051 Sub Totals:							
Dept 055-0500	Fire 3/8 Sales Tax	-15.00	-0.96	2,170.07	-2,185.07	473.46		
R10	Fire Department							
055-0500-4120	Taxes - Sales	1,562,000.00	141,153.13	677,652.68	884,347.32	0.00	884,347.32	56.62
	Fire 3/8 Sales Tax							
	R10 Sub Totals:	1,562,000.00	141,153.13	677,652.68	884,347.32	0.00	884,347.32	56.62
R85	Interest Revenue	100.00	0.56	9.28	90.72	0.00	90.72	90.72
055-0500-4850	Interest Revenue							
	R85 Sub Totals:	100.00	0.56	9.28	90.72	0.00	90.72	90.72
E62	Revenue Sub Totals:	1,562,100.00	141,153.69	677,661.96	884,438.04	0.00	884,438.04	56.62
055-0500-5620	Intergovernmental Tsfr	1,562,000.00	130,166.66	650,833.30	911,166.70	0.00	911,166.70	58.33
	Xfer to General							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E80	E62 Sub Totals:	1,562,000.00	130,166.66	650,833.30	911,166.70	0.00	911,166.70	58.33
	Fixed Assets							
055-0500-5814	Fixed Assets - Fire Trucks	173,000.00	14,369.08	71,560.34	101,439.66	0.00	101,439.66	58.64
E85	E80 Sub Totals:	173,000.00	14,369.08	71,560.34	101,439.66	0.00	101,439.66	58.64
	Interest Expense							
055-0500-5850	Interest Expense	3,030.00	288.76	1,728.86	1,301.14	288.76	1,012.38	33.41
	E85 Sub Totals:	3,030.00	288.76	1,728.86	1,301.14	288.76	1,012.38	33.41
	Expense Sub Totals:	1,738,030.00	144,824.50	724,122.50	1,013,907.50	288.76	1,013,618.74	58.32
	Dept 0500 Sub Totals:	175,930.00	3,670.81	46,460.54	129,469.46	288.76		
	Fund Revenue Sub Totals:	1,562,100.00	141,153.69	677,661.96	884,438.04	0.00	884,438.04	56.62
	Fund Expense Sub Totals:	1,738,030.00	144,824.50	724,122.50	1,013,907.50	288.76	1,013,618.74	58.32
Fund 060	Fund 055 Sub Totals:	175,930.00	3,670.81	46,460.54	129,469.46	288.76		
Dept 060-0600	Police Donation							
R68	Police							
060-0600-4680	Donation Revenue	1,000.00	0.00	89.04	910.96	0.00	910.96	91.10
	Donation Revenue	1,000.00	0.00	89.04	910.96	0.00	910.96	91.10
R85	R68 Sub Totals:	5.00	0.09	0.39	4.61	0.00	4.61	92.20
	Interest Revenue							
060-0600-4850	Interest Revenue	5.00	0.09	0.39	4.61	0.00	4.61	92.20
E60	R85 Sub Totals:	5.00	0.09	0.39	4.61	0.00	4.61	92.20
	Revenue Sub Totals:	1,005.00	0.09	89.43	915.57	0.00	915.57	91.10
	Miscellaneous Expense							
060-0600-5600	Miscellaneous Expense	750.00	0.00	0.00	750.00	0.00	750.00	100.00
	E60 Sub Totals:	750.00	0.00	0.00	750.00	0.00	750.00	100.00
	Expense Sub Totals:	750.00	0.00	0.00	750.00	0.00	750.00	100.00
	Dept 0600 Sub Totals:	-255.00	-0.09	-89.43	-165.57	0.00		

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Fund Revenue Sub Totals:	1,005.00	0.09	89.43	915.57	0.00	915.57	91.10
	Fund Expense Sub Totals:	750.00	0.00	0.00	750.00	0.00	750.00	100.00
Fund 061	Fund 060 Sub Totals:	-255.00	-0.09	-89.43	-165.57	0.00		
Dept 061-0600	Act 918 of 1983 Police							
R40	Police							
	Fines & Forfeitures							
061-0600-4410	Admin of Justice Revenue	15,000.00	1,342.64	6,713.20	8,286.80	0.00	8,286.80	55.25
	R40 Sub Totals:	15,000.00	1,342.64	6,713.20	8,286.80	0.00	8,286.80	55.25
R85	Interest Revenue	10.00	1.00	4.01	5.99	0.00	5.99	59.90
061-0600-4850	Interest Revenue	10.00	1.00	4.01	5.99	0.00	5.99	59.90
	R85 Sub Totals:	15,010.00	1,343.64	6,717.21	8,292.79	0.00	8,292.79	55.25
	Revenue Sub Totals:	-15,010.00	-1,343.64	-6,717.21	-8,292.79	0.00		
	Dept 0600 Sub Totals:	15,010.00	1,343.64	6,717.21	8,292.79	0.00	8,292.79	55.25
	Fund Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Expense Sub Totals:	-15,010.00	-1,343.64	-6,717.21	-8,292.79	0.00		
Fund 062	Fund 061 Sub Totals:							
Dept 062-0600	Act 988 of 1991 Emerg Veh							
R40	Police							
	Fines & Forfeitures							
062-0600-4402	Act 988 of 1991 Revenue	12,000.00	816.00	6,444.50	5,555.50	0.00	5,555.50	46.30
	R40 Sub Totals:	12,000.00	816.00	6,444.50	5,555.50	0.00	5,555.50	46.30
R85	Interest Revenue	10.00	0.60	2.13	7.87	0.00	7.87	78.70
062-0600-4850	Interest Revenue	10.00	0.60	2.13	7.87	0.00	7.87	78.70
	R85 Sub Totals:	12,010.00	816.60	6,446.63	5,563.37	0.00	5,563.37	46.32
	Revenue Sub Totals:	12,000.00	0.00	0.00	12,000.00	0.00	12,000.00	100.00
E40	Operatiōn's Expense							
062-0600-5420	Act 988 Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E40	Sub Totals:	12,000.00	0.00	0.00	12,000.00	0.00	12,000.00	100.00
	Expense Sub Totals:	12,000.00	0.00	0.00	12,000.00	0.00	12,000.00	100.00
Dept 0600	Sub Totals:	-10.00	-816.60	-6,446.63	6,436.63	0.00		
Fund Revenue	Sub Totals:	12,010.00	816.60	6,446.63	5,563.37	0.00	5,563.37	46.32
Fund Expense	Sub Totals:	12,000.00	0.00	0.00	12,000.00	0.00	12,000.00	100.00
Fund 062	Sub Totals:	-10.00	-816.60	-6,446.63	6,436.63	0.00		
Federal Drug Control	Police							
Interest Revenue	Interest Revenue	0.00	0.11	0.58	-0.58	0.00	-0.58	0.00
R85	Sub Totals:	0.00	0.11	0.58	-0.58	0.00	-0.58	0.00
Revenue Sub Totals:		0.00	0.11	0.58	-0.58	0.00	-0.58	0.00
Miscellaneous Expense	Miscellaneous Expense	2,515.00	0.00	2,510.26	4.74	0.00	4.74	0.19
E60	Sub Totals:	2,515.00	0.00	2,510.26	4.74	0.00	4.74	0.19
Expense Sub Totals:		2,515.00	0.00	2,510.26	4.74	0.00	4.74	0.19
Dept 0600	Sub Totals:	2,515.00	-0.11	2,509.68	5.32	0.00		
Fund Revenue	Sub Totals:	0.00	0.11	0.58	-0.58	0.00	-0.58	0.00
Fund Expense	Sub Totals:	2,515.00	0.00	2,510.26	4.74	0.00	4.74	0.19
Fund 066	Sub Totals:	2,515.00	-0.11	2,509.68	5.32	0.00		
State Drug Control	Police							
Fines & Forfeitures	Drug Seizure Revenue	2,500.00	824.40	824.40	1,675.60	0.00	1,675.60	67.02
R40	Sub Totals:	2,500.00	824.40	824.40	1,675.60	0.00	1,675.60	67.02
Interest Revenue	Interest Revenue	5.00	0.59	2.62	2.38	0.00	2.38	47.60
R85	Sub Totals:	5.00	0.59	2.62	2.38	0.00	2.38	47.60

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85 Sub Totals:		5.00	0.59	2.62	2.38	0.00	2.38	47.60
Revenue Sub Totals:								
Miscellaneous Expense		2,505.00	824.99	827.02	1,677.98	0.00	1,677.98	66.99
Miscellaneous Expense		10,000.00	25.00	125.92	9,874.08	0.00	9,874.08	98.74
E60 Sub Totals:		10,000.00	25.00	125.92	9,874.08	0.00	9,874.08	98.74
Expense Sub Totals:		10,000.00	25.00	125.92	9,874.08	0.00	9,874.08	98.74
Dept 0600 Sub Totals:		7,495.00	-799.99	-701.10	8,196.10	0.00		
Fund Revenue Sub Totals:		2,505.00	824.99	827.02	1,677.98	0.00	1,677.98	66.99
Fund Expense Sub Totals:		10,000.00	25.00	125.92	9,874.08	0.00	9,874.08	98.74
Fund 068 Sub Totals:		7,495.00	-799.99	-701.10	8,196.10	0.00		
Street Fund								
Sale of Equipment		64,768.00	0.00	64,768.75	-0.75	0.00	-0.75	0.00
Sale of Fixed Assets		64,768.00	0.00	64,768.75	-0.75	0.00	-0.75	0.00
R66 Sub Totals:		64,768.00	0.00	64,768.75	-0.75	0.00	-0.75	0.00
Revenue Sub Totals:		64,768.00	0.00	64,768.75	-0.75	0.00	-0.75	0.00
Dept 0000 Sub Totals:		-64,768.00	0.00	-64,768.75	0.75	0.00		
Stormwater								
Personnel Expense		105,379.39	6,306.59	31,980.84	73,398.55	0.00	73,398.55	69.65
Salary Expense		1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
Overtime Expense		8,138.03	478.24	2,430.32	5,707.71	0.00	5,707.71	70.14
FICA Expense		468.00	0.00	356.05	111.95	0.00	111.95	23.92
Unemployment Expense		500.00	0.00	0.00	500.00	0.00	500.00	100.00
Worker's Comp Expense		15,425.01	852.54	4,575.32	10,849.69	0.00	10,849.69	70.34
APERS Expense		24,542.25	449.50	5,362.68	19,179.57	0.00	19,179.57	78.15
Health Insurance Expense		325.00	0.00	0.00	325.00	0.00	325.00	100.00
Physical & Drug Screen Exp		1,800.00	277.15	1,485.11	314.89	0.00	314.89	17.49
Uniform Expense		4,600.00	0.00	1,048.00	3,552.00	0.00	3,552.00	77.22
Travel & Training Expense								
E01 Sub Totals:		162,177.68	8,364.02	47,238.32	114,939.36	0.00	114,939.36	70.87

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E10	Building & Grounds Exp							
080-0140-5115	Communication Exp - Telephone	700.00	53.68	321.94	378.06	0.00	378.06	54.01
080-0140-5116	Communication Exp - Cellular	4,000.00	0.00	413.60	3,586.40	169.20	3,417.20	85.43
	E10 Sub Totals:	4,700.00	53.68	735.54	3,964.46	169.20	3,795.26	80.75
E20	Vehicle Expense							
080-0140-5200	Fuel Expense	3,750.00	598.15	1,824.22	1,925.78	168.92	1,756.86	46.85
080-0140-5210	Service & Repair - Vehicle	2,500.00	31.73	265.28	2,234.72	36.08	2,198.64	87.95
080-0140-5218	Tire Expense	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
080-0140-5225	Insurance Expense - Vehicle	1,000.00	0.00	437.50	562.50	0.00	562.50	56.25
	E20 Sub Totals:	9,250.00	629.88	2,527.00	6,723.00	205.00	6,518.00	70.46
E30	Supply Expense							
080-0140-5300	Supplies - Office	500.00	0.00	93.21	406.79	0.00	406.79	81.36
080-0140-5322	Supplies - Operating	5,000.00	1,054.32	1,076.94	3,923.06	1,026.02	2,897.04	57.94
080-0140-5380	Prisoner Care Expense	2,500.00	124.10	144.92	2,355.08	637.49	1,717.59	68.70
	E30 Sub Totals:	8,000.00	1,178.42	1,315.07	6,684.93	1,663.51	5,021.42	62.77
E40	Operations Expense							
080-0140-5515	Special Elec or Permit Fee Exp	1,200.00	0.00	0.00	1,200.00	0.00	1,200.00	100.00
080-0140-5520	Public Education Expense	2,500.00	0.00	0.00	2,500.00	0.00	2,500.00	100.00
	E40 Sub Totals:	3,700.00	0.00	0.00	3,700.00	0.00	3,700.00	100.00
E55	Professional Services							
080-0140-5571	Prof Services - Engineering	75,000.00	1,620.00	8,010.00	66,990.00	30,120.00	36,870.00	49.16
080-0140-5574	Prof Services - GIS	6,500.00	0.00	0.00	6,500.00	0.00	6,500.00	100.00
080-0140-5576	Prof Services - Engineer	0.00	0.00	0.00	0.00	0.00	0.00	0.00
080-0140-5589	Prof Services - Printing	250.00	77.11	77.11	172.89	0.00	172.89	69.16
	E55 Sub Totals:	81,750.00	1,697.11	8,087.11	73,662.89	30,120.00	43,542.89	53.26
E80	Fixed Assets							
080-0140-5808	Fixed Assets - Vehicles/Other	70,000.00	3,968.31	33,189.31	36,810.69	28,887.00	7,923.69	11.32
080-0140-5816	Fixed Assets - Infrastructure	430,000.00	11,000.00	19,164.24	410,835.76	148,453.22	262,382.54	61.02
	E80 Sub Totals:	500,000.00	14,968.31	52,353.55	447,646.45	177,340.22	270,306.23	54.06
	Expense Sub Totals:	769,577.68	26,891.42	112,256.59	657,321.09	209,497.93	447,823.16	58.19
Dept 080-0800	Dept 0140 Sub Totals:	769,577.68	26,891.42	112,256.59	657,321.09	209,497.93	447,823.16	58.19
R10	Street							
080-0800-4152	Taxes - Sales	326,000.00	29,462.34	147,386.61	178,613.39	0.00	178,613.39	54.79
	1/2 Cent Sales Tax							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R10 Sub Totals:		326,000.00	29,462.34	147,386.61	178,613.39	0.00	178,613.39	54.79
R15	Taxes - Property							
080-0800-4150	State Turnback	752,400.00	68,556.84	326,601.14	425,798.86	0.00	425,798.86	56.59
080-0800-4151	Saline County Treasurer	332,400.00	87,894.73	145,844.80	186,555.20	0.00	186,555.20	56.12
R15 Sub Totals:		1,084,800.00	156,451.57	472,445.94	612,354.06	0.00	612,354.06	56.45
R60	Miscellaneous Revenue							
080-0800-4600	Miscellaneous Revenue	25,000.00	13,028.00	14,360.00	10,640.00	0.00	10,640.00	42.56
R60 Sub Totals:		25,000.00	13,028.00	14,360.00	10,640.00	0.00	10,640.00	42.56
R62	Intergovernmental Tsfrs							
080-0800-4627	Xfer Designated Tax - Street	1,250,000.00	104,166.66	520,833.30	729,166.70	0.00	729,166.70	58.33
R62 Sub Totals:		1,250,000.00	104,166.66	520,833.30	729,166.70	0.00	729,166.70	58.33
R64	Reimbursement							
080-0800-4640	Reimbursement Revenue	0.00	85,402.64	85,402.64	-85,402.64	0.00	-85,402.64	0.00
R64 Sub Totals:		0.00	85,402.64	85,402.64	-85,402.64	0.00	-85,402.64	0.00
R85	Interest Revenue							
080-0800-4850	Interest Revenue	750.00	55.30	296.91	453.09	0.00	453.09	60.41
R85 Sub Totals:		750.00	55.30	296.91	453.09	0.00	453.09	60.41
Revenue Sub Totals:		2,686,550.00	388,566.51	1,240,725.40	1,445,824.60	0.00	1,445,824.60	53.82
E01	Personnel Expense							
080-0800-5000	Salary Expense	430,269.53	31,247.83	146,915.41	283,354.12	0.00	283,354.12	65.86
080-0800-5005	SWB Reimbursement	109,000.00	9,083.33	45,416.65	63,583.35	0.00	63,583.35	58.33
080-0800-5010	Overtime Expense	15,000.00	971.91	1,944.97	13,055.03	0.00	13,055.03	87.03
080-0800-5020	FICA Expense	33,268.31	2,418.23	11,167.82	22,100.49	0.00	22,100.49	66.43
080-0800-5022	Unemployment Expense	2,390.03	0.00	1,352.47	1,037.56	0.00	1,037.56	43.41
080-0800-5025	Worker's Comp Expense	17,809.00	0.00	13,759.26	4,049.74	0.00	4,049.74	22.74
080-0800-5030	APERS Expense	61,914.36	4,671.89	21,580.20	40,334.16	0.00	40,334.16	65.15
080-0800-5040	Health Insurance Expense	128,536.05	8,626.67	40,163.90	88,372.15	0.00	88,372.15	68.75
080-0800-5050	Physical & Drug Screen Exp	2,000.00	0.00	565.00	1,435.00	300.00	1,135.00	56.75
080-0800-5055	Uniform Expense	9,000.00	1,645.16	7,657.12	1,342.88	0.00	1,342.88	14.92
080-0800-5060	Travel & Training Expense	4,500.00	437.98	865.48	3,634.52	0.00	3,634.52	80.77
E01 Sub Totals:		813,687.28	59,103.00	291,388.28	522,299.00	300.00	521,999.00	64.15
E10	Building & Grounds Exp							
080-0800-5102	Repairs & Maint - Building	2,000.00	950.00	2,885.97	-885.97	0.00	-885.97	0.00
080-0800-5110	Utilities - Electric	18,500.00	1,210.43	6,556.43	11,943.57	0.00	11,943.57	64.56

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
080-0800-5111	Utilities - Gas	2,500.00	26.63	862.33	1,637.67	0.00	1,637.67	65.51
080-0800-5112	Utilities - Water	500.00	229.90	617.03	-117.03	0.00	-117.03	0.00
080-0800-5115	Communication Exp - Telephone	6,500.00	76.69	1,898.69	4,601.31	0.00	4,601.31	70.79
080-0800-5116	Communication Exp - Cellular	3,500.00	0.00	1,169.06	2,330.94	157.53	2,173.41	62.10
080-0800-5120	Insurance - Property	1,500.00	0.00	0.00	1,500.00	0.00	1,500.00	100.00
080-0800-5130	Sanitation	1,750.00	318.94	1,465.67	284.33	0.00	284.33	16.25
080-0800-5140	Supplies - B&G	2,600.00	84.42	907.05	1,692.95	249.92	1,443.03	55.50
080-0800-5142	Janitorial Supplies and Main	2,000.00	123.16	486.28	1,513.72	116.80	1,396.92	69.85
080-0800-5145	Tools	10,000.00	32.84	4,633.17	5,366.83	361.17	5,005.66	50.06
E10 Sub Totals:		51,350.00	3,053.01	21,481.68	29,868.32	885.42	28,982.90	56.44
E20	Vehicle Expense	60,000.00	8,440.86	19,176.74	40,823.26	0.00	40,823.26	68.04
080-0800-5200	Fuel Expense	65,000.00	2,449.88	20,733.31	44,266.69	2,109.35	42,157.34	64.86
080-0800-5210	Service & Repair - Vehicle	7,000.00	0.00	2,591.11	4,408.89	731.72	3,677.17	52.53
080-0800-5218	Tire Expense	22,850.00	0.00	19,724.84	3,125.16	0.00	3,125.16	13.68
080-0800-5225	Insurance Expense - Vehicle	4,000.00	0.00	0.00	4,000.00	1,209.60	2,790.40	69.76
080-0800-5230	Radios	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
080-0800-5240	Equipment Rental	160,850.00	10,890.74	62,226.00	98,624.00	4,050.67	94,573.33	58.80
E20 Sub Totals:		4,000.00	303.05	2,066.38	1,933.62	758.65	1,174.97	29.37
E30	Supply Expense	35,500.00	147.83	5,926.71	29,573.29	191.18	29,382.11	82.77
080-0800-5300	Supplies - Office	65,000.00	1,608.04	24,208.00	40,792.00	5,780.30	35,011.70	53.86
080-0800-5316	Supplies - Signs	500.00	0.00	0.00	500.00	0.00	500.00	100.00
080-0800-5322	Supplies - Operating	3,000.00	215.59	215.59	2,784.41	0.00	2,784.41	92.81
080-0800-5350	Postage Expense	108,000.00	2,274.51	32,416.68	75,583.32	6,730.13	68,853.19	63.75
080-0800-5380	Prisoner Care Expense	20,000.00	31.58	2,555.25	17,444.75	521.35	16,923.40	84.62
E30 Sub Totals:		750.00	237.50	237.50	512.50	109.00	403.50	53.80
E40	Operations Expense	1,500.00	0.00	0.00	1,500.00	450.10	1,049.90	69.99
080-0800-5323	Material and Maint	150,000.00	613.93	11,159.39	138,840.61	824.39	138,016.22	92.01
080-0800-5480	Dues & Subscriptions	115,000.00	9,026.46	43,554.47	71,445.53	6,123.87	65,321.66	56.80
080-0800-5530	Safety Program	15,000.00	0.00	828.93	14,171.07	18.50	14,152.57	94.35
080-0800-5545	Street Paving Expense	15,000.00	0.00	0.00	0.00	0.00	0.00	0.00
080-0800-5546	Street Lights Installed	302,250.00	9,909.47	58,335.54	243,914.46	8,047.21	235,867.25	78.04
080-0800-5547	Traffic Signal Maintenance	10,000.00	10,000.00	10,000.00	0.00	0.00	0.00	0.00
E40 Sub Totals:		2,000.00	77.11	1,335.87	664.13	185.42	478.71	23.94
E55	Professional Services	1,000.00	0.00	216.41	783.59	0.00	783.59	78.36
080-0800-5550	Prof Services - Acctg & Audit	15,000.00	1,080.00	5,340.00	9,660.00	1,080.00	8,580.00	57.20
080-0800-5553	Prof Services - Advertising							
080-0800-5562	Prof Services - Bridge Inspection							
080-0800-5571	Prof Services - Engineering							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
080-0800-5574	Prof Services - GIS	6,120.00	0.00	0.00	6,120.00	0.00	6,120.00	100.00
080-0800-5586	Prof Services - Other	150,000.00	20,937.36	31,953.14	118,046.86	8,675.00	109,371.86	72.91
080-0800-5589	Prof Services - Printing	500.00	0.00	0.00	500.00	0.00	500.00	100.00
E55 Sub Totals:		184,620.00	32,094.47	48,845.42	135,774.58	9,940.42	125,834.16	68.16
E60	Miscellaneous Expense							
080-0800-5604	Hardware - New & Renewals	23,900.00	0.00	3,100.00	20,800.00	0.00	20,800.00	87.03
080-0800-5606	IT Project & Labor	6,500.00	0.00	776.62	5,723.38	0.00	5,723.38	88.05
080-0800-5608	Software - New & Renewals	18,515.00	464.76	3,754.52	14,760.48	100.00	14,660.48	79.18
080-0800-5614	Copier, Maint & Lease	2,760.00	108.53	317.80	2,442.20	35.00	2,407.20	87.22
E60 Sub Totals:		51,675.00	573.29	7,948.94	43,726.06	135.00	43,591.06	84.36
E80	Fixed Assets							
080-0800-5808	Fixed Assets - Vehicles/Other	35,000.00	0.00	34,395.44	604.56	2,386.54	-1,781.98	0.00
080-0800-5810	Fixed Assets - Equipment	268,500.00	109,800.00	210,110.00	58,390.00	20,454.19	37,935.81	14.13
080-0800-5816	Fixed Assets - Infrastructure	722,112.50	0.00	17,470.00	704,642.50	0.00	704,642.50	97.58
080-0800-5828	Projects	1,286,400.00	62,315.31	288,437.99	997,962.01	0.00	997,962.01	77.58
E80 Sub Totals:		2,312,012.50	172,115.31	550,413.43	1,761,599.07	22,840.73	1,738,758.34	75.21
E90	Construction Projects							
080-0800-5910	Projects - Overlays	302,846.01	0.00	169,056.08	133,789.93	0.00	133,789.93	44.18
E90 Sub Totals:		302,846.01	0.00	169,056.08	133,789.93	0.00	133,789.93	44.18
Expense Sub Totals:		4,287,290.79	290,013.80	1,242,112.05	3,045,178.74	52,929.58	2,992,249.16	69.79
Dept 0800 Sub Totals:		1,600,740.79	-98,552.71	1,386.65	1,599,354.14	52,929.58		
Fund Revenue Sub Totals:		2,751,318.00	388,566.51	1,305,494.15	1,445,823.85	0.00	1,445,823.85	52.55
Fund Expense Sub Totals:		5,056,868.47	316,905.22	1,354,368.64	3,702,499.83	262,427.51	3,440,072.32	68.03
Fund 080 Sub Totals:		2,305,550.47	-71,661.29	48,874.49	2,256,675.98	262,427.51		
Special Redemp - 2016 Bond								
Administration								
Interest Revenue								
Gain on Investment		0.00	389.34	1,533.58	-1,533.58	0.00	-1,533.58	0.00
R85 Sub Totals:		0.00	389.34	1,533.58	-1,533.58	0.00	-1,533.58	0.00
Revenue Sub Totals:		0.00	389.34	1,533.58	-1,533.58	0.00	-1,533.58	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Dept 0100 Sub Totals:	0.00	-389.34	-1,533.58	1,533.58	0.00		
	Fund Revenue Sub Totals:	0.00	389.34	1,533.58	-1,533.58	0.00	-1,533.58	0.00
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund 110 Sub Totals:	0.00	-389.34	-1,533.58	1,533.58	0.00		
Fund 111	2016B Cost of Issuance							
Dept 111-0100	Administration							
R62	Intergovernmental Tsfrs							
111-0100-4623	Xfer from Other Fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Bond Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72	Loan Cost of Issuance							
111-0100-4610		0.00	0.00	-58,647.19	58,647.19	0.00	58,647.19	0.00
	R72 Sub Totals:	0.00	0.00	-58,647.19	58,647.19	0.00	58,647.19	0.00
R85	Interest Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
111-0100-4850	Interest Revenue							
	R85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Revenue Sub Totals:	0.00	0.00	-58,647.19	58,647.19	0.00	58,647.19	0.00
E62	Intergovernmental Tsfr							
111-0100-5626	Xfer to Other fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E72	Bond Expense							
111-0100-5724	Bond Fees	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E72 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0100 Sub Totals:	0.00	0.00	58,647.19	-58,647.19	0.00		
	Fund Revenue Sub Totals:	0.00	0.00	-58,647.19	58,647.19	0.00	58,647.19	0.00
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 112	Fund 111 Sub Totals:							
Dept 112-0100	2016A Cost of Issuance	0.00	0.00	58,647.19	-58,647.19	0.00		
R62	Intergovernmental Tsfrs							
112-0100-4623	Xfer from other Fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
112-0100-4610	Bond Revenue							
	Loan Cost of Issuance	0.00	0.00	-64,058.43	64,058.43	0.00	64,058.43	0.00
R72 Sub Totals:		0.00	0.00	-64,058.43	64,058.43	0.00	64,058.43	0.00
R85	Interest Revenue							
112-0100-4850	Interest Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Revenue Sub Totals:		0.00	0.00	-64,058.43	64,058.43	0.00	64,058.43	0.00
E62	Intergovernmental Tsfr							
112-0100-5626	Xfer to other Fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E72	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
112-0100-5724	Bond Expense							
	Bond Fees	85,415.00	0.00	85,411.24	3.76	0.00	3.76	0.00
E72 Sub Totals:		85,415.00	0.00	85,411.24	3.76	0.00	3.76	0.00
Expense Sub Totals:		85,415.00	0.00	85,411.24	3.76	0.00	3.76	0.00
Dept 0100 Sub Totals:		85,415.00	0.00	149,469.67	-64,054.67	0.00		
Fund Revenue Sub Totals:		0.00	0.00	-64,058.43	64,058.43	0.00	64,058.43	0.00
Fund Expense Sub Totals:		85,415.00	0.00	85,411.24	3.76	0.00	3.76	0.00
Fund 112 Sub Totals:		85,415.00	0.00	149,469.67	-64,054.67	-0.00		
Dept 113	Debt Service Reserve Fund							
Dept 113-0100	Bond Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72	Loan Reserve Funds							
113-0100-4610	R72 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85	Interest Revenue							
113-0100-4850	Interest Revenue	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
113-0100-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R85 Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
	Revenue Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
E62	Intergovernmental Tsfr							
113-0100-4623	Xfer from other fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
113-0100-5626	Xfer to other fund	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
	E62 Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
E85	Interest Expense							
113-0100-5755	Loss on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
	Dept 0100 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Revenue Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
	Fund Expense Sub Totals:	0.00	388.76	727.49	-727.49	0.00	-727.49	0.00
	Fund 113 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2016 Bond Fund							
Fund 114	Bond Revenue							
Dept 114-0100	Loan Proceeds	0.00	0.00	164,506.63	-164,506.63	0.00	-164,506.63	0.00
R72								
114-0100-4610		0.00	0.00	164,506.63	-164,506.63	0.00	-164,506.63	0.00
	R72 Sub Totals:	0.00	0.00	164,506.63	-164,506.63	0.00	-164,506.63	0.00
	Revenue Sub Totals:	0.00	0.00	164,506.63	-164,506.63	0.00	-164,506.63	0.00
	Dept 0100 Sub Totals:	0.00	0.00	-164,506.63	164,506.63	0.00		
Dept 114-0400	Intergovernmental Tsfrs							
R62	Xfer from other fund	0.00	0.00	740,755.50	-740,755.50	0.00	-740,755.50	0.00
114-0400-4623								
	R62 Sub Totals:	0.00	0.00	740,755.50	-740,755.50	0.00	-740,755.50	0.00
R72	Bond Revenue							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
114-0400-4610	Loan Bond revenue	0.00	188,204.17	188,204.17	-188,204.17	0.00	-188,204.17	0.00
R75	R75 Sub Totals:	0.00	188,204.17	188,204.17	-188,204.17	0.00	-188,204.17	0.00
114-0400-4850	Interest Revenue	0.00	405.39	702.25	-702.25	0.00	-702.25	0.00
R85	R85 Sub Totals:	0.00	405.39	702.25	-702.25	0.00	-702.25	0.00
E62	Revenue Sub Totals:	0.00	188,609.56	929,661.92	-929,661.92	0.00	-929,661.92	0.00
114-0400-5626	Intergovernmental Tsfr	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Xfer to other fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 0400	Dept 0400 Sub Totals:	0.00	-188,609.56	-929,661.92	929,661.92	0.00		
Fund Revenue	Fund Revenue Sub Totals:	0.00	188,609.56	1,094,168.55	-1,094,168.55	0.00	-1,094,168.55	0.00
Fund Expense	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund 114	Fund 114 Sub Totals:	0.00	-188,609.56	-1,094,168.55	1,094,168.55	0.00		
Dept 140-0400	Park Bond 2006 DS							
R10	Park General	550,500.00	188,204.17	903,536.92	-353,036.92	0.00	-353,036.92	0.00
140-0400-4111	Taxes - Sales							
	Park Bond Sales Tax							
R62	R10 Sub Totals:	550,500.00	188,204.17	903,536.92	-353,036.92	0.00	-353,036.92	0.00
140-0400-4626	Intergovernmental Tsfrs							
	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
140-0400-4850	Interest Revenue	0.00	0.00	109.33	-109.33	0.00	-109.33	0.00
	Interest Revenue							
R85	R85 Sub Totals:	0.00	0.00	109.33	-109.33	0.00	-109.33	0.00
E62	Revenue Sub Totals:	550,500.00	188,204.17	903,646.25	-353,146.25	0.00	-353,146.25	0.00
140-0400-5626	Intergovernmental Tsfr							
	Xfer to Other	0.00	188,204.17	1,093,466.30	-1,093,466.30	0.00	-1,093,466.30	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E62 Sub Totals:		0.00	188,204.17	1,093,466.30	-1,093,466.30	0.00	-1,093,466.30	0.00
Expense Sub Totals:		0.00	188,204.17	1,093,466.30	-1,093,466.30	0.00	-1,093,466.30	0.00
Dept 0400 Sub Totals:		-550,500.00	0.00	189,820.05	-740,320.05	0.00		
Fund Revenue Sub Totals:		550,500.00	188,204.17	903,646.25	-353,146.25	0.00	-353,146.25	0.00
Fund Expense Sub Totals:		0.00	188,204.17	1,093,466.30	-1,093,466.30	0.00	-1,093,466.30	0.00
Fund 140 Sub Totals:		-550,500.00	0.00	189,820.05	-740,320.05	0.00		
2016 Parks/Rec Const Fund								
Parks General								
Bond Revenue								
Loan - Park Bond 2016		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
R85 Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Construction Projects								
Construction Projects		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
E90 Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Dept 0400 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
Fund Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Fund Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Fund 147 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
2016 Fire/Construction Fund								
2016 Fire-Construction Fund								
Bond Revenue								
Loan - Fire Bond 2016		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
R85 Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Construction Projects								
Construction Projects		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
E90 Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Dept 0400 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
Fund Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Fund Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Fund 147 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
2016 Fire/Construction Fund								
2016 Fire-Construction Fund								
Bond Revenue								
Loan - Fire Bond 2016		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Interest Revenue		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
R85 Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Construction Projects								
Construction Projects		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
E90 Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Dept 0400 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
Fund Revenue Sub Totals:		0.00	2,252.07	8,870.69	-8,870.69	0.00	-8,870.69	0.00
Fund Expense Sub Totals:		2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
Fund 147 Sub Totals:		2,000,000.00	-2,252.07	-8,870.69	2,008,870.69	0.00		
2016 Fire/Construction Fund								
2016 Fire-Construction Fund								
Bond Revenue								
Loan - Fire Bond 2016		0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85	R72 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
157-0500-4850	Interest Revenue							
	Interest Revenue	0.00	2,761.85	10,878.66	-10,878.66	0.00	-10,878.66	0.00
	R85 Sub Totals:	0.00	2,761.85	10,878.66	-10,878.66	0.00	-10,878.66	0.00
	Revenue Sub Totals:	0.00	2,761.85	10,878.66	-10,878.66	0.00	-10,878.66	0.00
E90	Construction Projects							
157-0500-5900	Construction Projects	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
	E90 Sub Totals:	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
	Expense Sub Totals:	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
	Dept 0500 Sub Totals:	2,000,000.00	-2,761.85	-10,878.66	2,010,878.66	0.00		
	Fund Revenue Sub Totals:	0.00	2,761.85	10,878.66	-10,878.66	0.00	-10,878.66	0.00
	Fund Expense Sub Totals:	2,000,000.00	0.00	0.00	2,000,000.00	0.00	2,000,000.00	100.00
	Fund 157 Sub Totals:	2,000,000.00	-2,761.85	-10,878.66	2,010,878.66	0.00		
Fund 165	Police Fleet							
Dept 165-0600	Police							
R62	Intergovernmental Tsfrs							
165-0600-4627	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue							
165-0600-4850	Interest Revenue	0.00	0.00	0.83	-0.83	0.00	-0.83	0.00
	R85 Sub Totals:	0.00	0.00	0.83	-0.83	0.00	-0.83	0.00
	Revenue Sub Totals:	0.00	0.00	0.83	-0.83	0.00	-0.83	0.00
E62	Intergovernmental Tsfr							
165-0600-5626	Xfer to Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E80	Fixed Assets							
165-0600-5808	Fixed Assets - Vehicles	170.00	0.00	168.84	1.16	0.00	1.16	0.68

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	E80 Sub Totals:	170.00	0.00	168.84	1.16	0.00	1.16	0.68
	Expense Sub Totals:	170.00	0.00	168.84	1.16	0.00	1.16	0.68
	Dept 0600 Sub Totals:	170.00	0.00	168.01	1.99	0.00		
	Fund Revenue Sub Totals:	0.00	0.00	0.83	-0.83	0.00	-0.83	0.00
	Fund Expense Sub Totals:	170.00	0.00	168.84	1.16	0.00	1.16	0.68
Fund 182	Fund 165 Sub Totals:	170.00	0.00	168.01	1.99	0.00		
Dept 182-0800	Street Bond 2008 DS							
R62	Intergovernmental Tsfrs							
182-0800-4623	Xfer from Other Fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0800 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund 185	Fund 182 Sub Totals:	0.00	0.00	0.00	0.00	0.00		
Dept 185-0800	Street Bond 2016 DS							
R62	Intergovernmental Tsfrs							
185-0800-4627	Xfer from Other	0.00	53,537.00	241,303.70	-241,303.70	0.00	-241,303.70	0.00
	R62 Sub Totals:	0.00	53,537.00	241,303.70	-241,303.70	0.00	-241,303.70	0.00
	Bond Revenue							
	Loan - Street Bond 2016	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72	R72 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue							
185-0800-4850	Interest Rev	0.00	72.03	394.45	-394.45	0.00	-394.45	0.00
185-0800-4852	Dividend Rev	0.00	0.00	0.00	0.00	0.00	0.00	0.00
185-0800-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85 Sub Totals:		0.00	72.03	394.45	-394.45	0.00	-394.45	0.00
Revenue Sub Totals:		0.00	53,609.03	241,698.15	-241,698.15	0.00	-241,698.15	0.00
E62	Intergovernmental Tsfr	0.00	0.00	0.00	0.00	0.00	0.00	0.00
185-0800-5626	Xfer to Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Bond Expense		320,000.00	0.00	294,939.83	25,060.17	0.00	25,060.17	7.83
185-0800-5722	Bond Principal Pmt	0.00	83.33	416.68	-416.68	0.00	-416.68	0.00
185-0800-5724	Bond Fee	320,000.00	83.33	295,356.51	24,643.49	0.00	24,643.49	7.70
E72 Sub Totals:		165,000.00	0.00	161,421.88	3,578.12	0.00	3,578.12	2.17
E85	Interest Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
185-0800-5750	Interest Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
185-0800-5755	Loss on Investment	165,000.00	0.00	161,421.88	3,578.12	0.00	3,578.12	2.17
E85 Sub Totals:		485,000.00	83.33	456,778.39	28,221.61	0.00	28,221.61	5.82
Expense Sub Totals:		485,000.00	-53,525.70	215,080.24	269,919.76	0.00		
Dept 0800 Sub Totals:		0.00	53,609.03	241,698.15	-241,698.15	0.00	-241,698.15	0.00
Fund Revenue Sub Totals:		485,000.00	83.33	456,778.39	28,221.61	0.00	28,221.61	5.82
Fund Expense Sub Totals:		485,000.00	-53,525.70	215,080.24	269,919.76	0.00		
Fund 185 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
186-0800	Street Bond 2016 DSR	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 186-0800		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62	Intergovernmental Tsfrs	0.00	0.00	0.00	0.00	0.00	0.00	0.00
186-0800-4627	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72	Bond Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
186-0800-4610	Loan - Street Bond 2016	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R72 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue	0.00	190.25	652.90	-652.90	0.00	-652.90	0.00
186-0800-4850	Interest Rev	0.00	0.00	0.00	0.00	0.00	0.00	0.00
186-0800-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	R85 Sub Totals:	0.00	190.25	652.90	-652.90	0.00	-652.90	0.00
	Revenue Sub Totals:							
	Intergovernmental Tsfr	0.00	190.25	652.90	-652.90	0.00	-652.90	0.00
	Xfer to Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Interest Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Loss on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0800 Sub Totals:	0.00	-190.25	-652.90	652.90	0.00		
	Fund Revenue Sub Totals:	0.00	190.25	652.90	-652.90	0.00	-652.90	0.00
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund 186 Sub Totals:	0.00	-190.25	-652.90	652.90	0.00		
Fund 187	2016 Street Construction Fund							
Dept 187-0800	2016 Street Construction Fund							
R72	Bond Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
187-0800-4610	Loan - Street Bond Sales & Use	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R72 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Interest Revenue	0.00	7,872.09	31,048.79	-31,048.79	0.00	-31,048.79	0.00
	Interest Revenue	0.00	7,872.09	31,048.79	-31,048.79	0.00	-31,048.79	0.00
	R85 Sub Totals:	0.00	7,872.09	31,048.79	-31,048.79	0.00	-31,048.79	0.00
	Revenue Sub Totals:							
	Construction Projects	2,000,000.00	0.00	107,822.83	1,892,177.17	0.00	1,892,177.17	94.61
	Construction Projects	2,000,000.00	0.00	107,822.83	1,892,177.17	0.00	1,892,177.17	94.61
	E90 Sub Totals:	2,000,000.00	0.00	107,822.83	1,892,177.17	0.00	1,892,177.17	94.61
	Expense Sub Totals:	2,000,000.00	0.00	107,822.83	1,892,177.17	0.00	1,892,177.17	94.61

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 188	Dept 0800 Sub Totals:	2,000,000.00	-7,872.09	76,774.04	1,923,225.96	0.00		
Dept 188-0800	Fund Revenue Sub Totals:	0.00	7,872.09	31,048.79	-31,048.79	0.00	-31,048.79	0.00
R62	Fund Expense Sub Totals:	2,000,000.00	0.00	107,822.83	1,892,177.17	0.00	1,892,177.17	94.61
188-0800-4627	Fund 187 Sub Totals:	2,000,000.00	-7,872.09	76,774.04	1,923,225.96	0.00		
	Street Bond 2016 Construction							
	Intergovernmental Tsfrs	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62 Sub Totals:								
R85	Interest Revenue	0.00	21.55	1,239.24	-1,239.24	0.00	-1,239.24	0.00
188-0800-4850	Interest Rev	0.00	0.00	0.00	0.00	0.00	0.00	0.00
188-0800-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R85 Sub Totals:	0.00	21.55	1,239.24	-1,239.24	0.00	-1,239.24	0.00
	Revenue Sub Totals:	0.00	21.55	1,239.24	-1,239.24	0.00	-1,239.24	0.00
E85	Interest Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
188-0800-5755	Loss on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E90	Construction Projects	1,462,000.00	0.00	1,426,000.00	36,000.00	0.00	36,000.00	2.46
188-0800-5900	Construction Projects	1,462,000.00	0.00	1,426,000.00	36,000.00	0.00	36,000.00	2.46
	E90 Sub Totals:	1,462,000.00	0.00	1,426,000.00	36,000.00	0.00	36,000.00	2.46
	Expense Sub Totals:	1,462,000.00	0.00	1,426,000.00	36,000.00	0.00	36,000.00	2.46
	Dept 0800 Sub Totals:	1,462,000.00	-21.55	1,424,760.76	37,239.24	0.00		
	Fund Revenue Sub Totals:	0.00	21.55	1,239.24	-1,239.24	0.00	-1,239.24	0.00
	Fund Expense Sub Totals:	1,462,000.00	0.00	1,426,000.00	36,000.00	0.00	36,000.00	2.46
	Fund 188 Sub Totals:	1,462,000.00	-21.55	1,424,760.76	37,239.24	0.00		
Fund 500	Revenue - Water & WW							
Dept 500-0000	No Department							
E40	Operations Expense							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
500-0000-5501	Bad Debt Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E40 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0000 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 500-0140								
R50	Sale of Services							
500-0140-4567	Stormwater Rev - In-Lieu	5,500.00	4,775.00	6,370.00	-870.00	0.00	-870.00	0.00
500-0140-4568	Stormwater Rev - Residential	234,000.00	20,187.00	100,229.63	133,770.37	0.00	133,770.37	57.17
500-0140-4569	Stormwater Rev - Business	28,500.00	2,748.00	13,062.00	15,438.00	0.00	15,438.00	54.17
	R50 Sub Totals:	268,000.00	27,710.00	119,661.63	148,338.37	0.00	148,338.37	55.35
	Revenue Sub Totals:	268,000.00	27,710.00	119,661.63	148,338.37	0.00	148,338.37	55.35
E62	Intergovernmental Tsrfr							
500-0140-5622	Xfer to Fund 515	268,000.00	22,908.00	114,088.63	153,911.37	0.00	153,911.37	57.43
	E62 Sub Totals:	268,000.00	22,908.00	114,088.63	153,911.37	0.00	153,911.37	57.43
	Expense Sub Totals:	268,000.00	22,908.00	114,088.63	153,911.37	0.00	153,911.37	57.43
	Dept 0140 Sub Totals:	0.00	-4,802.00	-5,573.00	5,573.00	0.00	0.00	0.00
Dept 500-0900								
R50	Water Distribution							
500-0900-4504	Sale of Services	47,000.00	3,959.12	19,455.52	27,544.48	0.00	27,544.48	58.61
500-0900-4532	CAW Watershed	24,000.00	2,668.00	12,898.00	11,102.00	0.00	11,102.00	46.26
500-0900-4536	One Time Charge	140,000.00	21,628.23	96,814.02	43,185.98	0.00	43,185.98	30.85
500-0900-4537	Penalties	3,000.00	125.00	675.00	2,325.00	0.00	2,325.00	77.50
500-0900-4540	Insufficient Check Fee	22,000.00	1,866.00	7,117.25	14,882.75	0.00	14,882.75	67.65
500-0900-4542	Sales - CAW System Devel	28,000.00	2,431.42	11,946.61	16,053.39	0.00	16,053.39	57.33
500-0900-4544	Sales - FSDWA	84,000.00	7,075.00	36,995.68	47,004.32	0.00	47,004.32	55.96
500-0900-4548	Water Misc Income	1,000.00	1,146.00	5,698.62	-4,698.62	0.00	-4,698.62	0.00
500-0900-4550	Sales - Pump Maintenance	25,000.00	3,120.00	11,715.00	13,285.00	0.00	13,285.00	53.14
500-0900-4554	Sales - Service Charges	2,761,709.00	206,577.82	1,007,961.63	1,753,747.37	0.00	1,753,747.37	63.50
500-0900-4556	Sales - Water	30,000.00	7,944.00	18,699.00	11,301.00	0.00	11,301.00	37.67
500-0900-4560	Sales - Water Connections	255,000.00	19,512.77	95,683.16	159,316.84	0.00	159,316.84	62.48
500-0900-4562	Sales Tax Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
500-0900-4566	Swimming Pool Fill	2,500.00	221.40	1,107.00	1,393.00	0.00	1,393.00	55.72
	Woodland Hills Watershed							
	R50 Sub Totals:	3,423,209.00	278,274.76	1,326,766.49	2,096,442.51	0.00	2,096,442.51	61.24

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R60	Miscellaneous Revenue							
500-0900-4629	Xfer to Water Impact	60,000.00	12,168.00	36,042.00	23,958.00	0.00	23,958.00	39.93
500-0900-4802	Operating Expense Booster Pump	0.00	0.00	0.00	0.00	0.00	0.00	0.00
500-0900-4803	Outside Contractors Booster St	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R60 Sub Totals:	60,000.00	12,168.00	36,042.00	23,958.00	0.00	23,958.00	39.93
R62	Intergovernmental Tsfrs							
500-0900-4630	Xfer Salem Royalty	1,000.00	52.00	261.60	738.40	0.00	738.40	73.84
500-0900-4632	Xfer to Subdivision Impact Wtr	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
	R62 Sub Totals:	3,000.00	52.00	261.60	2,738.40	0.00	2,738.40	91.28
R66	Sale of Equipment							
500-0900-4900	Sale of Fixed Assets	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R66 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E40	Revenue Sub Totals:	3,486,209.00	290,494.76	1,363,070.09	2,123,138.91	0.00	2,123,138.91	60.90
500-0900-5475	Operations Expense	70,000.00	5,132.06	25,810.68	44,189.32	0.00	44,189.32	63.13
	Credit Card Fees	70,000.00	5,132.06	25,810.68	44,189.32	0.00	44,189.32	63.13
E60	Miscellaneous Expense	1,000.00	0.00	600.40	399.60	0.00	399.60	39.96
500-0900-5600	Miscellaneous Expense	1,000.00	0.00	600.40	399.60	0.00	399.60	39.96
E62	Intergovernmental Tsfr	4,200,000.00	600,000.00	2,000,000.00	2,200,000.00	0.00	2,200,000.00	52.38
500-0900-5624	Xfer to Water	60,000.00	9,600.00	31,824.00	28,176.00	0.00	28,176.00	46.96
500-0900-5629	Xfer to Water Impact	1,000.00	52.00	262.40	737.60	0.00	737.60	73.76
500-0900-5630	Xfer to Salem Royalty	2,000.00	0.00	900.00	1,100.00	0.00	1,100.00	55.00
500-0900-5632	Xfer to Subdivision Impact Wtr	0.00	0.00	0.00	0.00	0.00	0.00	0.00
500-0900-5722	Bond Principal Pmt	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E62 Sub Totals:	4,263,000.00	609,652.00	2,032,986.40	2,230,013.60	0.00	2,230,013.60	52.31
	Expense Sub Totals:	4,334,000.00	614,784.06	2,059,397.48	2,274,602.52	0.00	2,274,602.52	52.48
Dept 500-0950	Dept 0900 Sub Totals:	847,791.00	324,289.30	696,327.39	151,463.61	0.00		
R50	Wastewater Collection							
500-0950-4552	Sale of Services	4,175,126.00	318,614.98	1,600,575.99	2,574,550.01	0.00	2,574,550.01	61.66
500-0950-4558	Sales - Wastewater	13,204.00	1,650.00	8,850.00	4,354.00	0.00	4,354.00	32.97

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R60	R60 Sub Totals:	4,188,330.00	320,264.98	1,609,425.99	2,578,904.01	0.00	2,578,904.01	61.57
500-0950-4600	Miscellaneous Revenue							
500-0950-4631	Miscellaneous Revenue	500.00	0.00	71.60	428.40	0.00	428.40	85.68
	Xfer Wastewater Impact	40,000.00	5,000.00	29,000.00	11,000.00	0.00	11,000.00	27.50
	R60 Sub Totals:	40,500.00	5,000.00	29,071.60	11,428.40	0.00	11,428.40	28.22
R62	Intergovernmental Tsfrs							
500-0950-4632	Xfer to Subdivision Impact WW	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
	R62 Sub Totals:	2,000.00	0.00	0.00	2,000.00	0.00	2,000.00	100.00
E62	Revenue Sub Totals:	4,230,830.00	325,264.98	1,638,497.59	2,592,332.41	0.00	2,592,332.41	61.27
500-0950-5624	Intergovernmental Tsfr							
500-0950-5631	Xfer to Water	4,200,000.00	600,000.00	2,000,000.00	2,200,000.00	0.00	2,200,000.00	52.38
500-0950-5632	Xfer to Wastewater Impact	40,000.00	9,500.00	29,500.00	10,500.00	0.00	10,500.00	26.25
500-0950-5722	Xfer to Subdivision Impact WW	2,000.00	0.00	900.00	1,100.00	0.00	1,100.00	55.00
	Bond Principal Pmt	720,000.00	59,713.46	298,567.30	421,432.70	0.00	421,432.70	58.53
	E62 Sub Totals:	4,962,000.00	669,213.46	2,328,967.30	2,633,032.70	0.00	2,633,032.70	53.06
	Expense Sub Totals:	4,962,000.00	669,213.46	2,328,967.30	2,633,032.70	0.00	2,633,032.70	53.06
	Dept 0950 Sub Totals:	731,170.00	343,948.48	690,469.71	40,700.29	0.00		
	Fund Revenue Sub Totals:	7,985,039.00	643,469.74	3,121,229.31	4,863,809.69	0.00	4,863,809.69	60.91
	Fund Expense Sub Totals:	9,564,000.00	1,306,905.52	4,502,453.41	5,061,546.59	0.00	5,061,546.59	52.92
Fund 510	Fund 500 Sub Totals:	1,578,961.00	663,435.78	1,381,224.10	197,736.90	0.00		
Dept 510-0000	Water Operating							
R66	Sale of Equipment							
510-0000-4900	Sale of Fixed Assets	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R66 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue							
510-0000-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 510-0900								
R60	Dept 0000 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
510-0900-4600	Miscellaneous Revenue	0.00	28,407.00	28,407.00	-28,407.00	0.00	-28,407.00	0.00
	Miscellaneous Revenue	0.00	28,407.00	28,407.00	-28,407.00	0.00	-28,407.00	0.00
R62	R60 Sub Totals:	0.00	600,002.16	2,000,002.16	2,199,997.84	0.00	2,199,997.84	52.38
510-0900-4625	Intergovernmental Trsfns	0.00	28,407.00	28,407.00	-28,407.00	0.00	-28,407.00	0.00
	Xfer from Water	0.00	28,407.00	28,407.00	-28,407.00	0.00	-28,407.00	0.00
	R62 Sub Totals:	4,200,000.00	600,002.16	2,000,002.16	2,199,997.84	0.00	2,199,997.84	52.38
	Revenue Sub Totals:	4,200,000.00	628,409.16	2,028,409.16	2,171,590.84	0.00	2,171,590.84	51.70
E01	Personnel Expense	360,574.90	27,867.81	134,987.06	225,587.84	0.00	225,587.84	62.56
510-0900-5000	Salary Expense	109,000.00	9,083.33	45,416.65	63,583.35	0.00	63,583.35	58.33
510-0900-5005	SWB Reimbursement	16,550.00	1,217.55	2,850.26	13,699.74	0.00	13,699.74	82.78
510-0900-5010	Overtime Expense	28,850.07	2,189.58	10,350.95	18,499.12	0.00	18,499.12	64.12
510-0900-5020	FICA Expense	2,151.32	0.00	1,202.20	949.12	0.00	949.12	44.12
510-0900-5022	Unemployment Expense	7,241.00	0.00	5,594.41	1,646.59	0.00	1,646.59	22.74
510-0900-5025	Worker's Comp Expense	52,848.73	4,068.71	19,091.31	33,757.42	0.00	33,757.42	63.88
510-0900-5030	APERS Expense	134,360.85	7,164.81	33,889.27	100,471.58	0.00	100,471.58	74.78
510-0900-5040	Health Insurance Expense	1,500.00	0.00	225.00	1,275.00	150.00	1,125.00	75.00
510-0900-5050	Physical & Drug Screen Exp	0.00	0.00	0.00	0.00	0.00	0.00	0.00
510-0900-5054	BYOD - Water	5,200.00	1,120.61	4,824.49	375.51	393.86	-18.35	0.00
510-0900-5055	Uniform Expense	9,295.00	0.00	150.00	9,145.00	0.00	9,145.00	98.39
510-0900-5060	Travel & Training Expense	727,571.87	52,712.40	258,581.60	468,990.27	543.86	468,446.41	64.38
E10	Building & Grounds Exp	7,000.00	-430.00	1,586.88	5,413.12	0.00	5,413.12	77.33
510-0900-5102	Repairs & Maint - Building	3,500.00	0.00	0.00	3,500.00	0.00	3,500.00	100.00
510-0900-5104	Repairs & Maint - Grounds	50,000.00	2,532.16	15,368.47	34,631.53	2,578.30	32,053.23	64.11
510-0900-5110	Utilities - Electric	2,750.00	79.50	1,341.89	1,408.11	0.00	1,408.11	51.20
510-0900-5111	Utilities - Gas	250.00	19.83	110.68	139.32	0.00	139.32	55.73
510-0900-5112	Utilities - Water	3,750.00	333.84	1,673.53	2,076.47	0.00	2,076.47	55.37
510-0900-5115	Communication Exp - Telephone	6,500.00	0.00	2,266.65	4,233.35	1,145.09	3,088.26	47.51
510-0900-5116	Communication Exp - Cellular	9,500.00	0.00	0.00	9,500.00	0.00	9,500.00	100.00
510-0900-5120	Insurance - Property	4,900.00	410.40	1,862.92	3,037.08	0.00	3,037.08	61.98
510-0900-5130	Sanitation	750.00	0.00	71.18	678.82	71.18	607.64	81.02
510-0900-5140	Supplies - B&G	1,850.00	123.17	486.31	1,363.69	116.80	1,246.89	67.40
510-0900-5142	Janitorial Supplies and Main							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
510-0900-5145	Tools	4,750.00	119.35	3,287.41	1,462.59	529.16	933.43	19.65
E10 Sub Totals:		95,500.00	3,188.25	28,055.92	67,444.08	4,440.53	63,003.55	65.97
E20	Vehicle Expense							
510-0900-5200	Fuel Expense	18,750.00	3,450.44	8,360.29	10,389.71	708.90	9,680.81	51.63
510-0900-5210	Service & Repair - Vehicle	11,000.00	2,569.22	5,146.46	5,853.54	187.20	5,666.34	51.51
510-0900-5218	Tire Expense	4,500.00	0.00	765.39	3,734.61	0.00	3,734.61	82.99
510-0900-5225	Insurance Expense - Vehicle	5,100.00	0.00	5,080.10	19.90	0.00	19.90	0.39
510-0900-5240	Equipment Rental	1,000.00	0.00	0.00	1,000.00	0.00	1,000.00	100.00
E20 Sub Totals:		40,350.00	6,019.66	19,352.24	20,997.76	896.10	20,101.66	49.82
E30	Supply Expense							
510-0900-5300	Supplies - Office	5,500.00	46.60	1,250.77	4,249.23	1,737.04	2,512.19	45.68
510-0900-5322	Supplies - Operating	93,100.00	10,780.39	42,170.16	50,929.84	51,581.23	-651.39	0.00
510-0900-5324	Supplies - Chemicals	3,250.00	0.00	0.00	3,250.00	0.00	3,250.00	100.00
510-0900-5326	Supplies - Lab	500.00	0.00	0.00	500.00	0.00	500.00	100.00
510-0900-5350	Postage Expense	30,000.00	2,716.55	14,476.08	15,523.92	458.08	15,065.84	50.22
510-0900-5360	Cost of Water	1,160,000.00	82,414.53	436,213.89	723,786.11	0.00	723,786.11	62.40
E30 Sub Totals:		1,292,350.00	95,958.07	494,110.90	798,239.10	53,776.35	744,462.75	57.61
E40	Operations Expense							
510-0900-5475	Credit Card Fees	16,800.00	1,385.38	6,957.89	9,842.11	0.00	9,842.11	58.58
510-0900-5480	Dues & Subscriptions	6,500.00	371.50	2,389.40	4,110.60	244.30	3,866.30	59.48
510-0900-5515	Special Elec or Permit Fee Exp	32,500.00	0.00	0.00	32,500.00	0.00	32,500.00	100.00
510-0900-5530	Safety Program	1,500.00	0.00	0.00	1,500.00	451.78	1,048.22	69.88
510-0900-5535	Sales Tax Expense	265,000.00	19,054.00	101,886.70	163,113.30	0.00	163,113.30	61.55
510-0900-5823	COE Degray O&M	30,000.00	0.00	0.00	30,000.00	0.00	30,000.00	100.00
E40 Sub Totals:		352,300.00	20,810.88	111,233.99	241,066.01	696.08	240,369.93	68.23
E55	Professional Services							
510-0900-5550	Prof Services - Acctg & Audit	10,000.00	500.00	5,780.00	4,220.00	0.00	4,220.00	42.20
510-0900-5553	Prof Services - Advertising	2,000.00	0.00	447.35	1,552.65	136.07	1,416.58	70.83
510-0900-5571	Prof Services - Engineering	40,500.00	810.00	4,005.00	36,495.00	810.00	35,685.00	88.11
510-0900-5574	Prof Services - GIS	7,500.00	0.00	0.00	7,500.00	0.00	7,500.00	100.00
510-0900-5586	Prof Services - Other	9,000.00	0.00	2,274.00	6,726.00	1,413.00	5,313.00	59.03
510-0900-5589	Prof Services - Printing	3,750.00	0.00	3,706.02	43.98	139.56	-95.58	0.00
E55 Sub Totals:		72,750.00	1,310.00	16,212.37	56,537.63	2,498.63	54,039.00	74.28
E60	Miscellaneous Expense							
510-0900-5604	Hardware - New & Renewals	23,900.00	0.00	1,250.00	22,650.00	0.00	22,650.00	94.77
510-0900-5606	IT Project & Labor	10,500.00	0.00	472.50	10,027.50	0.00	10,027.50	95.50
510-0900-5608	Software - New & Renewals	38,185.00	1,048.28	4,828.20	33,356.80	125.00	33,231.80	87.03

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
510-0900-5614	Copier Maint & Lease	9,340.00	16.37	65.85	9,274.15	0.00	9,274.15	99.29
E60	E60 Sub Totals:	81,925.00	1,064.65	6,616.55	75,308.45	125.00	75,183.45	91.77
E62	Intergovernmental Tsfr							
510-0900-5626	Xfer Depreciation Fd - Water	80,000.00	7,165.62	35,161.77	44,838.23	0.00	44,838.23	56.05
E62	E62 Sub Totals:	80,000.00	7,165.62	35,161.77	44,838.23	0.00	44,838.23	56.05
E72	Bond Expense							
510-0900-5722	Bond Principal Pmt	303,000.00	21,911.30	108,282.50	194,717.50	118,900.84	75,816.66	25.02
E72	E72 Sub Totals:	303,000.00	21,911.30	108,282.50	194,717.50	118,900.84	75,816.66	25.02
E80	Fixed Assets							
510-0900-5808	Fixed Assets - Vehicles	98,671.00	0.00	89,375.90	9,295.10	2,310.45	6,984.65	7.08
510-0900-5814	Fixed AssetProj-16" Water Main	0.00	0.00	0.00	0.00	0.00	0.00	0.00
510-0900-5816	Fixed Assets - Infrastructure	1,623,329.00	9,984.28	97,305.00	1,526,024.00	0.00	1,526,024.00	94.01
510-0900-5821	Other Equipment	130,000.00	0.00	79,227.00	50,773.00	0.00	50,773.00	39.06
510-0900-5822	COE Degray Project	95,000.00	0.00	0.00	95,000.00	0.00	95,000.00	100.00
E80	E80 Sub Totals:	1,947,000.00	9,984.28	265,907.90	1,681,092.10	2,310.45	1,678,781.65	86.22
E85	Interest Expense							
510-0900-5850	Interest Expense	175,000.00	14,108.72	71,867.68	103,132.32	61,199.26	41,933.06	23.96
E85	E85 Sub Totals:	175,000.00	14,108.72	71,867.68	103,132.32	61,199.26	41,933.06	23.96
	Expense Sub Totals:	5,167,746.87	234,233.83	1,415,383.42	3,752,363.45	245,387.10	3,506,976.35	67.86
Dept 510-0950	Dept 0900 Sub Totals:	967,746.87	-394,175.33	-613,025.74	1,580,772.61	245,387.10		
R60	Miscellaneous Revenue							
510-0950-4143	Floormats/Supplies	0.00	0.00	0.00	0.00	0.00	0.00	0.00
510-0950-4600	Miscellaneous Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R60	R60 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62	Intergovernmental Tsfrs							
510-0950-4625	Xfer from Sewer Sales	4,200,000.00	600,000.00	2,000,000.00	2,200,000.00	0.00	2,200,000.00	52.38
R62	R62 Sub Totals:	4,200,000.00	600,000.00	2,000,000.00	2,200,000.00	0.00	2,200,000.00	52.38
	Revenue Sub Totals:	4,200,000.00	600,000.00	2,000,000.00	2,200,000.00	0.00	2,200,000.00	52.38
E01	Personnel Expense							
510-0950-5000	Salary Expense	547,882.26	39,555.52	194,988.44	352,893.82	0.00	352,893.82	64.41
510-0950-5005	SWB Reimbursement	109,000.00	9,083.33	45,416.65	63,583.35	0.00	63,583.35	58.33

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
510-0950-5010	Overtime Expense	50,000.00	3,458.59	14,266.49	35,733.51	0.00	35,733.51	71.47
510-0950-5020	FICA Expense	45,738.04	3,230.47	15,685.12	30,052.92	0.00	30,052.92	65.71
510-0950-5022	Unemployment Expense	2,965.35	0.00	1,568.55	1,396.80	0.00	1,396.80	47.10
510-0950-5025	Worker's Comp Expense	7,128.00	0.00	5,507.10	1,620.90	0.00	1,620.90	22.74
510-0950-5030	APERS Expense	86,693.02	6,240.69	30,200.97	56,492.05	0.00	56,492.05	65.16
510-0950-5040	Health Insurance Expense	112,138.65	10,662.71	52,682.45	59,456.20	0.00	59,456.20	53.02
510-0950-5050	Physical & Drug Screen Exp	2,000.00	25.00	25.00	1,975.00	228.00	1,747.00	87.35
510-0950-5054	BYOD - Wastewater	0.00	25.00	75.00	-75.00	0.00	-75.00	0.00
510-0950-5055	Uniform Expense	7,000.00	1,763.78	5,866.87	1,133.13	328.47	804.66	11.50
510-0950-5060	Travel & Training Expense	7,295.00	285.63	1,036.13	6,258.87	18.23	6,240.64	85.55
	E01 Sub Totals:	977,840.32	74,330.72	367,318.77	610,521.55	574.70	609,946.85	62.38
E10	Building & Grounds Exp							
510-0950-5102	Repairs & Maint - Building	6,500.00	4,270.00	6,563.94	-63.94	0.00	-63.94	0.00
510-0950-5110	Utilities - Electric	285,000.00	21,153.72	111,111.17	173,888.83	26.98	173,861.85	61.00
510-0950-5111	Utilities - Gas	1,250.00	107.03	879.31	370.69	0.00	370.69	29.66
510-0950-5112	Utilities - Water	250.00	19.82	110.68	139.32	0.00	139.32	55.73
510-0950-5115	Communication Exp - Telephone	2,950.00	258.35	1,240.86	1,709.14	0.00	1,709.14	57.94
510-0950-5116	Communication Exp - Cellular	5,000.00	0.00	1,019.22	3,980.78	996.36	2,984.42	59.69
510-0950-5120	Insurance - Property	9,000.00	0.00	0.00	9,000.00	0.00	9,000.00	100.00
510-0950-5130	Sanitation	4,950.00	410.40	1,862.92	3,087.08	0.00	3,087.08	62.37
510-0950-5140	Supplies - B&G	1,000.00	0.00	629.74	370.26	0.00	370.26	37.03
510-0950-5142	Janitorial Supplies and Main	1,850.00	129.54	492.68	1,357.32	116.80	1,240.52	67.06
510-0950-5145	Tools	4,950.00	165.71	2,444.26	2,505.74	708.42	1,797.32	36.31
	E10 Sub Totals:	322,700.00	26,514.57	126,354.78	196,345.22	1,848.56	194,496.66	60.27
E20	Vehicle Expense							
510-0950-5200	Fuel Expense	19,500.00	3,218.12	7,404.08	12,095.92	710.82	11,385.10	58.39
510-0950-5210	Service & Repair - Vehicle	35,000.00	471.59	18,655.24	16,344.76	3,120.51	13,224.25	37.78
510-0950-5214	Service & Repair - Heavy Equip	0.00	0.00	0.00	0.00	0.00	0.00	0.00
510-0950-5218	Tire Expense	6,500.00	0.00	1,274.03	5,225.97	471.96	4,754.01	73.14
510-0950-5225	Insurance Expense - Vehicle	7,200.00	0.00	6,690.93	509.07	0.00	509.07	7.07
510-0950-5240	Equipment Rental	950.00	0.00	0.00	950.00	0.00	950.00	100.00
	E20 Sub Totals:	69,150.00	3,689.71	34,024.28	35,125.72	4,303.29	30,822.43	44.57
E30	Supply Expense							
510-0950-5300	Supplies - Office	4,950.00	115.27	2,172.54	2,777.46	896.13	1,881.33	38.01
510-0950-5322	Supplies - Operating	139,500.00	23,539.08	83,880.80	55,619.20	18,336.63	37,282.57	26.73
510-0950-5324	Supplies - Chemicals	59,500.00	5,379.56	19,163.84	40,336.16	4,433.18	35,902.98	60.34
510-0950-5326	Supplies - Lab	40,000.00	1,519.70	6,463.70	33,536.30	7,876.00	25,660.30	64.15
510-0950-5350	Postage Expense	27,500.00	1,716.55	9,417.46	18,082.54	458.08	17,624.46	64.09

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E30	E30 Sub Totals:	271,450.00	32,270.16	121,098.34	150,351.66	32,000.02	118,351.64	43.60
	Operations Expense							
	Credit Card Fees	17,000.00	1,385.37	6,957.86	10,042.14	0.00	10,042.14	59.07
	Dues & Subscriptions	18,500.00	371.50	8,640.35	9,859.65	244.30	9,615.35	51.97
	Safety Program	1,500.00	0.00	0.00	1,500.00	455.03	1,044.97	69.66
	Equip Purchase - I & I	10,000.00	0.00	0.00	10,000.00	0.00	10,000.00	100.00
	Outside Contractors- I & I	300,000.00	0.00	0.00	300,000.00	121,200.00	178,800.00	59.60
	Service & Repair - I & I	15,000.00	0.00	0.00	15,000.00	0.00	15,000.00	100.00
E40	E40 Sub Totals:	362,000.00	1,756.87	15,598.21	346,401.79	121,899.33	224,502.46	62.02
E55	Professional Services							
	Prof Services - Acctg & Audit	10,000.00	500.00	5,780.00	4,220.00	0.00	4,220.00	42.20
	Prof Services - Advertising	1,500.00	77.11	524.46	975.54	136.07	839.47	55.96
	Prof Services - Engineering	11,000.00	810.00	4,005.00	6,995.00	810.00	6,185.00	56.23
	Prof Services - GIS	6,750.00	0.00	0.00	6,750.00	0.00	6,750.00	100.00
	Prof Services - Other	20,000.00	0.00	1,642.00	18,358.00	0.00	18,358.00	91.79
	Prof Services - Printing	7,500.00	0.00	3,426.48	4,073.52	139.56	3,933.96	52.45
E55	E55 Sub Totals:	56,750.00	1,387.11	15,377.94	41,372.06	1,085.63	40,286.43	70.99
E60	Miscellaneous Expense							
	Hardware - New & Renewals	23,900.00	0.00	1,250.00	22,650.00	0.00	22,650.00	94.77
	IT Project & Labor	10,500.00	0.00	472.50	10,027.50	0.00	10,027.50	95.50
	Software - New & Renewals	56,230.00	1,038.31	17,881.71	38,348.29	130.00	38,218.29	67.97
	Copier Maint & Lease	9,340.00	16.36	65.84	9,274.16	0.00	9,274.16	99.30
E60	E60 Sub Totals:	99,970.00	1,054.67	19,670.05	80,299.95	130.00	80,169.95	80.19
E62	Intergovernmental Tsfr							
	Xfer to Other	110,000.00	9,802.85	48,920.76	61,079.24	0.00	61,079.24	55.53
E62	E62 Sub Totals:	110,000.00	9,802.85	48,920.76	61,079.24	0.00	61,079.24	55.53
E72	Bond Expense							
	Bond Principal Pmt	375,000.00	28,236.66	139,541.98	235,458.02	141,183.30	94,274.72	25.14
E72	E72 Sub Totals:	375,000.00	28,236.66	139,541.98	235,458.02	141,183.30	94,274.72	25.14
E80	Fixed Assets							
	Fixed Asset Office Equipment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fixed Assets - Vehicles	119,000.00	3,275.45	102,693.98	16,306.02	2,685.45	13,620.57	11.45
	Fixed Assets - Equipment	363,000.00	15,474.63	187,102.59	175,897.41	88,797.65	87,099.76	23.99
	Fixed Assets - Infrastructure	2,025,000.00	54,199.34	201,198.92	1,823,801.08	176,195.97	1,647,605.11	81.36
	Project - Dewatering Facility	2,573,000.00	31,582.71	392,009.74	2,180,990.26	2,199,299.75	-18,309.49	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E85	E80 Sub Totals:	5,080,000.00	104,532.13	883,005.23	4,196,994.77	2,466,978.82	1,730,015.95	34.06
	Interest Expense							
510-0950-5850	Interest Expense	175,000.00	18,866.90	96,827.89	78,172.11	94,334.50	-16,162.39	0.00
	E85 Sub Totals:	175,000.00	18,866.90	96,827.89	78,172.11	94,334.50	-16,162.39	0.00
	Expense Sub Totals:	7,899,860.32	302,442.35	1,867,738.23	6,032,122.09	2,864,338.15	3,167,783.94	40.10
	Dept.0950 Sub Totals:	3,699,860.32	-297,557.65	-132,261.77	3,832,122.09	2,864,338.15		
	Fund Revenue Sub Totals:	8,400,000.00	1,228,409.16	4,028,409.16	4,371,590.84	0.00	4,371,590.84	52.04
	Fund Expense Sub Totals:	13,067,607.19	536,676.18	3,283,121.65	9,784,485.54	3,109,725.25	6,674,760.29	51.08
	Fund 510 Sub Totals:	4,667,607.19	-691,732.98	-745,287.51	5,412,894.70	3,109,725.25		
	Stormwater Utility Fund							
Fund 515	Miscellaneous Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 515-0140	Miscellaneous Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R60	R60 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
515-0140-4600	Intergovernmental Trsfns	140,000.00	22,908.00	114,088.63	25,911.37	0.00	25,911.37	18.51
	Xfer from Water Revenue Fund	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Xfer from Other	140,000.00	22,908.00	114,088.63	25,911.37	0.00	25,911.37	18.51
	R62 Sub Totals:	0.00	10.52	38.73	-38.73	0.00	-38.73	0.00
	Interest Revenue							
R85	Interest Rev	0.00	10.52	38.73	-38.73	0.00	-38.73	0.00
515-0140-4850	R85 Sub Totals:	0.00	10.52	38.73	-38.73	0.00	-38.73	0.00
	Revenue Sub Totals:	140,000.00	22,918.52	114,127.36	25,872.64	0.00	25,872.64	18.48
	Miscellaneous Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Miscellaneous Expense	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	E60 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	-140,000.00	-22,918.52	-114,127.36	-25,872.64	0.00	0.00	0.00
	Dept.0140 Sub Totals:							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
Fund 520	Fund Revenue Sub Totals:	140,000.00	22,918.52	114,127.36	25,872.64	0.00	25,872.64	18.48
Dept 520-0900	Depreciation - Water							
R62	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
520-0900-4625	Fund 515 Sub Totals:	-140,000.00	-22,918.52	-114,127.36	-25,872.64	0.00		
	Intergovernmental Tsfrs							
	Xfer from Water	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
520-0900-4850	Interest Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	R85 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Intergovernmental Tsfr							
E62	Xfer to Water	0.00	5.05	5.05	-5.05	0.00	-5.05	0.00
520-0900-5624	E62 Sub Totals:	0.00	5.05	5.05	-5.05	0.00	-5.05	0.00
	Expense Sub Totals:	0.00	5.05	5.05	-5.05	0.00	-5.05	0.00
	Dept 0900 Sub Totals:	0.00	5.05	5.05	-5.05	0.00		
	Fund Revenue Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund Expense Sub Totals:	0.00	5.05	5.05	-5.05	0.00	-5.05	0.00
	Fund 520 Sub Totals:	0.00	5.05	5.05	-5.05	0.00		
	Depreciation - WW							
Fund 525	Intergovernmental Tsfrs	125,000.00	16,973.52	84,087.58	40,912.42	0.00	40,912.42	32.73
Dept 525-0950	Xfer from Water							
R62	R62 Sub Totals:	125,000.00	16,973.52	84,087.58	40,912.42	0.00	40,912.42	32.73
525-0950-4625	Interest Revenue							
R85	Interest Revenue	0.00	50.55	225.73	-225.73	0.00	-225.73	0.00
525-0950-4850								

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85 Sub Totals:		0.00	50.55	225.73	-225.73	0.00	-225.73	0.00
Revenue Sub Totals:		125,000.00	17,024.07	84,313.31	40,686.69	0.00	40,686.69	32.55
Intergovernmental Tsfr								
Xfer to Water		0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 0950 Sub Totals:		-125,000.00	-17,024.07	-84,313.31	-40,686.69	0.00		
Fund Revenue Sub Totals:		125,000.00	17,024.07	84,313.31	40,686.69	0.00	40,686.69	32.55
Fund Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund 525 Sub Totals:		-125,000.00	-17,024.07	-84,313.31	-40,686.69	0.00		
Sub-Div Impact Water								
Intergovernmental Tsfrs		2,000.00	0.00	900.63	1,099.37	0.00	1,099.37	54.97
Xfer from Water		2,000.00	0.00	900.63	1,099.37	0.00	1,099.37	54.97
R62 Sub Totals:		0.00	0.00	1.92	-1.92	0.00	-1.92	0.00
Interest Revenue								
Interest Revenue		0.00	0.00	1.92	-1.92	0.00	-1.92	0.00
R85 Sub Totals:		0.00	0.00	1.92	-1.92	0.00	-1.92	0.00
Revenue Sub Totals:		2,000.00	0.00	902.55	1,097.45	0.00	1,097.45	54.87
Intergovernmental Tsfr								
Xfer to Water		0.00	8,055.24	8,055.24	-8,055.24	0.00	-8,055.24	0.00
E62 Sub Totals:		0.00	8,055.24	8,055.24	-8,055.24	0.00	-8,055.24	0.00
Expense Sub Totals:		0.00	8,055.24	8,055.24	-8,055.24	0.00	-8,055.24	0.00
Dept 0900 Sub Totals:		-2,000.00	8,055.24	7,152.69	-9,152.69	0.00		
Fund Revenue Sub Totals:		2,000.00	0.00	902.55	1,097.45	0.00	1,097.45	54.87

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Fund Expense Sub Totals:							
		0.00	8,055.24	8,055.24	-8,055.24	0.00	-8,055.24	0.00
Fund 535	Fund 530 Sub Totals:							
Dept 535-0950	Sub-Div Impact WW	-2,000.00	8,055.24	7,152.69	-9,152.69	0.00		
R62	Intergovernmental Tsfrs							
535-0950-4625	Xfer from Water	2,000.00	8,055.24	8,955.24	-6,955.24	0.00	-6,955.24	0.00
R62 Sub Totals:		2,000.00	8,055.24	8,955.24	-6,955.24	0.00	-6,955.24	0.00
Interest Revenue		0.00	0.45	1.73	-1.73	0.00	-1.73	0.00
Interest Revenue		0.00	0.45	1.73	-1.73	0.00	-1.73	0.00
R85 Sub Totals:		0.00	0.45	1.73	-1.73	0.00	-1.73	0.00
Revenue Sub Totals:		2,000.00	8,055.69	8,956.97	-6,956.97	0.00	-6,956.97	0.00
Intergovernmental Tsfr		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Xfer to Water		0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 0950 Sub Totals:		-2,000.00	-8,055.69	-8,956.97	6,956.97	0.00		
Fund Revenue Sub Totals:		2,000.00	8,055.69	8,956.97	-6,956.97	0.00	-6,956.97	0.00
Fund Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund 535 Sub Totals:		-2,000.00	-8,055.69	-8,956.97	6,956.97	0.00		
Fair Share:								
Fund 540	Intergovernmental Tsfrs	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 540-0900	Xfer from Water							
R62		0.00	0.00	0.00	0.00	0.00	0.00	0.00
540-0900-4625								
R62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Revenue Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Intergovernmental Tsfr		0.00	2.16	2.16	-2.16	0.00	-2.16	0.00
Xfer to Water		0.00	2.16	2.16	-2.16	0.00	-2.16	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E62 Sub Totals:		0.00	2.16	2.16	-2.16	0.00	-2.16	0.00
Expense Sub Totals:		0.00	2.16	2.16	-2.16	0.00	-2.16	0.00
Dept 0900 Sub Totals:		0.00	2.16	2.16	-2.16	0.00		
Fund Revenue Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund Expense Sub Totals:		0.00	2.16	2.16	-2.16	0.00	-2.16	0.00
Fund 540 Sub Totals:		0.00	2.16	2.16	-2.16	0.00		
Impact - Water								
Intergovernmental Tsfrs								
Xfer from Water		60,000.00	9,600.00	31,824.00	28,176.00	0.00	28,176.00	46.96
R62 Sub Totals:		60,000.00	9,600.00	31,824.00	28,176.00	0.00	28,176.00	46.96
Interest Revenue		0.00	12.45	54.89	-54.89	0.00	-54.89	0.00
Interest Revenue		0.00	12.45	54.89	-54.89	0.00	-54.89	0.00
R85 Sub Totals:		60,000.00	9,612.45	31,878.89	28,121.11	0.00	28,121.11	46.87
Revenue Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Intergovernmental Tsfr								
Xfer to Water		0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Dept 0900 Sub Totals:		-60,000.00	-9,612.45	-31,878.89	-28,121.11	0.00		
Fund Revenue Sub Totals:		60,000.00	9,612.45	31,878.89	28,121.11	0.00	28,121.11	46.87
Fund Expense Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
Fund 550 Sub Totals:		-60,000.00	-9,612.45	-31,878.89	-28,121.11	0.00		
Impact - WW								
Intergovernmental Tsfrs								
Xfer from Water		40,000.00	9,500.00	29,500.00	10,500.00	0.00	10,500.00	26.25

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
R85	R62 Sub Totals:	40,000.00	9,500.00	29,500.00	10,500.00	0.00	10,500.00	26.25
555-0950-4850	Interest Revenue							
	Interest Revenue	0.00	12.50	55.47	-55.47	0.00	-55.47	0.00
R85	R85 Sub Totals:	0.00	12.50	55.47	-55.47	0.00	-55.47	0.00
E62	Revenue Sub Totals:	40,000.00	9,512.50	29,555.47	10,444.53	0.00	10,444.53	26.11
555-0950-5624	Intergovernmental Tsfr							
	Xfer to Water	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E62	E62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Dept 0950 Sub Totals:	-40,000.00	-9,512.50	-29,555.47	-10,444.53	0.00		
	Fund Revenue Sub Totals:	40,000.00	9,512.50	29,555.47	10,444.53	0.00	10,444.53	26.11
	Fund Expense Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Fund 555 Sub Totals:	-40,000.00	-9,512.50	-29,555.47	-10,444.53	0.00		
Fund 560	Salem Royalty							
Dept 560-0900	Intergovernmental Tsfrs	1,000.00	52.00	262.40	737.60	0.00	737.60	73.76
R62	Xfer from Water							
560-0900-4625	R62 Sub Totals:	1,000.00	52.00	262.40	737.60	0.00	737.60	73.76
R85	Interest Revenue							
560-0900-4850	Interest Revenue	0.00	1.96	9.06	-9.06	0.00	-9.06	0.00
E62	R85 Sub Totals:	0.00	1.96	9.06	-9.06	0.00	-9.06	0.00
560-0900-5602	Revenue Sub Totals:	1,000.00	53.96	271.46	728.54	0.00	728.54	72.85
	Miscellaneous Expense							
	Royalty Payment	1,000.00	144.40	359.00	641.00	0.00	641.00	64.10
E60	E60 Sub Totals:	1,000.00	144.40	359.00	641.00	0.00	641.00	64.10
	Expense Sub Totals:	1,000.00	144.40	359.00	641.00	0.00	641.00	64.10

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
	Dept 0900 Sub Totals:	0.00	90.44	87.54	-87.54	0.00		
	Fund Revenue Sub Totals:	1,000.00	53.96	271.46	728.54	0.00	728.54	72.85
	Fund Expense Sub Totals:	1,000.00	144.40	359.00	641.00	0.00	641.00	64.10
Fund 600	Fund 560 Sub Totals:	0.00	90.44	87.54	-87.54	0.00		
Dept 600-0900	W/WW Bond 2008A DS							
R62	Intergovernmental Tsfrs	720,000.00	59,795.19	298,789.96	421,210.04	0.00	421,210.04	58.50
600-0900-4625	Xfer from Water	720,000.00	59,795.19	298,789.96	421,210.04	0.00	421,210.04	58.50
R85	R62 Sub Totals:	0.00	80.16	164.24	-164.24	0.00	-164.24	0.00
600-0900-4850	Interest Revenue							
	Interest Revenue	0.00	80.16	164.24	-164.24	0.00	-164.24	0.00
E72	R85 Sub Totals:	720,000.00	59,875.35	298,954.20	421,045.80	0.00	421,045.80	58.48
600-0900-5722	Revenue Sub Totals:	720,000.00	0.00	0.00	720,000.00	0.00	720,000.00	100.00
600-0900-5724	Bond Expense	720,000.00	0.00	0.00	720,000.00	0.00	720,000.00	100.00
	Bond Principal Pmt	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	Bond Fee	0.00	0.00	0.00	0.00	0.00	0.00	0.00
E85	E72 Sub Totals:	720,000.00	0.00	0.00	720,000.00	0.00	720,000.00	100.00
600-0900-5850	Interest Expense	325,000.00	0.00	0.00	325,000.00	0.00	325,000.00	100.00
	Interest Expense	325,000.00	0.00	0.00	325,000.00	0.00	325,000.00	100.00
	E85 Sub Totals:	1,045,000.00	0.00	0.00	1,045,000.00	0.00	1,045,000.00	100.00
	Expense Sub Totals:	325,000.00	-59,875.35	-298,954.20	623,954.20	0.00		
	Dept 0900 Sub Totals:	720,000.00	59,875.35	298,954.20	421,045.80	0.00	421,045.80	58.48
	Fund Revenue Sub Totals:	1,045,000.00	0.00	0.00	1,045,000.00	0.00	1,045,000.00	100.00
	Fund Expense Sub Totals:	325,000.00	-59,875.35	-298,954.20	623,954.20	0.00		
Fund 601	Fund 600 Sub Totals:	325,000.00	-59,875.35	-298,954.20	623,954.20	0.00		
Dept 601-0900	W/WW Bond 2008A DSR							
R62	Intergovernmental Tsfrs							

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
601-0900-4627	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	R62 Sub Totals:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
601-0900-4850	Interest Revenue	0.00	403.90	465.60	-465.60	0.00	-465.60	0.00
601-0900-4855	Gain on Investment	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85 Sub Totals:		0.00	403.90	465.60	-465.60	0.00	-465.60	0.00
E62	Revenue Sub Totals:	0.00	403.90	465.60	-465.60	0.00	-465.60	0.00
601-0900-5626	Intergovernmental Tsfr	2,000.00	35.78	97.48	1,902.52	0.00	1,902.52	95.13
Xfer to Other		2,000.00	35.78	97.48	1,902.52	0.00	1,902.52	95.13
E62 Sub Totals:		0.00	44.33	225.37	-225.37	0.00	-225.37	0.00
E85	Interest Expense	0.00	44.33	225.37	-225.37	0.00	-225.37	0.00
601-0900-5855	Loss on Investment	0.00	44.33	225.37	-225.37	0.00	-225.37	0.00
E85 Sub Totals:		0.00	80.11	322.85	1,677.15	0.00	1,677.15	83.86
Expense Sub Totals:		2,000.00	-323.79	-142.75	2,142.75	0.00		
Dept 0900 Sub Totals:		2,000.00	403.90	465.60	-465.60	0.00	-465.60	0.00
Fund Revenue Sub Totals:		2,000.00	80.11	322.85	1,677.15	0.00	1,677.15	83.86
Fund Expense Sub Totals:		2,000.00	-323.79	-142.75	2,142.75	0.00		
Fund 601 Sub Totals:		2,000.00	403.90	465.60	-465.60	0.00	-465.60	0.00
W/WW Bond 2008B DSR		2,000.00	403.90	465.60	-465.60	0.00	-465.60	0.00
R62	Intergovernmental Tsfrs	0.00	0.00	0.00	0.00	0.00	0.00	0.00
605-0900-4627	Xfer from Other	0.00	0.00	0.00	0.00	0.00	0.00	0.00
R62 Sub Totals:		0.00	0.00	0.00	0.00	0.00	0.00	0.00
R85	Interest Revenue	0.00	520.95	600.18	-600.18	0.00	-600.18	0.00
605-0900-4850	Interest Revenue	0.00	0.00	0.00	0.00	0.00	0.00	0.00
605-0900-4855	Gain on Investment	0.00	520.95	600.18	-600.18	0.00	-600.18	0.00
R85 Sub Totals:		0.00	520.95	600.18	-600.18	0.00	-600.18	0.00
Revenue Sub Totals:		0.00	520.95	600.18	-600.18	0.00	-600.18	0.00

Account Number	Description	Budget Amount	Period Amount	YTD Amount	YTD Var	Encumbered Amount	Available	% Available
E62 605-0900-5626	Intergovernmental Trsf Xfer to Other	2,000.00	45.95	125.18	1,874.82	0.00	1,874.82	93.74
E62 Sub Totals:		2,000.00	45.95	125.18	1,874.82	0.00	1,874.82	93.74
E85 605-0900-5855	Interest Expense Loss on Investment	0.00	57.20	290.80	-290.80	0.00	-290.80	0.00
E85 Sub Totals:		0.00	57.20	290.80	-290.80	0.00	-290.80	0.00
Expense Sub Totals:		2,000.00	103.15	415.98	1,584.02	0.00	1,584.02	79.20
Dept 0900 Sub Totals:		2,000.00	-417.80	-184.20	2,184.20	0.00		
Fund Revenue Sub Totals:		0.00	520.95	600.18	-600.18	0.00	-600.18	0.00
Fund Expense Sub Totals:		2,000.00	103.15	415.98	1,584.02	0.00	1,584.02	79.20
Fund 605 Sub Totals:		2,000.00	-417.80	-184.20	2,184.20	0.00		
Revenue Totals:		45,600,160.00	5,060,690.06	21,746,241.61	23,853,918.39			
Expense Totals:		62,639,549.21	4,270,351.89	22,076,569.72	40,562,979.49	473.46	23,853,595.49	52.31
Report Totals:		17,039,389.21	-790,338.17	330,328.11	16,709,061.10	4,052,943.33	36,510,036.16	58.29
						4,053,266.23		

RESOLUTION NO. 2017-____

RESOLUTION AUTHORIZING THE MAYOR TO PURCHASE REAL PROPERTY AND ACCEPT A WARRANTY DEED FOR PROPERTY DESCRIBED IN THE ATTACHED CONTRACT, SUCH PROPERTY LOCATED IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS; AND FOR OTHER PURPOSES

WHEREAS, The City of Bryant, Arkansas, ratifies and authorizes the purchase of real property and the acceptance of a warranty deed in fee simple for the property identified in the attached Exhibit 1; and

WHEREAS, The City of Bryant, Arkansas deems it necessary to pay from bond proceeds as reflected in line 157-0500-5900; and

WHEREAS, the City of Bryant authorizes the expenditure of such funds and closing amounts as are identified in the settlement statement for closing on the real property described hereinabove; and

WHEREAS, the City of Bryant, Arkansas authorizes the Mayor to execute the attached contract for purchase of real estate for the above described property.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BRYANT, ARKANSAS THAT:

Section 1. Authorization.

The Mayor and City Clerk are hereby authorized by the City Council for the City of Bryant, Arkansas to purchase and accept a Warranty Deed for the property described in the attached Exhibit 1, and to execute any documents necessary for the purchase and transfer of said property, including but not limited to the contract attached hereto as Exhibit 1. The Mayor's signature on the attached Contract is hereby ratified and the expenditure of funds for the purchase of such property is approved, including costs necessary for title and closing as may reasonably be necessary and as normally incurred in real estate transactions.

Section 2. Severability.

In the event any title, section, paragraph, item, sentence, clause, phrase, or word of this resolution is declared or adjudged to be invalid or unconstitutional, such declaration or adjudication shall not affect the remaining portions of the resolution which shall remain in full force and affect as if the portion so declared or adjudged invalid or unconstitutional was not originally a part of the resolution.

Section 3. Repealer.

Any resolution, resolution section, policy, or directive in conflict with this Resolution is repealed or amended to reflect and achieve the purposes stated herein.

PASSED AND APPROVED this ____ day of _____, 2017

APPROVED:

Jill Dabbs, Mayor

Approved as to Form

ATTEST:

Sue Ashcraft, City Clerk

Richard Chris Maddison, Staff Attorney

Real Estate Contract (Commercial)



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Page 1 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

1. PARTIES: City of Bryant

(individually, or collectively, the "Buyer") offers to purchase, subject to the terms and conditions set forth herein, from Brigham Barefoot Revocable Trust

(individually or collectively, the "Seller"), the real property described in Paragraph 2 of this Real Estate Contract (the "Property").

2. ADDRESS AND LEGAL DESCRIPTION:

2620 Northlake Road, Alexander, AR 72002

Part of the SE 1/4 of the NE 1/4 of Section 8, Township 1 South, Range 14 West, City of Bryant, Saline County, Arkansas containing approximately 4.99 acres, more or less being better described on the attached Exhibit "A" and depicted on the attached Hope Engineers Boundary Survey dated 6-16-1999 and marked as Exhibit "B".

A septic tank is located on the property servicing the house and an old underground propane tank is located somewhere on the property.

3. PURCHASE PRICE: Buyer shall pay the following to Seller for the Property (the "Purchase Price")

\$500,000.00 payable as follows:

Cash at Closing

Real Estate Contract (Commercial)



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Page 2 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

4. **CONVEYANCE:** Unless otherwise specified, conveyance of the Property shall be made to Buyer by general warranty deed special warranty deed, in fee simple absolute, except it shall be subject to

recorded instruments and easements if any, which do not materially affect the value of the Property. Unless expressly reserved herein, **SUCH CONVEYANCE SHALL INCLUDE ALL MINERAL RIGHTS OWNED BY SELLER CONCERNING AND LOCATED ON THE PROPERTY, IF ANY, UNLESS OTHERWISE SPECIFIED IN PARAGRAPH 17. IT IS THE RESPONSIBILITY OF THE BUYER TO INDEPENDENTLY VERIFY AND INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF MINERAL RIGHTS AND ANY LEGAL RAMIFICATIONS THEREOF.** Seller warrants and represents only signatures set forth below are required to transfer legal title to the Property. Seller also warrants and represents that Seller has peaceable possession of the Property, including all improvements and fixtures thereon, and the legal authority and capacity to convey the Property by a good and sufficient general warranty deed, free from any liens, leaseholds or other interests.

5. **TITLE INSURANCE:** Buyer and Seller understand that Listing Firm and Selling Firm are not licensed title insurance agents as defined by Arkansas law and do not and cannot receive direct or indirect compensation from any Closing Agent regarding the closing process or the possible purchase of title insurance by one or more of Buyer and Seller. Regardless of the policy chosen, Buyer and Seller shall have the right to choose their Closing Agent(s). Within 30 days of acceptance, Seller shall furnish to Buyer a commitment for an American Land Title Association (ALTA) owner's title insurance policy in the amount of the Purchase Price issued by a company of Seller's choice authorized to insure title to real property in the State of Arkansas and which company is reasonably acceptable to Buyer.

Where the title commitment shows special exceptions to title other than those standard exceptions contained in the ALTA commitment form, and where such special exceptions relate to restrictions, conditions, defects or other matters that would interfere with Buyer's use or adversely affect the value of the Property, then within 10 days of delivery of the title commitment, Buyer shall deliver written notice thereof to Seller. Such notice shall state specifically those exceptions to which Buyer objects. All objections not specifically enumerated within such a timely delivered notice shall be deemed to be waived by Buyer.

Within 10 days of Buyer's delivery of notice of objections to Seller, Seller may cure such objections or have the exceptions waived or removed by the title company issuing the commitment. If, within such 10 day period, Seller fails to cure and/or waive such objections and exceptions, or within that period, Seller delivers written notice to Buyer that it will not so cure, then within 10 days from delivery of such notice from Seller or the end of the period within which Seller may cure (whichever is applicable), Buyer shall have the option to:

- A. Terminate this Real Estate Contract by delivering written notice thereof to Seller, in which event all sums paid or deposited by Buyer shall be returned to Buyer; or
- B. Agree to purchase the Property as scheduled subject to such objections and exceptions with no reduction in the Purchase Price; or
- C. Agree to extend the Closing date for 30 days to give Seller additional time to cure such objections. If Buyer fails to deliver notice of termination or grant an extension of the Closing date within that period, the objections shall be deemed to be waived and the transaction shall close as scheduled.

Seller shall furnish the committed owner's title insurance policy as soon as practicable after Closing, and shall pay all expenses related to the owner's title insurance policy.

Page 2 of 12

Real Estate Contract (Commercial)



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Page 3 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

6. NON-REFUNDABLE DEPOSIT: The Non-Refundable Deposit (hereinafter referred to as "Deposit") is funds tendered by Buyer to Seller to compensate Seller for liquidated damages that may be incurred by Seller resulting from Buyer failing to close on this transaction. The liquidated damages shall include, but not be limited to, Seller's time, efforts, expenses and potential loss of marketing due to Seller's removal of property from the market.

The Deposit is not refundable to Buyer unless failure to close is exclusively the fault of Seller or if Seller cannot deliver marketable title to the Property. Paragraphs that constitute exclusive fault of the Seller include, but are not limited to, Paragraphs 5, 8, 11, 13B, 15B, 17, 18, or 20, as a termination pursuant to each of the listed paragraphs would cause Seller to forfeit the Deposit back to Buyer. The Deposit will be credited to Buyer at Closing. Buyer shall hold Listing Firm and Selling Firm harmless of any dispute regarding the Deposit. Buyer expressly acknowledges the Deposit is not to be held by either Listing Firm or Selling Firm. The Deposit may be commingled with other monies of Seller, such sum not being held in an escrow, trust or similar account.

A. The Deposit is not applicable.

B. Buyer will pay to Seller the Deposit in the amount of \$ _____

i. Within _____ days following the date this Real Estate Contract has been signed by Buyer and Seller

ii. Within three (3) business days of execution of Paragraph 4(a) of the Inspection Repair & Survey Addendum;
or

iii. Other: _____

7. EARNEST MONEY: Earnest money is in the amount of \$ _____ ("Earnest Money"), which shall apply toward Buyer's Purchase Price or Closing Costs. If at least one or more of the conditions of Paragraphs 5, 13B, and 20 (if any) have not been fulfilled, performed or removed, Earnest Money shall be promptly refunded to Buyer. If Buyer fails to fulfill his obligations under this Real Estate Contract, or if after all conditions have been met Buyer fails to close this transaction, Earnest Money may, at the sole and exclusive option of Seller, be retained by Seller as liquidated damages. Alternatively, Seller may return Earnest Money and assert all legal or equitable rights that may exist as a result of Buyer breaching this Real Estate Contract. Buyer warrants, represents and acknowledges that the check tendered will be honored upon presentation to Buyer's bank, and that Buyer shall be in default of this Real Estate Contract if the check is not honored upon first presentation to Buyer's bank. Buyer understands that failure to tender Earnest Money as required by this Paragraph 7 shall constitute a breach of this Real Estate Contract. Buyer and Seller agree that in the event of any dispute concerning entitlement to Earnest Money, Listing Firm may interplead Earnest Money into a court of competent jurisdiction, and upon such interpleading of Earnest Money, both Listing Firm and Selling Firm shall be released from liability to Buyer and Seller. Listing Firm shall be reimbursed for all costs and attorney's fees from the funds entered for interpleading.

A. Earnest Money is tendered by Buyer in the form of cash check. If Earnest Money is tendered by check, it will be made payable to Listing Firm, Closing Agent Other _____.
Earnest Money will be deposited by Listing Firm no later than three (3) business days following the date this Real Estate Contract has been signed by Buyer and Seller.

B. Earnest Money will be tendered by Buyer in the form of cash check. If Earnest Money is tendered by check, it will be made payable to Listing Firm, Closing Agent Other _____.
Earnest Money will be deposited within three (3) business days following the date this Real Estate Contract has been signed by Buyer and Seller. (If Earnest Money is not to be tendered within three (3) business days after this Real Estate Contract has been signed by Buyer and Seller, see Paragraph 17.)

C. No Earnest Money will be tendered. References to Earnest Money in this Real Estate Contract shall not be applicable and are deemed deleted.

The principal broker shall also be responsible and accountable for any funds delivered to an escrow agent selected by the principal broker, but shall not be responsible for funds delivered to an escrow agent selected by the parties.

Page 3 of 12

Real Estate Contract (Commercial)



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Page 4 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

8. **SURVEY:** Buyer has been given the opportunity to obtain a new certified survey. Should Buyer decline to obtain a survey as offered in Paragraph 8A of this Real Estate Contract, Buyer agrees to hold Seller, Listing Firm and Selling Firm involved in this Real Estate Contract harmless of any problems relative to any survey discrepancies that may exist or be discovered (or occur) after Closing.

A. A new survey satisfactory to Buyer, certified to Buyer within thirty (30) days prior to Closing by a registered land surveyor

showing property lines only ALTA Certified Survey

showing all improvements, easements and any encroachments will be provided and paid for by:

Buyer Seller Equally split between Buyer and Seller.

B. No survey shall be provided.

C. Other _____

Specific Survey Requirements: _____

Should Buyer agree to accept the most recent survey provided by Seller, this survey is for information purposes only and Buyer will not be entitled to the legal benefits of a survey certified in Buyer's name.

9. **PRORATIONS:** Taxes and special assessments due on or before Closing shall be paid by Seller. Any deposits on rental Property are to be transferred to Buyer at Closing. Insurance, general taxes and special assessments, rental payments and interest on any assumed loans shall be prorated as of Closing, unless otherwise specified herein.

10. **FIXTURES AND ATTACHED EQUIPMENT:** Unless specifically excluded herein, all fixtures and attached equipment, if any, are included in the Purchase Price. If any personal property is included in the Purchase Price it will be described in a separate exhibit attached hereto and incorporated by reference herein (hereinafter referred to as the "Personal Property"). The Personal Property does not include any software or related materials that Seller does not have the legal right to transfer or license to Buyer, and does not include any items leased to Seller under any operating contract. Seller agrees to execute a Bill of Sale at Closing transferring ownership of the Personal Property to Buyer.

Page 4 of 12

Real Estate Contract (Commercial)



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Page 5 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

11. CLOSING: Closing is the date and time at which Seller delivers the executed and acknowledged deed. Buyer and Seller agree the Closing date will be (month) August (day) 31, (year) 2017. The Closing date may be changed by written agreement of Buyer and Seller. If the sale is not consummated by Closing date (or any written extension thereof) the parties shall have the remedies available to them in equity or at law, including the remedies available to them in Paragraph 7.

Buyer and Seller shall have the right to choose their Closing Agent(s) and are not relying on Listing Firm or Selling Firm to choose a Closing Agent. Should Buyer or Seller choose the services of a Closing Agent(s) other than Selling Firm or Listing Firm, then Buyer and Seller each jointly and severally agree to indemnify and hold Listing Firm and Selling Firm harmless for all intentional misconduct and negligent acts (including acts of omission) of the Closing Agent(s).

This Real Estate Contract shall serve as written closing instructions to the Closing Agent on behalf of the Buyer and Seller. The Closing Agent(s) is/are authorized to provide Seller's settlement statement to Listing Firm (in addition to Seller) and Buyer's settlement statement to Selling Firm (in addition to Buyer) prior to settlement so that Buyer, Seller, Listing Firm and Selling Firm shall have a reasonable opportunity to review prior to Closing.

Buyer and Seller shall each have the right to request title insurer(s), if any, issue closing protection, to indemnify against loss of closing funds because of acts of a Closing Agent, title insurer's named employee, or title insurance agent. Any cost for closing protection will be paid by the requesting party(ies). Listing Firm and Selling Firm strongly advise Buyer and Seller to inquire of the Closing Agent(s) about the availability and benefits of closing protection.

Unless otherwise agreed by Buyer and Seller, transaction costs will be paid by the party indicated below.

<u>Seller</u>	<u>Buyer</u>
Title Examination or search fees	Recording fees
Premium for owner's title insurance policy	Premium for mortgagee's title insurance policy
Preparation of conveyance documents	Preparation of loan documents
One-half of escrow fees	One-half of escrow fees
One-half of documentary stamps	One-half of documentary stamps
Other charges as customarily paid by Seller	Other charges customarily paid by Buyer
IRS Notification form	

This Real Estate Contract shall, unless otherwise specified in Paragraph 17 of this Real Estate Contract, constitute express written permission and authorization to Listing Firm and Selling Firm to disclose the terms of this Real Estate Contract (and all Addenda), including without limitation concessions provided by Buyer or Seller or other non-public personal information of Buyer and Seller regarding the purchase and sale of the Property, to any of the following: (i) an Arkansas licensed appraiser; (ii) multiple listing services for use by the members thereof; and (iii) any other person or entity which Listing Firm or Selling Firm determines, using sole discretion, may have a legitimate basis to request and obtain such information. The authorization and permissions granted in this Paragraph 11 shall not create any obligation or duty upon Listing Firm or Selling Firm to make any disclosure to any person or entity.

Page 5 of 12

Real Estate Contract (Commercial)



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Page 6 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

12. **POSSESSION:** Possession of the Property shall be delivered to Buyer: (Check one)

- A. Upon the Closing (Seller's delivery of executed and acknowledged Deed).
- B. Other, as follows: **The Seller will have 90 calendar days from the Seller's Close date to deliver possession to the Buyer. No Rent will be charged for this 90 day period.**
- _____
- _____
- _____

13. **SELLER PROPERTY DISCLOSURE:** (Check one)

- A. Buyer and Seller acknowledge that upon the authorization of Seller either Selling Firm or Listing Firm have delivered to Buyer, prior to the execution of this Real Estate Contract, a written disclosure prepared by Seller concerning the condition of the Property, but this fact neither limits nor restricts Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract. The written disclosure prepared by Seller is dated (month) _____ (day)_____, (year)_____, and is warranted by Seller to be the latest disclosure and the answers contained in the disclosure are warranted to be true, correct, and complete to Seller's knowledge.
- B. Buyer hereby requests Seller to provide a written disclosure about the condition of the Property that is true and correct to Seller's knowledge within three (3) business days after this Real Estate Contract has been signed by Buyer and Seller. If Seller does not provide the disclosure within the three (3) business days, Buyer may declare this Real Estate Contract terminated with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money. If Buyer finds the disclosure unacceptable within three (3) business days after receipt of disclosure, this Real Estate Contract may be declared terminated by Buyer, with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money. Receipt of this disclosure neither limits nor restricts in any way Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract.
- C. Although a disclosure form may have been completed (or can be completed) by Seller, Buyer has neither received nor requested and does not desire from Seller a written disclosure concerning the condition of the Property prior to the execution of this Real Estate Contract, but this fact neither limits nor restricts in any way Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract. BUYER IS STRONGLY URGED BY SELLING FIRM AND LISTING FIRM TO MAKE ALL INDEPENDENT INSPECTIONS DEEMED NECESSARY PRIOR TO SIGNING THIS REAL ESTATE CONTRACT.
- D. Buyer understands no disclosure form is available and will not be provided by Seller. BUYER IS STRONGLY URGED BY SELLING FIRM AND LISTING FIRM TO MAKE ALL INDEPENDENT INSPECTIONS DEEMED NECESSARY PRIOR TO SIGNING THIS REAL ESTATE CONTRACT.

Page 6 of 12

Real Estate Contract (Commercial)



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Page 7 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

14. ENVIRONMENTAL REPRESENTATION: Seller hereby represents to Buyer that to Seller's knowledge (unless otherwise disclosed herein):

- A. The Property is not the subject of any judicial or administrative notice or action relating to hazardous waste or environmental contamination;
- B. Seller has received no notice of any claim or violation of any law or regulation having to do with environmental protection;
- C. No hazardous or toxic substances have been stored, processed, or disposed of on the Property during the period that Seller has owned the Property; and
- D. No underground storage tanks are located on the Property.

15. TERMITE CONTROL REQUIREMENTS: (Check one)

- A. None
- B. Seller shall provide prior to Closing, at Seller's expense, a current termite control policy issued by a licensed operator, satisfactory to Buyer

16. BUYER'S DISCLAIMER OF RELIANCE:

A. BUYER CERTIFIES BUYER WILL PERSONALLY INSPECT OR HAVE A REPRESENTATIVE INSPECT THE PROPERTY AS FULLY AS DESIRED PRIOR TO CLOSING. BUYER CERTIFIES BUYER HAS NOT AND WILL NOT RELY ON ANY WARRANTIES, REPRESENTATIONS, OR STATEMENTS OF SELLER, LISTING FIRM, SELLING FIRM, OR ANY AGENT, INDEPENDENT CONTRACTOR, OR EMPLOYEE ASSOCIATED WITH THOSE ENTITIES, OR INFORMATION FROM MULTIPLE LISTING SERVICES OR OTHER WEBSITES REGARDING MINERAL RIGHTS, YEAR BUILT, SIZE (INCLUDING WITHOUT LIMITATION THE SQUARE FEET IN IMPROVEMENTS LOCATED ON THE PROPERTY), QUALITY, VALUE OR CONDITION OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ALL IMPROVEMENTS, APPLIANCES, PLUMBING, ELECTRICAL OR MECHANICAL SYSTEMS. HOWEVER, BUYER MAY RELY UPON ANY WRITTEN DISCLOSURES PROVIDED BY SELLER.

LISTING FIRM AND SELLING FIRM CANNOT GIVE LEGAL ADVICE TO BUYER OR SELLER. LISTING FIRM AND SELLING FIRM STRONGLY URGE STATUS OF TITLE TO THE PROPERTY, CONDITION OF PROPERTY, SQUARE FOOTAGE OF IMPROVEMENTS, QUESTIONS OF SURVEY AND ALL OTHER REQUIREMENTS OF BUYER SHOULD EACH BE INDEPENDENTLY VERIFIED AND INVESTIGATED BY BUYER OR A REPRESENTATIVE CHOSEN BY BUYER.

B. IN THE EVENT THAT THE INSPECTION, REPAIR AND SURVEY ADDENDUM IS USED, BUYER AGREES TO SIGN PAGE 4 OF THE INSPECTION, REPAIR AND SURVEY ADDENDUM PRIOR TO CLOSING IF BUYER ACCEPTS THE CONDITION OF THE PROPERTY AND INTENDS TO CLOSE.

17. OTHER:

A: The Buyer will pay all of the Seller's typical closing costs. The Seller will pay all real estate taxes due, 2017 pro-rated real estate taxes, real estate brokerage fee, any mortgages, liens and/or judgements that may exist.

B: The old wooden barn will NOT convey with the above described property. The Seller must remove the barn any time prior to possession being delivered to the Buyer.

Page 7 of 12

Real Estate Contract (Commercial)



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REALTORS®
Association

Page 8 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

18. CONTINGENCIES: Buyer's offer to purchase the Property is expressly contingent upon Buyer's satisfaction of the contingencies checked below within the deadline indicated for each contingency. Buyer shall notify Seller in writing when the contingencies are satisfied. If Buyer fails to provide such written notice before the indicated deadline that a contingency checked below has been satisfied, then this Real Estate Contract shall be terminated with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money and Buyer and Seller shall have no further obligation to each other unless otherwise provided in this Real Estate Contract.

Contingencies (check all that apply):

- A. Obtain satisfactory financing, in Buyer's sole discretion, within _____ days after acceptance.
- B. Obtain satisfactory results of a feasibility study, in Buyer's sole discretion, within 60 days after acceptance.
- C. Obtain satisfactory results of a Property inspection, in Buyer's sole discretion, within 60 days after acceptance.
- D. Obtain satisfactory results of an environmental report, in Buyer's sole discretion, within 60 days after acceptance.
- E. Obtain satisfactory rezoning, platting, re-platting, or zoning verification, in Buyer's sole discretion, within _____ days after acceptance.
- F. Obtain satisfactory results of soil bore testing, in Buyer's sole discretion within 60 days after acceptance.
- G. Obtain Bryant City Council approval to close on the purchase of this property within 60 days after acceptance.
- H. _____ within _____ days after acceptance.

Additional requirements related to any of above contingencies:

Seller agrees to have all utilities connected and turned on to Property.

Sellers hereby grant to Buyer, its agents and contractors, the right to enter upon the Property to make tests and/or inspections. If the Property is damaged by Buyer or Buyer's agents or contractors during Buyer's inspections or test of the Property, Buyer shall repair and restore the Property to substantially the same condition as existed prior to conducting the inspection and test. Buyer shall indemnify Seller and its agents and hold them harmless from any and all liability, damages, claims, expenses, including reasonable attorney's fees, judgments, proceedings and causes of action of any kind to the extent caused by Buyer's inspection and testing activities with such indemnity obligation expressly surviving Closing or termination of the Real Estate Contract for any reason.

Page 8 of 12

Real Estate Contract (Commercial)



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Association

Page 9 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

19. AGENCY: (Check all that apply)

- A. LISTING FIRM AND SELLING FIRM REPRESENT SELLER:** Buyer acknowledges that Listing Firm and Selling Firm and all licensees associated with those entities are the agents of Seller and that it is Seller who employed them, whom they represent, and to whom they are responsible. Buyer acknowledges that before eliciting or receiving confidential information from Buyer, Selling Firm, which may be the same as Listing Firm, verbally disclosed that Selling Firm represents Seller.
- B. LISTING FIRM REPRESENTS SELLER AND SELLING FIRM REPRESENTS BUYER:** Buyer and Seller acknowledge that Listing Firm is employed by Seller and Selling Firm is employed by Buyer. All licensees associated with Listing Firm are employed by, represent, and are responsible to Seller. All licensees associated with Selling Firm are employed by, represent, and are responsible to Buyer. Buyer acknowledges Selling Firm verbally disclosed that Listing Firm represents Seller. Seller acknowledges Listing Firm verbally disclosed that Selling Firm represents Buyer.
- C. LISTING FIRM AND SELLING FIRM ARE THE SAME AND REPRESENT BOTH BUYER AND SELLER:** Seller and Buyer hereby acknowledge and agree that Listing and Selling Firm are the same and all licensees associated with Listing and Selling Firm are representing both Buyer and Seller in the purchase and sale of the above referenced Property and that Listing/Selling Firm has been and is now the agent of both Seller and Buyer with respect to this transaction. Seller and Buyer have both consented to and hereby confirm their consent to agency representation of both parties. Further, Seller and Buyer agree:
- (i) Listing/Selling Firm shall not be required to and shall not disclose to either Buyer or Seller any personal, financial or other confidential information concerning the other party without the express written consent of that party; however, Buyer and Seller agree Listing/Selling Firm shall disclose to Buyer information known to Listing/Selling Firm related to defects in the Property and such information shall not be deemed "confidential information." Confidential information shall include but not be limited to any price Seller is willing to accept that is less than the offering price or any price Buyer is willing to pay that is higher than that offered in writing.
- (ii) by selecting this option 19C, Buyer and Seller acknowledge that when Listing/Selling Firm represents both parties, a possible conflict of interest exists, and Seller and Buyer further agree to forfeit their individual right to receive the undivided loyalty of Listing/Selling Firm.
- (iii) to waive any claim now or hereafter arising out of any conflicts of interest from Listing/Selling Firm representing both parties. Buyer and Seller acknowledge Listing/Selling Firm verbally disclosed that Listing/Selling Firm represents both parties in this transaction, and Buyer and Seller have given their written consent to this representation before entering into this Real Estate Contract.
- D. SELLING FIRM REPRESENTS BUYER (NO LISTING FIRM):** Seller acknowledges that Selling Firm and all licensees associated with Selling Firm are the agents of Buyer and that it is Buyer who employed them, whom they represent, and to whom they are responsible. Seller acknowledges that at first contact, Selling Firm verbally disclosed that Selling Firm represents Buyer. Any reference to "Listing Firm" in this Real Estate Contract will be considered to mean Selling Firm, both Buyer and Seller acknowledging that all real estate agents (unless Seller is a licensed Real Estate Agent) involved in this Real Estate Contract only represent Buyer.
- E. NON-REPRESENTATION:** See Non-Representation Disclosure Addendum

20. RISK OF LOSS: Risk of loss or damage to the Property by fire or other casualty occurring prior to the time Seller delivers an executed and acknowledged deed to Buyer is expressly assumed by Seller. Should the Property be damaged or destroyed prior to Closing, Buyer shall have the option to: (i) enter into a separate written agreement with Seller whereby Seller will agree to restore the Property to its condition at the time this Real Estate Contract was accepted, (ii) accept all insurance proceeds (in an amount not more than the Purchase Price with any proceeds in excess of the Purchase Price to remain the property of Seller) and the Property in its existing condition, or (iii) terminate this Real Estate Contract and recover the Earnest Money. Buyer and Seller agree any written agreement concerning option (i) or (ii) above shall be prepared only by licensed attorneys separately representing Buyer and Seller. Notwithstanding the choice selected in Paragraph 16, Buyer shall have the right prior to Closing to inspect the Property to ascertain any damage that may have occurred due to fire, flood, hail, windstorm or other acts of nature, vandalism or theft.

Page 9 of 12

Real Estate Contract (Commercial)



Copyright
2017
Arkansas
REALTORS®
Association

Page 10 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

- 21. GOVERNING LAW:** This Real Estate Contract shall be governed by the laws of the State of Arkansas.
- 22. SEVERABILITY:** The invalidity or unenforceability of any provisions of this Real Estate Contract shall not affect the validity or enforceability of any other provision of this Real Estate Contract, which shall remain in full force and effect.
- 23. MERGER CLAUSE:** This Real Estate Contract, when executed by both Buyer and Seller, shall contain the entire understanding and agreement between Buyer and Seller with respect to all matters referred to herein and shall supersede all prior or contemporaneous agreements, representations, discussions and understandings, oral or written, with respect to such matters. This Real Estate Contract shall not supersede any agency agreements entered into by Buyer or Seller and Listing Firm or Selling Firm.
- 24. ASSIGNMENT:** This Real Estate Contract may not be assigned by Buyer unless written consent of Seller is obtained, such consent not to be unreasonably withheld. It shall not be unreasonable for Seller to withhold consent if Seller is to provide financing for Buyer in any amount.
- 25. ACCEPTANCE:** The term "acceptance" as used herein shall mean the later of the two dates on which this Real Estate Contract is signed by Seller or Buyer, as indicated by their signatures below, which later date shall be the date of final execution and agreement by the parties hereto. If any date or deadline provided for herein falls on Saturday, Sunday, or a holiday, the applicable date shall be the next business day.
- 26. TIME:** Buyer and Seller agree time is of the essence with regard to all times and dates set forth in this Real Estate Contract. Unless otherwise specified, days as it appears in this Real Estate Contract shall mean calendar days. Further, all times and dates set forth in this Real Estate Contract refer to Arkansas Central time and date.
- 27. ATTORNEY'S FEES:** Should Buyer or Seller initiate any type of administrative proceeding, arbitration, mediation or litigation against the other (or against an agent for the initiating party or agent for the non-initiating party), it is agreed by Buyer and Seller (aforementioned agents being third-party beneficiaries of this Paragraph 26) that all prevailing parties shall be entitled to an award of all costs and attorney's fees incurred in defense of such initiated action against the non-prevailing party.
- 28. COUNTERPARTS:** This Real Estate Contract may be executed in multiple counterparts each of which shall be regarded as an original hereof but all of which together shall constitute one in the same.
- 29. FIRPTA COMPLIANCE, TAX REPORTING:** Buyer and Seller agree to disclose on or before Closing, to the person or company acting as Closing Agent for this transaction, their United States citizenship status, solely for the purpose of compliance with the Foreign Investment in Real Property Taxation Act (FIRPTA). In addition, Buyer and Seller shall execute all documents required by such Closing Agent to document compliance with the FIRPTA and all other applicable laws. Buyer and Seller agree that nothing in this Real Estate Contract is intended to limit the responsibility of the Closing Agent as defined pursuant to United States Treasury Regulation 1.6045-4) to (i) be the "reporting person" under state and federal tax laws (including without limitation 26 USC Section 6045(e)), and (ii) file all necessary forms regarding the Closing, including without limitation form 1099, 8288 or 8288A. By accepting the role as Closing Agent, this Real Estate Contract shall obligate the Closing Agent to fulfill their responsibilities as set forth above and as defined by the above statutes. Seller will execute an affidavit confirming compliance with FIRPTA, as prepared by the Closing Agent.

Page 10 of 12

Real Estate Contract (Commercial)



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Arkansas
REALTORS®
Association

Page 11 of 12

FORM SERIAL NUMBER: 039291-600149-4459879

30. NOTICE: All notices, requests and other communications under this Agreement shall be in writing and shall be delivered in person, or sent by overnight courier or certified mail, return receipt requested, addressed as follows:

If to Seller: **Brigham Barefoot, 2620 Northlake Road, Alexander, AR 72002**

With a copy to: **Layne Penfield, 3525 Hwy 5 North, Bryant, AR 72019**

If to Buyer: **Chris Madison, City of Bryant, 210 SW 3rd Street, Bryant, AR 72022**

With a copy to: **Lance Penfield, 3525 Hwy 5 North, Bryant, AR 72019**

Or at such other address, and to the attention of such person, of which the parties shall have given notice as herein provided. All such notices, requests and other communications shall be deemed to have been sufficiently given for all purposes hereof on the second day after the date of the mailing thereof or the first day after being sent by overnight courier.

31. TAX DEFERRED EXCHANGE: Each party agrees to cooperate with the other, if requested in writing, to effect a tax deferred exchange under the provisions of the Internal Revenue Code of 1986, as amended, provided such exchange is without cost or expense to cooperating party, and the requesting party shall indemnify and hold the other harmless from and against any cost or expense or other liability, tax or action which may be incurred in connection with such exchange.

32. LICENSEE DISCLOSURE: (Check all that apply):

A. Not Applicable.

B. One or more parties to this Real Estate Contract acting as a Buyer Seller hold a valid Arkansas Real Estate License.

C. One or more owners of any entity acting as Buyer Seller hold a valid Arkansas Real Estate License.

33. EXPIRATION: This Real Estate Contract expires if not accepted in writing by Seller on or before (month) May (day) 31, (year) 2017, at 5:00 (a.m.) (p.m.).

Page 11 of 12

Real Estate Contract (Commercial)



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Page 12 of 12

THIS IS A LEGALLY BINDING REAL ESTATE CONTRACT WHEN SIGNED BY THE PARTIES BELOW. READ IT CAREFULLY. YOU MAY EMPLOY AN ATTORNEY TO DRAFT THIS FORM FOR YOU. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY PART, CONSULT YOUR ATTORNEY BEFORE SIGNING. REAL ESTATE AGENTS CANNOT GIVE YOU LEGAL ADVICE. THE PARTIES SIGNED BELOW WAIVE THEIR RIGHT TO HAVE AN ATTORNEY DRAFT THIS FORM AND HAVE AUTHORIZED THE REAL ESTATE AGENT(S) TO FILL IN THE BLANKS ON THIS FORM.

THIS FORM IS PRODUCED AND COPYRIGHTED BY THE ARKANSAS REALTORS® ASSOCIATION. THE SERIAL NUMBER BELOW IS A UNIQUE NUMBER NOT USED ON ANY OTHER FORM. THE SERIAL NUMBER BELOW SHOULD BE AN ORIGINAL PRINTING, NOT MACHINE COPIED, OTHERWISE THE FORM MAY HAVE BEEN ALTERED. DO NOT SIGN THIS FORM IF IT WAS PREPARED AFTER DECEMBER 31, 2017.

FORM SERIAL NUMBER: 039291-600149-4459879

The above Real Estate Contract is executed by Buyer on
(month) _____ (day) _____, (year) _____, at _____ (a.m.) (p.m.).

Baxley Penfield Moudy Realtors

Selling Firm

Signature: _____ Signature: Jill Dalbs

6/5/2017 5:44 PM CDT

Printed Name: Lance Penfield Printed Name: City of Bryant

Principal or Executive Broker

Buyer

Signature: _____ Signature: _____

Printed Name: Lance Penfield Printed Name: _____

Selling Agent

Buyer

The above Real Estate Contract is executed by Seller on
(month) May (day) 10, (year) 2017, at 6:45 (a.m.) (p.m.).

Baxley Penfield Moudy Realtors

Listing Firm

Signature: _____ Signature: Brigham J. Barefoot

Printed Name: Tom Baxley Printed Name: Brigham J. Barefoot, Trustee

Principal or Executive Broker

Seller

Signature: [Signature] Signature: _____

Printed Name: Layne Penfield Printed Name: _____

Listing Agent

Seller

The above offer was rejected counter offered (Form Serial Number _____)
on (month) _____ (day) _____, (year) _____, at _____ (a.m.) (p.m.).

Seller's Initials

Seller's Initials

Page 12 of 12

EXHIBIT "A"

All that part of the Southeast Quarter of the Northeast Quarter of Section 8, Township 1 South, Range 14 West, Saline County, Arkansas, more fully described as follows: Commencing at the Southeast corner of said Southeast Quarter of Northeast Quarter and run thence South 89 degrees 45 minutes West along South line thereof, and along the North line of County Road for 330 feet to the Point of Beginning of land herein described; run thence North 00 degrees 00 minutes East for 530.8 feet; thence South 89 degrees 45 minutes West parallel with North line of Road for 410 feet; thence South 00 degrees 00 minutes East for 530.8 feet to the North line of Road; thence North 89 degrees 45 minutes East, along the North line of Road for 410 feet to the Point of Beginning.

Jill Dabbs

6/5/2017 5:44 PM CDT

FILED FOR RECORD

In DC Book 201 Page 38990

JUN 06 2011

at 12:12 o'clock P M
DENNIS MILLIGAN, CIRCUIT CLERK
BY Lisa DC

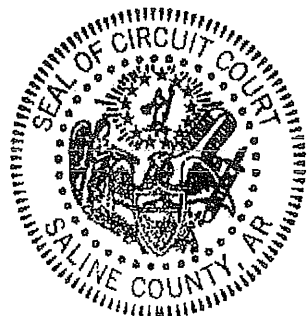
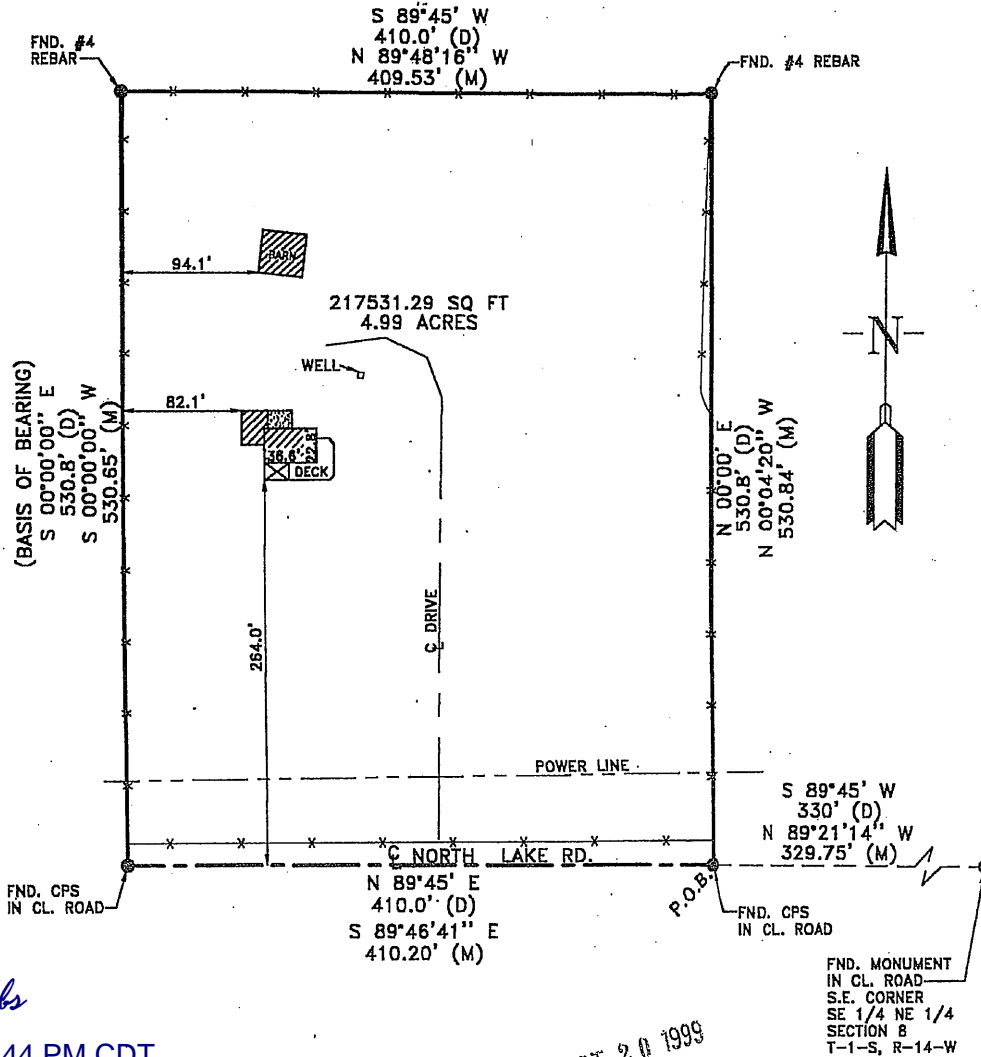


EXHIBIT "B"



HOPE ENGINEERS, Inc.
 406 W. South Street, Benton, Arkansas 72015
 315-0786 FAX (501) 315-0700

99-422
 Drawing No.

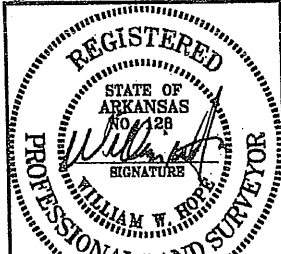


Jill Dabbs
 6/5/2017 5:44 PM CDT

OCT 20 1999
 106434

6200110810001280016

100 50 0 100



By affixing my seal and signature, I William W. Hope, PLS No. 128, hereby certify that this drawing correctly depicts a survey compiled under my supervision.
 NOTE: This survey was based on legal descriptions and title work furnished by others and does not represent a title search.
 No portion of the property described hereon lies within the 100 year flood plane, according to the Federal Insurance Rate Map, panel #050181-0175B, Dated: November 17, 1982.
 For Exclusive use and benefit of
WILLIAM AND CRISTY TREMOR
 Address **2620 NORTH LAKE ROAD**
ALEXANDER, AR Date **06-16-99**

- LEGEND**
- △ - Computed point
 - ⊙ - Found monument
 - ⊙ - Set #5 RB/Plas. Cap
 - ⊙ - Set #5 Rb/Alum. Cap
 - (D) - Deeded
 - (M) - Measured
 - (P) - Platted



Powered By :

Certificate of Authenticity

Session Information

Signing Session ID:	50e6c414-eb95-441f-9354-f0bbb56ec29b	Status:	Completed
Transaction Name:	City of Bryant-5 acres Northlake	Created On:	6/5/2017 6:13:34 PM EDT
Session Title:	Fire Station Northlake Contract	Last Modified:	6/5/2017 6:45:12 PM EDT
Documents:	1	Owner:	Lance Penfield
Signers:	1	Company:	Baxley Penfield Moudy Realtors
Signatures:	3		
Initials:	0		

Signer Information

Signature Events	Signature	Timestamp
Jill Dabbs mayordabbs@cityofbryant.com		Sent: 6/5/2017 6:16:31 PM EDT
Signer Security: Email Authentication	IP Address: 107.77.199.113	Viewed: 6/5/2017 6:43:16 PM EDT
Disclosure: Accepted: 6/5/2017 6:43:16 PM EDT ID: 42bdfbf8-d5fc-4ede-9da6-5bb7aa104563		Signed: 6/5/2017 6:45:11 PM EDT

Session Documents

Document	Size	Date	Signatures	Initials	Dates	Form Fields	Checkboxes
FireNorthlakeContract.pdf	1258KB	6/5/2017 6:13:34 PM EDT	3	0	3	0	0

Session Activity

Timestamp	IP Address	Activity
6/5/2017 6:45:12 PM EDT	107.77.199.113	Session completed and closed by Lance Penfield
6/5/2017 6:45:11 PM EDT	107.77.199.113	Signing Completed by Jill Dabbs (mayordabbs@cityofbryant.com)
6/5/2017 6:43:16 PM EDT	107.77.199.113	Signature created and disclosure approved by Jill Dabbs (mayordabbs@cityofbryant.com)
6/5/2017 6:16:31 PM EDT	50.77.7.6	Invitation sent to Jill Dabbs(mayordabbs@cityofbryant.com) by Lance Penfield
6/5/2017 6:16:31 PM EDT	50.77.7.6	eSignOnline Session Created by Lance Penfield

Disclosure

Consumer Disclosure

Please read the information below regarding the terms and conditions of receiving documents, contracts, and disclosures electronically through the eSignOnline electronic signature system. If this information is to your satisfaction and you agree to the terms and conditions, please confirm your acceptance and agreement by checking the box 'I Agree to the above Consumer Disclosure' and selecting the 'Create and Approve Signature button'.

Electronic distribution of documents and contracts

Baxley Penfield Moudy Realtors (We, us, or the Company) acknowledges your agreement to receive required documents, contracts, notices, disclosures, authorizations, and other documents electronically through the eSignOnline electronic signature system. We appreciate and thank you for doing your part to go paperless and save our environment. Through the eSignOnline electronic signature system, we are able to save time and process a transaction faster. We do not have to print and mail paper copies, wait for signatures that could take days or weeks, and there are no delays associated with waiting for you to mail it back to us. Unless you tell us otherwise in accordance with the procedures described herein this disclosure, we will provide documents through this electronic method during the course of our relationship with you. If you do not agree with this process and method, please let us know as described below.

Baxley Penfield Moudy Realtors outsources personal information to a third party processing and storage service provider which is located in the USA. The Buyer and Seller hereby acknowledge that personal information processed and stored by a US third party service provider is subject to the laws of that country and that information may be made available to the US government or its agencies under a lawful order made in that country.

Paper copies

During the signing process on eSignOnline, you will have the opportunity to download and print your copies of the documents before and after signing. At any time, you may contact us to obtain paper copies of documents that have been provided to you electronically. To request paper copies, you must send an email to lancepenfield@bpmrealtors.com and in the body of the email state your full name, address, telephone number, and the name of the document or transaction that you would like a paper copy for. If any fees apply, we will notify you.

Withdrawing your consent to sign electronically

Once you have decided and agreed to the following disclosure to sign documents electronically, you may at any time thereafter decide to withdraw your consent and receive required documents only in paper format. There are several ways to inform us that you no longer wish to receive documents and sign electronically:

- a) During the electronic signing process, you may elect to 'decline' and indicate your reasons for declining and withdrawing your consent.
- b) Send an email to lancepenfield@bpmrealtors.com and in the body of the email indicate your full name, address, telephone number and that you no longer wish to sign electronically and instead would like to receive paper copies

Please be aware that withdrawing your consent to sign electronically may result in delays and/or more time to complete a transaction. We will then have to print and mail paper copies to you, wait for you to receive and sign documents, then wait for you to mail it back and follow the same procedure with other parties to the transaction.

How to contact Baxley Penfield Moudy Realtors

At any time, you may contact us to change your email and contact information, request paper copies, or to indicate your change in consent to sign electronically hereafter.

Contact Name : Lance Penfield
Email Address : lancepenfield@bpmrealtors.com
Phone Number :

Hardware and Software Requirements

The following are minimum hardware and software requirements to use the eSignOnline electronic signature system.

Operating Systems: Windows® 8, Windows® 7, Windows Vista®, Mac OS® X 10.6 and higher.
Browsers: Google Chrome® 36 and higher, Internet Explorer® 9.0 and higher, Mozilla Firefox® 31.0 and higher, Safari® 5.1.7 and higher.
Screen Resolution: 800 x 600 minimum
Security Settings: Allow per session cookies
PDF Reader: Acrobat® or similar software to view and print PDF files

Your Acknowledgment and Consent to use electronic signatures

To confirm to us that you can access this information electronically, which will be similar to other electronic documents that we will provide to you, please verify that you were able to read this electronic consumer disclosure and that you also were able to print on paper or electronically save this page for your future reference and access. Further, you consent to receiving notices and disclosures in electronic format on the terms and conditions described herein this consumer disclosure, please let us know by checking the 'I agree with the above Consumer Disclosure' box below.

By checking the 'I agree with the above Consumer Disclosure' box, I confirm that I can access and read this electronic consumer disclosure to

consent to receipt of electronic documents, I can print on paper if I so choose, the disclosure and/or save to a place where I can print it for future reference and access, and until I notify Baxley Penfield Moudy Realtors otherwise, I consent to receive from Baxley Penfield Moudy Realtors electronic documents that are required to be provided or made available to me by Baxley Penfield Moudy Realtors during the course of my relationship with Baxley Penfield Moudy Realtors.

RESOLUTION NO. 2017-____

RESOLUTION AUTHORIZING THE MAYOR TO PURCHASE REAL PROPERTY AND ACCEPT A WARRANTY DEED FOR PROPERTY DESCRIBED IN THE ATTACHED CONTRACT, SUCH PROPERTY LOCATED IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS; AND FOR OTHER PURPOSES

WHEREAS, The City of Bryant, Arkansas, ratifies and authorizes the purchase of real property and the acceptance of a warranty deed in fee simple for the property identified in the attached Exhibit 1; and

WHEREAS, The City of Bryant, Arkansas deems it necessary to pay from bond proceeds as reflected in line 157-0400-5900; and

WHEREAS, the City of Bryant authorizes the expenditure of such funds and closing amounts as are identified in the settlement statement for closing on the real property described hereinabove; and

WHEREAS, the City of Bryant, Arkansas authorizes the Mayor to execute the attached contract for purchase of real estate for the above described property.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BRYANT, ARKANSAS THAT:

Section 1. Authorization.

The Mayor and City Clerk are hereby authorized by the City Council for the City of Bryant, Arkansas to purchase and accept a Warranty Deed for the property described in the attached Exhibit 1, and to execute any documents necessary for the purchase and transfer of said property, including but not limited to the contract attached hereto as Exhibit 1. The Mayor's signature on the attached Contract is hereby ratified and the expenditure of funds for the purchase of such property is approved, including costs necessary for title and closing as may reasonably be necessary and as normally incurred in real estate transactions.

Section 2. Severability.

In the event any title, section, paragraph, item, sentence, clause, phrase, or word of this resolution is declared or adjudged to be invalid or unconstitutional, such declaration or adjudication shall not affect the remaining portions of the resolution which shall remain in full force and affect as if the portion so declared or adjudged invalid or unconstitutional was not originally a part of the resolution.

Section 3. Repealer.

Any resolution, resolution section, policy, or directive in conflict with this Resolution is repealed or amended to reflect and achieve the purposes stated herein.

PASSED AND APPROVED this ____ day of _____, 2017

APPROVED:

Jill Dabbs, Mayor

Approved as to Form

ATTEST:

Sue Ashcraft, City Clerk

Richard Chris Maddison, Staff Attorney

Real Estate Contract (Commercial)



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Page 1 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

1. PARTIES: City of Bryant

(individually, or collectively, the "Buyer") offers to purchase, subject to the terms and conditions set forth herein, from David H Woodall

(individually or collectively, the "Seller"), the real property described in Paragraph 2 of this Real Estate Contract (the "Property").

2. ADDRESS AND LEGAL DESCRIPTION:

Off Midland Road West of 3865 Midland Road, Bryant, Arkansas 72022

Part of the SW 1/4 of the SE 1/4 and part of the SE 1/4 of the SE 1/4 Section 11, Township 1 South, Range 14 West, City of Bryant, Saline County, Arkansas containing approximately 35 acres, more or less AND Lot 5 Centark Ranchettes, Saline County, Arkansas as depicted on the attached Exhibit "A".

3. PURCHASE PRICE: Buyer shall pay the following to Seller for the Property (the "Purchase Price")

\$100,000.00 payable as follows:

Cash at Closing

Real Estate Contract (Commercial)



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Page 2 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

4. **CONVEYANCE:** Unless otherwise specified, conveyance of the Property shall be made to Buyer by general warranty deed special warranty deed, in fee simple absolute, except it shall be subject to

recorded instruments and easements if any, which do not materially affect the value of the Property. Unless expressly reserved herein, **SUCH CONVEYANCE SHALL INCLUDE ALL MINERAL RIGHTS OWNED BY SELLER CONCERNING AND LOCATED ON THE PROPERTY, IF ANY, UNLESS OTHERWISE SPECIFIED IN PARAGRAPH 17. IT IS THE RESPONSIBILITY OF THE BUYER TO INDEPENDENTLY VERIFY AND INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF MINERAL RIGHTS AND ANY LEGAL RAMIFICATIONS THEREOF.** Seller warrants and represents only signatures set forth below are required to transfer legal title to the Property. Seller also warrants and represents that Seller has peaceable possession of the Property, including all improvements and fixtures thereon, and the legal authority and capacity to convey the Property by a good and sufficient general warranty deed, free from any liens, leaseholds or other interests.

5. **TITLE INSURANCE:** Buyer and Seller understand that Listing Firm and Selling Firm are not licensed title insurance agents as defined by Arkansas law and do not and cannot receive direct or indirect compensation from any Closing Agent regarding the closing process or the possible purchase of title insurance by one or more of Buyer and Seller. Regardless of the policy chosen, Buyer and Seller shall have the right to choose their Closing Agent(s). Within 60 days of acceptance, Seller shall furnish to Buyer a commitment for an American Land Title Association (ALTA) owner's title insurance policy in the amount of the Purchase Price issued by a company of Seller's choice authorized to insure title to real property in the State of Arkansas and which company is reasonably acceptable to Buyer.

Where the title commitment shows special exceptions to title other than those standard exceptions contained in the ALTA commitment form, and where such special exceptions relate to restrictions, conditions, defects or other matters that would interfere with Buyer's use or adversely affect the value of the Property, then within 10 days of delivery of the title commitment, Buyer shall deliver written notice thereof to Seller. Such notice shall state specifically those exceptions to which Buyer objects. All objections not specifically enumerated within such a timely delivered notice shall be deemed to be waived by Buyer.

Within 10 days of Buyer's delivery of notice of objections to Seller, Seller may cure such objections or have the exceptions waived or removed by the title company issuing the commitment. If, within such 10 day period, Seller fails to cure and/or waive such objections and exceptions, or within that period, Seller delivers written notice to Buyer that it will not so cure, then within 10 days from delivery of such notice from Seller or the end of the period within which Seller may cure (whichever is applicable), Buyer shall have the option to:

- A. Terminate this Real Estate Contract by delivering written notice thereof to Seller, in which event all sums paid or deposited by Buyer shall be returned to Buyer; or
- B. Agree to purchase the Property as scheduled subject to such objections and exceptions with no reduction in the Purchase Price; or
- C. Agree to extend the Closing date for 30 days to give Seller additional time to cure such objections. If Buyer fails to deliver notice of termination or grant an extension of the Closing date within that period, the objections shall be deemed to be waived and the transaction shall close as scheduled.

Seller shall furnish the committed owner's title insurance policy as soon as practicable after Closing, and shall pay all expenses related to the owner's title insurance policy.

Page 2 of 12

Real Estate Contract (Commercial)



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Page 3 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

6. NON-REFUNDABLE DEPOSIT: The Non-Refundable Deposit (hereinafter referred to as "Deposit") is funds tendered by Buyer to Seller to compensate Seller for liquidated damages that may be incurred by Seller resulting from Buyer failing to close on this transaction. The liquidated damages shall include, but not be limited to, Seller's time, efforts, expenses and potential loss of marketing due to Seller's removal of property from the market.

The Deposit is not refundable to Buyer unless failure to close is exclusively the fault of Seller or if Seller cannot deliver marketable title to the Property. Paragraphs that constitute exclusive fault of the Seller include, but are not limited to, Paragraphs 5, 8, 11, 13B, 15B, 17, 18, or 20, as a termination pursuant to each of the listed paragraphs would cause Seller to forfeit the Deposit back to Buyer. The Deposit will be credited to Buyer at Closing. Buyer shall hold Listing Firm and Selling Firm harmless of any dispute regarding the Deposit. Buyer expressly acknowledges the Deposit is not to be held by either Listing Firm or Selling Firm. The Deposit may be commingled with other monies of Seller, such sum not being held in an escrow, trust or similar account.

A. The Deposit is not applicable.

B. Buyer will pay to Seller the Deposit in the amount of \$ _____

i. Within _____ days following the date this Real Estate Contract has been signed by Buyer and Seller

ii. Within three (3) business days of execution of Paragraph 4(a) of the Inspection Repair & Survey Addendum;
or

iii. Other: _____

7. EARNEST MONEY: Earnest money is in the amount of \$ _____ ("Earnest Money"), which shall apply toward Buyer's Purchase Price or Closing Costs. If at least one or more of the conditions of Paragraphs 5, 13B, and 20 (if any) have not been fulfilled, performed or removed, Earnest Money shall be promptly refunded to Buyer. If Buyer fails to fulfill his obligations under this Real Estate Contract, or if after all conditions have been met Buyer fails to close this transaction, Earnest Money may, at the sole and exclusive option of Seller, be retained by Seller as liquidated damages. Alternatively, Seller may return Earnest Money and assert all legal or equitable rights that may exist as a result of Buyer breaching this Real Estate Contract. Buyer warrants, represents and acknowledges that the check tendered will be honored upon presentation to Buyer's bank, and that Buyer shall be in default of this Real Estate Contract if the check is not honored upon first presentation to Buyer's bank. Buyer understands that failure to tender Earnest Money as required by this Paragraph 7 shall constitute a breach of this Real Estate Contract. Buyer and Seller agree that in the event of any dispute concerning entitlement to Earnest Money, Listing Firm may interplead Earnest Money into a court of competent jurisdiction, and upon such interpleading of Earnest Money, both Listing Firm and Selling Firm shall be released from liability to Buyer and Seller. Listing Firm shall be reimbursed for all costs and attorney's fees from the funds entered for interpleading.

A. Earnest Money is tendered by Buyer in the form of cash check. If Earnest Money is tendered by check, it will be made payable to Listing Firm, Closing Agent Other _____.
Earnest Money will be deposited by Listing Firm no later than three (3) business days following the date this Real Estate Contract has been signed by Buyer and Seller.

B. Earnest Money will be tendered by Buyer in the form of cash check. If Earnest Money is tendered by check, it will be made payable to Listing Firm, Closing Agent Other _____.
Earnest Money will be deposited within three (3) business days following the date this Real Estate Contract has been signed by Buyer and Seller. (If Earnest Money is not to be tendered within three (3) business days after this Real Estate Contract has been signed by Buyer and Seller, see Paragraph 17.)

C. No Earnest Money will be tendered. References to Earnest Money in this Real Estate Contract shall not be applicable and are deemed deleted.

The principal broker shall also be responsible and accountable for any funds delivered to an escrow agent selected by the principal broker, but shall not be responsible for funds delivered to an escrow agent selected by the parties.

Page 3 of 12

Real Estate Contract (Commercial)



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Page 4 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

8. **SURVEY:** Buyer has been given the opportunity to obtain a new certified survey. Should Buyer decline to obtain a survey as offered in Paragraph 8A of this Real Estate Contract, Buyer agrees to hold Seller, Listing Firm and Selling Firm involved in this Real Estate Contract harmless of any problems relative to any survey discrepancies that may exist or be discovered (or occur) after Closing.

A. A new survey satisfactory to Buyer, certified to Buyer within thirty (30) days prior to Closing by a registered land surveyor

showing property lines only ALTA Certified Survey

showing all improvements, easements and any encroachments will be provided and paid for by:

Buyer Seller Equally split between Buyer and Seller.

B. No survey shall be provided.

C. Other _____

Specific Survey Requirements: _____

Should Buyer agree to accept the most recent survey provided by Seller, this survey is for information purposes only and Buyer will not be entitled to the legal benefits of a survey certified in Buyer's name.

9. **PRORATIONS:** Taxes and special assessments due on or before Closing shall be paid by Seller. Any deposits on rental Property are to be transferred to Buyer at Closing. Insurance, general taxes and special assessments, rental payments and interest on any assumed loans shall be prorated as of Closing, unless otherwise specified herein.

10. **FIXTURES AND ATTACHED EQUIPMENT:** Unless specifically excluded herein, all fixtures and attached equipment, if any, are included in the Purchase Price. If any personal property is included in the Purchase Price it will be described in a separate exhibit attached hereto and incorporated by reference herein (hereinafter referred to as the "Personal Property"). The Personal Property does not include any software or related materials that Seller does not have the legal right to transfer or license to Buyer, and does not include any items leased to Seller under any operating contract. Seller agrees to execute a Bill of Sale at Closing transferring ownership of the Personal Property to Buyer.

Page 4 of 12

Real Estate Contract (Commercial)



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Association

Page 5 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

11. CLOSING: Closing is the date and time at which Seller delivers the executed and acknowledged deed. Buyer and Seller agree the Closing date will be (month) May (day) 31, (year) 2017. The Closing date may be changed by written agreement of Buyer and Seller. If the sale is not consummated by Closing date (or any written extension thereof) the parties shall have the remedies available to them in equity or at law, including the remedies available to them in Paragraph 7.

Buyer and Seller shall have the right to choose their Closing Agent(s) and are not relying on Listing Firm or Selling Firm to choose a Closing Agent. Should Buyer or Seller choose the services of a Closing Agent(s) other than Selling Firm or Listing Firm, then Buyer and Seller each jointly and severally agree to indemnify and hold Listing Firm and Selling Firm harmless for all intentional misconduct and negligent acts (including acts of omission) of the Closing Agent(s).

This Real Estate Contract shall serve as written closing instructions to the Closing Agent on behalf of the Buyer and Seller. The Closing Agent(s) is/are authorized to provide Seller's settlement statement to Listing Firm (in addition to Seller) and Buyer's settlement statement to Selling Firm (in addition to Buyer) prior to settlement so that Buyer, Seller, Listing Firm and Selling Firm shall have a reasonable opportunity to review prior to Closing.

Buyer and Seller shall each have the right to request title insurer(s), if any, issue closing protection, to indemnify against loss of closing funds because of acts of a Closing Agent, title insurer's named employee, or title insurance agent. Any cost for closing protection will be paid by the requesting party(ies). Listing Firm and Selling Firm strongly advise Buyer and Seller to inquire of the Closing Agent(s) about the availability and benefits of closing protection.

Unless otherwise agreed by Buyer and Seller, transaction costs will be paid by the party indicated below.

<u>Seller</u>	<u>Buyer</u>
Title Examination or search fees	Recording fees
Premium for owner's title insurance policy	Premium for mortgagee's title insurance policy
Preparation of conveyance documents	Preparation of loan documents
One-half of escrow fees	One-half of escrow fees
One-half of documentary stamps	One-half of documentary stamps
Other charges as customarily paid by Seller	Other charges customarily paid by Buyer
IRS Notification form	

This Real Estate Contract shall, unless otherwise specified in Paragraph 17 of this Real Estate Contract, constitute express written permission and authorization to Listing Firm and Selling Firm to disclose the terms of this Real Estate Contract (and all Addenda), including without limitation concessions provided by Buyer or Seller or other non-public personal information of Buyer and Seller regarding the purchase and sale of the Property, to any of the following: (i) an Arkansas licensed appraiser; (ii) multiple listing services for use by the members thereof; and (iii) any other person or entity which Listing Firm or Selling Firm determines, using sole discretion, may have a legitimate basis to request and obtain such information. The authorization and permissions granted in this Paragraph 11 shall not create any obligation or duty upon Listing Firm or Selling Firm to make any disclosure to any person or entity.

Page 5 of 12

Real Estate Contract (Commercial)



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Page 6 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

12. **POSSESSION:** Possession of the Property shall be delivered to Buyer: (Check one)

A. Upon the Closing (Seller's delivery of executed and acknowledged Deed).

B. Other, as follows: _____

13. **SELLER PROPERTY DISCLOSURE:** (Check one)

A. Buyer and Seller acknowledge that upon the authorization of Seller either Selling Firm or Listing Firm have delivered to Buyer, prior to the execution of this Real Estate Contract, a written disclosure prepared by Seller concerning the condition of the Property, but this fact neither limits nor restricts Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract. The written disclosure prepared by Seller is dated (month) _____ (day) _____, (year) _____, and is warranted by Seller to be the latest disclosure and the answers contained in the disclosure are warranted to be true, correct, and complete to Seller's knowledge.

B. Buyer hereby requests Seller to provide a written disclosure about the condition of the Property that is true and correct to Seller's knowledge within three (3) business days after this Real Estate Contract has been signed by Buyer and Seller. If Seller does not provide the disclosure within the three (3) business days, Buyer may declare this Real Estate Contract terminated with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money. If Buyer finds the disclosure unacceptable within three (3) business days after receipt of disclosure, this Real Estate Contract may be declared terminated by Buyer, with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money. Receipt of this disclosure neither limits nor restricts in any way Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract.

C. Although a disclosure form may have been completed (or can be completed) by Seller, Buyer has neither received nor requested and does not desire from Seller a written disclosure concerning the condition of the Property prior to the execution of this Real Estate Contract, but this fact neither limits nor restricts in any way Buyer's Disclaimer of Reliance set forth in Paragraph 16 of this Real Estate Contract. BUYER IS STRONGLY URGED BY SELLING FIRM AND LISTING FIRM TO MAKE ALL INDEPENDENT INSPECTIONS DEEMED NECESSARY PRIOR TO SIGNING THIS REAL ESTATE CONTRACT.

D. Buyer understands no disclosure form is available and will not be provided by Seller. BUYER IS STRONGLY URGED BY SELLING FIRM AND LISTING FIRM TO MAKE ALL INDEPENDENT INSPECTIONS DEEMED NECESSARY PRIOR TO SIGNING THIS REAL ESTATE CONTRACT.

Page 6 of 12

Real Estate Contract (Commercial)



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REALTORS®
Association

Page 7 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

14. **ENVIRONMENTAL REPRESENTATION:** Seller hereby represents to Buyer that to Seller's knowledge (unless otherwise disclosed herein):

- A. The Property is not the subject of any judicial or administrative notice or action relating to hazardous waste or environmental contamination;
- B. Seller has received no notice of any claim or violation of any law or regulation having to do with environmental protection;
- C. No hazardous or toxic substances have been stored, processed, or disposed of on the Property during the period that Seller has owned the Property; and
- D. No underground storage tanks are located on the Property.

15. **TERMITE CONTROL REQUIREMENTS:** (Check one)

- A. None
- B. Seller shall provide prior to Closing, at Seller's expense, a current termite control policy issued by a licensed operator, satisfactory to Buyer

16. **BUYER'S DISCLAIMER OF RELIANCE:**

A. **BUYER CERTIFIES BUYER WILL PERSONALLY INSPECT OR HAVE A REPRESENTATIVE INSPECT THE PROPERTY AS FULLY AS DESIRED PRIOR TO CLOSING. BUYER CERTIFIES BUYER HAS NOT AND WILL NOT RELY ON ANY WARRANTIES, REPRESENTATIONS, OR STATEMENTS OF SELLER, LISTING FIRM, SELLING FIRM, OR ANY AGENT, INDEPENDENT CONTRACTOR, OR EMPLOYEE ASSOCIATED WITH THOSE ENTITIES, OR INFORMATION FROM MULTIPLE LISTING SERVICES OR OTHER WEBSITES REGARDING MINERAL RIGHTS, YEAR BUILT, SIZE (INCLUDING WITHOUT LIMITATION THE SQUARE FEET IN IMPROVEMENTS LOCATED ON THE PROPERTY), QUALITY, VALUE OR CONDITION OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ALL IMPROVEMENTS, APPLIANCES, PLUMBING, ELECTRICAL OR MECHANICAL SYSTEMS. HOWEVER, BUYER MAY RELY UPON ANY WRITTEN DISCLOSURES PROVIDED BY SELLER.**

LISTING FIRM AND SELLING FIRM CANNOT GIVE LEGAL ADVICE TO BUYER OR SELLER. LISTING FIRM AND SELLING FIRM STRONGLY URGE STATUS OF TITLE TO THE PROPERTY, CONDITION OF PROPERTY, SQUARE FOOTAGE OF IMPROVEMENTS, QUESTIONS OF SURVEY AND ALL OTHER REQUIREMENTS OF BUYER SHOULD EACH BE INDEPENDENTLY VERIFIED AND INVESTIGATED BY BUYER OR A REPRESENTATIVE CHOSEN BY BUYER.

B. **IN THE EVENT THAT THE INSPECTION, REPAIR AND SURVEY ADDENDUM IS USED, BUYER AGREES TO SIGN PAGE 4 OF THE INSPECTION, REPAIR AND SURVEY ADDENDUM PRIOR TO CLOSING IF BUYER ACCEPTS THE CONDITION OF THE PROPERTY AND INTENDS TO CLOSE.**

17. **OTHER:**

The City of Bryant will provide a contribution certificate for any amount of appraised value that exceeds the actual Purchase Price.

Real Estate Contract (Commercial)



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Association

Page 8 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

18. CONTINGENCIES: Buyer's offer to purchase the Property is expressly contingent upon Buyer's satisfaction of the contingencies checked below within the deadline indicated for each contingency. Buyer shall notify Seller in writing when the contingencies are satisfied. If Buyer fails to provide such written notice before the indicated deadline that a contingency checked below has been satisfied, then this Real Estate Contract shall be terminated with Buyer and Seller both agreeing to sign the Termination of Contract, with Buyer to receive a refund of the Earnest Money and Buyer and Seller shall have no further obligation to each other unless otherwise provided in this Real Estate Contract.

Contingencies (check all that apply):

- A. Obtain satisfactory financing, in Buyer's sole discretion, within _____ days after acceptance.
- B. Obtain satisfactory results of a feasibility study, in Buyer's sole discretion, within 60 days after acceptance.
- C. Obtain satisfactory results of a Property inspection, in Buyer's sole discretion, within 60 days after acceptance.
- D. Obtain satisfactory results of an environmental report, in Buyer's sole discretion, within 60 days after acceptance.
- E. Obtain satisfactory rezoning, platting, re-platting, or zoning verification, in Buyer's sole discretion, within _____ days after acceptance.
- F. Obtain satisfactory results of soil bore testing, in Buyer's sole discretion within 60 days after acceptance.
- G. Obtain Bryant City Council approval to close on the purchase of this property within 60 days after acceptance.
- H. _____ within _____ days after acceptance.

Additional requirements related to any of above contingencies:

Seller agrees to have all utilities connected and turned on to Property.

Sellers hereby grant to Buyer, its agents and contractors, the right to enter upon the Property to make tests and/or inspections. If the Property is damaged by Buyer or Buyer's agents or contractors during Buyer's inspections or test of the Property, Buyer shall repair and restore the Property to substantially the same condition as existed prior to conducting the inspection and test. Buyer shall indemnify Seller and its agents and hold them harmless from any and all liability, damages, claims, expenses, including reasonable attorney's fees, judgments, proceedings and causes of action of any kind to the extent caused by Buyer's inspection and testing activities with such indemnity obligation expressly surviving Closing or termination of the Real Estate Contract for any reason.

Page 8 of 12

Real Estate Contract (Commercial)



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2017
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REALTORS®
Association

Page 9 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

19. AGENCY: (Check all that apply)

- A. LISTING FIRM AND SELLING FIRM REPRESENT SELLER:** Buyer acknowledges that Listing Firm and Selling Firm and all licensees associated with those entities are the agents of Seller and that it is Seller who employed them, whom they represent, and to whom they are responsible. Buyer acknowledges that before eliciting or receiving confidential information from Buyer, Selling Firm, which may be the same as Listing Firm, verbally disclosed that Selling Firm represents Seller.
- B. LISTING FIRM REPRESENTS SELLER AND SELLING FIRM REPRESENTS BUYER:** Buyer and Seller acknowledge that Listing Firm is employed by Seller and Selling Firm is employed by Buyer. All licensees associated with Listing Firm are employed by, represent, and are responsible to Seller. All licensees associated with Selling Firm are employed by, represent, and are responsible to Buyer. Buyer acknowledges Selling Firm verbally disclosed that Listing Firm represents Seller. Seller acknowledges Listing Firm verbally disclosed that Selling Firm represents Buyer.
- C. LISTING FIRM AND SELLING FIRM ARE THE SAME AND REPRESENT BOTH BUYER AND SELLER:** Seller and Buyer hereby acknowledge and agree that Listing and Selling Firm are the same and all licensees associated with Listing and Selling Firm are representing both Buyer and Seller in the purchase and sale of the above referenced Property and that Listing/Selling Firm has been and is now the agent of both Seller and Buyer with respect to this transaction. Seller and Buyer have both consented to and hereby confirm their consent to agency representation of both parties. Further, Seller and Buyer agree:
- (i) Listing/Selling Firm shall not be required to and shall not disclose to either Buyer or Seller any personal, financial or other confidential information concerning the other party without the express written consent of that party; however, Buyer and Seller agree Listing/Selling Firm shall disclose to Buyer information known to Listing/Selling Firm related to defects in the Property and such information shall not be deemed "confidential information." Confidential information shall include but not be limited to any price Seller is willing to accept that is less than the offering price or any price Buyer is willing to pay that is higher than that offered in writing.
 - (ii) by selecting this option 19C, Buyer and Seller acknowledge that when Listing/Selling Firm represents both parties, a possible conflict of interest exists, and Seller and Buyer further agree to forfeit their individual right to receive the undivided loyalty of Listing/Selling Firm.
 - (iii) to waive any claim now or hereafter arising out of any conflicts of interest from Listing/Selling Firm representing both parties. Buyer and Seller acknowledge Listing/Selling Firm verbally disclosed that Listing/Selling Firm represents both parties in this transaction, and Buyer and Seller have given their written consent to this representation before entering into this Real Estate Contract.
- D. SELLING FIRM REPRESENTS BUYER (NO LISTING FIRM):** Seller acknowledges that Selling Firm and all licensees associated with Selling Firm are the agents of Buyer and that it is Buyer who employed them, whom they represent, and to whom they are responsible. Seller acknowledges that at first contact, Selling Firm verbally disclosed that Selling Firm represents Buyer. Any reference to "Listing Firm" in this Real Estate Contract will be considered to mean Selling Firm, both Buyer and Seller acknowledging that all real estate agents (unless Seller is a licensed Real Estate Agent) involved in this Real Estate Contract only represent Buyer.

E. NON-REPRESENTATION: See Non-Representation Disclosure Addendum

20. RISK OF LOSS: Risk of loss or damage to the Property by fire or other casualty occurring prior to the time Seller delivers an executed and acknowledged deed to Buyer is expressly assumed by Seller. Should the Property be damaged or destroyed prior to Closing, Buyer shall have the option to: (i) enter into a separate written agreement with Seller whereby Seller will agree to restore the Property to its condition at the time this Real Estate Contract was accepted, (ii) accept all insurance proceeds (in an amount not more than the Purchase Price with any proceeds in excess of the Purchase Price to remain the property of Seller) and the Property in its existing condition, or (iii) terminate this Real Estate Contract and recover the Earnest Money. Buyer and Seller agree any written agreement concerning option (i) or (ii) above shall be prepared only by licensed attorneys separately representing Buyer and Seller. Notwithstanding the choice selected in Paragraph 16, Buyer shall have the right prior to Closing to inspect the Property to ascertain any damage that may have occurred due to fire, flood, hail, windstorm or other acts of nature, vandalism or theft.

Page 9 of 12

Real Estate Contract (Commercial)



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Association

Page 10 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

- 21. GOVERNING LAW:** This Real Estate Contract shall be governed by the laws of the State of Arkansas.
- 22. SEVERABILITY:** The invalidity or unenforceability of any provisions of this Real Estate Contract shall not affect the validity or enforceability of any other provision of this Real Estate Contract, which shall remain in full force and effect.
- 23. MERGER CLAUSE:** This Real Estate Contract, when executed by both Buyer and Seller, shall contain the entire understanding and agreement between Buyer and Seller with respect to all matters referred to herein and shall supersede all prior or contemporaneous agreements, representations, discussions and understandings, oral or written, with respect to such matters. This Real Estate Contract shall not supersede any agency agreements entered into by Buyer or Seller and Listing Firm or Selling Firm.
- 24. ASSIGNMENT:** This Real Estate Contract may not be assigned by Buyer unless written consent of Seller is obtained, such consent not to be unreasonably withheld. It shall not be unreasonable for Seller to withhold consent if Seller is to provide financing for Buyer in any amount.
- 25. ACCEPTANCE:** The term "acceptance" as used herein shall mean the later of the two dates on which this Real Estate Contract is signed by Seller or Buyer, as indicated by their signatures below, which later date shall be the date of final execution and agreement by the parties hereto. If any date or deadline provided for herein falls on Saturday, Sunday, or a holiday, the applicable date shall be the next business day.
- 26. TIME:** Buyer and Seller agree time is of the essence with regard to all times and dates set forth in this Real Estate Contract. Unless otherwise specified, days as it appears in this Real Estate Contract shall mean calendar days. Further, all times and dates set forth in this Real Estate Contract refer to Arkansas Central time and date.
- 27. ATTORNEY'S FEES:** Should Buyer or Seller initiate any type of administrative proceeding, arbitration, mediation or litigation against the other (or against an agent for the initiating party or agent for the non-initiating party), it is agreed by Buyer and Seller (aforementioned agents being third-party beneficiaries of this Paragraph 26) that all prevailing parties shall be entitled to an award of all costs and attorney's fees incurred in defense of such initiated action against the non-prevailing party.
- 28. COUNTERPARTS:** This Real Estate Contract may be executed in multiple counterparts each of which shall be regarded as an original hereof but all of which together shall constitute one in the same.
- 29. FIRPTA COMPLIANCE, TAX REPORTING:** Buyer and Seller agree to disclose on or before Closing, to the person or company acting as Closing Agent for this transaction, their United States citizenship status, solely for the purpose of compliance with the Foreign Investment in Real Property Taxation Act (FIRPTA). In addition, Buyer and Seller shall execute all documents required by such Closing Agent to document compliance with the FIRPTA and all other applicable laws. Buyer and Seller agree that nothing in this Real Estate Contract is intended to limit the responsibility of the Closing Agent as defined pursuant to United States Treasury Regulation 1.6045-4) to (i) be the "reporting person" under state and federal tax laws (including without limitation 26 USC Section 6045(e)), and (ii) file all necessary forms regarding the Closing, including without limitation form 1099, 8288 or 8288A. By accepting the role as Closing Agent, this Real Estate Contract shall obligate the Closing Agent to fulfill their responsibilities as set forth above and as defined by the above statutes. Seller will execute an affidavit confirming compliance with FIRPTA, as prepared by the Closing Agent.

Page 10 of 12

Real Estate Contract (Commercial)



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Association

Page 11 of 12

FORM SERIAL NUMBER: 075716-400149-0198145

30. NOTICE: All notices, requests and other communications under this Agreement shall be in writing and shall be delivered in person, or sent by overnight courier or certified mail, return receipt requested, addressed as follows:

If to Seller: DH Woodall, 14300 Chenal Parkway, #7003, Little Rock, AR 72211

With a copy to: Olin Asbury, PO BOX 241087, Little Rock, AR 72223

If to Buyer: Chris Madison, City of Bryant, 210 SW 3rd Street, Bryant, AR 72022

With a copy to: Lance Penfield, 3525 Hwy 5 North, Bryant, AR 72022

Or at such other address, and to the attention of such person, of which the parties shall have given notice as herein provided. All such notices, requests and other communications shall be deemed to have been sufficiently given for all purposes hereof on the second day after the date of the mailing thereof or the first day after being sent by overnight courier.

31. TAX DEFERRED EXCHANGE: Each party agrees to cooperate with the other, if requested in writing, to effect a tax deferred exchange under the provisions of the Internal Revenue Code of 1986, as amended, provided such exchange is without cost or expense to cooperating party, and the requesting party shall indemnify and hold the other harmless from and against any cost or expense or other liability, tax or action which may be incurred in connection with such exchange.

32. LICENSEE DISCLOSURE: (Check all that apply):

A. Not Applicable.

B. One or more parties to this Real Estate Contract acting as a Buyer Seller hold a valid Arkansas Real Estate License.

C. One or more owners of any entity acting as Buyer Seller hold a valid Arkansas Real Estate License.

33. EXPIRATION: This Real Estate Contract expires if not accepted in writing by Seller on or before (month) March (day) 31, (year) 2017, at 5:00 (a.m.) (p.m.).

Page 11 of 12

Real Estate Contract (Commercial)



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Association

Page 12 of 12

THIS IS A LEGALLY BINDING REAL ESTATE CONTRACT WHEN SIGNED BY THE PARTIES BELOW. READ IT CAREFULLY. YOU MAY EMPLOY AN ATTORNEY TO DRAFT THIS FORM FOR YOU. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY PART, CONSULT YOUR ATTORNEY BEFORE SIGNING. REAL ESTATE AGENTS CANNOT GIVE YOU LEGAL ADVICE. THE PARTIES SIGNED BELOW WAIVE THEIR RIGHT TO HAVE AN ATTORNEY DRAFT THIS FORM AND HAVE AUTHORIZED THE REAL ESTATE AGENT(S) TO FILL IN THE BLANKS ON THIS FORM.

THIS FORM IS PRODUCED AND COPYRIGHTED BY THE ARKANSAS REALTORS® ASSOCIATION. THE SERIAL NUMBER BELOW IS A UNIQUE NUMBER NOT USED ON ANY OTHER FORM. THE SERIAL NUMBER BELOW SHOULD BE AN ORIGINAL PRINTING, NOT MACHINE COPIED, OTHERWISE THE FORM MAY HAVE BEEN ALTERED. DO NOT SIGN THIS FORM IF IT WAS PREPARED AFTER DECEMBER 31, 2017.

FORM SERIAL NUMBER: 075716-400149-0198145

The above Real Estate Contract is executed by Buyer on
(month) _____ (day) _____, (year) _____, at _____ (a.m.) (p.m.).

Baxley Penfield Moudy Realtors

Selling Firm

Signature:

Signature: Jill Dalbs

Printed Name: Lance Penfield

Printed Name: 6/6/2017 9:21 AM CDT
City of Bryant

Principal or Executive Broker

Signature:

Signature: _____
Buyer

Printed Name: Lance Penfield

Printed Name: _____
Buyer

Selling Agent

Buyer

The above Real Estate Contract is executed by Seller on
(month) _____ (day) _____, (year) _____, at _____ (a.m.) (p.m.).

Asbury Real Estate Services

Listing Firm

Signature:

Signature: X D.H. Woodall

Printed Name: Olan Asbury

Printed Name: DH Woodall

Principal or Executive Broker

Signature:

Signature: _____
Seller

Printed Name: Olan Asbury

Printed Name: _____
Seller

Listing Agent

Seller

The above offer was rejected counter offered (Form Serial Number _____)
on (month) _____ (day) _____, (year) _____, at _____ (a.m.) (p.m.).

Seller's Initials _____

Seller's Initials _____

Page 12 of 12

EXHIBIT "A"

Jill Dabbs

6/6/2017 9:22 AM CDT





Powered By :

Certificate of Authenticity

Session Information

Signing Session ID:	d20504aa-2c14-4bcf9169-6502d5a53c80	Status:	Completed
Transaction Name:	City of Bryant-34+ acres Midland	Created On:	6/5/2017 6:04:27 PM EDT
Session Title:	Midland Road Parks Contract	Last Modified:	6/6/2017 10:22:24 AM EDT
Documents:	2	Owner:	Lance Penfield
Signers:	1	Company:	Baxley Penfield Moudy Realtors
Signatures:	2		
Initials:	0		

Signer Information

Signature Events	Signature	Timestamp
Jill Dabbs mayordabbs@cityofbryant.com	<i>Jill Dabbs</i>	Sent: 6/5/2017 6:08:40 PM EDT
Signer Security: Email Authentication	IP Address: 99.3.47.192	Viewed: 6/6/2017 10:20:36 AM EDT
Disclosure: Accepted: 6/6/2017 10:20:36 AM EDT ID: 47ae115d-0a31-4662-9a14-82e9295020d6		Signed: 6/6/2017 10:22:22 AM EDT

Session Documents

Document	Size	Date	Signatures	Initials	Dates	Form Fields	Checkboxes
ParksExhibitA.pdf	1723KB	6/5/2017 6:04:28 PM EDT	1	0	1	0	0
ParksContract.pdf	1355KB	6/5/2017 6:04:27 PM EDT	1	0	1	0	0

Session Activity

Timestamp	IP Address	Activity
6/6/2017 10:22:24 AM EDT	99.3.47.192	Session completed and closed by Lance Penfield
6/6/2017 10:22:22 AM EDT	99.3.47.192	Signing Completed by Jill Dabbs (mayordabbs@cityofbryant.com)
6/6/2017 10:20:36 AM EDT	99.3.47.192	Signature created and disclosure approved by Jill Dabbs (mayordabbs@cityofbryant.com)
6/5/2017 7:39:30 PM EDT	50.77.7.6	Invitation re-sent to Jill Dabbs(mayordabbs@cityofbryant.com) by Lance Penfield
6/5/2017 6:08:46 PM EDT	50.77.7.6	Invitation sent to Jill Dabbs(mayordabbs@cityofbryant.com) by Lance Penfield
6/5/2017 6:08:40 PM EDT	50.77.7.6	eSignOnline Session Created by Lance Penfield

Disclosure

Consumer Disclosure

Please read the information below regarding the terms and conditions of receiving documents, contracts, and disclosures electronically through the eSignOnline electronic signature system. If this information is to your satisfaction and you agree to the terms and conditions, please confirm your

acceptance and agreement by checking the box 'I Agree to the above Consumer Disclosure' and selecting the 'Create and Approve Signature button'.

Electronic distribution of documents and contracts

Baxley Penfield Moudy Realtors (We, us, or the Company) acknowledges your agreement to receive required documents, contracts, notices, disclosures, authorizations, and other documents electronically through the eSignOnline electronic signature system. We appreciate and thank you for doing your part to go paperless and save our environment. Through the eSignOnline electronic signature system, we are able to save time and process a transaction faster. We do not have to print and mail paper copies, wait for signatures that could take days or weeks, and there are no delays associated with waiting for you to mail it back to us. Unless you tell us otherwise in accordance with the procedures described herein this disclosure, we will provide documents through this electronic method during the course of our relationship with you. If you do not agree with this process and method, please let us know as described below.

Baxley Penfield Moudy Realtors outsources personal information to a third party processing and storage service provider which is located in the USA. The Buyer and Seller hereby acknowledge that personal information processed and stored by a US third party service provider is subject to the laws of that country and that information may be made available to the US government or its agencies under a lawful order made in that country.

Paper copies

During the signing process on eSignOnline, you will have the opportunity to download and print your copies of the documents before and after signing. At any time, you may contact us to obtain paper copies of documents that have been provided to you electronically. To request paper copies, you must send an email to lancepenfield@bpmrealtors.com and in the body of the email state your full name, address, telephone number, and the name of the document or transaction that you would like a paper copy for. If any fees apply, we will notify you.

Withdrawing your consent to sign electronically

Once you have decided and agreed to the following disclosure to sign documents electronically, you may at any time thereafter decide to withdraw your consent and receive required documents only in paper format. There are several ways to inform us that you no longer wish to receive documents and sign electronically:

- a) During the electronic signing process, you may elect to 'decline' and indicate your reasons for declining and withdrawing your consent.
- b) Send an email to lancepenfield@bpmrealtors.com and in the body of the email indicate your full name, address, telephone number and that you no longer wish to sign electronically and instead would like to receive paper copies

Please be aware that withdrawing your consent to sign electronically may result in delays and/or more time to complete a transaction. We will then have to print and mail paper copies to you, wait for you to receive and sign documents, then wait for you to mail it back and follow the same procedure with other parties to the transaction.

How to contact Baxley Penfield Moudy Realtors

At any time, you may contact us to change your email and contact information, request paper copies, or to indicate your change in consent to sign electronically hereafter.

Contact Name : Lance Penfield
Email Address : lancepenfield@bpmrealtors.com
Phone Number :

Hardware and Software Requirements

The following are minimum hardware and software requirements to use the eSignOnline electronic signature system.

Operating Systems: Windows® 8, Windows® 7, Windows Vista®, Mac OS® X 10.6 and higher.
Browsers: Google Chrome® 36 and higher, Internet Explorer® 9.0 and higher, Mozilla Firefox® 31.0 and higher, Safari® 5.1.7 and higher.
Screen Resolution: 800 x 600 minimum
Security Settings: Allow per session cookies
PDF Reader: Acrobat® or similar software to view and print PDF files

Your Acknowledgment and Consent to use electronic signatures

To confirm to us that you can access this information electronically, which will be similar to other electronic documents that we will provide to you, please verify that you were able to read this electronic consumer disclosure and that you also were able to print on paper or electronically save this page for your future reference and access. Further, you consent to receiving notices and disclosures in electronic format on the terms and conditions

described herein this consumer disclosure, please let us know by checking the 'I agree with the above Consumer Disclosure' box below.

By checking the 'I agree with the above Consumer Disclosure' box, I confirm that I can access and read this electronic consumer disclosure to consent to receipt of electronic documents, I can print on paper if I so choose, the disclosure and/or save to a place where I can print it for future reference and access, and until I notify Baxley Penfield Moudy Realtors otherwise, I consent to receive from Baxley Penfield Moudy Realtors electronic documents that are required to be provided or made available to me by Baxley Penfield Moudy Realtors during the course of my relationship with Baxley Penfield Moudy Realtors.

ORDINANCE NO. 2017-__

AN ORDINANCE AMENDING ORDINANCE NO. 2016-32; DECLARING AN EMERGENCY; AND FOR OTHER PURPOSES

WHEREAS, The City of Bryant approved the purchase of a Kubota 3301HST from P and K Equipment as a modification to an existing lease agreement; and

WHEREAS, The City of Bryant has a need for a different piece of equipment, other than the Kubota 3301HST approved by Ordinance No. 2016-32; and

WHEREAS, The City Council of the City of Bryant wishes to amend Ordinance No. 2016-32 to change the equipment description from the Kubota 3301HST to a John Deere 5045E Utility Tractor that better fulfills the need of The City of Bryant.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BRYANT;

SECTION 1: The Mayor is hereby authorized to execute any and all necessary documents to effectuate a contract with P and K Equipment to purchase the new asset.

SECTION 2: Because we have a current lease agreement with P and K Equipment that can only be terminated by the execution of a new lease agreement with P and K Equipment, an emergency is declared and this Ordinance shall take effect immediately upon its passage.

SECTION 3: The City Council of The City of Bryant makes a specific finding that an exceptional circumstance exists making competitive bidding impracticable and that Ordinance No. 2016-32 is hereby amended as stated hereinabove.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF BRYANT, ARKANSAS, on this the _____ day of _____, 2017

Jill Dabbs, Mayor

ATTEST:

Sue Ashcraft, City Clerk

ORDINANCE NUMBER 2017-__

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF BRYANT TO REZONE CERTAIN PROPERTY FROM R-E (Residential No Sewer) TO C-2 (Highway Commercial).

BE IT ORDAINED BY THE CITY COUNCIL OF BRYANT, ARKANSAS;

Section 1. That certain real property described more fully below is hereby rezoned from a classification of R-E (Residential No Sewer) TO C-2 (Highway Commercial) located in Ward 4.

Section 2. The comprehensive zoning ordinance and map of the City of Bryant is hereby amended to reflect the change of zoning classification set out in Section 1.

Section 3. The property affected by this ordinance is described as:

That part of the North half of the Southwest quarter of section 27, township 1 South, range 14 West, described as follows:

Commencing at the Northeast corner of the North half of the Southwest quarter of section 27. Thence South 01 degrees 06 minutes 31 seconds West along the East line thereof 425.00 feet: thence North 89 degrees 38 minutes 23 seconds west leaving said east line 356.37 feet to a point in the center of Reynolds road; thence South 16 degrees 17 minutes 48 seconds East along the centerline of Reynolds Road 197.55 feet to the point of beginning; thence South 16 degrees 17 minutes 48 seconds East continuing along said center of Reynolds road 361.81 feet; thence South 89 degrees 57 minutes 30 seconds West leaving said centerline of Reynolds Road 1286.09 feet: thence North 00 degrees 58 minutes 21 seconds East 350.36 feet: thence North 89 degrees 57 minutes 43 seconds East 1177.77 feet to the point of beginning. Containing 9.91 acres, more or less.

Dated: _____, 2017 Approved: _____

Mayor Jill Dabbs

Attest: _____

Sue Ashcraft, City Clerk

HOPE
CONSULTING
ENGINEERS - SURVEYORS

Monday April 17, 2017

Truett Smith
City of Bryant
210 Southwest Third St., Bryant, AR 72022

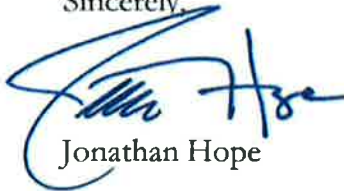
RE: Rezoning R-E to C-2 1101 N. Reynolds Road

Dear Mr. Smith,

On behalf of our client, Hope Consulting is formally requesting that the City of Bryant Planning Commission to begin the review and approval process for the rezoning of this property located at 1101 N. Reynolds Rd.

Please feel free to contact me with any questions or concerns or if I can be of any further assistance.

Sincerely,



Jonathan Hope

117 SOUTH MARKET ST. BENTON, ARKANSAS 72015
501-315-2626
WWW.HOPECONSULTING.COM

**APPLICATION
FOR CHANGE IN
ZONING DISTRICT BOUNDARIES**

Applicant Name: Rebecca Langford + Debra Morrow

Spouse Name: _____

Property Address: 1101 N. Reynolds Rd Bryant AR 72022

Legal Description: North 1/2 SW 1/4 Sec. 27 T-1-S R-14-W

Please see attached for complete legal description -

Existing Zoning Classification R-E (Residential no sewer)

Requested Change C-2 (Hwy Commercial)

Plat of Property is Attached

Vicinity Map of property is attached _____

The undersigned designates the following process agent or attorney to represent the applicant at all hearings:

This 17 day of April, 2017

Rebecca Langford + Debra Morrow
Applicant

Spouse of Applicant

945 N. Grand Ave.

Address Indianapolis, IN 46219

317-590-7249 or 501-258-8505 (Debra Morrow)
Phone

Date: 4/17/2017

Name: Rebecca Langford
Address
945 N. Grand Ave.
Indianapolis, IN 46219

RE: Re-zoning Petition 1101 N Reynolds Rd Bryant AR is being
considered for re-zoning from R-E to C-2.

The property is more particularly described as follows:

INSERT LEGAL DESCRIPTION OF THE PROPERTY

SEE ATTACHMENT

A petition has been filed with the City of Bryant Planning Commission to re-zone the property. As a part of this process a public hearing will be held May, 8th 2017 at 6:00p.m. in the Boswell Community Center, 210 Southwest 3rd Street, Bryant, Arkansas 72022.

Public comments will be accepted at that time regarding this re-zoning. Since you own property within 300 feet of the tract in consideration, you have been sent this letter via certified mail as required by city ordinance.

Should you have any questions regarding this matter you may contact the City of Bryant at 501-943-0309 and ask for Truett Smith or by calling me (Jonathan Hope) at 501-315-2626.

Thank you for your consideration in this matter.

Sincerely,



Jonathan Hope
Hope Consulting, Inc.

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27,
TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE
SOUTHWEST QUARTER OF SECTION 27. THENCE SOUTH $01^{\circ}06'31''$ WEST ALONG
THE EAST LINE THEREOF 425.00 FEET: THENCE NORTH $89^{\circ}38'23''$ WEST LEAVING
SAID EAST LINE 356.37 FEET TO A POINT IN THE CENTER OF REYNOLDS ROAD;
THENCE SOUTH $16^{\circ}17'48''$ EAST ALONG THE CENTERLINE OF REYNOLDS ROAD
197.55 FEET TO THE POINT OF BEGINNING: THENCE SOUTH $16^{\circ}17'48''$ EAST
CONTINUING ALONG SAID CENTER OF REYNOLDS ROAD 361.81 FEET: THENCE
SOUTH $89^{\circ}57'30''$ WEST LEAVING SAID CENTERLINE OF REYNOLDS ROAD 1286.09
FEET: THENCE NORTH $00^{\circ}58'21''$ EAST 350.36 FEET: THENCE NORTH $89^{\circ}57'43''$
EAST 1177.77 FEET TO THE POINT OF BEGINNING. CONTAINING 9.91 ACRES,
MORE OR LESS.

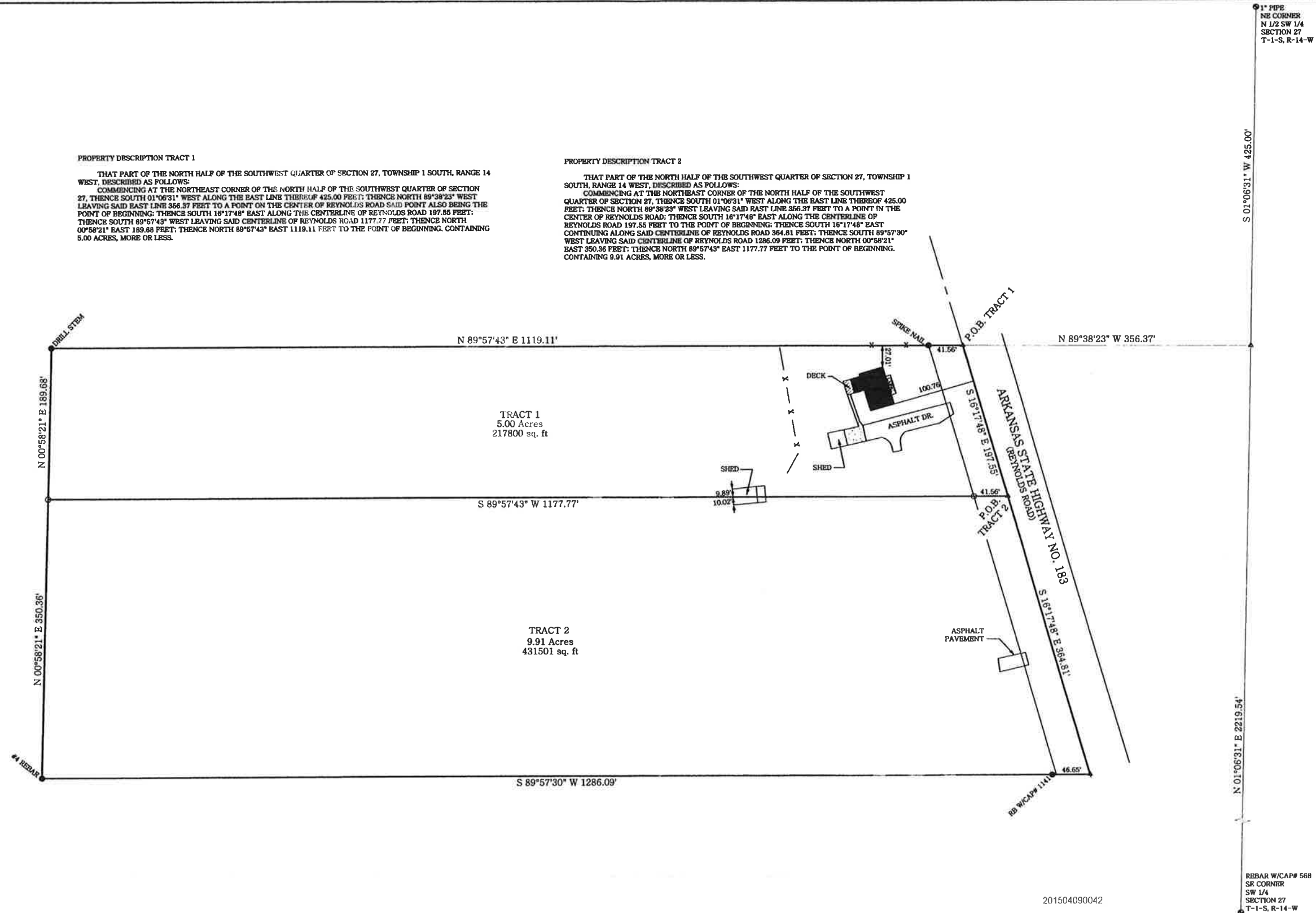


PROPERTY DESCRIPTION TRACT 1

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, THENCE SOUTH 01°06'31" WEST ALONG THE EAST LINE THEREOF 425.00 FEET; THENCE NORTH 89°38'23" WEST LEAVING SAID EAST LINE 366.37 FEET TO A POINT ON THE CENTER OF REYNOLDS ROAD SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 18°17'48" EAST ALONG THE CENTERLINE OF REYNOLDS ROAD 197.85 FEET; THENCE SOUTH 89°57'43" WEST LEAVING SAID CENTERLINE OF REYNOLDS ROAD 1177.77 FEET; THENCE NORTH 00°58'21" EAST 189.68 FEET; THENCE NORTH 89°57'43" EAST 1119.11 FEET TO THE POINT OF BEGINNING. CONTAINING 5.00 ACRES, MORE OR LESS.

PROPERTY DESCRIPTION TRACT 2

THAT PART OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 SOUTH, RANGE 14 WEST, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 27, THENCE SOUTH 01°06'31" WEST ALONG THE EAST LINE THEREOF 425.00 FEET; THENCE NORTH 89°38'23" WEST LEAVING SAID EAST LINE 366.37 FEET TO A POINT IN THE CENTER OF REYNOLDS ROAD; THENCE SOUTH 18°17'48" EAST ALONG THE CENTERLINE OF REYNOLDS ROAD 197.55 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 16°17'48" EAST CONTINUING ALONG SAID CENTERLINE OF REYNOLDS ROAD 364.81 FEET; THENCE SOUTH 89°57'30" WEST LEAVING SAID CENTERLINE OF REYNOLDS ROAD 1286.09 FEET; THENCE NORTH 00°58'21" EAST 350.36 FEET; THENCE NORTH 89°57'43" EAST 1177.77 FEET TO THE POINT OF BEGINNING. CONTAINING 9.91 ACRES, MORE OR LESS.



1" PIPE
 NE CORNER
 N 1/2 SW 1/4
 SECTION 27
 T-1-S, R-14-W

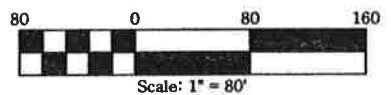
THE BEARING SYSTEM IS MAGNETIC
 NORTH BASED ON A COMPASS BEARING

S 01°06'31" W 425.00'

N 01°06'31" E 2219.54'

REBAR W/CAP# 568
 SE CORNER
 SW 1/4
 SECTION 27
 T-1-S, R-14-W

- LEGEND**
- - FOUND MONUMENT
 - - SET #6 REBAR/CAP #1508
 - △ - COMPUTED POINT
 - ⊙ - CONTROLLING CORNER
 - - - FENCE



308 W. South Street
 Benton, AR 72015
 Office/Fax: (501) 860-0693
 E-Mail: asaron@rasurvey.com

I hereby certify that the above plat represents a survey made by me or under my supervision on this day. No independent search for encumbrances, or any other facts which an accurate title search may disclose was performed.

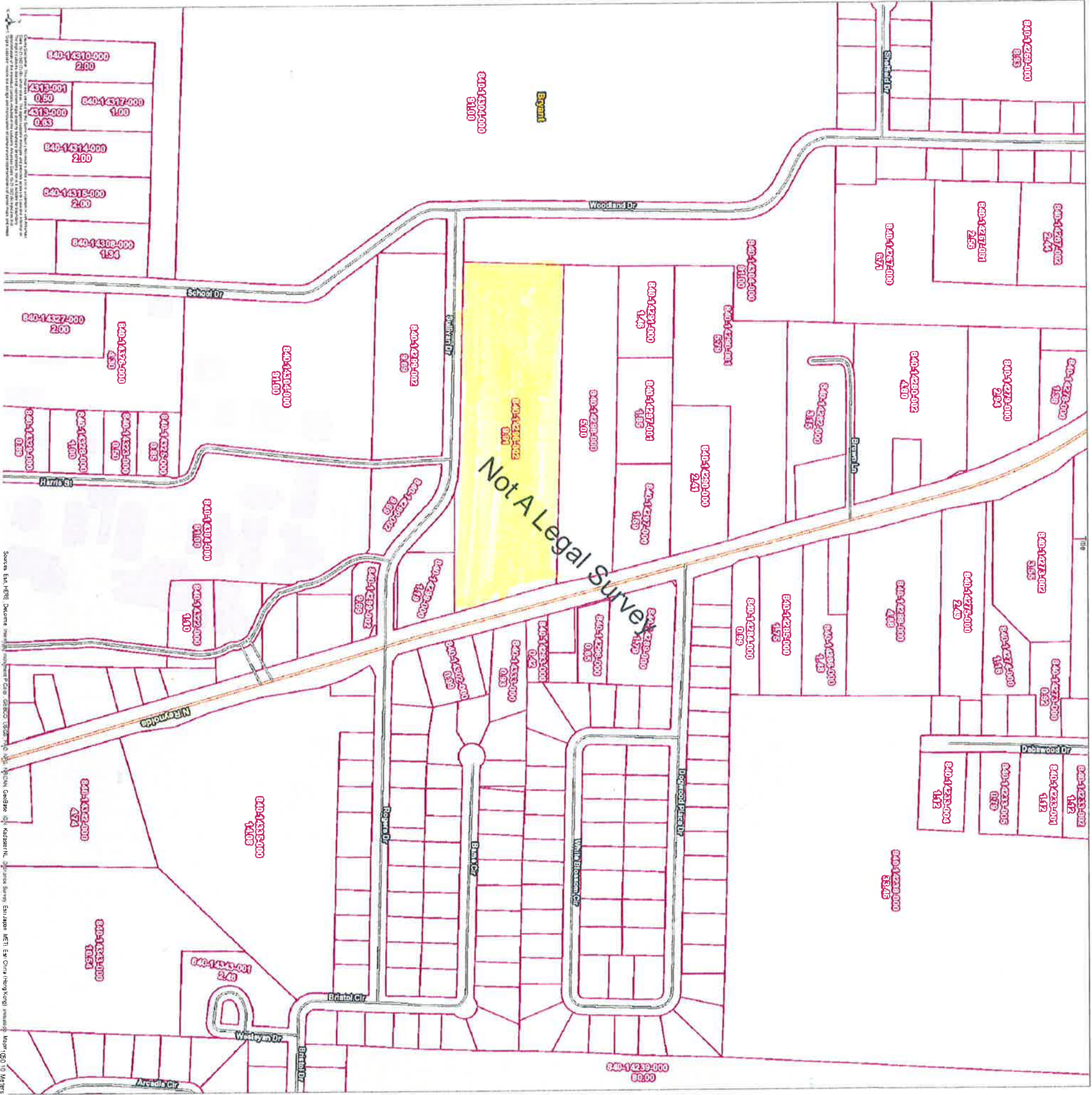
FILE: C:\DRAWINGS\118-14WS27\MORROW
 STATE CODE: 500-01S-14W-0-27-300-02-1008

FOR USE AND BENEFIT OF:
 KATHY LEWALLEN AND
 DEBRA K. TRACY MORROW
 AND REBECCA LANGSFORD
 PROPERTY ADDRESS:
 1105 NORTH REYNOLDS ROAD
 BRYANT, AR. 72022

DATE: 02-19-15
 DRAWN BY: DCR
 JOB#: 005-15
 CHECKED BY: JAR



201504090042



ORDINANCE NUMBER 2017-__

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF BRYANT TO REZONE CERTAIN PROPERTY FROM R-2 TO PUD.

BE IT ORDAINED BY THE CITY COUNCIL OF BRYANT, ARKANSAS;

Section 1. That certain real property described more fully below is hereby rezoned from a classification of R-2 to PUD located in Ward 4.

Section 2. The comprehensive zoning ordinance and map of the City of Bryant is hereby amended to reflect the change of zoning classification set out in Section 1.

Section 3. The property affected by this ordinance is described as:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE SAID SE1/4 OF SE1/4 THAT IS 1155 FEET NORTH OF THE SOUTHEAST CORNER THEREOF (MEASURED NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST 1155.11 FEET); RUN THENCE NORTH FOR 165 FEET (MEASURED NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST 165.00 FEET); THENCE WEST PARALLEL WITH THE SOUTH LINE THEREOF TO THE INTERSECTION WITH THE WEST LINE OF THE SAID SE1/4 OF SE1/4 (MEASURED NORTH 88 DEGREES 02 MINUTES 02 SECONDS WEST 1346.64 FEET); RUN THENCE SOUTH, ALONG THE WEST LINE THEREOF FOR 165 FEET (MEASURED SOUTH 01 DEGREES 40 MINUTES 33 SECONDS WEST 165.67 FEET); RUN THENCE EAST TO THE POINT OF BEGINNING (MEASURED SOUTH 88 DEGREES 03 MINUTES 45 SECONDS EAST 1344.94 FEET), CONTAINING 5.11 ACRES, MORE OR LESS.

Dated: _____, 2017 Approved: _____

Mayor Jill Dabbs

Attest: _____

Sue Ashcraft, City Clerk

**APPLICATION
FOR CHANGE IN
ZONING DISTRICT BOUNDARIES**

Applicant Name: Ives Investment Group, LLC (Randy Ives)

Spouse Name: _____

Property Address: 3927 Springhill Rd, Bryant, AR 72019

Legal Description: See attached.

Existing Zoning Classification: R-2

Requested Change: PUD

Plat of Property is Attached Yes

Vicinity Map of property is attached Yes

The undersigned designates the following process agent or attorney to represent the applicant at all hearings:

Eric E. Krebs, The Sentinel Group, LLC

This 29th day of May, 2017



Applicant

Spouse of Applicant

4844 Lake Norrell Road

Address

Alexander, AR 72002

501-658-2281

Phone

PROPERTY DESCRIPTION:

THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SALINE COUNTY, ARKANSAS, MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE SAID SE1/4 OF SE1/4 THAT IS 1155 FEET NORTH OF THE SOUTHEAST CORNER THEREOF (MEASURED NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST 1155.11 FEET); RUN THENCE NORTH FOR 165 FEET (MEASURED NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST 165.00 FEET); THENCE WEST PARALLEL WITH THE SOUTH LINE THEREOF TO THE INTERSECTION WITH THE WEST LINE OF THE SAID SE1/4 OF SE1/4 (MEASURED NORTH 88 DEGREES 02 MINUTES 02 SECONDS WEST 1346.64 FEET); RUN THENCE SOUTH, ALONG THE WEST LINE THEREOF FOR 165 FEET (MEASURED SOUTH 01 DEGREES 40 MINUTES 33 SECONDS WEST 165.67 FEET); RUN THENCE EAST TO THE POINT OF BEGINNING (MEASURED SOUTH 88 DEGREES 03 MINUTES 45 SECONDS EAST 1344.94 FEET), CONTAINING 5.11 ACRES, MORE OR LESS.

City of Bryant Subdivision Checklist

Subdivision/Project Name Olde Savannah PUD

Contact Person Eric Krebs Phone 501-317-2547

Mailing Address 2712 Cypress Point Dr. Benton, AR 72019

I. BASIC INFORMATION NEEDED ON THE PLAT

- ▲ 1. Name of Subdivision/Project
- ▲ 2. Current zoning R-2 (Projected: PUD)
- ▲ 3. Name and Address of owner of Record
- ▲ 4. Illustrate Source of Title giving deed record book and page number
- ▲ 5. Name & address of the sub-divider
- ▲ 6. Date of Survey
- ▲ 7. Vicinity map locating streets, highways, section lines, railroad, schools, & parks within ½ mile
- ▲ 8. Legal description of the property with exact boundary lines
- ▲ 9. Acreage of property
- ▲ 10. Number of Lots
- ▲ 11. Lot area in square feet
- ▲ 12. Lot lines with appropriate dimensions
- ▲ 13. Building setback lines
- ▲ 14. Preliminary Engineering certificate seal and signature on each page
- ▲ 15. Certificate of Engineering Accuracy
- ▲ 16. Certificate of Owner
- ▲ 17. Certificate of Final Plat Approval
- ▲ 18. Certificate of Recording
- ▲ 19. Show scale (not less than 1" = 100')
- ▲ 20. North Arrow
- ▲ 21. Show Title block
- ▲ 22. Show adjoining property owners
- ▲ 23. Layout of all proposed streets including traffic control devices (stop signs, speed limit, etc.)
- ▲ 24. Layout of all subdivision entrance street upgrades
- ▲ 25. Layout of all proposed alleys
- ▲ 26. Layout of all proposed sidewalk systems
- ▲ 27. Layout identifies any FEMA flood plain and flood way property within the 100-year flood elevation. (Provide Corp of Engineers 404 Permit if required)
- ▲ 28. Drainage easements for stormwater run-off and detention giving dimensions, locations, and purpose
- ▲ 29. Layout accommodates Master Street Plan segments within the boundaries
- ▲ 30. Street layout ties to existing adjoining subdivision stub-out streets and provides stub-out streets for future adjoining subdivisions.
- ▲ 31. Street width and right-of-way properly shown for each functional classification
- ▲ 32. Street centerlines showing angles of deflection, intersection, radii, length of tangents and arcs, and degree of curvature with basis of curve data
- ▲ 33. Typical cross section of streets
- ▲ 34. Location and name of existing streets
- ▲ 35. New street names that are not similar to existing street names
- ▲ 36. Show street lights
- ▲ 37. Show Fire Hydrant placement

- ▲ 38. Show and label all permanent & proposed easements
- ▲ 39. Any proposed open space must be shown
- ▲ 40. Show the direction and flow of all water courses entering the tract
- ▲ 41. Show the direction and flow of all water courses leaving the tract
- ▲ 42. The drainage area of all water courses above the points of entry.
- ▲ 43. The downstream drainage channel and drainage structures substantially impacted by the subdivision/project.
- ▲ 44. Show source of water supply
- ▲ 45. Show location of waste water connection to municipal main & sanitary sewer layout
- ▲ 46. A phasing plan outlining the boundaries for each phase

II. ADDITIONAL INFORMATION NEEDED, BUT NOT NECESSARILY ON THE PLAT

- ▲ 47. Natural features within the proposed subdivision including drainage channels, bodies of water, wooded areas, and other significant features
- ▲ 48. Existing streets, buildings, water courses, railroads. Culverts, utilities and easement on and adjacent to the tract.
- ▲ 49. Where method of disposal of wastewater is other than connection to a public waste water system, detailed information shall accompany the plat.
- ▲ 50. Calculations and field notes, including drainage calculations along with support drawing
- 51. Stormwater detention plan approval from City Engineer (attach copy of approval)
- ▲ 52. The Certificate of Preliminary Engineering Accuracy on each set of street and drainage plans.
- ▲ 53. ADA Accessibility Standard Form completed (and attached)
- ▲ 54. A Bill of Assurance has been prepared for this subdivision (and attached)
- ▲ 55. All lots comply with minimum square footage area and minimum lot width at the front building line
- ▲ 56. Street pavement design will be as specified by City or AHTD design procedures, approved by the City Engineer.
- ▲ 57. Made the "One Call" prior to site clearance or other excavation activity

III. PRELIMINARY PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 58. Letter to Planning Commission stating your request
- ▲ 59. Completed Checklist
- ▲ 60. Completed agreement to provide performance assurance
- ▲ 61. Subdivider Performance Bond or Cashier's Check for infrastructure installation
- ▲ 62. Landscaping plan of any proposed common open space
- ▲ 63. Draft of Bill of Assurance proposed for the subdivision (if applicable)
- ▲ 64. 20 copies of Preliminary Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 65. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 66. Copy of Stormwater Detention approval
- ▲ 67. 2 copies Plan and profile of all streets
- ▲ 68. Receipt for \$300.00 + \$3.00 per lot for preliminary Subdivision fee
- ▲ 69. Receipt for \$250.00 or \$25.00 per lot (whichever is greater) for Stormwater Detention and Drainage Plan review
- ▲ 70. Copy of ADEQ Stormwater Pollution Prevention Plan for property parcel containing one acre or larger.

III. FINAL PLAT ATTACHMENTS

(APPLICATION WILL NOT BE ACCEPTED UNTIL ALL ATTACHMENT REQUIREMENTS ARE MET)

- ▲ 71. Letter to Planning Commission stating your request
- ▲ 72. Completed Checklist
- ▲ 73. 20 copies of Final Plat Plan (folded) that includes vicinity map (minimum size 17" X 34" paper)
- ▲ 74. Two (2) IBM compatible diskettes or CDR's with pertinent data and Plat in CAD compatible .DXF electronic file format
- ▲ 75. Bill of Assurance including provisions set out in Title 15 Subdivision Regulations 15.16.01
- ▲ 76. Copy of Water & Sewer Commission approval or...
- ▲ 77. State Health Department approval of any new water supply and/or sewage system.
- ▲ 78. Letter submitted by a Registered Professional Engineer, certifying that all infrastructure improvements and installations have been installed in accordance with the submitted construction plans and drawings and the standards established by the City of Bryant and are functioning properly.
- ▲ 79. Infrastructure Maintenance Bond or Cashier's check.
- ▲ 80. Check for \$25.00 + \$1.00 per lot for final Subdivision fee
- ▲ 81. Check for Water Sewer impact fees (\$100.00 Flushing Fee and \$100.00 impact fee per lot)

Olde Savannah PUD
Name of Subdivision

Donnie Holland
Surveyor

I HAVE COMPLIED WITH THE REQUIREMENTS LISTED ABOVE AND HAVE CHECKED ALL OF THE BOXES ON THE CHECKLIST WHICH APPLY TO THIS PROJECT SUBMITTAL.


Owner Signature


Engineer Signature

CITY USE

Preliminary Plat Approved _____

Planning Commission Date _____

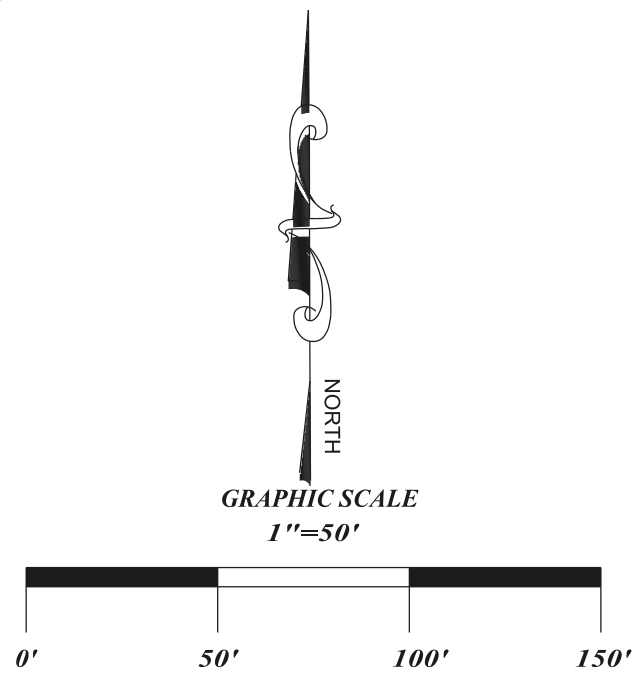
Final Plat Approved _____

Planning Commission Date _____

Proof of Recording - County _____

County Clerk _____

Date _____



CERTIFICATE OF FINAL SURVEYING ACCURACY

I, DONNIE HOLLAND, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY AND A PLAN MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN; AND THAT ALL INTERIOR LOT LINES HAVE BEEN ADJUSTED TO "AS BUILT CONDITIONS" AND ARE ACCURATELY DESCRIBED ON THE PLAT AND IDENTIFIED ON THE GROUND IN TERMS OF LENGTH AND DIRECTION OF THE PROPERTY SIDES AS REQUIRED IN ACCORD WITH THE SALINE COUNTY SUBDIVISION REGULATION ORDINANCE.

DATE OF EXECUTION _____
 DONNIE HOLLAND
 REGISTERED LAND
 SURVEYOR
 NO. 1625, ARKANSAS

CERTIFICATE OF PRELIMINARY PLAT APPROVAL

PURSUANT TO THE CITY OF BRYANT SUBDIVISION RULES AND REGULATIONS, THIS DOCUMENT WAS GIVEN APPROVAL BY THE BRYANT PLANNING COMMISSION AT A MEETING HELD _____ 2017. ALL OF THE DOCUMENT IS HEREBY ACCEPTED, AND THIS CERTIFICATE EXECUTED UNDER THE AUTHORITY OF SAID RULES AND REGULATIONS.

(SIGNED) _____
 BRYANT PLANNING COMMISSION
 DATE OF EXECUTION _____

CERTIFICATE OF OWNER

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE, SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE CAUSED TO BE LAID OFF, PLATTED, AND SUBDIVIDED, AND TO HEREBY LAY OFF, PLAT, AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE PLAT.

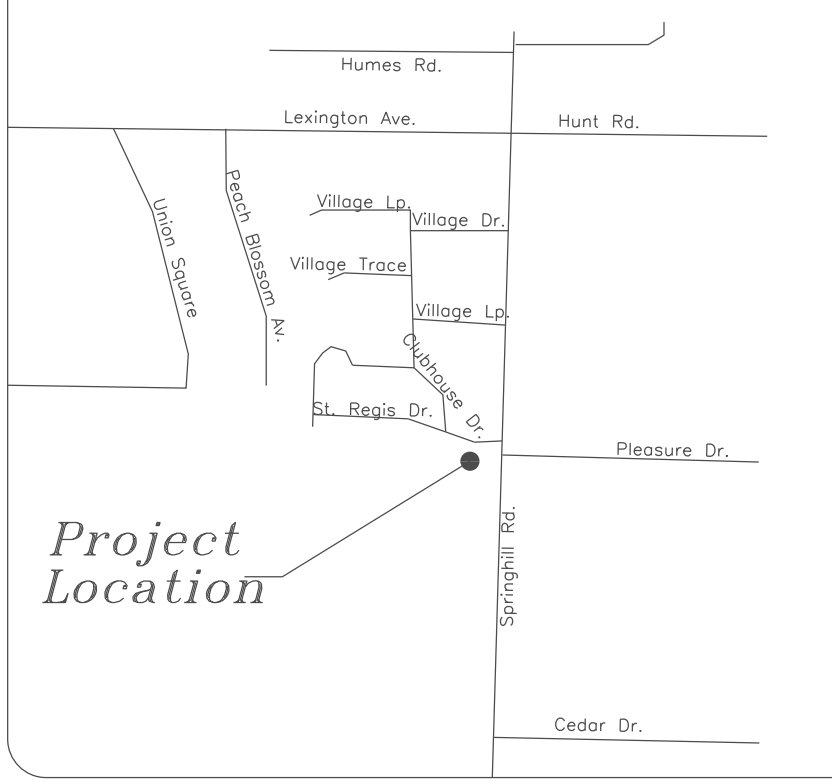
DATE OF EXECUTION _____

OWNER/DEVELOPER:
 IVES INVESTMENTS GROUP, LLC
 4844 LAKE NORRELL ROAD
 ALEXANDER, AR 72002
 SOURCE OF TITLE: BK 2016 PG 019586

CERTIFICATE OF RECORDING

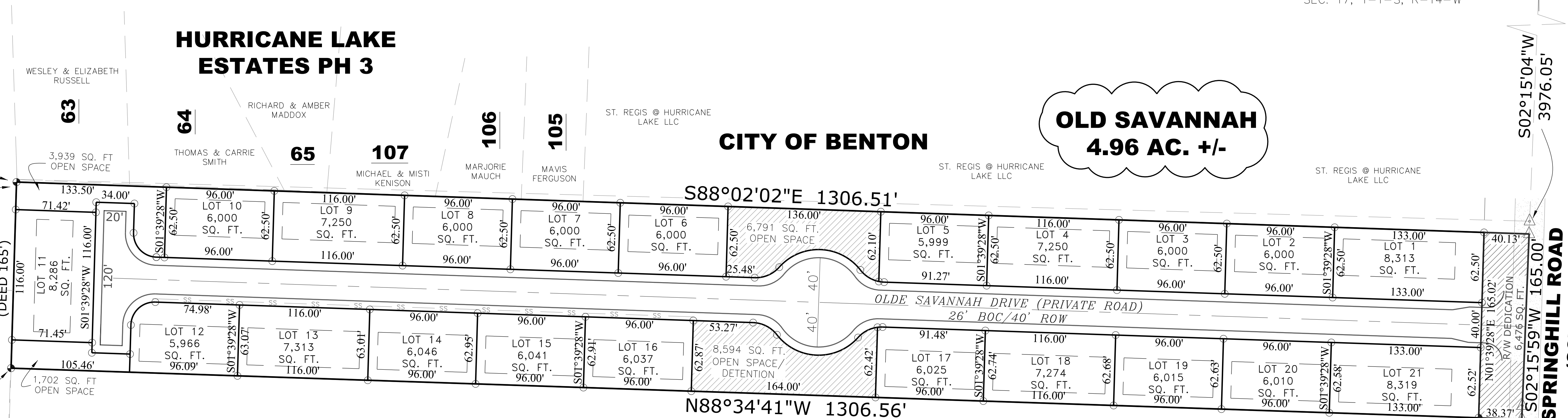
THIS DOCUMENT, NUMBER _____, IS FILED FOR RECORD ON THIS _____ DAY OF _____ 2017 AT _____ AM/PM. IN PLAT OR DEED BOOK _____ PAGE _____.

SIGNED _____
 TITLE _____



VICINITY MAP - N.T.S.

NE COR. NE1/4-NE1/4,
 SEC. 17, T-1-S, R-14-W



**OLD SAVANNAH
 4.96 AC. +/-**

FOUND RMC CONCRETE MONUMENT BEING USED AS NW COR. SE1/4-SE1/4, SEC. 17, T-1-S, R-14-W

FOUND 5/8" REBAR @ F.C. 2.4ft SOUTH OF FOUND RMC MONUMENT

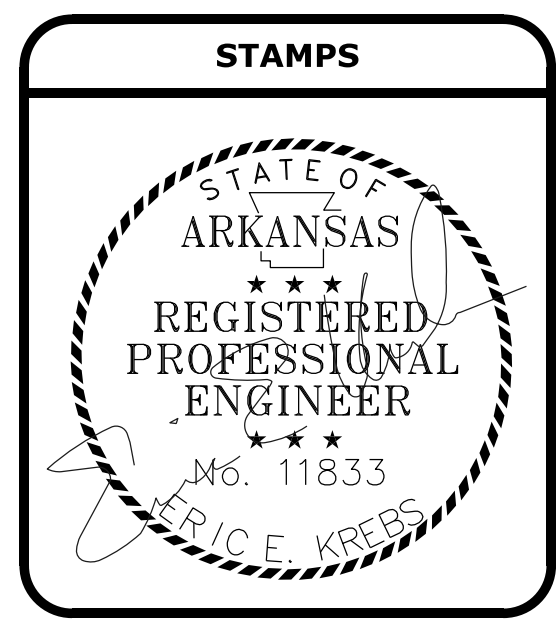
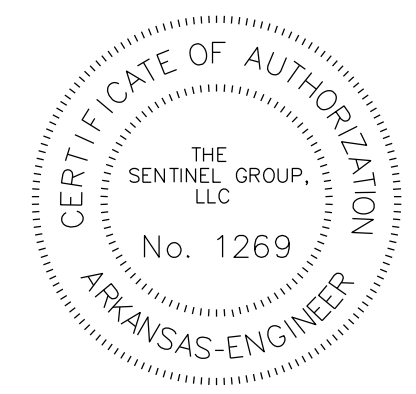
JOSHUA & JESSICA MOORE

GARY & DIANA FERRELL

FOUND 5/8" REBAR BY PLS#1141

CITY OF BENTON

N01°54'02"E 495.00'



HURRICANE GARDENS
 MAPLES DEVELOPMENT COMPANY, LLC

P.O.B. OLDE SAVANNAH
 FOUND 1/2" REBAR BY PLS#1625

P.O.B. R/W DEDICATION

RIGHT OF WAY DEDICATION DESCRIPTION:
 A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 01 SOUTH, RANGE 14 WEST, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE SAID SE1/4 OF THE SE1/4 OF SECTION 17, THENCE NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4 A DISTANCE OF 1155.11 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 38.37 FEET TO THE WEST RIGHT OF WAY LINE OF SPRINGHILL ROAD; THENCE NORTH 01 DEGREES 39 MINUTES 28 SECONDS EAST ALONG SAID WEST RIGHT OF WAY LINE A DISTANCE OF 165.02 FEET TO A POINT; THENCE SOUTH 88 DEGREES 02 MINUTES 02 SECONDS EAST A DISTANCE OF 40.13 FEET TO A POINT ON THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4; THENCE SOUTH 02 DEGREES 15 MINUTES 59 SECONDS WEST ALONG SAID EAST LINE A DISTANCE OF 165.00 FEET, RETURNING TO THE POINT OF BEGINNING, CONTAINING 6,476 SQUARE FEET MORE OR LESS.

PROPERTY DESCRIPTION OF OLD SAVANNAH:
 A PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 01 SOUTH, RANGE 14 WEST, IN THE CITY OF BRYANT, SALINE COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF THE SAID SE1/4 OF THE SE1/4 OF SECTION 17, THENCE NORTH 02 DEGREES 15 MINUTES 59 SECONDS EAST ALONG THE EAST LINE OF THE SAID SE1/4 OF THE SE1/4 A DISTANCE OF 1155.11 FEET TO A POINT; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 38.37 FEET TO THE WEST RIGHT OF WAY LINE OF SPRINGHILL ROAD BEING THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 34 MINUTES 41 SECONDS WEST A DISTANCE OF 1306.56 FEET TO A FOUND 5/8" REBAR; THENCE NORTH 01 DEGREES 40 MINUTES 33 SECONDS EAST A DISTANCE OF 165.67 FEET TO A FOUND 5/8" REBAR; THENCE SOUTH 88 DEGREES 02 MINUTES 02 SECONDS EAST A DISTANCE OF 1306.51 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE SPRINGHILL ROAD; THENCE SOUTH 01 DEGREES 39 MINUTES 28 SECONDS WEST ALONG THE SAID WEST RIGHT OF WAY LINE A DISTANCE OF 165.02 FEET, RETURNING TO THE POINT OF BEGINNING, CONTAINING 4.96 ACRES, MORE OR LESS.

CURRENT ZONING: R-2
 NUMBER OF LOTS: 21

LAYOUT NOTES:
 SETBACKS:
 FRONT: 20 FT
 SIDE: 8 FT (25 FT AT ROAD ROW) 18" WHITE OAK BRS N58°W 54ft
 REAR: 10 FT
 MAX. 21 LOTS
 USE: DUPLEXES
 LOT WIDTH: VARIES FROM 96' TO 116'
 LOT DEPTH: 62.5 FT
 PRIVATE ROAD: 40' ROW/26' BOC
 OPEN SPACE: 10%

MAGNETIC READING UNDER ASPHALT USED AS SE COR. SE1/4-SE1/4, SEC. 17, T-1-S, R-14-W BASED ON PREVIOUS SURVEYS IN AREA PP BRS S89°20'E 48ft

FLOOD STATEMENT:
 GRAPHIC PLOTTING OF THE INFORMATION SHOWN ON FLOOD INSURANCE RATE MAP NO. 05125C 0380D, DATED JUNE 19, 2012, INDICATES THAT THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

The Sentinel Group, LLC
 Civil Engineering - Development - Planning - Project Management
 2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

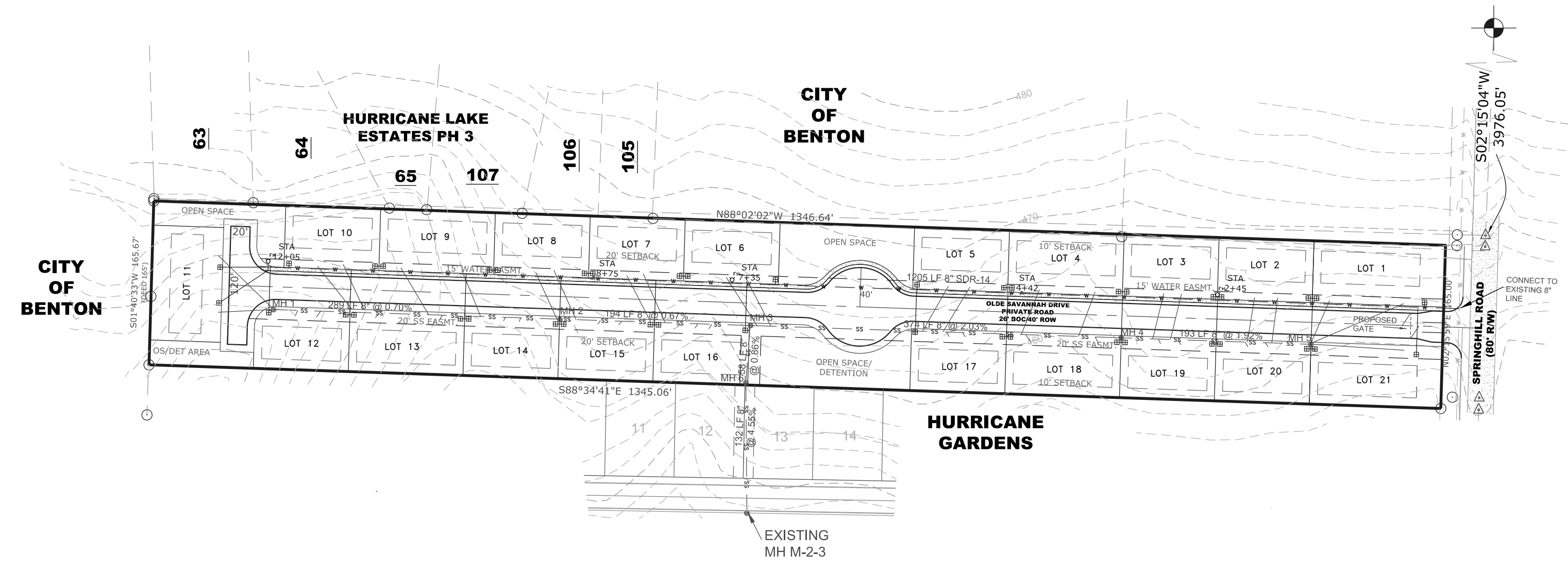
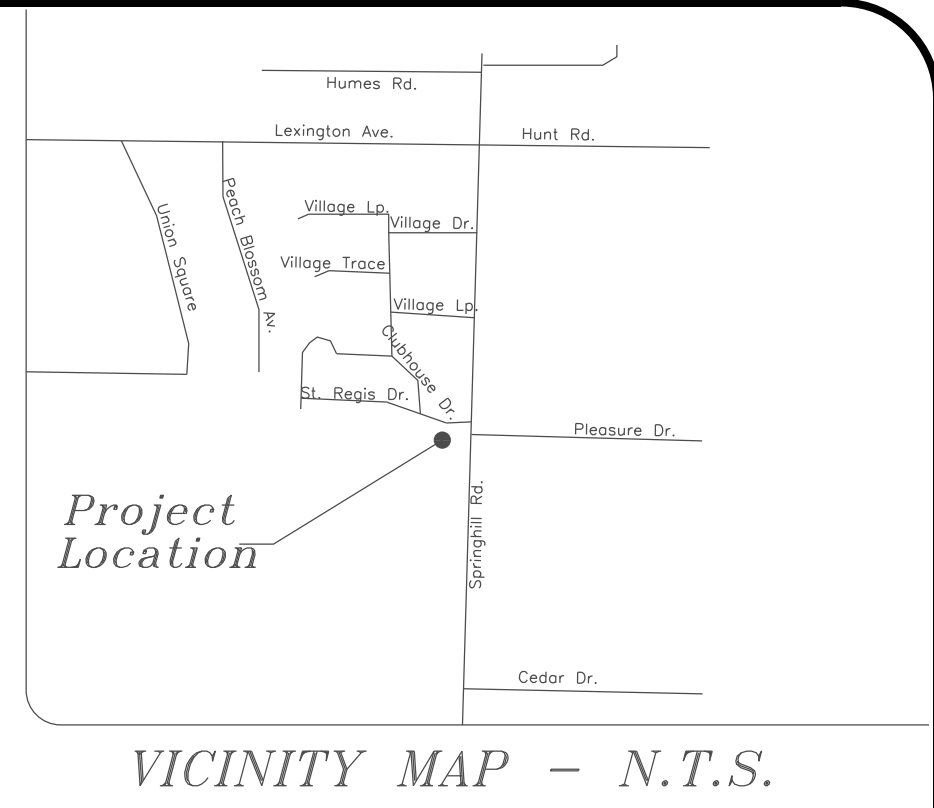
OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

**PRELIMINARY PLAN
 OLDE SAVANNAH
 SPRINGHILL RD.,
 BRYANT, ARKANSAS**

DATE: 05/01/2017	C.A.D. BY: EEK	DRAWING NUMBER:
REVISIONS:	CHECKED BY: E. Krebs	C1
	SCALE: 1" = 50'	SHEET NUMBER:

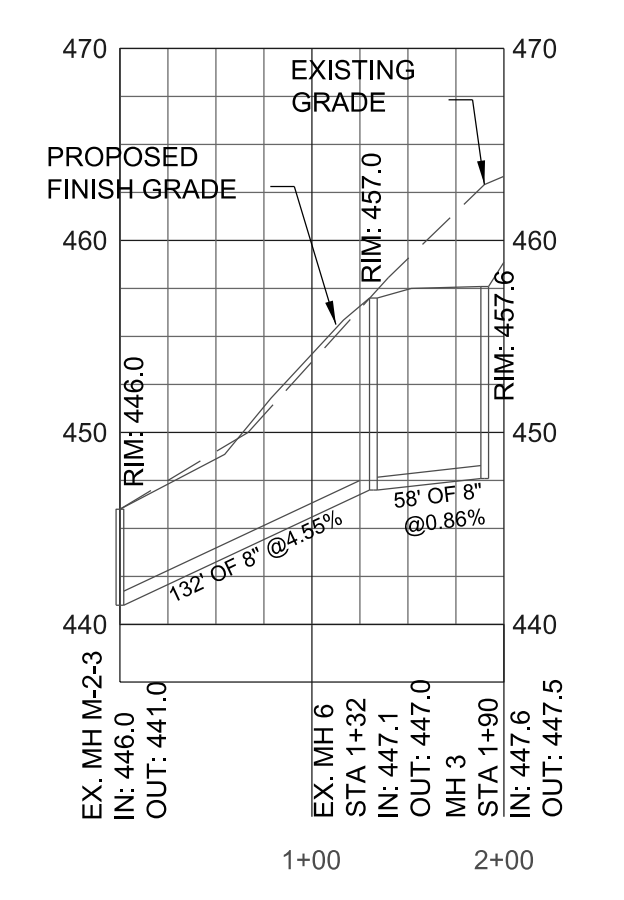
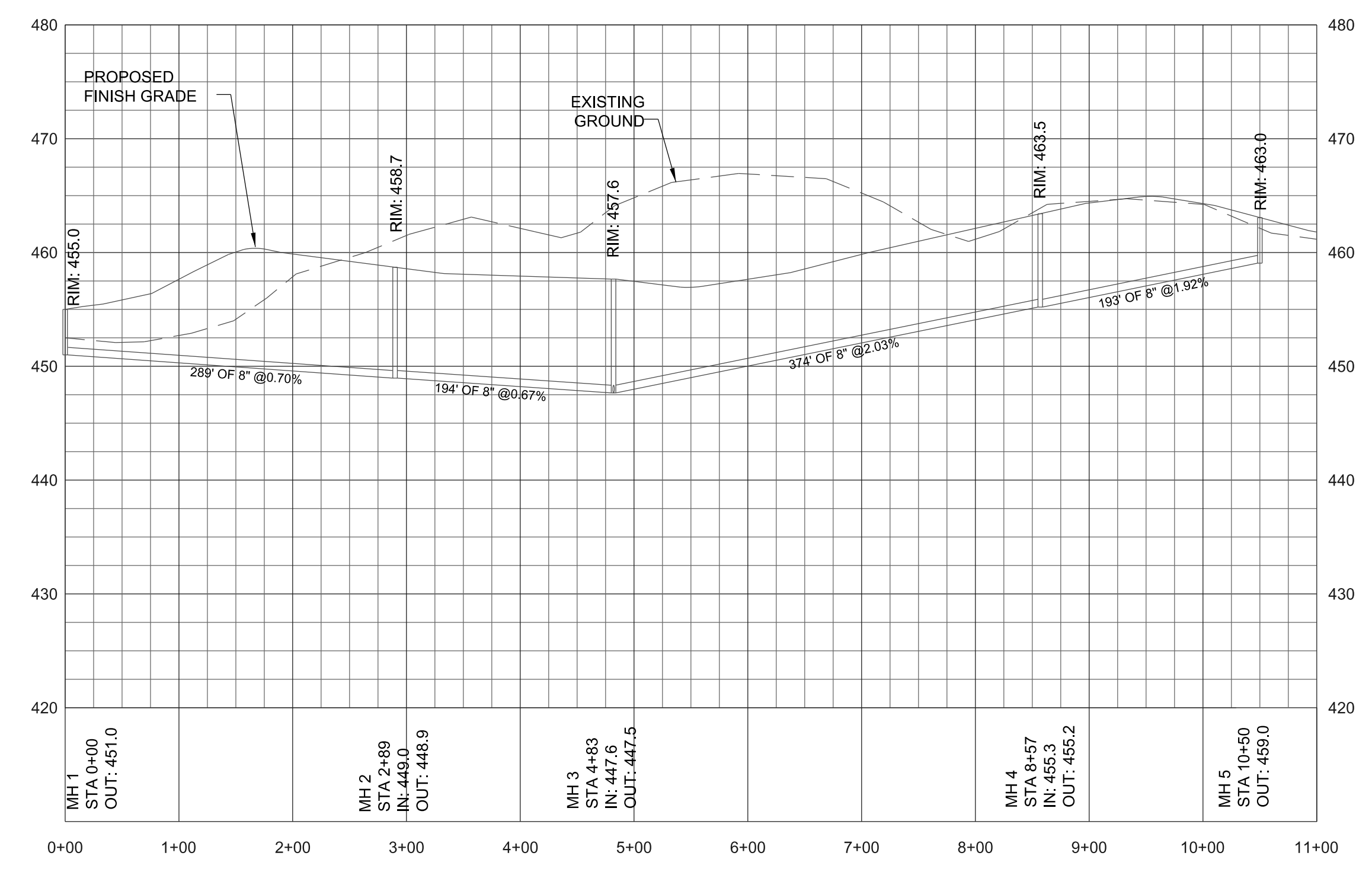
LEGEND			
---	PROPERTY LINE	⊠	METER POLE
---	OVERHEAD UTILITY	⊠	TELEPHONE PEDESTAL
---	OVERHEAD ELECTRIC	⊠	SEWER MANHOLE
---	GAS LINE	⊠	FIRE HYDRANT
---	WATER LINE	⊠	SIGN/SIGN POST
---	SANITARY SEWER LINE	⊠	GUY ANCHOR
(p)	PER PLAT	⊠	SOIL BORE
(b)	PER DEED	⊠	POWER POLE w/TRANSFORMER
(m)	AS PER MEASURED IN FIELD	⊠	POWER POLE
+	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊠	END OF MARKINGS
△	CALCULATED POINT	⊠	MAT.
○	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊠	CPS
○	FND 1/2" REBAR (UNLESS NOTED)	⊠	C.I.
⊠	WATER METER	⊠	n16
⊠	WATER VALVE (UNLESS NOTED)	⊠	D.I.
⊠	PLA	⊠	E.M.
⊠	GAS METER	⊠	REF.
⊠	LIGHT POLE	⊠	UGE
		⊠	OHE
		⊠	TYPICAL UNDERGROUND ELECTRIC
		⊠	15p
		⊠	IP
		⊠	w
		⊠	WELDED
		⊠	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.



GENERAL NOTES:

- SOURCE OF WATER: SALEM WATER USERS, LLC; SOURCE OF SANITARY SEWER: CITY OF BRYANT
- ALL WATER AND SANITARY SEWER LINES TO BE CONSTRUCTED/INSTALLED IN ACCORDANCE WITH THE CITY OF BRYANT STANDARD SPECIFICATIONS.
- ALL WATER AND SEWER LINES SHALL BE CONSTRUCTED WITHIN APPLICABLE EASEMENTS AS SHOWN. ALL WATER LINES SHALL BE PVC SDR-14 PIPE, AND ALL SEWER LINES SHALL BE PVC SDR-26 PIPE.
- PER MIKE BOLIN, ENGINEER FOR HURRICANE GARDENS, THE HURRICANE GARDENS SANITARY SEWER SYSTEM/LIFT STATION HAS SUFFICIENT CAPACITY TO ACCOMMODATE SEWER FLOWS FROM OLDE SAVANNAH SYSTEM.
- MAINTAIN MINIMUM 3 FT OF COVER OVER ALL SANITARY SEWER LINES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES/ELEVATION IN THE FIELD. IF THERE ARE ANY DISCREPANCIES CONTACT PROJECT MANAGER.
- FOR SPECIFIC SPECIFICATIONS/CONSTRUCTION DETAILS FOR WATER/SEWER FIXTURES AND APPURTENANCES, SEE THE CITY OF BRYANT STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS PROVIDED.



SANITARY SEWER AND WATER PLAN & PROFILE

CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

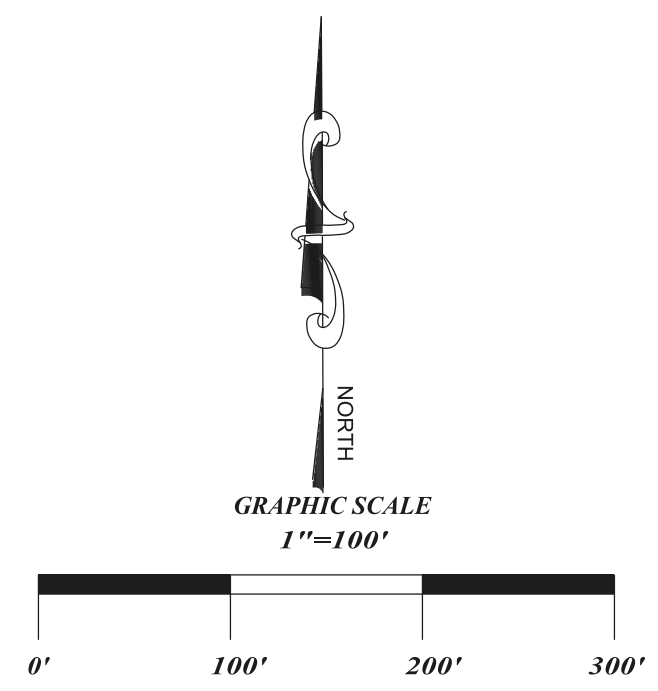
CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

UTILITY CONTACTS:

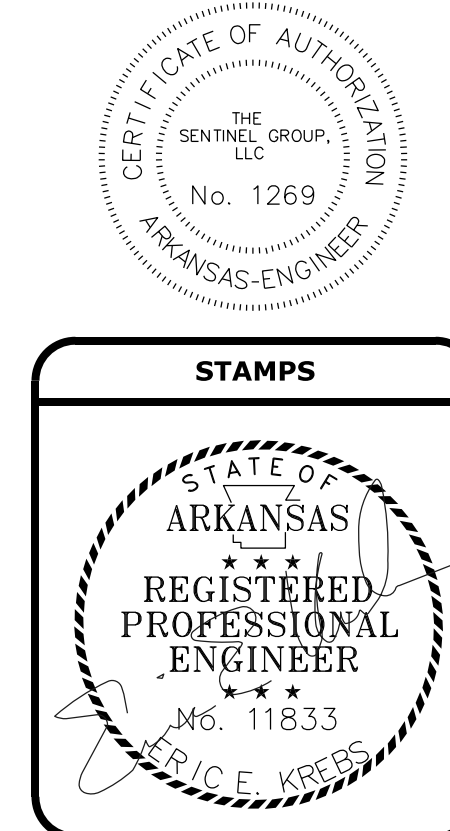
ELECTRIC: ENTERGY BERNARD NEUMER 9 ENTERGY COURT LITTLE ROCK, AR 72211 501-954-5158	WATER: SALEM WATER USERS MARK EFIRD 620 AIRLANE DR. BENTON, AR 72015 501-315-0555	SEWER: CITY OF BRYANT HOWARD HOOVER 1019 S.W. 2ND ST. BRYANT, AR 72022 501-943-0468	TELEPHONE: ATT LYNDA PALMER 1111 W. CAPITOL, RM. 941 LITTLE ROCK, AR 72201 501-373-5255
---	---	---	---

**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG
CALL
ARKANSAS ONE CALL
(TOLL FREE)
1-800-482-8996
PRIOR TO CONSTRUCTION FOR
UNDERGROUND UTILITY LOCATION



REVISION BLOCK		
NO.	DESCRIPTION	DATE

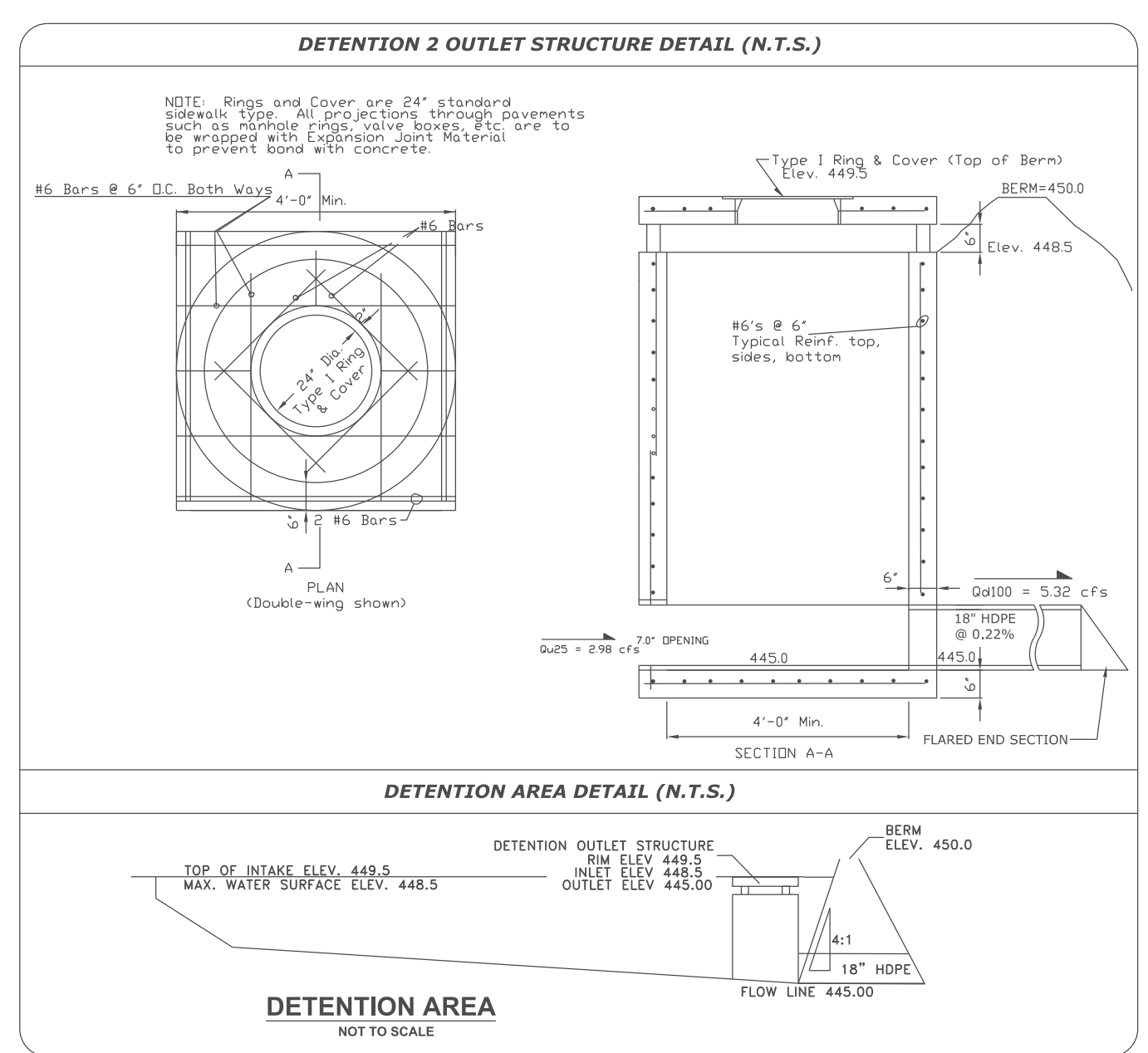
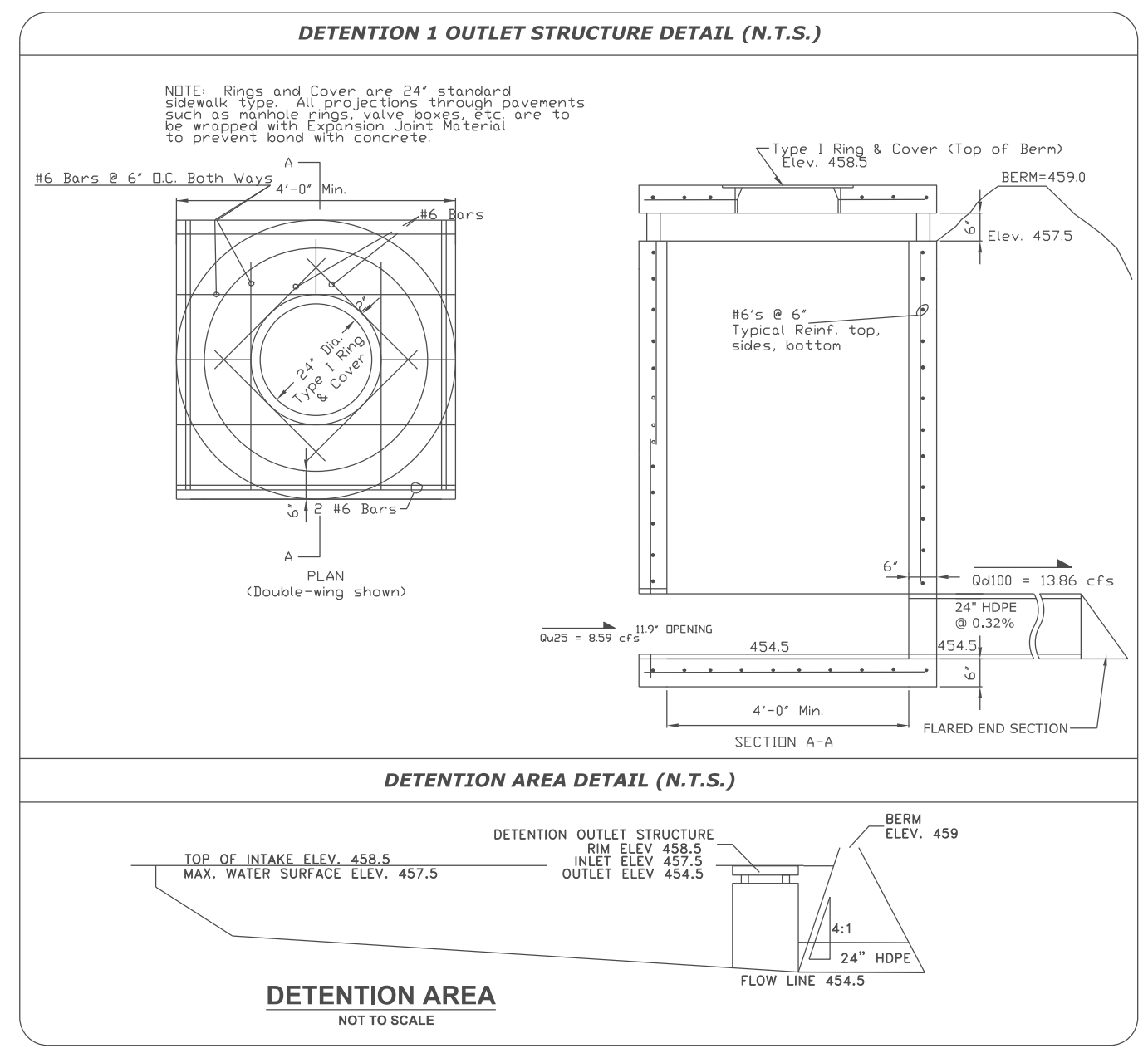


The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

WATER/SEWER PLAN & PROFILE
OLDE SAVANNAH PUD
SPRINGHILL ROAD
BRYANT, ARKANSAS

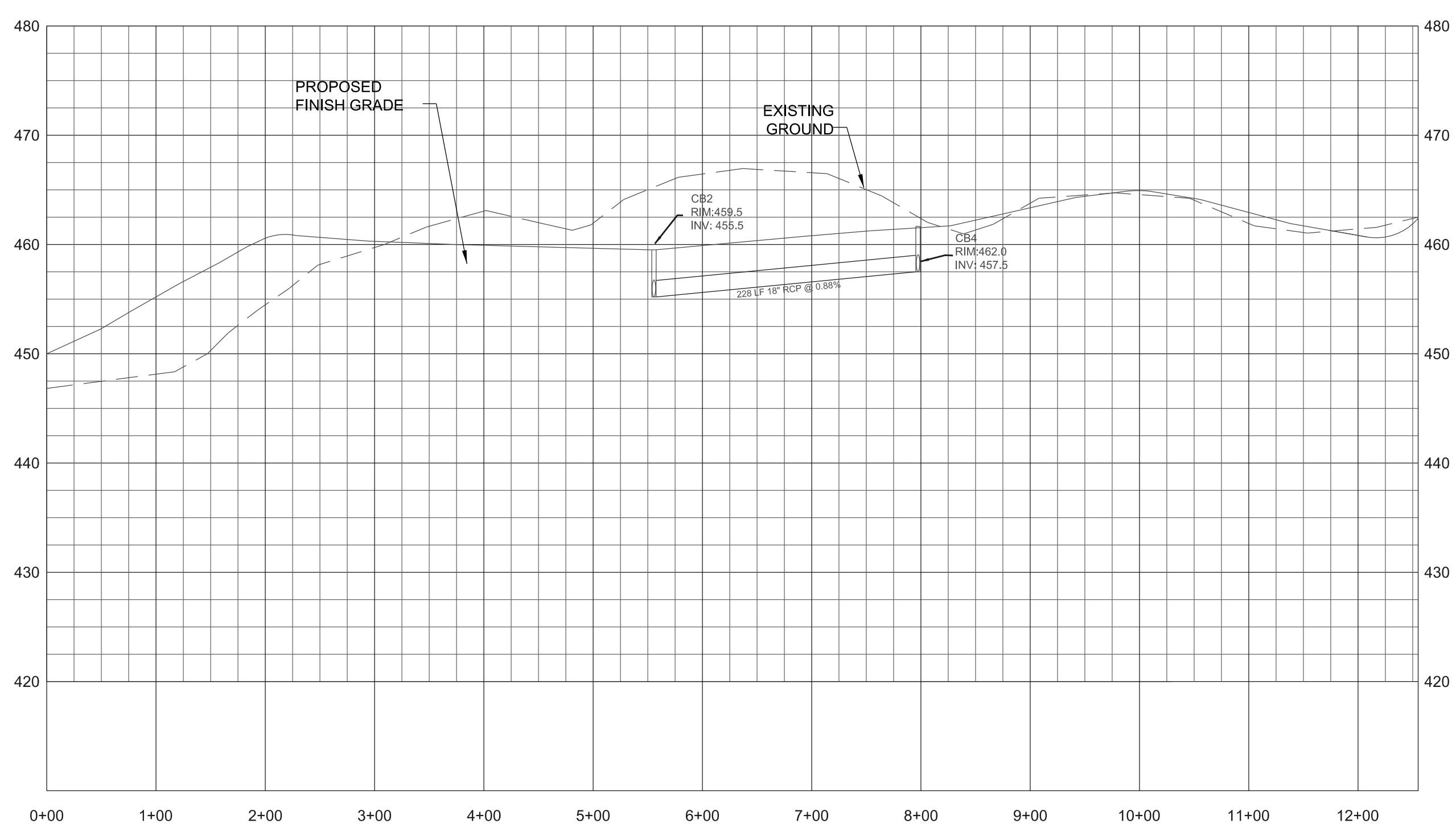
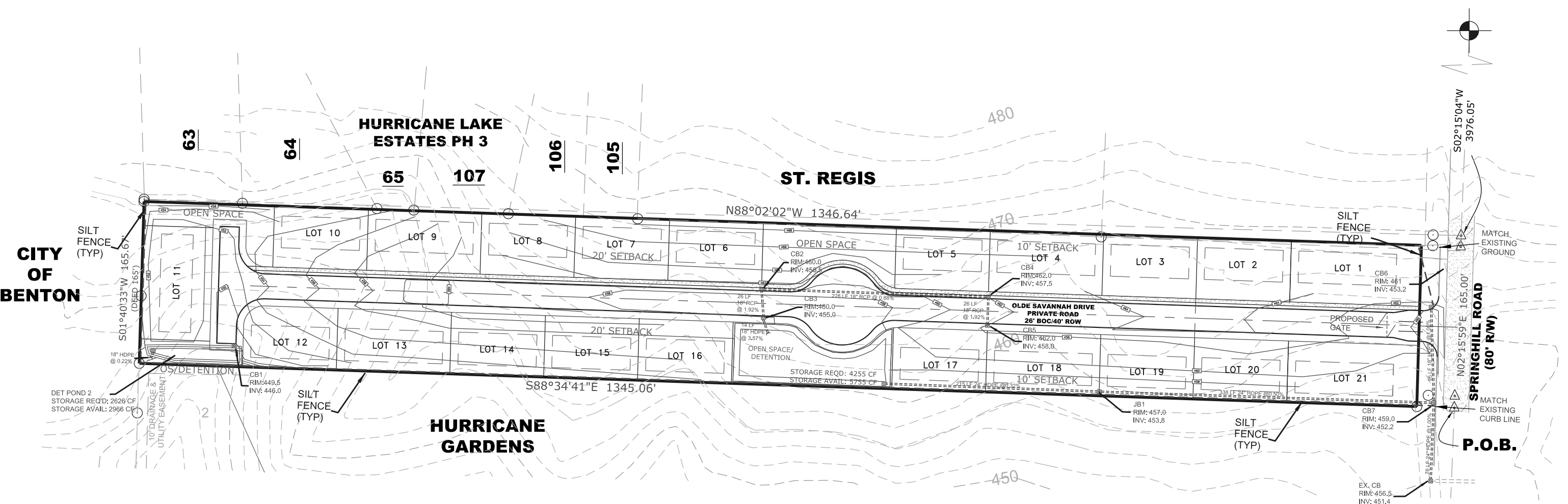
DATE: 05/15/2017	C.A.D. BY: EEK	DRAWING NUMBER:
REVISED:	CHECKED BY: E. Krebs	C2
	SCALE: 1" = 100'	SHEET NUMBER:



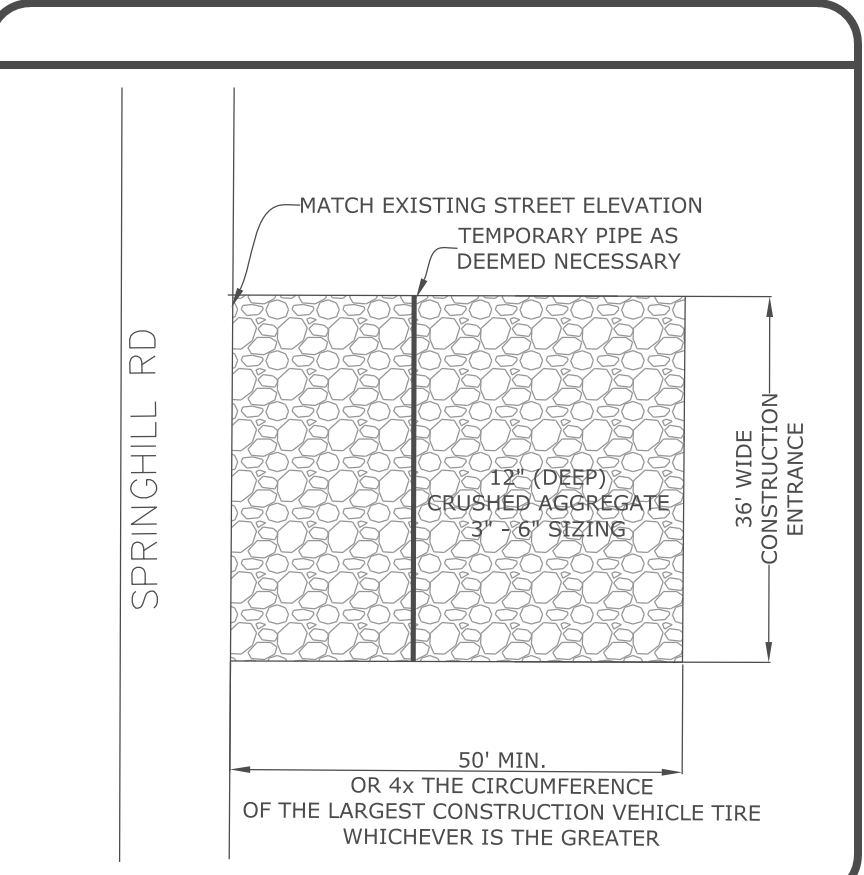
LEGEND

—	PROPERTY LINE	⊕	METER POLE
—	OVERHEAD UTILITY	⊕	TELEPHONE PEDESTAL
—	OVERHEAD ELECTRIC	⊕	SEWER MANHOLE
—	GAS LINE	⊕	FIRE HYDRANT
—	WATER LINE	⊕	SOIL/SIGN POST
—	SANITARY SEWER LINE	⊕	GUY ANCHOR
⊕	PER PLAT	⊕	SOIL BORE
⊕	PER DEED	⊕	POWER POLE w/TRANSFORMER
⊕	AS PER MEASURED IN FIELD	⊕	POWER POLE
⊕	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊕	END OF MARKINGS
⊕	CALCULATED POINT	⊕	EDM MATERIAL
⊕	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊕	CPS
⊕	FND 1/2" REBAR (UNLESS NOTED)	⊕	COTTON PICKER SPINDLE
⊕	WATER METER	⊕	CURB INLET
⊕	WATER VALVE (UNLESS NOTED)	⊕	NOT TO SCALE
⊕	PLASTIC	⊕	DUCTILE IRON
⊕	GAS METER	⊕	ELECTRIC METER
⊕	LIGHT POLE	⊕	REFERENCE
		⊕	UNDERGROUND ELECTRIC
		⊕	OVERHEAD ELECTRIC
		⊕	TYPICAL
		⊕	INTERMEDIATE PRESSURE
		⊕	W
		⊕	WELDED
		⊕	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.



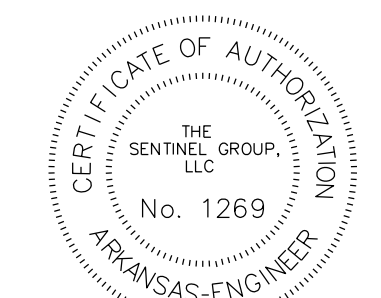
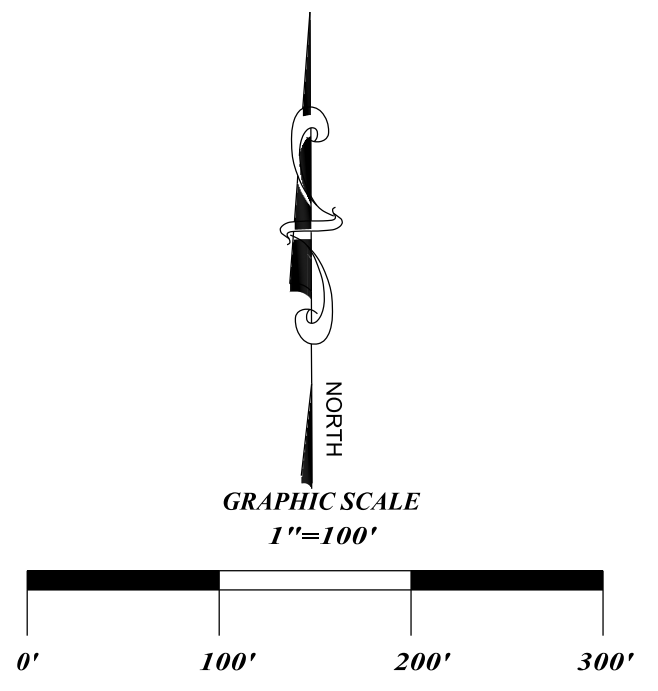
OLDE SAVANNAH DRIVE PROFILE



CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

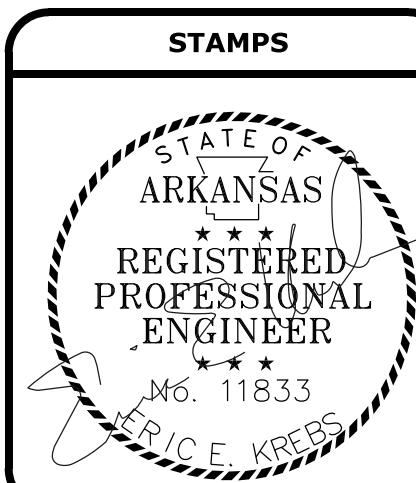
CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

- ### EROSION CONTROL NOTES
- The site must be posted as required by the NPDES Permit, to include the NPDES Notice of Intent, Permit Number, and this plan.
 - All stormwater pollution control measures must be inspected every 7 days.
 - A rain gauge is required to be installed somewhere on site. If the gauge indicates 1/2" or more of rainfall within a 24 hr. period, an inspection of all control measures must be accomplished immediately.
 - Hay bales will be installed at all storm inlets to reduce silt and sediment entering the receiving stream.
 - Records must be maintained for all inspections conducted. All control measures must be maintained to adequately filter silt and debris that may exit the site by storm water runoff.
 - A silt fence barrier is to be placed 70' on each side of the centerline of right of way at the time of road construction.
 - All sedimentation basins will be used for erosion control purposes.



**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG CALL ARKANSAS ONE CALL (TOLL FREE) 1-800-482-8998 PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATION

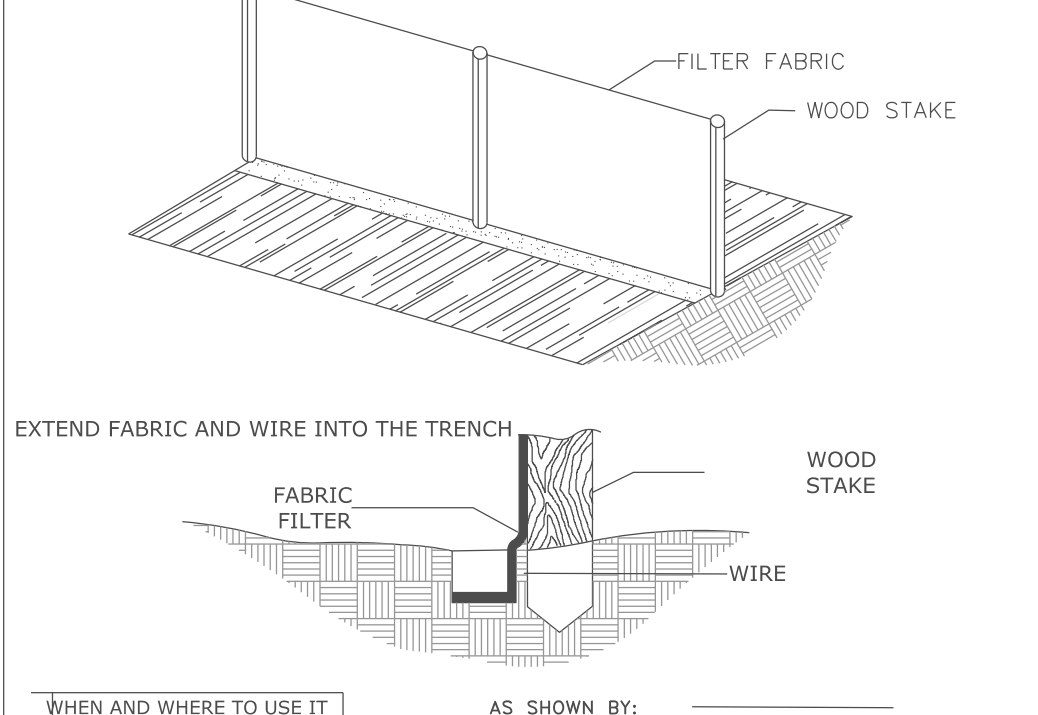


VICINITY MAP - N.T.S.

EROSION CONTROL DETAILS

WHAT IS THIS?

A SILT FENCE ALSO CALLED A "FILTER FENCE" IS A TEMPORARY MEASURE FOR SEDIMENTATION CONTROL. IT USUALLY CONSISTS OF POSTS WITH FILTER FABRIC STRETCHED ACROSS THE POSTS AND SOMETIMES WITH A WIRE SUPPORT FENCE. THE LOWER EDGE OF THE FENCE IS VERTICALLY TRENCHED AND COVERED BY BACKFILL. A SILT FENCE IS USED IN SMALL DRAINAGE AREAS TO DETAIN SEDIMENT. THESE FENCES ARE MOST EFFECTIVE WHERE THERE IS OVERLAND FLOW (RUNOFF THAT FLOWS OVER THE SURFACE OF THE GROUND AS A THIN, EVEN LAYER) OR IN MINOR SWALES OR DRAINAGEWAYS. THEY PREVENT SEDIMENT FROM ENTERING RECEIVING WATERS. SILT FENCES ARE ALSO USED TO CATCH WIND BLOWN SAND AND TO CREATE AN ANCHOR FOR SAND DUNE CREATION, ASIDE FROM THE TRADITIONAL WOODEN POST AND FILTER METHOD. THERE ARE SEVERAL VARIATIONS OF SILT FENCE INSTALLATION INCLUDING SILT FENCE WHICH CAN BE PURCHASED WITH POCKETS WITH POCKETS PRESEWN TO ACCEPT USE OF STEEL FENCE POSTS.



WHEN AND WHERE TO USE IT

AS SHOWN BY:

A SILT FENCE SHOULD BE INSTALLED PRIOR TO MAJOR SOIL DISTURBANCE IN THE DRAINAGE AREA. SUCH A STRUCTURE IS ONLY APPROPRIATE FOR DRAINAGE AREAS 50' WIDE OR LESS WITH VELOCITIES OF 0.5 FEET OR LESS (WASHINGTON STATE, 1992). THE FENCE SHOULD BE PLACED ACROSS THE BOTTOM OF A SLOPE OR MINOR DRAINAGEWAY ALONG A LINE OF UNIFORM ELEVATION (PERPENDICULAR TO THE DIRECTION OF FLOW). IT CAN BE USED AT THE OUTER BOUNDARY OF THE WORK AREA. HOWEVER, THE FENCE DOES NOT HAVE TO SURROUND THE WORK AREA COMPLETELY. IN ADDITION, A SILT FENCE IS EFFECTIVE WHERE SHEET AND HILL EROSION MAY BE A PROBLEM. SILT FENCES SHOULD NOT BE CONSTRUCTED IN STREAMS OR SWALES.

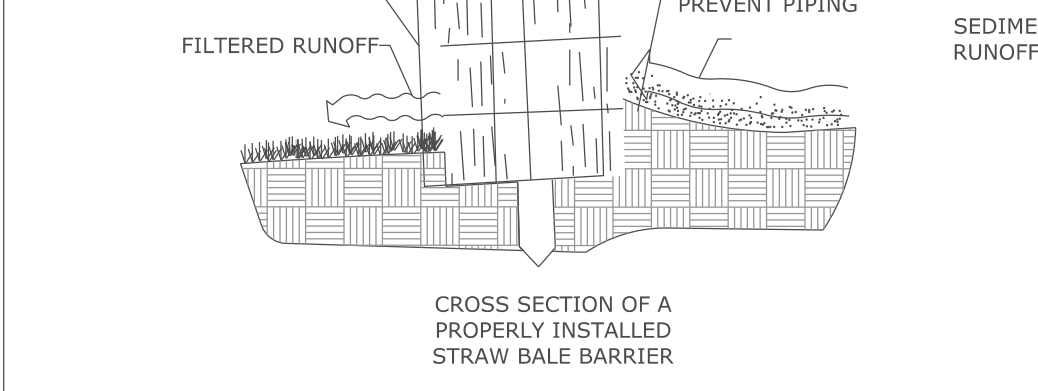
STORMWATER DETENTION POND MAINTENANCE PLAN:

- OPERATION AND MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. ALL STRUCTURES INCLUDING DETENTION PONDS, INTAKE/OUTLET STRUCTURES, PIPES, ETC. SHALL BE ROUTINELY INSPECTED AND REPAIRED AS NECESSARY TO AVOID REDUCED CONVEYANCE CAPACITY, DISPLEASING AESTHETICS, AND ULTIMATE FAILURE. SEDIMENT AND DEBRIS SHALL BE PERIODICALLY REMOVED FROM STORMWATER FEATURES. INLETS SHALL ALSO BE ROUTINELY CLEARED OF DEBRIS TO MAINTAIN SYSTEM CAPACITY.
- DEVELOPER SHALL PROVIDE FOR PERPETUAL MAINTENANCE OF PRIVATE DRAINAGE FACILITIES. PRIVATE FACILITIES ARE THOSE DRAINAGE IMPROVEMENTS WHICH REMAIN ON PRIVATE PROPERTY AND HAVE NOT BEEN OFFICIALLY ACCEPTED BY THE CITY FOR OWNERSHIP AND MAINTENANCE.
- ACCESS SHALL BE PROVIDED TO ALL STORMWATER FACILITIES FOR MAINTENANCE AND INSPECTION AS NECESSARY. DEVELOPERS SHALL BE RESPONSIBLE FOR PROVIDING SYSTEM FEATURES TO FACILITATE MAINTENANCE OF DRAINAGE SYSTEMS, INCLUDING INLETS, PIPES, CULVERTS, AND DETENTION AREAS AND APPURTENANCES. FOR ADDITIONAL INFORMATION, SEE CITY OF BRYANT STORMWATER MANAGEMENT MANUAL.
- POC FOR STORMWATER FACILITY MAINTENANCE IS: IVES AND ASSOCIATES (ATTN: RANDY IVES) P.O. BOX 22407, LITTLE ROCK, AR 72221 (501)658-2281

STRAW BALE BARRIER

WHAT IS THIS?

STRAW BALES CAN BE USED AS A TEMPORARY SEDIMENT BARRIER. THEY ARE PLACED END TO END IN A SHALLOW EXCAVATED TRENCH (WITH NO GAPS IN BETWEEN) AND STAKED INTO PLACE. IF PROPERLY INSTALLED, THEY CAN DETAIN SEDIMENT AND REDUCE FLOW VELOCITY FROM SMALL DRAINAGE AREAS. A STRAW BALE BARRIER PREVENTS SEDIMENT FROM LEAVING THE SITE BY TRAPPING THE SEDIMENT IN THE BARRIER WHILE ALLOWING THE RUNOFF TO PASS THROUGH. IT CAN BE USED TO DECREASE THE VELOCITY OF SHEETFLOW OR CHANNEL FLOWS OF LOW-TO-MODERATE LEVELS.



WHEN AND WHERE TO USE IT

AS SHOWN BY:

A STRAW BALE BARRIER SHOULD BE INSTALLED PRIOR TO MAJOR SOIL DISTURBANCE IN THE DRAINAGE AREA. THIS TYPE OF BARRIER IS PLACED PERPENDICULAR TO THE FLOW, ACROSS THE BOTTOM OF A SLOPE OR MINOR DRAINAGEWAY WHERE THERE IS SHEET FLOW. IT CAN BE USED AT THE PERIMETER OF THE WORK AREA, ALTHOUGH IT DOES NOT HAVE TO SURROUND IT COMPLETELY. IT CAN ALSO BE VERY EFFECTIVE WHEN USED IN COMBINATION WITH OTHER EROSION AND SEDIMENT CONTROL PRACTICES. A STRAW BALE BARRIER MAY BE USED WHERE THE LENGTH OF SLOPE BEHIND THE BARRIER IS LESS THAN 100 FEET AND WHERE THE SLOPE IS LESS THAN 2:1.

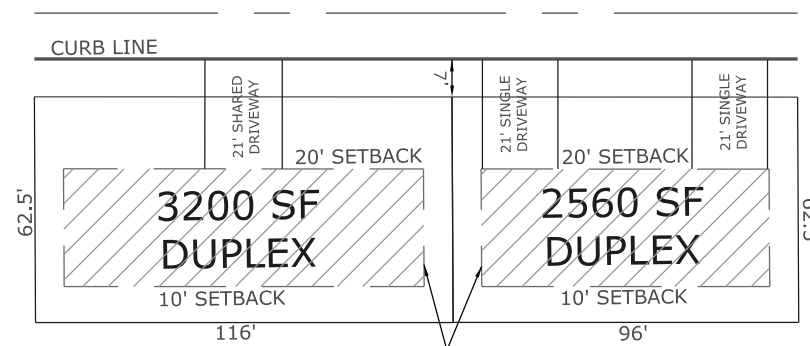
WHAT TO CONSIDER

THE SUCCESS OF A STRAW BALE BARRIER DEPENDS ON PROPER INSTALLATION. THE BALES MUST BE FIRMLY STAKED INTO THE ENTRENCHMENT AND THE ENTRENCHMENT MUST BE PROPERLY BACKFILLED, TO FUNCTION EFFECTIVELY, THE BALES MUST BE PLACED END TO END AND THERE CAN BE NO GAPS BETWEEN THE BALES.

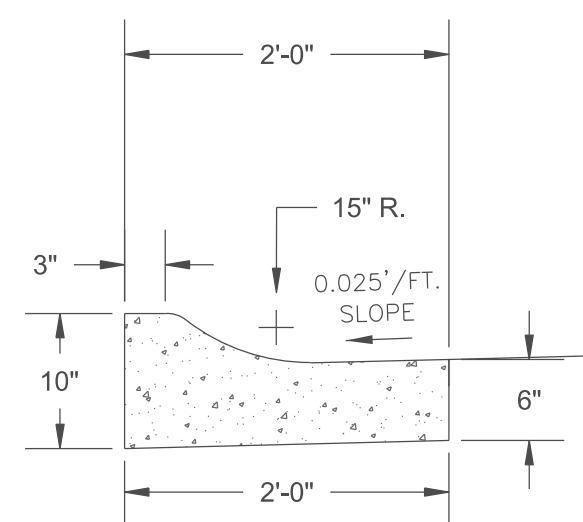
STRAW BALE BARRIERS ARE USEFUL FOR APPROXIMATELY 3 MONTHS. THEY MUST BE INSPECTED AND REPAIRED IMMEDIATELY AFTER EACH RAINFALL OR DAILY IF THERE IS PROLONGED RAINFALL. DAMAGED STRAW BALES REQUIRE DAMAGED STRAW BALES REQUIRE IMMEDIATE REPLACEMENT. AFTER EACH STORM, OR ON A REGULAR BASIS, TRAPPED SEDIMENTS MUST BE REMOVED AND DISPOSSED OF PROPERLY.

The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

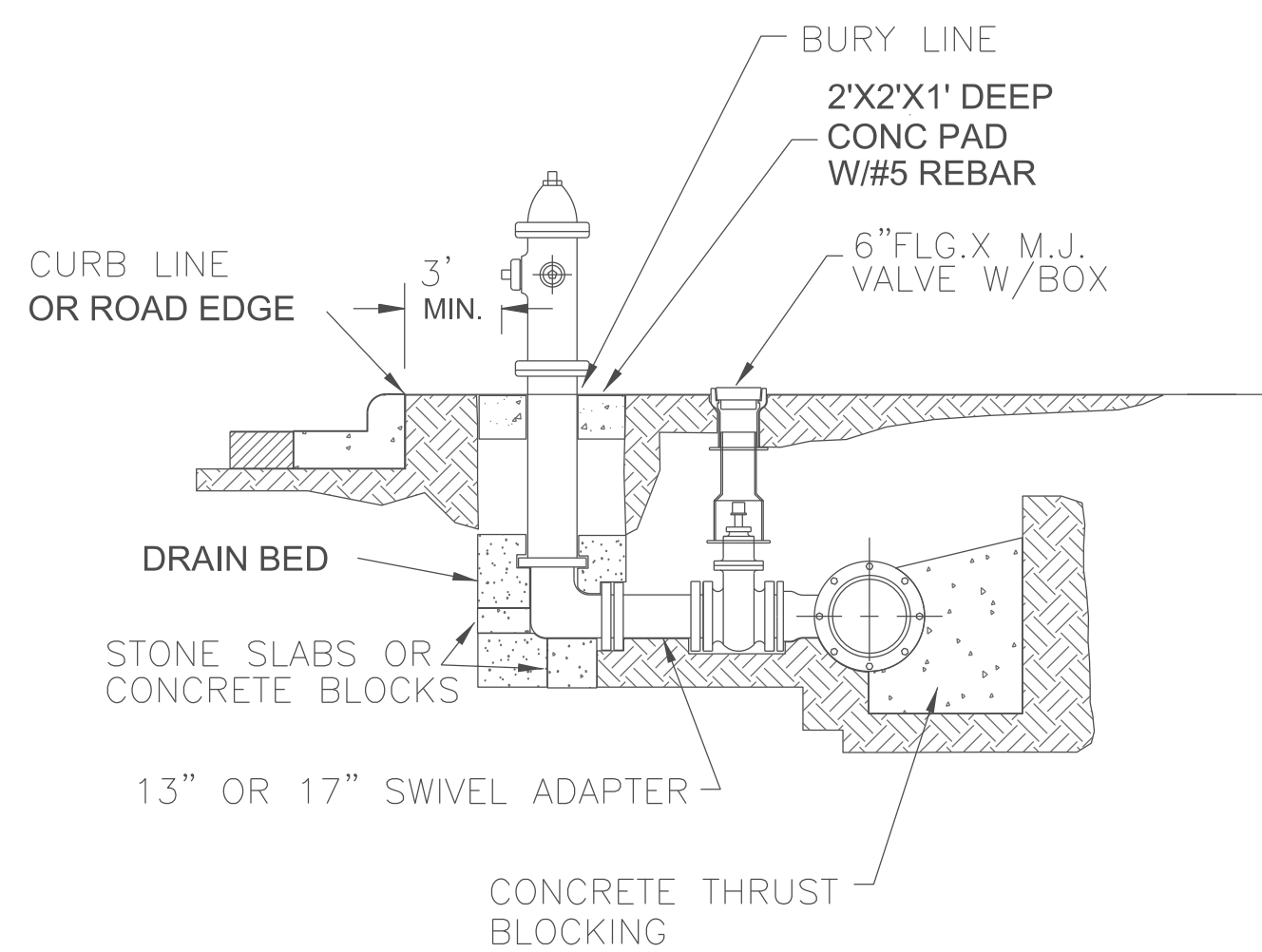
OWNER / DEVELOPER IVES INVESTMENTS GROUP, LLC		
GRADING/DRAINAGE/EROSION CONTROL OLDE SAVANNAH PUD SPRINGHILL ROAD BRYANT, ARKANSAS		
DATE: 05/19/2017	C.A.D. BY: EEK	DRAWING NUMBER: C3
REVISED:	CHECKED BY: E. Krebs	SHEET NUMBER:
	SCALE: 1" = 100'	



TYPICAL LOT LAYOUT
NTS

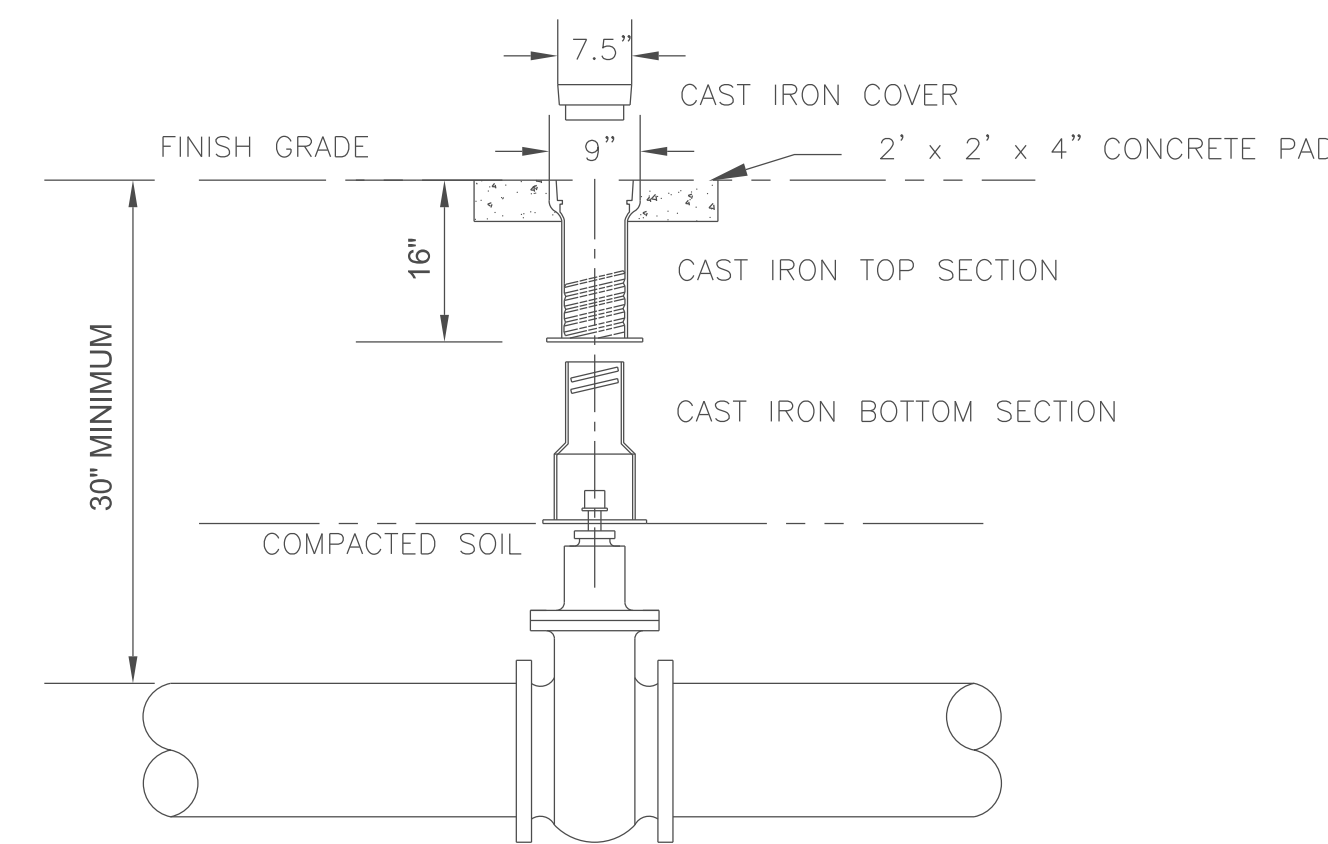


CONCRETE CURB SECTION



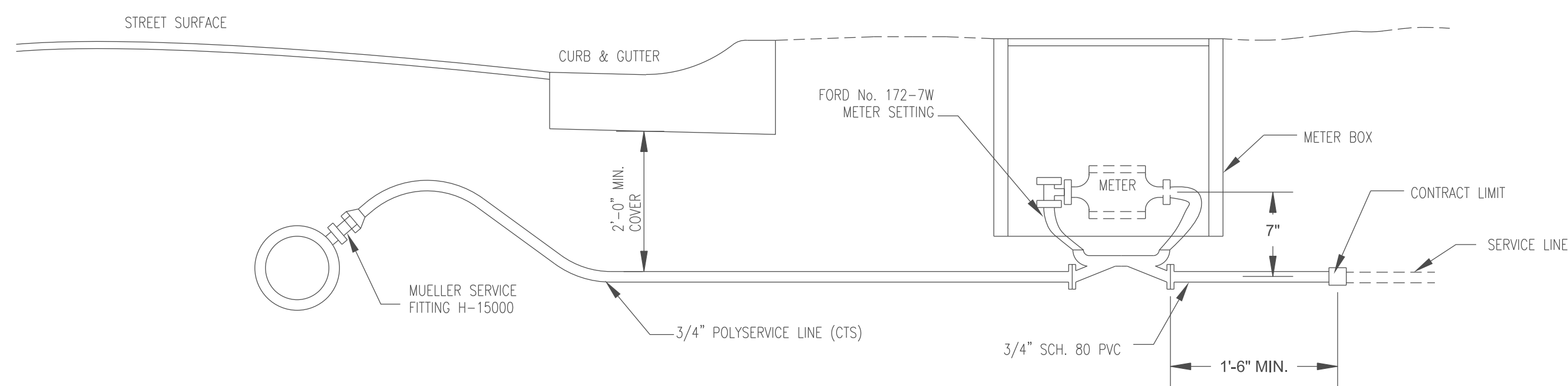
FIRE HYDRANT & VALVE DETAIL

N.T.S.



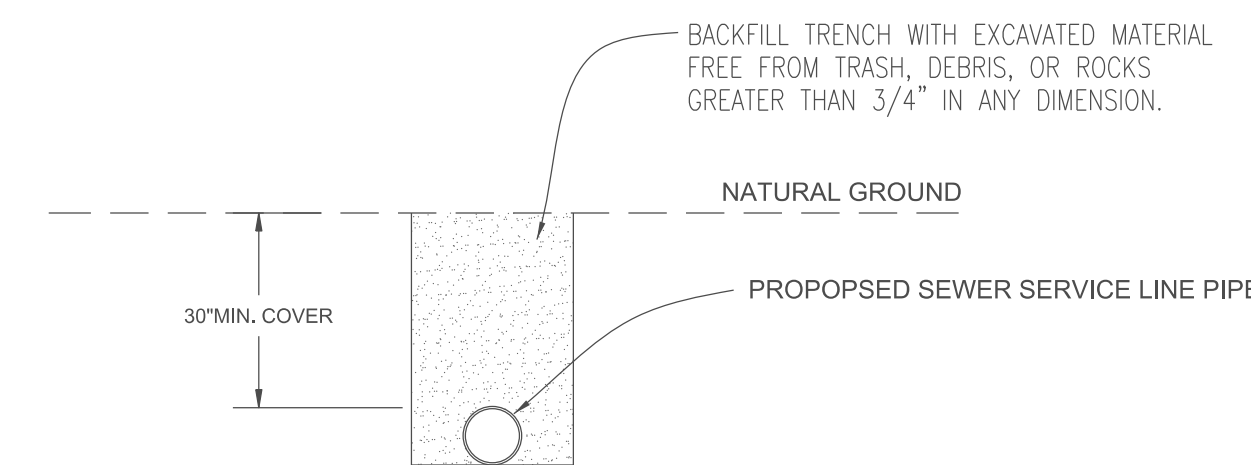
VALVE INSTALLATION DETAIL

N.T.S.



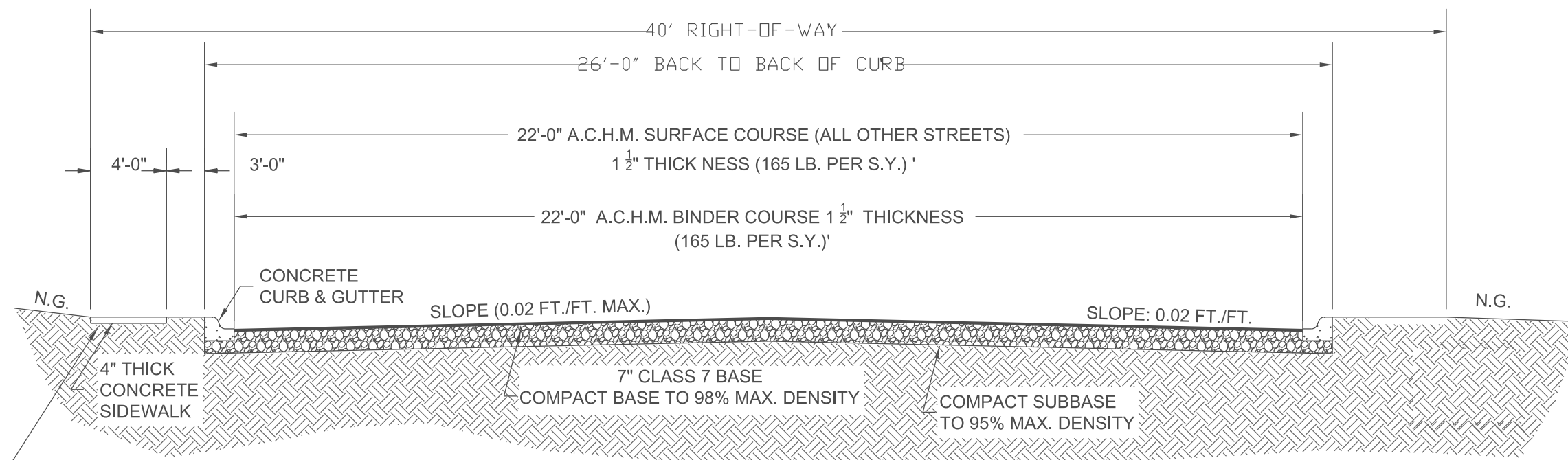
TYPICAL SERVICE CONNECTION

N.T.S.



TYPICAL SEWER SERVICE LINE TRENCH DETAIL
WITH NO RESURFACING REQUIRED

N.T.S.



TYPICAL STREET & SIDEWALK SECTION

N.T.S.

COMPACT SUBGRADE UNDER ALL SIDEWALKS TO 90% OF MAX. DENSITY (MOD. PROCTOR) MIN. SIDEWALKS SHALL NOT BE PLACED ON GRASSY OR ORGANIC MATERIALS

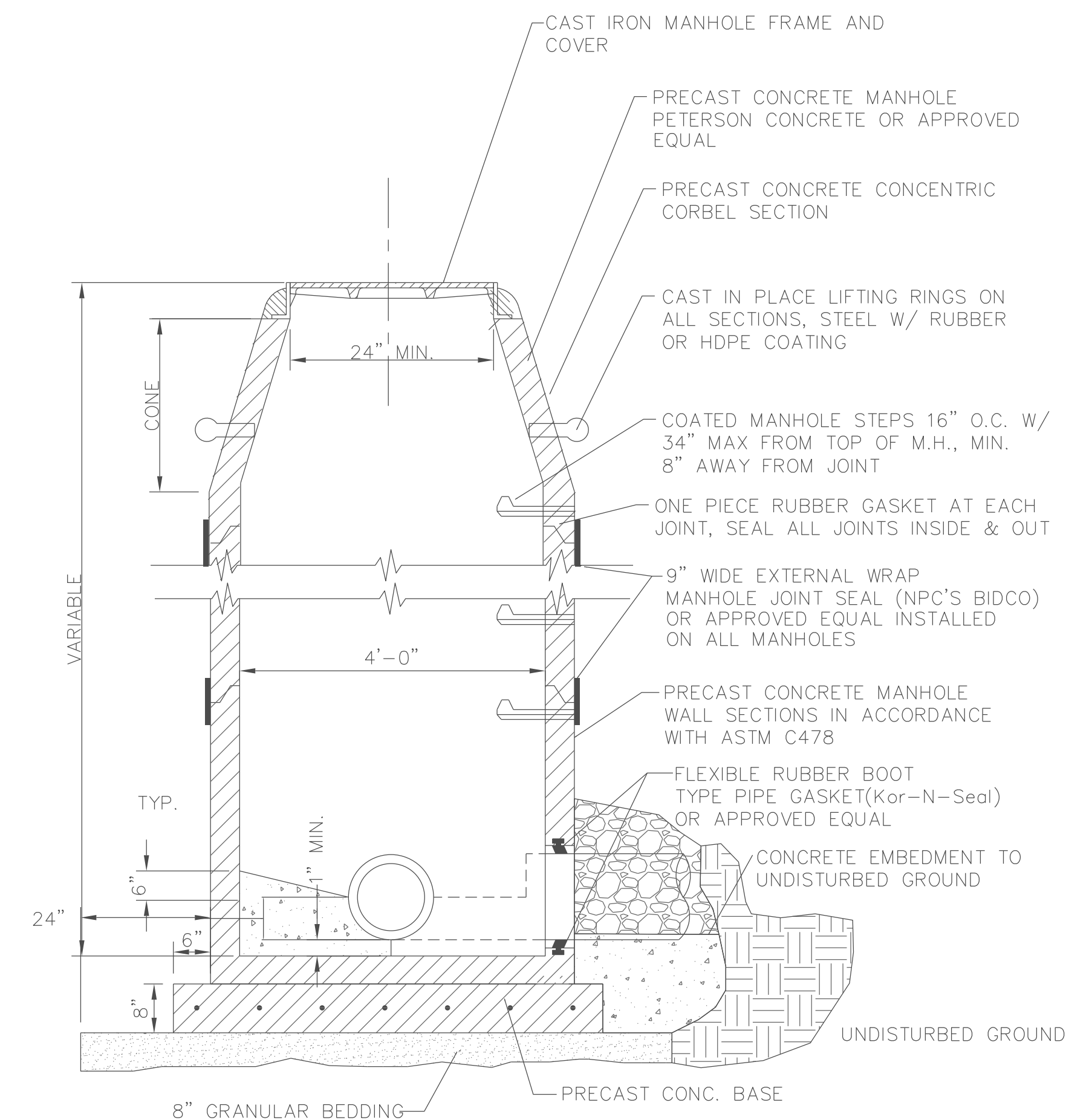
ROAD BASE UNDERCUTTING NOTE:
ALL AREAS NOTED TO BE UNDERCUT BY THE PROJECT GEOTECHNICAL REPORT SHALL HAVE EXISTING UNSUITABLE MATERIAL REMOVED TO THE RECOMMENDED DEPTH AND THE REMOVED MATERIAL SHALL BE DISPOSED OF. THE UNDERCUT SHALL BE FILLED WITH LOW VOLUME CHANGE EARTHEN MATERIAL. THE UNDERCUT FILL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.

SIDEWALK NOTES:

1. ALL SIDEWALKS SHALL BE REINFORCED WITH WOVEN WIRE FABRIC REINFORCEMENT.
2. CONTRACTION JOINTS SHALL BE CONSTRUCTED PERPENDICULAR TO THE SIDEWALK AT 4'-0" INTERVALS.
3. EXPANSION JOINTS SHALL BE CONSTRUCTED PERPENDICULAR TO THE SIDEWALK AT 20'-0" INTERVALS, & AT DRIVEWAYS, DROP INLETS AND CURBS. JOINTS SHALL BE MADE WITH 1/2" NON-EXTRUDING PRE-FORMED EXPANSION JOINT FILLER.
4. SIDEWALKS SHALL COMPLY WITH ALL ADA REQUIREMENTS, AND SHALL HAVE A MAXIMUM TRANSVERSE SLOPE OF 2%.

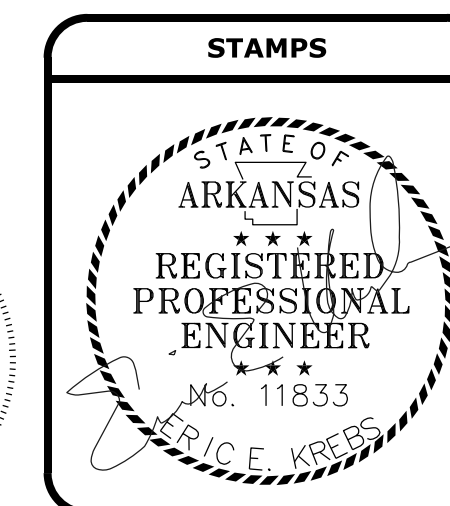
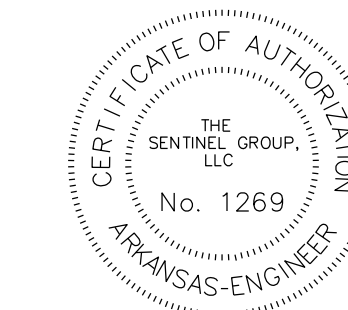
CONCRETE NOTE:

ALL CONCRETE USED IN CURBS & GUTTERS AND SIDEWALKS SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, MINIMUM.

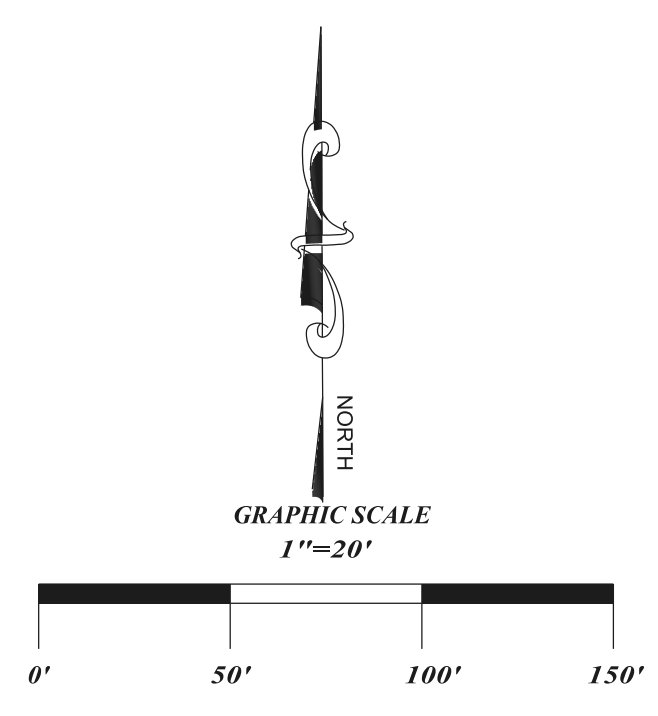
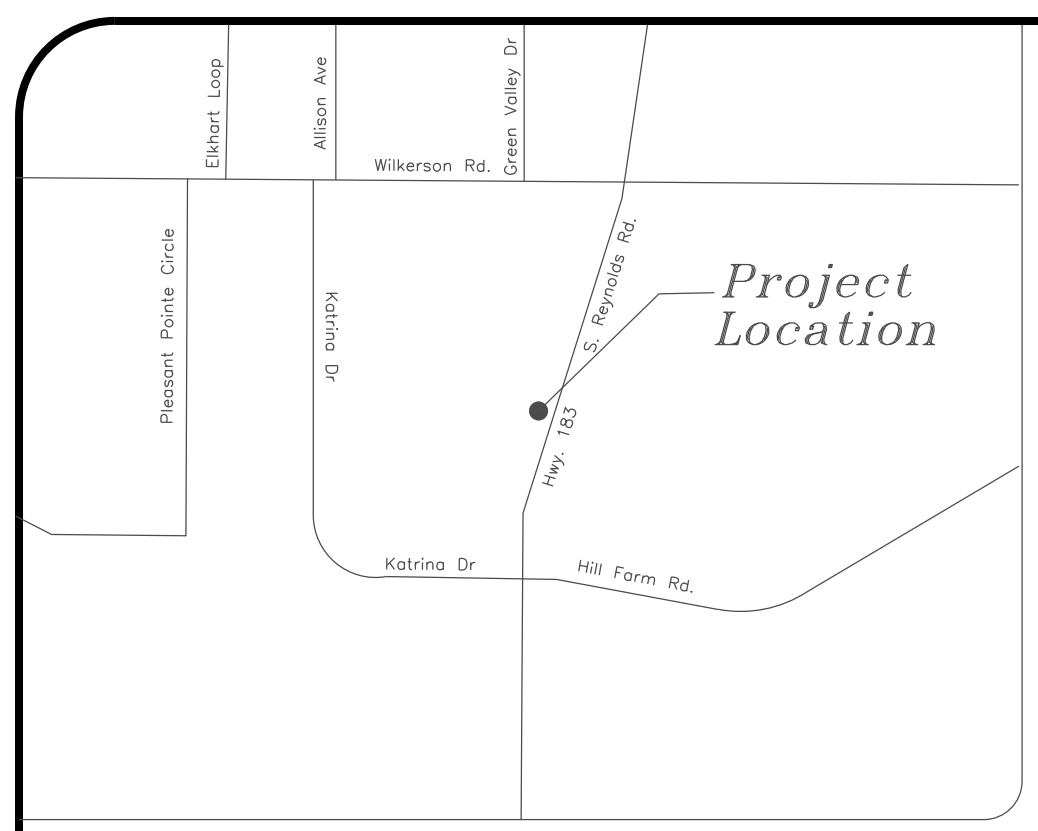


PRECAST CONCRETE MANHOLE

N.T.S.



The Sentinel Group, LLC Civil Engineering - Development - Planning - Project Management 2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547		
OWNER / DEVELOPER IVES INVESTMENTS GROUP, LLC		
GENERAL SITE DETAILS OLDE SAVANNAH PUD SPRINGHILL ROAD BRYANT, ARKANSAS		
DATE: 03/14/2016	C.A.D. BY: EEK	DRAWING NUMBER:
REVISIONS:	CHECKED BY: E. Krebs	C4
	SCALE: AS SHOWN	SHEET NUMBER:



LEGEND

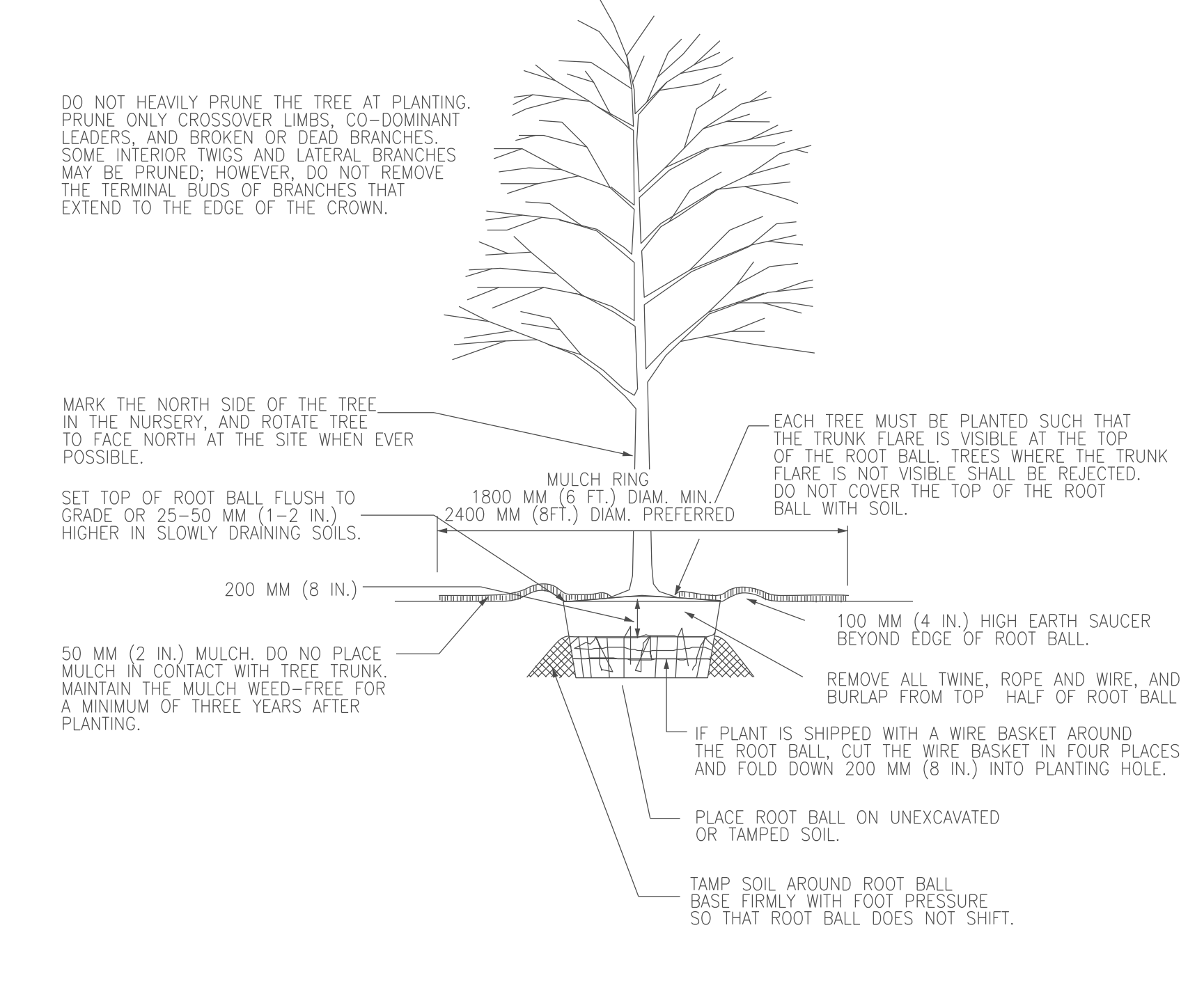
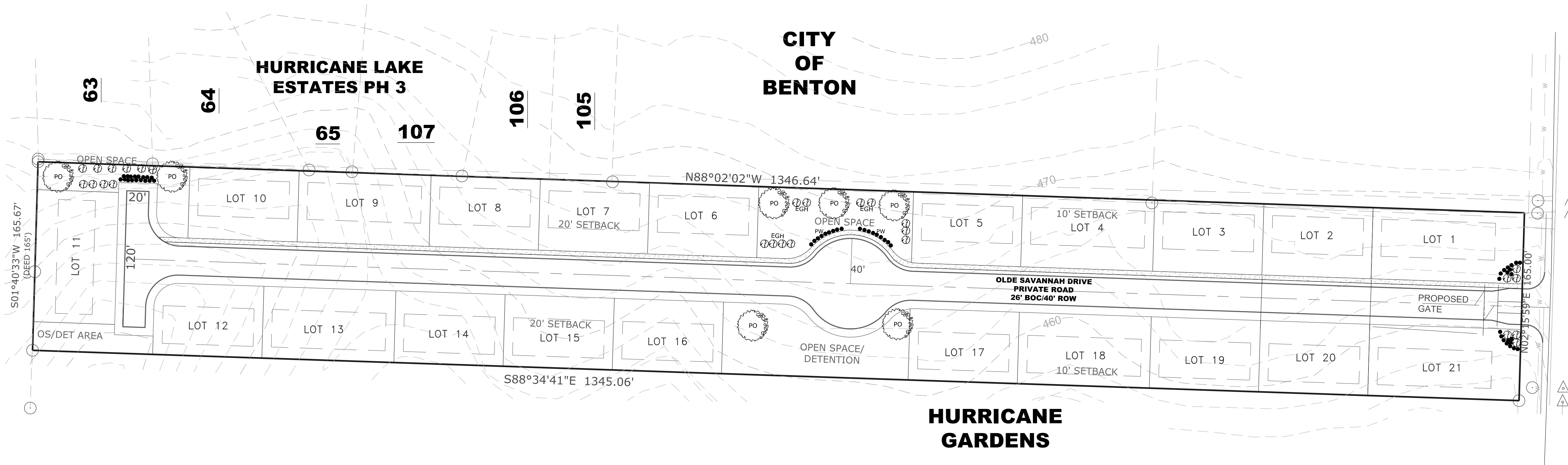
—	PROPERTY LINE	⊠	METER POLE
—	OVERHEAD UTILITY	⊞	TELEPHONE PEDESTAL
—	OVERHEAD ELECTRIC	⊚	SEWER MANHOLE
—	GAS LINE	⊚	FIRE HYDRANT
—	WATER LINE	⊚	SIGN/SIGN POST
—	SANITARY SEWER LINE	⊚	QUI ANCHOR
⊚	SOIL BORE	⊚	POWER POLE w/TRANSFORMER
(P)	PER PLAT	⊚	POWER POLE
(D)	PER DEED	⊚	END OF MARKINGS
(M)	AS PER MEASURED IN FIELD	⊚	MATERIAL
↔	SHOWN FOR DIRECTION ONLY (LINE CONTINUES)	⊚	COTTON PICKER SPINDLE
⊚	CALCULATED POINT	⊚	CURB INLET
⊚	SET 1/2" REBAR w/CAP (UNLESS NOTED)	⊚	NOT TO SCALE
⊚	FND 1/2" REBAR (UNLESS NOTED)	⊚	DUCTILE IRON
⊚	WATER METER	⊚	ELECTRIC METER
⊚	PLASTIC	⊚	REF.
⊚	WATER VALVE (UNLESS NOTED)	⊚	UNDERGROUND ELECTRIC
⊚	GAS METER	⊚	OVERHEAD ELECTRIC
⊚	LIGHT POLE	⊚	TYPICAL
		⊚	IP
		⊚	INTERMEDIATE PRESSURE
		⊚	W
		⊚	WELDED
		⊚	METER/LIGHT POLE

All Symbols May Not Appear On Drawing. Use As Applicable.

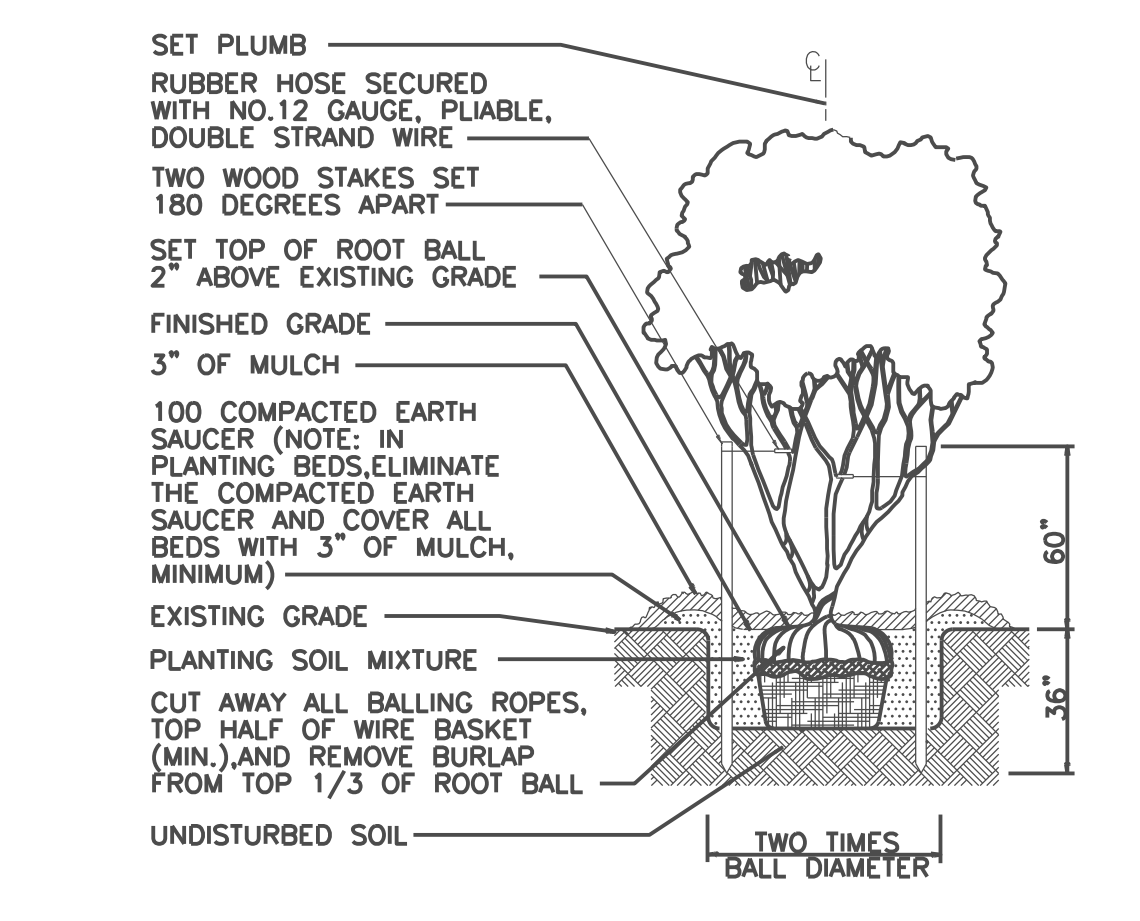
- LANDSCAPING NOTES**
- A. GRADING NOTES:**
- CONTRACTOR TO GRADE ALL AREAS SHADED IN THE PLAN, INCLUDING ROW.
 - TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
 - TILL SOIL TO A DEPTH OF 4" MINIMUM.
 - REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
 - GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
 - ALL GRADED AREAS TO RECEIVE SEED OR SOD. TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- B. LAWN SEEDING AND SODDING NOTES:**
- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
 - AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
 - SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 2/3 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
 - STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR, FREE OF ERODED OR BARE AREAS.
- C. LANDSCAPE NOTES:**
- ALL LANDSCAPING SHALL BE INSTALLED/MAINTAINED IN ACCORDANCE WITH THE CITY OF BRYANT LANDSCAPING REGULATIONS.
 - ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
 - ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
 - ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
 - ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
 - PRIOR TO FINAL ACCEPTANCE, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS A-C ABOVE.
 - MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 4:1 GRADES.
- D. IRRIGATION NOTES:**
- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
 - IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
 - A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
 - LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.
 - IRRIGATION DESIGN TO BE PROVIDED BY LANDSCAPE CONTRACTOR.

VICINITY MAP - N.T.S.

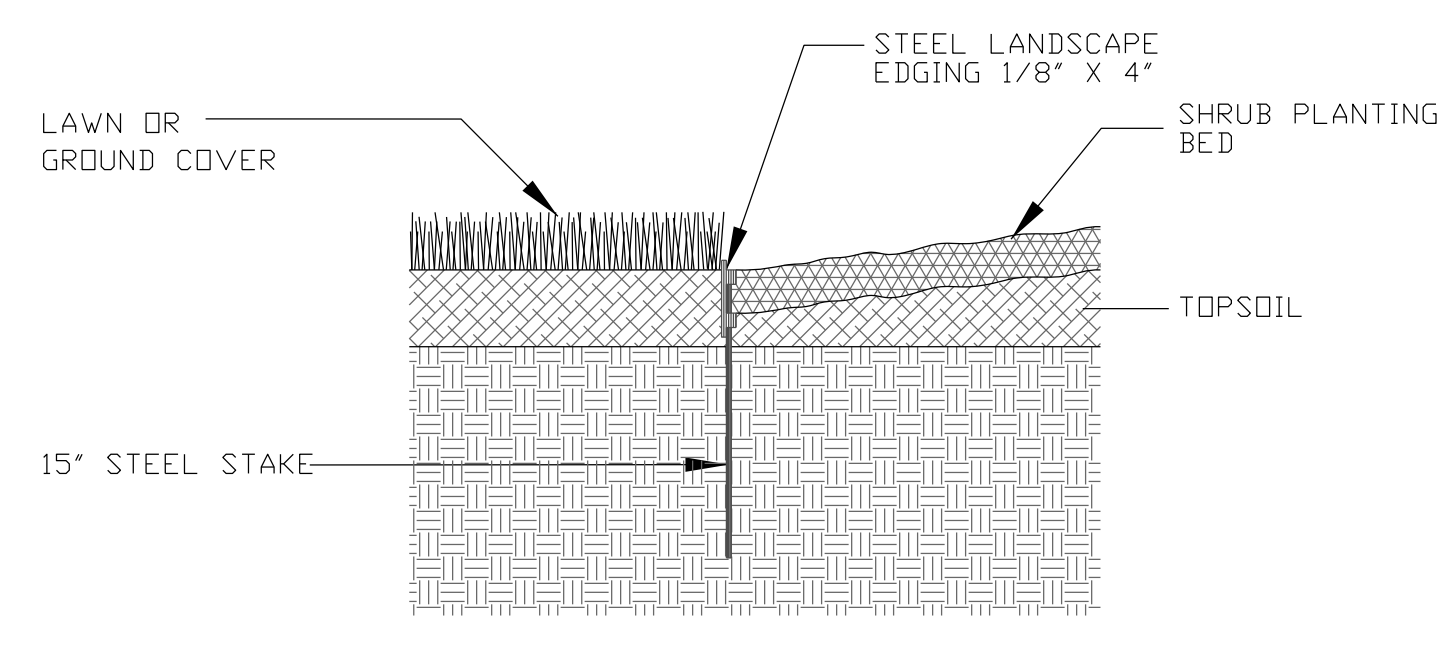
CITY OF BENTON



TREE PLANTING DETAIL
NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.



SHRUB PLANTING DETAIL
NOT TO SCALE



STEEL EDGING DETAIL
NOT TO SCALE

CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADE BEFORE AND DURING CONSTRUCTION

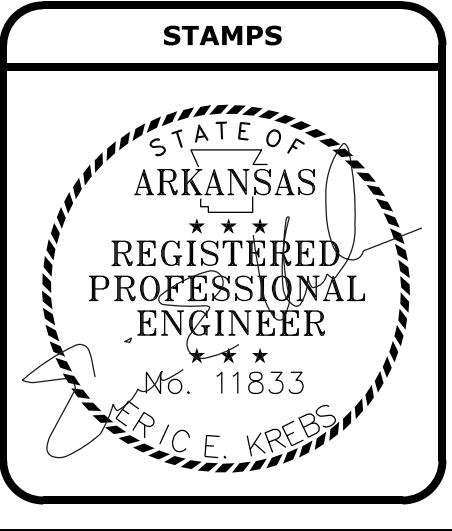
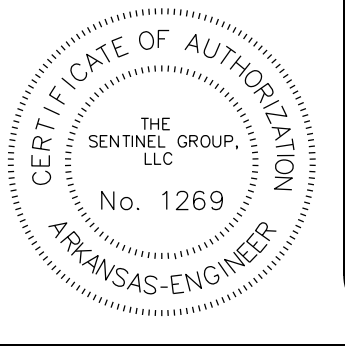
CONTRACTOR IS ALSO RESPONSIBLE FOR SHORING AND ENSURING THAT THERE IS NO SLOUGHING OF ADJACENT PROPERTY UNLESS OTHERWISE APPROVED IN WRITING BY THE ADJACENT PROPERTY OWNER.

**** UTILITY WARNING ****

48 HOURS BEFORE YOU DIG CALL ARKANSAS ONE CALL (CALL FREE) 1-800-482-8586 PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATION

LANDSCAPE MATERIALS

QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE (MIN.)
7	PO	PIN OAK	QUERCUS PALUSTRIS	3 CAL. x 12'(T)
27	EGH	EVERGREEN HOLLIES	ILEX SPECIES	18" MIN.
3430 SF	PW	PERIWINKLE	VIOLA MINOR	



REVISION BLOCK

NO.	DESCRIPTION	DATE

BASIS OF BEARINGS
SEE SURVEY

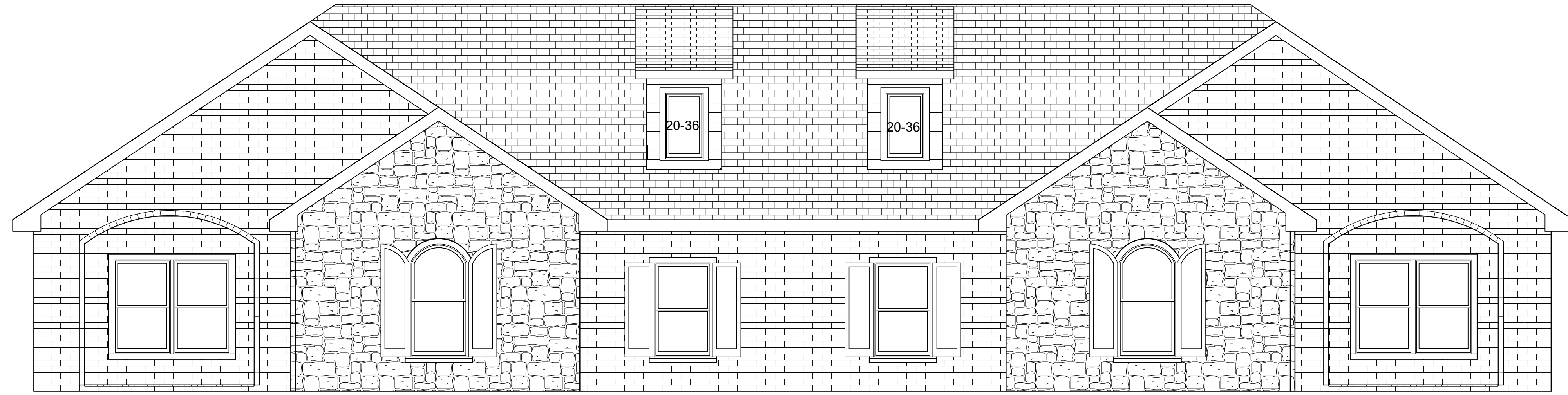
LEGAL DESCRIPTION
FOR LEGAL DESCRIPTION AND ALL OTHER INFORMATION PERTAINING TO THE LEGAL DESCRIPTION, PLEASE SEE THE SURVEY FOR THIS SITE.

The Sentinel Group, LLC
Civil Engineering - Development - Planning - Project Management
2712 Cypress Point Drive, Benton, Arkansas 72019 Ph: (501) 317-2547

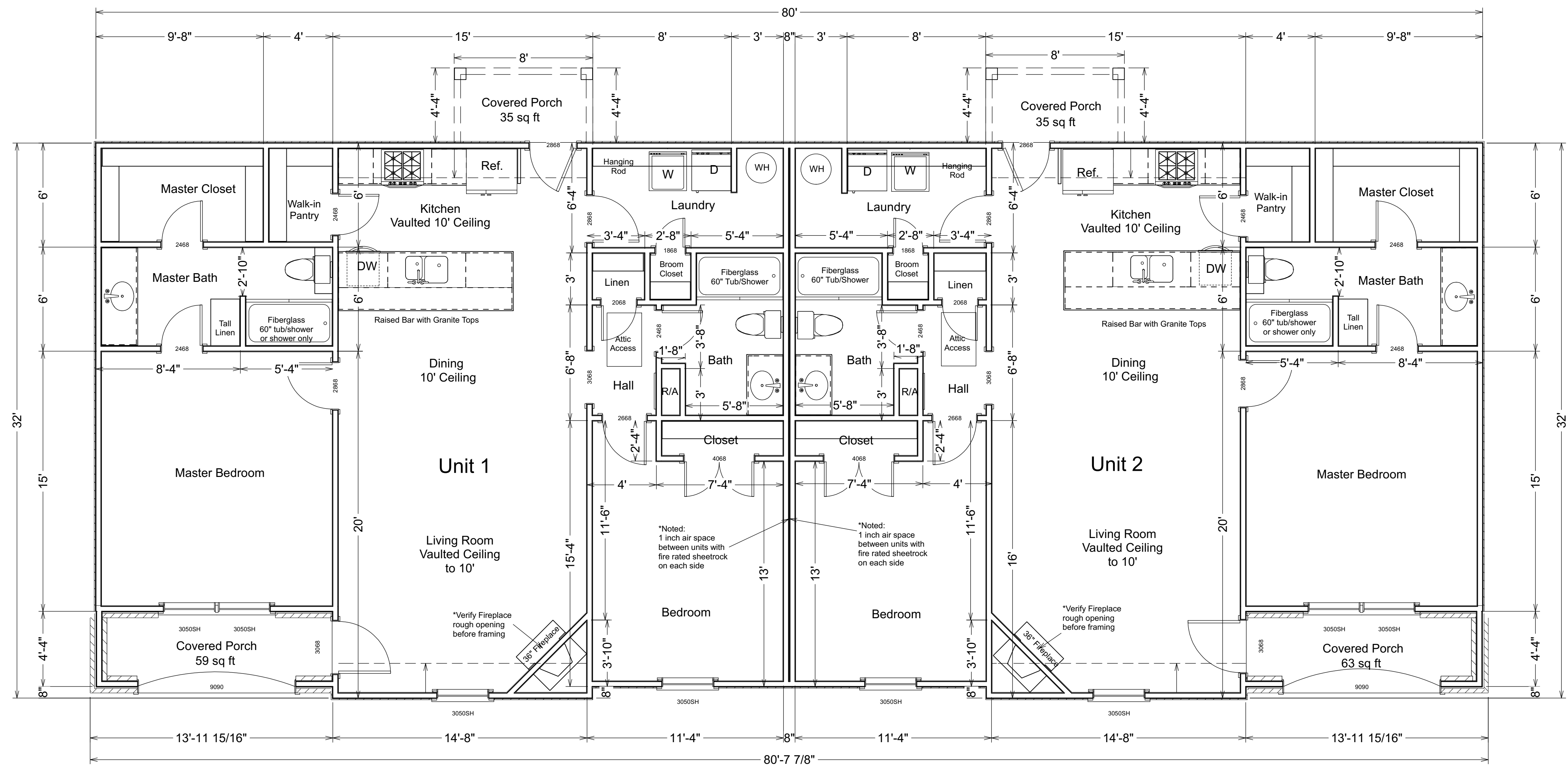
OWNER / DEVELOPER
IVES INVESTMENTS GROUP, LLC

LANDSCAPE PLAN
OLDE SAVANNAH PUD
SPRINGHILL ROAD
BRYANT, ARKANSAS

DATE: 05/20/2017 C.A.D. BY: EEK DRAWING NUMBER: L1
 REVISIONS: CHECKED BY: E. Krebs SHEET NUMBER:
 SCALE: 1" = 50'



Front Elevation
Scale 1/4"=1'



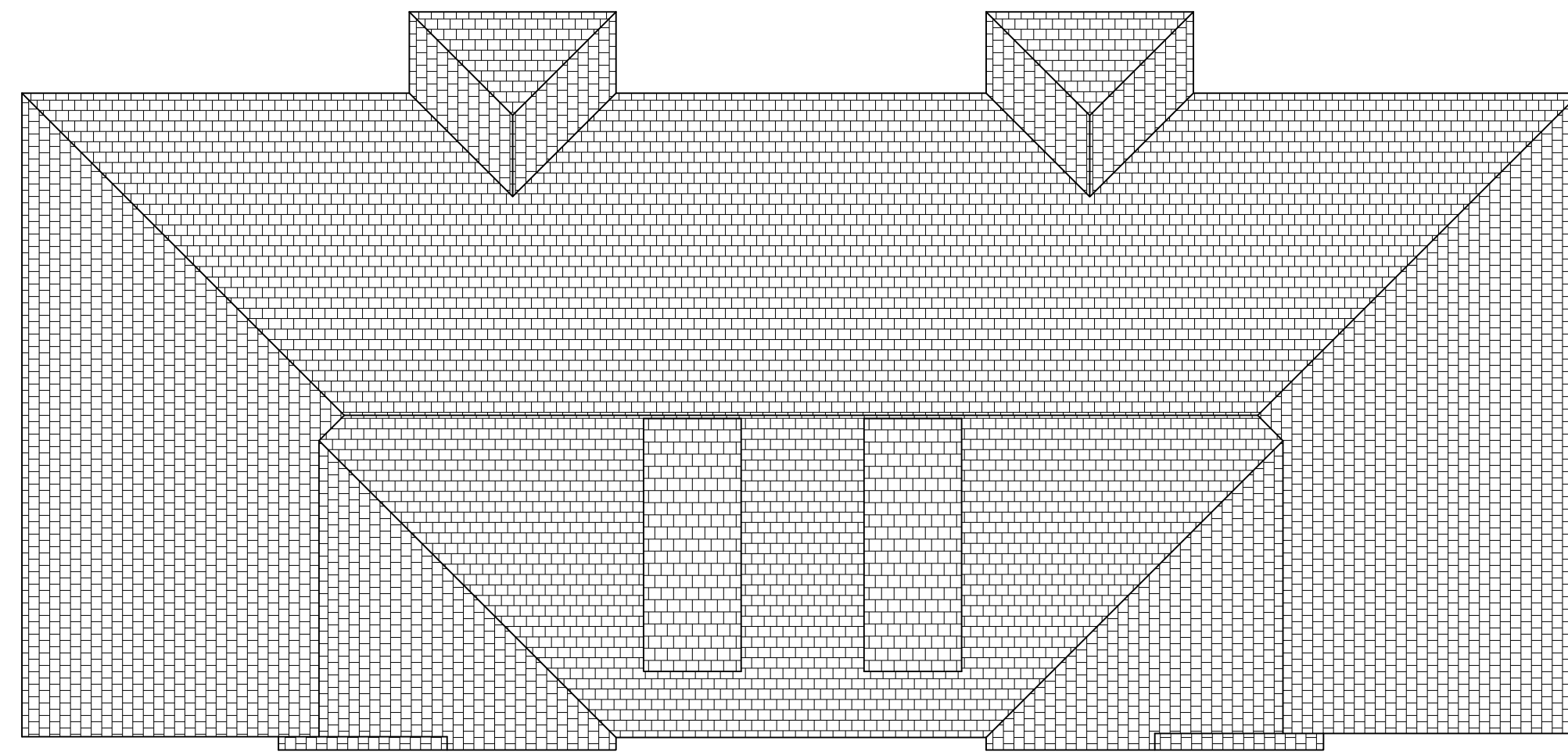
Scale 1/4"=1'
Roof Pitch 8:12
Walls 9 ft. unless noted

Total Heated & Cooled 2408 sq ft
1,204 SF per Unit
Framing & Slab 2,596 SF

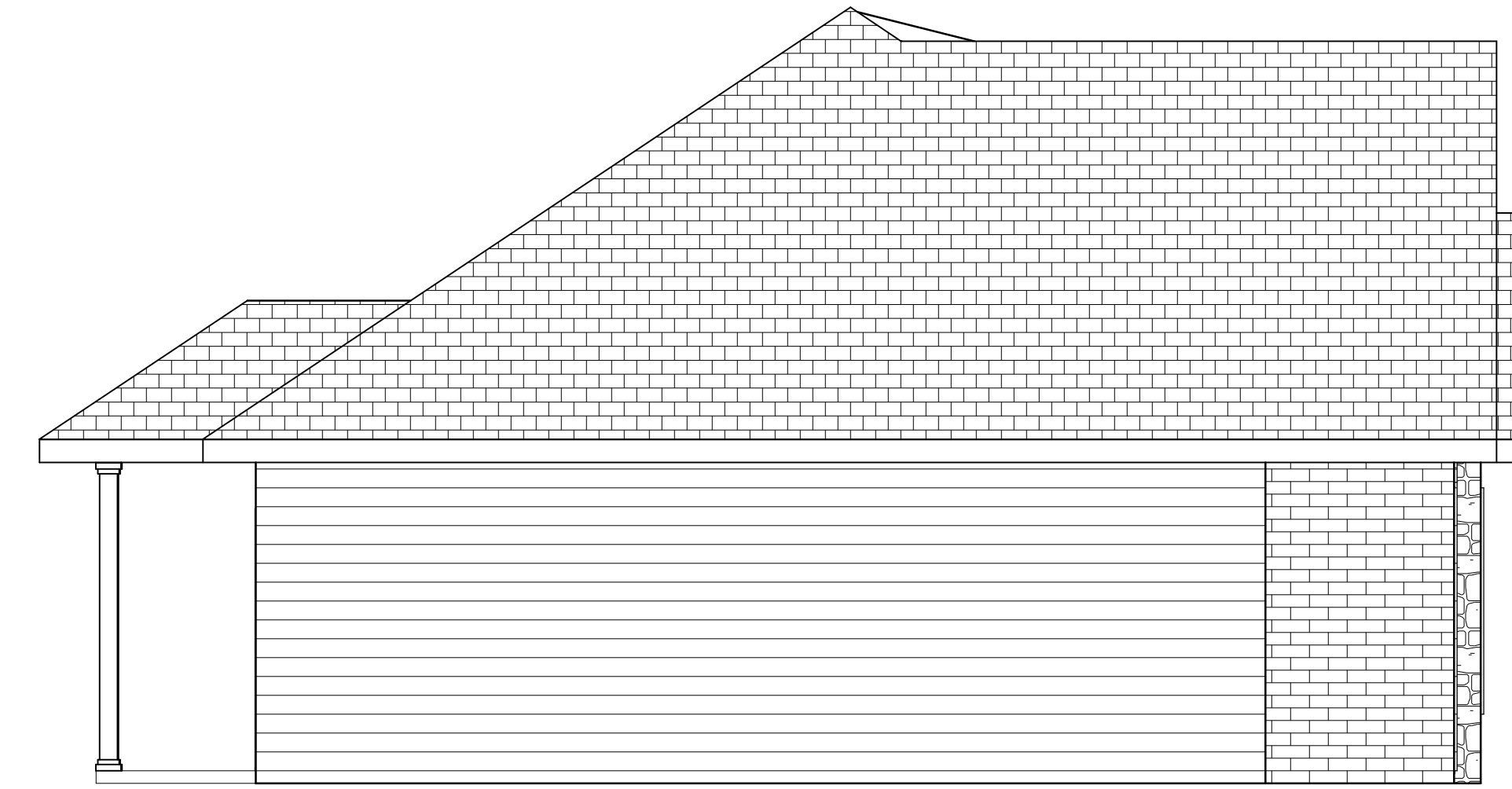
PLEASE NOTE:
Due to the impossibility of providing any personal and/or on-site consultation or supervision and control over the actual construction, and because of the great variance in local building code requirements, building site conditions, and weather conditions, Rick Johnson & Covenant Home Builders, Inc. assumes no responsibilities for any damages including structural failures due to any deficiencies, omissions, or errors in the design or prints.

Contractor or Builder should verify all Dimensions & Square Footage prior to construction. Calculated dimensions take precedence over scaled dimensions. Some dimensions may be rounded to the nearest inch.

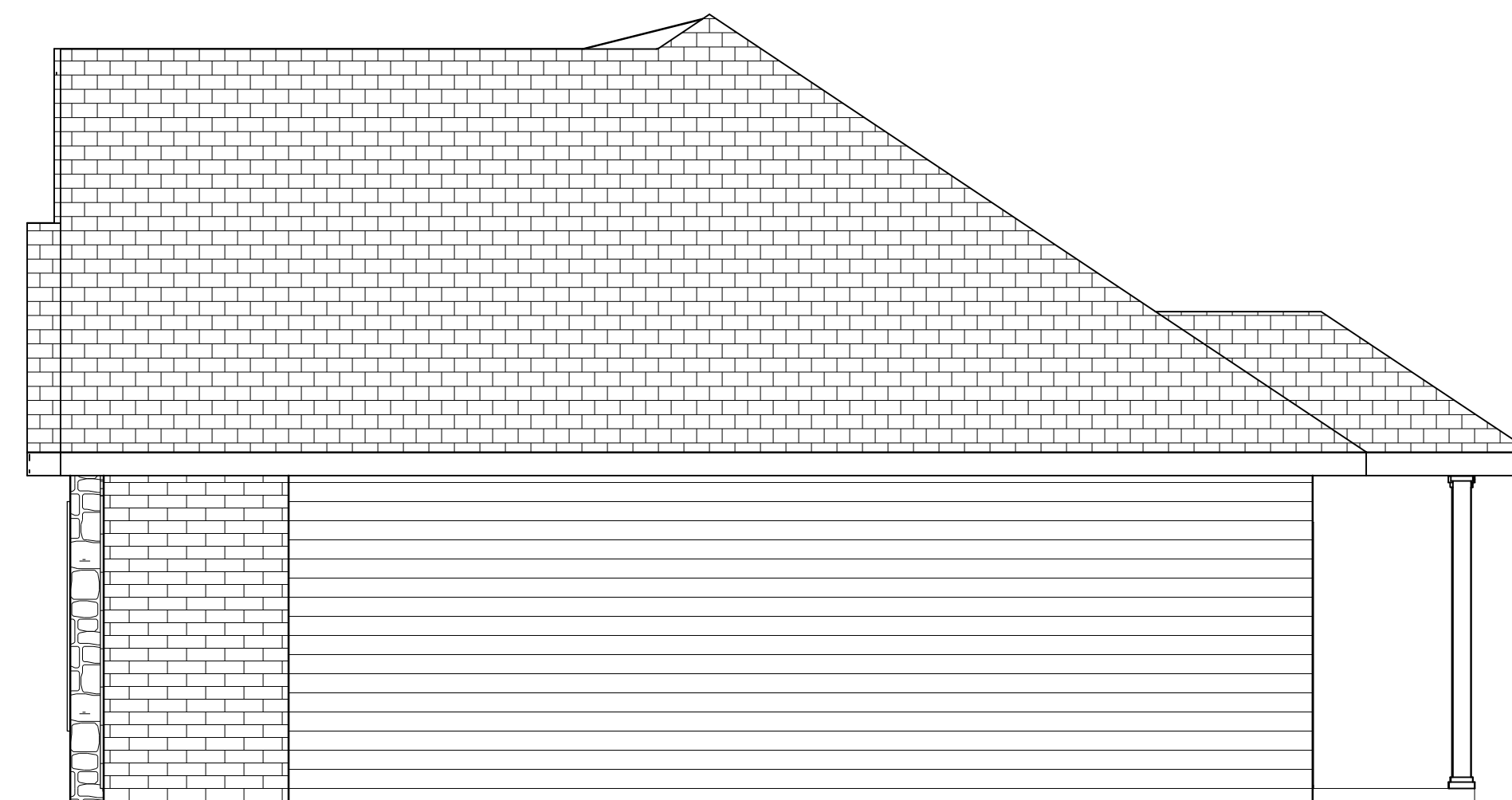
Contractor or Builder should also comply with all local & state building codes and all engineered aspects of the home should incorporate actual site conditions.



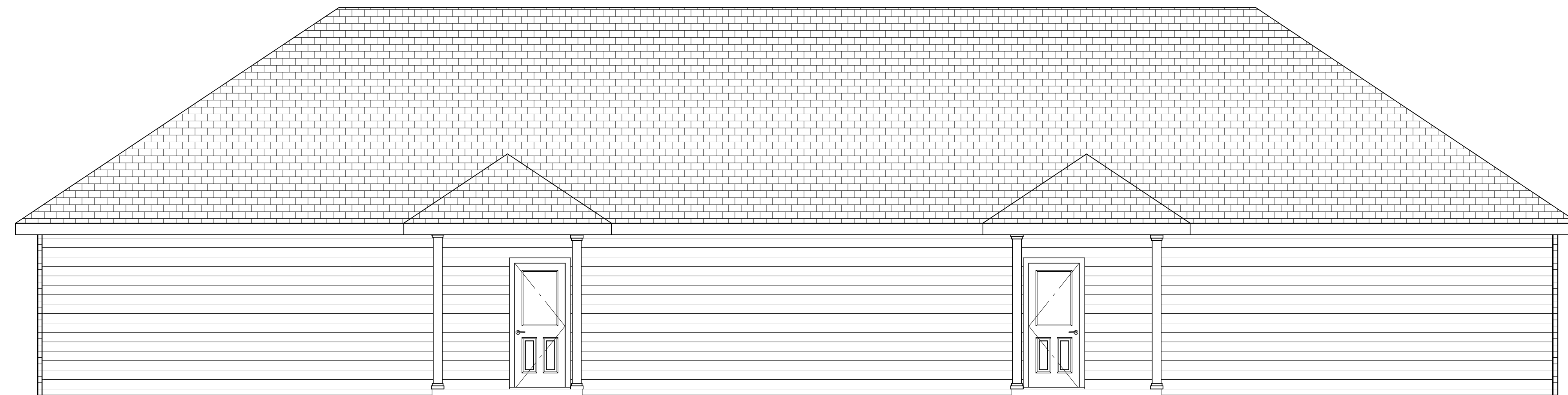
Roof Plan
Scale 1/8"=1'
Primary Pitch 8:12
Dormers 3:12



Left Elevation
Scale 1/4"=1'



Right Elevation
Scale 1/4"=1'



Rear Elevation
Scale 1/4"=1'

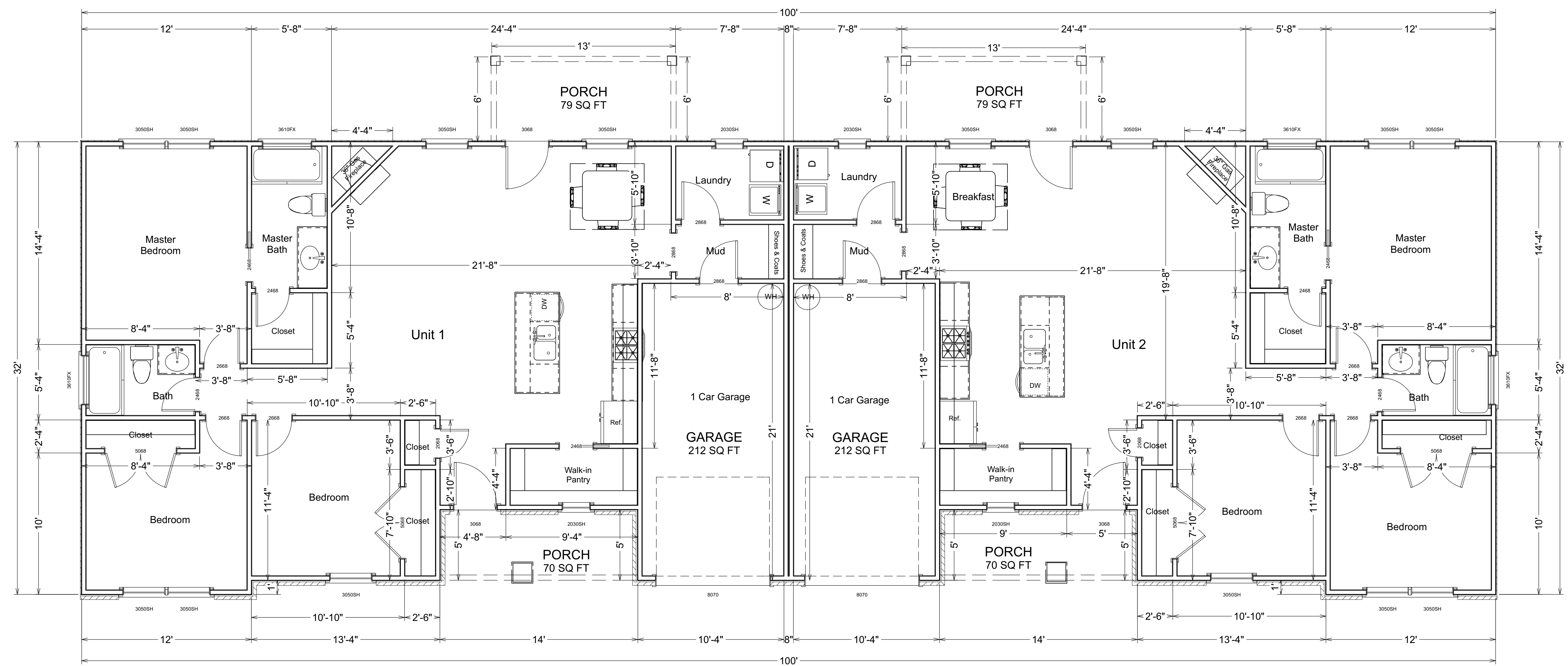
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Front Elevation
Scale 1/4"=1'



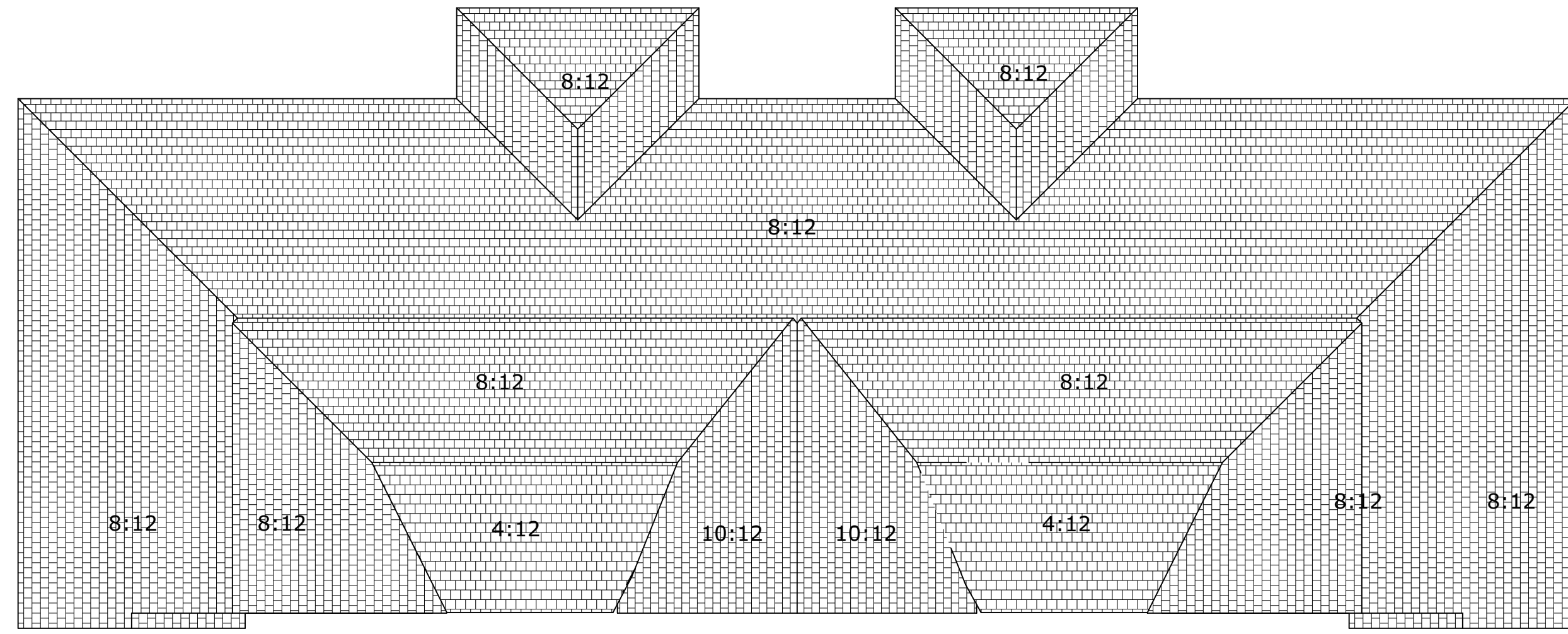
Scale 1/4"=1'
Roof Pitch 8:12
Walls 9' unless noted

Total Heated & Cooled 2553 sq ft
1,276 SF per Unit
Framing & Slab 3,275 SF

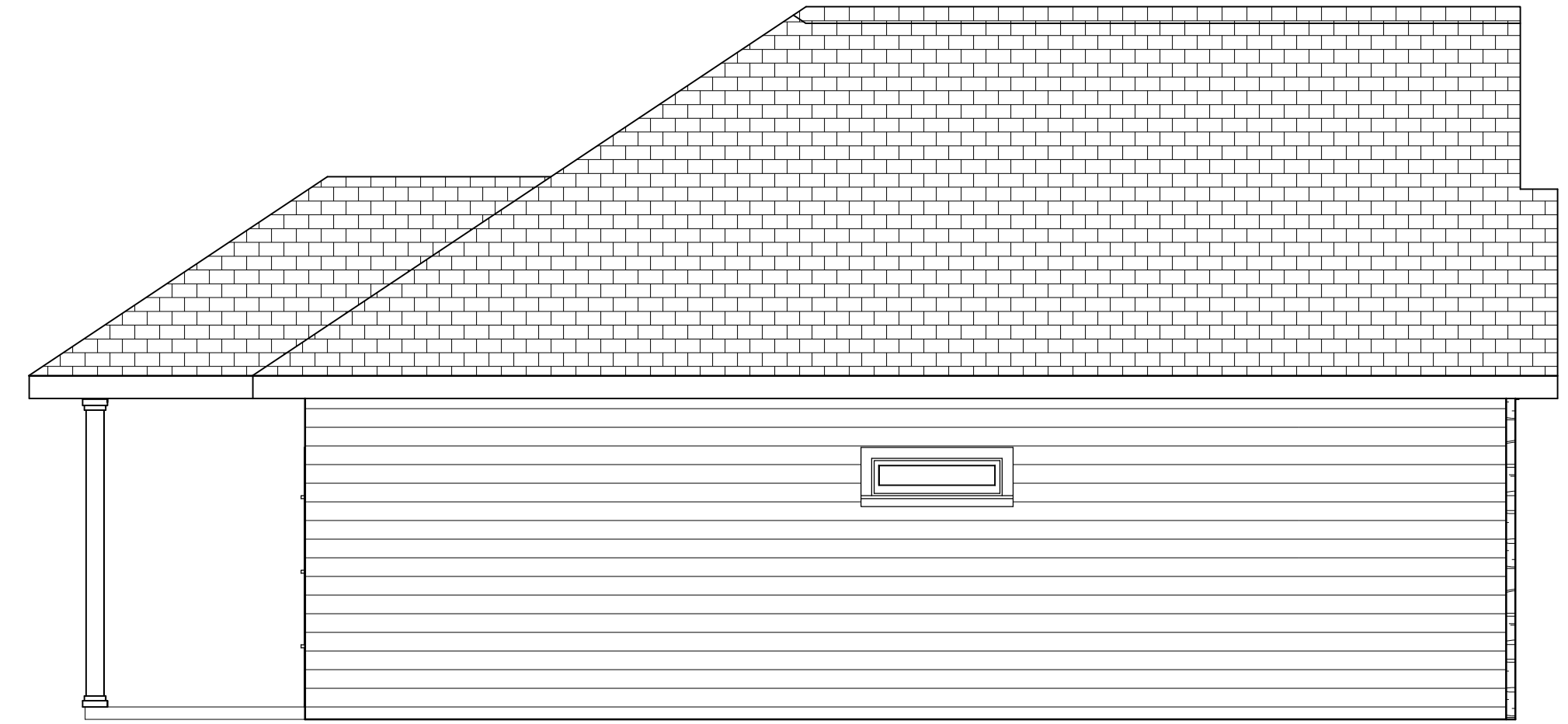
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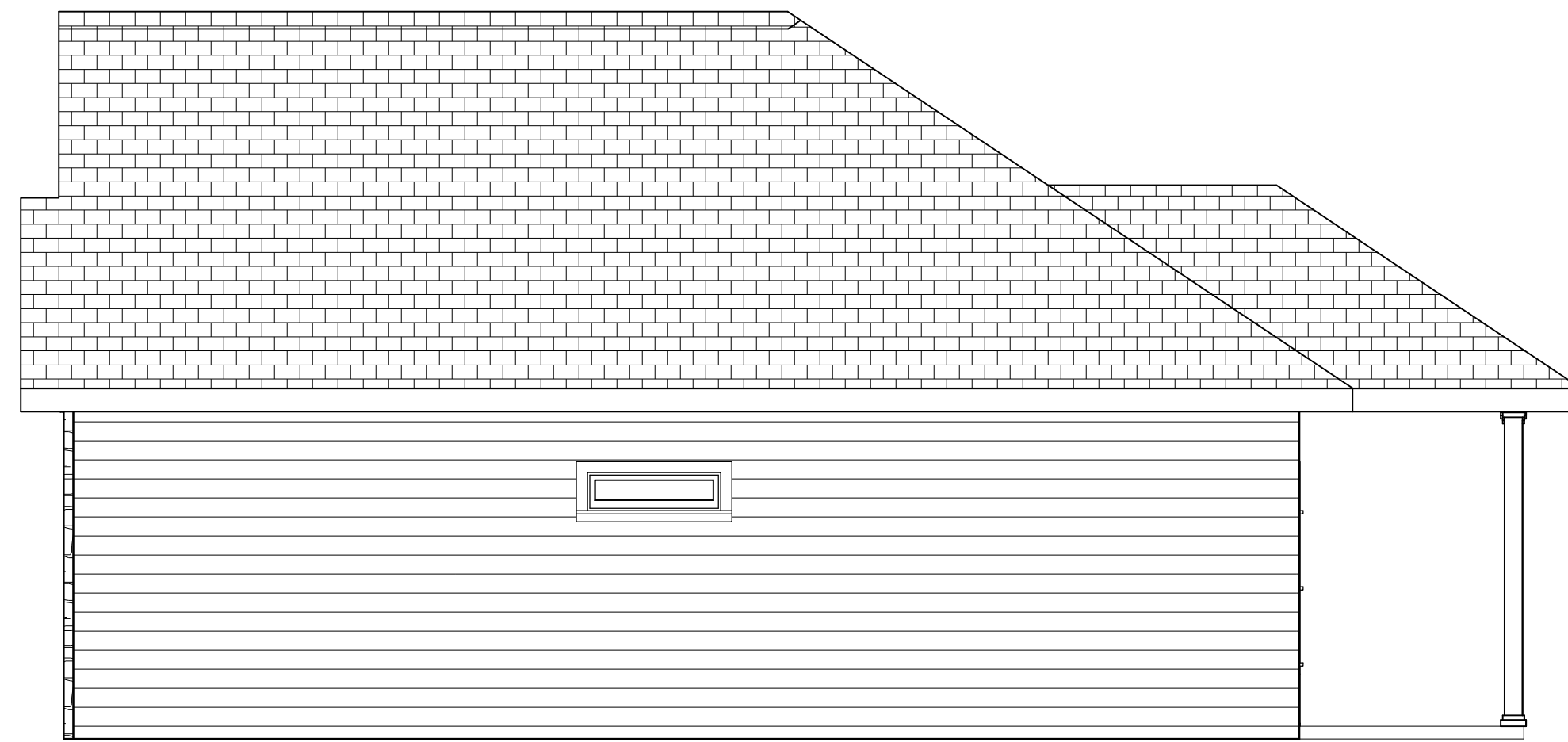
Contractor or Builder should also comply with all local & state building codes and all engineered aspects of the home should incorporate actual site conditions.



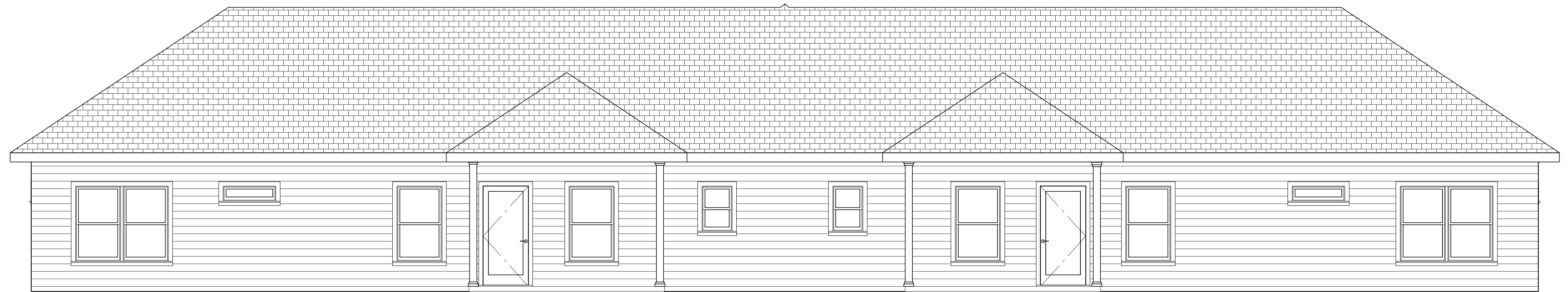
Roof Plan
 Scale 1/8"=1'
 Primary Pitch 8:12
 Shed Roof 4:12
 Center Gable 10:12



Left Elevation
 Scale 1/4"=1'



Right Elevation
 Scale 1/4"=1'



Rear Elevation
 Scale 1/4"=1'

PLEASE NOTE:
 Due to the impossibility of providing any personal and/or on-site consultation or supervision and control over the actual construction, and because of the great variance in local building code requirements, building site conditions, and weather conditions, Rick Johnson & Covenant Home Builders, Inc. assumes no responsibilities for any damages including structural failures due to any deficiencies, omissions, or errors in the design or prints.

Contractor or Builder should verify all Dimensions & Square Footage prior to construction. Calculated dimensions take precedence over scaled dimensions. Some dimensions may be rounded to the nearest inch.

Contractor or Builder should also comply with all local & state building codes and all engineered aspects of the home should incorporate actual site conditions.





ORDINANCE 2017-__

AN ORDINANCE AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF BRYANT TO AMEND THE CONDITIONAL USE PERMIT PROCESS, ADD CONDITIONAL USES TO C-1 AND C-2, AS WELL AS MODIFYING THE AMENDMENT PROCESS FOR THE ZONING CODE AND DECLARING AN EMERGENCY.

WHEREAS, the City of Bryant established the Bryant Zoning Regulations under Ordinance 99-16 dated September 27, 1999; and

WHEREAS, the Bryant Planning Commission has prepared new regulations to implement the needed changes to the Zoning Regulations; and

WHEREAS, the Planning Commission of the City of Bryant, Arkansas conducted a duly advertised public hearing concerning the proposed regulations, subsequent to which they certified the proposed regulations to the City Council for its adoption.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BRYANT ARKANSAS:

1. That Sections 11, 12, 18, and 19 of the Zoning Regulations of the City of Bryant shall be amended by reference as a technical code amendment pursuant to A.C.A. 14-55-207, by which three copies have been filed with the Bryant City Clerk for public inspection.
2. That any ordinance or regulation that conflicts with this ordinance is hereby repealed to the extent of any conflict.
3. That efficient amendment procedure within the Bryant Zoning Regulations being necessary for the continued health, safety, and welfare of the general public, an emergency is declared to exist and this ordinance shall be in full force and effect from and after its date of adoption.

Passed this _____ day of _____, 2017.

Attest:

Jill Dabbs, Mayor

Sue Ashcraft, City Clerk

SECTION 11 - NEIGHBORHOOD COMMERCIAL DISTRICT (NCD) C-1

The NCD district is located within neighborhood centers and is designed to serve the retail needs of the surrounding residential neighborhood.

The NCD district shall generally be located at or near street intersections and within walking distance of residential areas. The design plan of uses in the NCD district should emphasize street landscape areas. The display of retail goods is permitted out of doors for special occasions or holidays.

Any use which is found by the City of Bryant to be a public nuisance by reason of the emission of dust, fumes, gas, smoke, odor, light glare, noise, vibration or other disturbance is expressly prohibited.

A. NCD District Development Criteria

1. All business establishments shall only deal directly with the customer. All goods produced on the premises shall be sold exclusively on the premises.
2. Loading or service areas shall be physically separated from all streets but shall provide motor vehicle access or egress, preferably by alleys.

B. NCD District Use Regulations

These listed uses are typical and suggest the kinds of retail sales and services intended in the District. Others of similar character will be considered by the Planning Commission when submitted for establishment. The combination of two or more of the retail products listed as permitted uses may be sold from one establishment as is commonly done in "convenience" stores.

C. Permitted Uses

Antique Shops
Automobile service station
(all repair work shall be performed within a building. Tools parts, and dismantled vehicles shall be stored within a building or screened from view from public streets).
Bakery or confectioner
(provided that goods are baked on the premises shall be offered for sale only on the premises and at retail)
Bank or trust company, savings and loan (drive-in only facility not permitted)
Barbershop
Beauty Shop
Book, newspaper, and magazine store
Business office
Dairy products store
Daycare
Delicatessen
Drugstore
Electronics, computers, video tape shops
Florists
Fruit store
Gift shop
Grocery store
Hardware store

Horticultural nursery products store
 Household appliance, retail and repair
 Jewelry store
 Laundromat
 Laundry and cleaning pick-up station
 Market, produce
 Medical and dental clinics
 Offices for professional services
 Photographic supply store
 Residential uses permitted in the R-2 district
 Restaurant, café, or tea room (no drive through service)
 Shoe repair shop
 Tailor, pressing, laundry and cleaning shop
 (including valet services with not more than three pressing machines, and one
 dry cleaning unit)
 Taxicab stand
 Telegraph or messenger service
 Theater, cinema, non-pornographic
 Upholstery shop
 Variety and dry goods store
 Veterinarians, office and kennel, all facilities enclosed, no outside animal runs
 or pens.
 Wearing apparel store, new, used

D. Conditional Uses

Funeral homes, Veterinarians
 Industrial manufacturing, yard areas, and material stockpiles
 Pet shops, retail sale of domestic pets.
 Public utility buildings and structures
 Mixed Use, (retail and office) (retail and residential) (office and residential).
 Pharmacy or Medical Marijuana Dispensary

E. Bulk and Area Regulations for Commercial Uses and Mixed-Use Buildings

1. Lot area: minimum of 2,500 square feet; maximum 16,000 square feet.
2. Lot width: at front building line, minimum 25 feet; maximum 80 feet.
3. Lot depth: generally lots should be longer than wide. Maximum lot width (80') @ front building line then depth = 200 feet.
4. Yard dimensions:
 - A. Front – commercial retail/service or mixed use, none required
 - B. Side (each side) – a minimum of five (5) feet if not attached to an adjacent building, maximum of twenty (20) feet
 - C. Rear – a minimum of fifty-five (55) feet.
 - D. The front and side yard dimensions set forth in this subsection may be increased up to an additional fifteen (15) feet by the Planning Commission if deemed in the interest of public safety.
5. Height: Three stories, finished first floor must be level with the sidewalk, maximum height of forty-five (45) feet.

6. Building coverage of lot: maximum of seventy (70) percent.
7. Absorption (non-impervious) areas; minimum ten (10) percent of lot.
8. Parking: all parking must be off street. One (1) space per each 200 square foot of commercial use is required.
9. Screening Requirement
When a NCD abuts a residential district, a minimum 6' high wood, rock or masonry fence is required with a landscape screen to buffer any NCD structure or activity from the residential district. Street frontage is exempt from the fencing requirement. See the Bryant Landscape Regulation for specific landscape treatment.

SECTION 12 - HIGHWAY COMMERCIAL DISTRICT HCD C-2

Highway Commercial Districts are the intended locations for retail sales, wholesale sales, service, storage establishments and light industry serving the Bryant population, the regional market and the traveling public. These essential activities, which may involve some disturbance to adjacent residential areas, are to be located in the corridor of I-30 and Arkansas State Highway 5. Residential uses are not intended for location in the HCD except only as living quarters for caretakers, and/or watchmen and their families.

A. HCD Development Criteria

1. The open storage of retail and wholesale goods in conjunction with business establishments is permitted.
2. Parking, loading, or service areas shall be physically separated from all streets. The minimum suitable separation shall be a curbed earth strip of at least ten (10) feet in width running the front width of the lot. Suitable driveways, which channel motor vehicles to access or egress, shall be provided and may cross the curbed separation area. See the Bryant Landscape regulation for treatment of the separation area.

B. HCD Use Regulations

1. Permitted Uses

All retail sales and service uses permitted in the NMU Neighborhood Mixed Use district but without square footage restrictions on gross leaseable floor area.

Animal boarding place or veterinarian's clinic, enclosed kennel

Antique sales

Auction house

Automotive uses:

Auto, truck and trailer rental lot

Service stations

Car wash

Parking and storage garages and lots

Parts and supply stores

Repair garages and body shops

New and used sales and service

Retail establishments selling goods, as:

Hardware, feed, poultry supplies, home building supply, lumber, farm equipment, mobile homes, marine equipment (boats, trailers, etc.), etc.

Eating establishments (cafes, restaurants). Drive-in service permitted

Offices for professional and service people, including:

Doctors, dentists, lawyers, Realtors, radio, and television broadcast studios, general offices, medical clinics, and nursing homes

Daycare Facilities

Drive-in banks and Savings and Loan Associations, etc.

Dry cleaning and laundry establishments.

Warehousing – commercial, warehouse, mini storage and open storage

Wholesale, sales and storage

Commercial recreation, as:

Bowling alleys, golf driving ranges, drive-in theaters, and skating rinks, etc.

Automatic laundries (unattended), laundry and dry cleaning plant

Funeral homes

Motels, motor hotels, and retirement centers

Recreation vehicle sales and repair
Places of public assembly
Printing and publishing
Mobile and manufactured home sales
Marine equipment sales, storage, repair

C. Conditional Uses

Uses proposed for development in this district which are not specifically listed as permitted may be considered for development if found to be “in character” with the district by the Planning Commission. The procedure for Conditional Use Review, Section 18, shall be utilized for uses not listed.

Pharmacy or Medical Marijuana Dispensary

D. Bulk and Area Regulations

1. Height Regulation

No building which is not an office building hereinafter erected or structurally altered shall exceed a height of forty-five (45) feet or be more than three (3) stories. Office buildings shall not exceed a height of four (4) stories.

2. Area Regulations

A. Lots fronting along roadways designated as Class I through Class IV (Interstate 30 and frontage roads, State Highway #5, and other roads designated as such) shall adhere to the following area requirements:

1. *Front Yard* – There shall be a front yard having a set-back of not less than 50 feet from the front property line to the front line of the building.
2. *Side Yard* – Side yard set-back shall not be required, except where side yards abut a street or a residential lot line, thence, the side yard set-back shall be no less than twenty five (25) feet.
3. *Rear Yard* – There shall be a rear yard having a depth of not less than 15 feet except when abutting residential area, hence the rear yard shall not be less than 55 feet. In the case of a corner lot (abutting a street), and when providing a 25 foot exterior side yard, the rear yard may be reduced to be not less than 25 feet.
4. *Lot Coverage* – Maximum lot coverage for all principal and accessory buildings shall be 35 percent of the total area of the site.

B. Lots fronting along roadways designated as Class V or Class VI, interior local commercial streets developed in conjunction with an approved commercial subdivision may adhere to the following area requirements:

1. *Front Yard* - None Required.
2. *Side Yard* - Side yard setback shall not be required, except where side yards abut a street or a residential lot line, thence, the side yard setback shall be no less than twenty-five (25) percent of the lot dimension.
3. *Rear Yard* - There shall be a rear yard having a depth of not less than fifteen (15) feet except when abutting residential area hence the rear yard shall not be less than fifty-five (55) feet. In the case of a corner lot (abutting a street), and when providing a twenty-five (25) foot exterior side yard, the rear yard may be reduced to not less than twenty-five (25) feet.
4. *Lot Coverage* - Maximum lot coverage for all principal, accessory

buildings and off-street parking shall be eighty-five (85) percent of the total area of the site.

- C. The front, side and rear yard dimensions set forth in subsection D-2 A & B may be increased to accommodate anticipated future highway improvements or to provide safer sight distance for motoring public by the Planning Commission. The maximum allowable increase is twenty (20) feet.
- 3. Screening Requirements
When a HCD abuts a residential district, a minimum 6' high wood, rock or masonry fence is required with a landscape screen to buffer any HCD structure or activity from the residential district. Street frontage is exempt from the fencing requirement. See the Bryant Landscape Regulation for specific landscape treatment.
- 4. Parking Requirements
Per city or one (1) space per each of three hundred (300) square foot of occupied space.
- 5. Absorption (non-impervious) area; minimum ten (10) percent of lot.
- 6. Signs - All signage shall be in conformance with current Bryant sign regulations.

SECTION 18 - CONDITIONAL LAND USE AND VARIANCES

~~Where a land use is not specifically authorized for a certain zoning this land use can be allowed on a conditional basis. To obtain conditional land use authority the individual desiring to have this land use and the owner of the property must apply to the planning commission for a conditional land use permit. The planning commission after a public hearing and without objection from any adjoining property owner can authorize the issuance of a conditional land use permit. This permit will be issued with a specific land use and expiration date and can only be renewed one time. The permit can also be conditioned regarding bulk and area regulations, parking requirements, ingress and egress and landscaping. The holder of a conditional use permit must comply with all building codes, ADA accessibility requirements, and obtain appropriate permits before beginning business. The planning commission may delegate conditional use permit issuance to the city staff when appropriate.~~

Variances - An applicant for a variance must give a written request to the zoning board of adjustment. The board will require the applicant to have written consent from any adjoining property owner affected. The board may deny the variance or a thirty(30 day notice to issue the variance will be issued. If no written objection is received during the thirty (30) day notice period the variance will be issued.

Communication and Microwave Towers - If a land owner wants to allow a tower to be built on their property and the property is zoned commercial the owner would need to come to the commission with a plat of the property and a written request for approval to allow the tower to be built as a conditional use. The tower height must be shown on the request. If a land owner wants to sell a portion of land to someone that wants to put a tower up, the property would need to be re-platted and then the portion for the tower would have to be rezoned and come in under PUD. (Towers can exceed the three (3) story height limit.) A tower must be a minimum of thirty feet (30') from the property line.

SECTION 19 - AMENDMENTS AND CONDITIONAL USE PERMITS

Amended by Ord. 2016-30

19.1 Amendments

This code may be amended by changing the text, the Official Zoning Map, or both in accordance with these procedures.

A. Request for Amendments

The following may initiate a request to amend this Code:

1. A member or members of the City Council.
2. A member or members of the Planning Commission.
3. The owner of a property or his/her appointed agent.

B. Amendments Initiated by the City Council

1. The City Council may refer a request for amendment to the Planning Commission to be considered in accordance with the procedures outlined in paragraph C, below.

C. Amendments Initiated by the Planning Commission

1. The Planning Commission may consider amendments or additions to the Zoning Code.
2. If the proposed amendments are not consistent with the comprehensive plan, the Planning Commission must first consider and adopt any necessary changes to the plan.
3. The Planning Commission will hold a public hearing to consider amendments to the Zoning Code and amendments to the comprehensive plan, if required.
4. Notice of such hearing shall be published at least one time not less than fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant.
5. Changes in zoning classifications initiated by the Planning Commission shall be considered comprehensive changes affecting the entire city and notice to individual property owners shall be not be made unless by Planning Commission decision. The Planning Commission shall make a map and/or documents indicating the proposed changes available in City Hall for review by interested citizens and property owners at least fifteen (15) days prior to the public hearing at which the changes will be considered.
6. Following the public hearing, the proposed amendments may be approved as presented, or in modified form, by a majority of the entire Planning Commission.
7. Following its adoption of the amendments to the Zoning Code or adopted plans, the commission shall certify the adopted plans and/or recommended zoning changes to the City Council for its adoption. Approval shall require of a majority of the entire City Council.

D. Amendment Initiated by Property Owners

1. Application: An application for amendment shall be filed with the required fee with the Administrative Official at least thirty (30) days in advance of the date of the Planning Commission meeting at which the application will be heard. The application for a Zoning Amendment shall be provided by

- the Administrative Official on forms developed by the City of Bryant.
2. Public Hearing Notice: Upon receiving the application, the Administrative Official shall set a date for the public hearing for the application at the next regularly scheduled Planning Commission meeting.
 - A. Publication: Notice of the public hearing shall be published at least one time at least fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant. The applicant shall bear the cost of such advertising. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - B. Posting of the Property: Notice of the public hearing shall be made by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
 - C. Notification of Adjacent Land Owners: The applicant shall attempt to inform, by certified letter, return receipt requested, all owners of land within three hundred (300) of any boundary of the subject property of the public hearing. The notice shall include a description of the location of the subject property, the proposed zoning change, and the time and place of the public hearing. A certified list of property owners, all return receipts, and a copy of the notice shall be provided to Administrative Official at least five (5) days prior to the public hearing.
 3. Finding of Fact: Within thirty (30) days following the public hearing, the Planning Commission shall make a specific finding as to whether or not the change is consistent with the objectives of the Zoning Code, and the Plans adopted by the Planning Commission. The Planning Commission shall approve or deny the amendment application by a majority of the entire Planning Commission. If denied by the Planning Commission, the application will not be heard by the City Council unless the decision is appealed by the applicant.
 4. Authorization by City Council: If approved by the Planning Commission, the application shall be heard by the City Council at the next City Council meeting following the Planning Commission's approval. For approval, the application will require approval by a majority of the entire City Council via ordinance.
 5. Effect of Denial of Amendment: No application for an amendment which has been denied wholly or partly by the City Council shall be resubmitted for a period of one (1) year from the date of said denial, except upon decision by the Planning Commission if substantial changes in conditions have occurred. A change of ownership of the subject property will not be deemed a substantial change of conditions.

19.2 Conditional Use Permits

A. What is a Conditional Use?

Because of their unique character and impact on adjacent properties, some uses in this code are designated as conditional uses and require a permit. Depending on the nature of the use, such uses may or may not be desirable and appropriate in all circumstances and locations. Each application's location, design, configuration, and impact must be individually and carefully reviewed to determine if the use may be allowed with special restrictions and conditions of approval.

The conditional use permit process shall not allow an applicant to secure a use variance or be used as a means to circumvent the purpose and intent of the Comprehensive Plan or Zoning Code.

B. Uses

Uses listed in this code as "conditional uses" shall be the only uses for which a conditional use permit may be permitted as described in paragraph D of this Section. However, where the Planning Commission makes a specific determination to treat an unlisted use as a conditional use, in accordance with Section 4, paragraph B, an application for a conditional use permit may be accepted for review and approval/denial.

C. Conditions

The Planning Commission may impose reasonable conditions and restrictions on any conditional use permit as may be necessary to reduce or minimize the impacts of a the conditional use, ensure compatibility with surrounding property, and to carry out the purpose and intent of this Code.

Conditions required as part of the permit may be of two types. Threshold Conditions are conditions which must be met by all proposed permits before an application may be considered for approval. Such conditions are special provisions that apply to each specific use or zoning district as well as general application requirements. Imposed Conditions are those that the Planning Commission may apply through review of the permit.

D. Procedure for Authorizing

1. **Application:** An application for a conditional use permit shall be filed with the required fee with the Administrative Official at least thirty (30) days in advance of the date of the Planning Commission meeting at which the application will be heard. The application shall be provided by the Administrative Official on forms developed by the City of Bryant.
2. **Public Hearing Notice:** Upon receiving the application, the Administrative Official shall set a date for the public hearing for the application at the next regularly scheduled Planning Commission meeting.
 - A. **Publication:** Notice of the public hearing shall be published at least one time at least fifteen (15) days prior to the date of the public hearing in a newspaper of general circulation in the City of Bryant. The applicant shall bear the cost of such advertising. The notice shall include a description of the location of the subject property, the proposed use, and the time and place of the public hearing. Failure to provide notice in this manner shall require delay of the public

- hearing until notice has been properly made.
- B. Posting of the Property: Notice of the public hearing shall be made by posting a sign on the property involved for the fifteen (15) consecutive days prior to the hearing. Posting of the sign by the prescribed time shall be the responsibility of the applicant. The city shall provide the sign. The sign shall be displayed to be prominently viewable by passing motorists or pedestrians. One sign shall be required for each two hundred (200) feet of street frontage abutting the property. Failure to provide notice in this manner shall require delay of the public hearing until notice has been properly made.
3. Development Plan Requirement: A development plan for a conditional use permit shall be required. The development plan shall include a letter of intent and a site plan. The site plan shall include the following:
 - A. Location, size, and use of buildings/signs/land or improvements;
 - B. Location, size, and arrangement of driveways and parking and loading areas as well as any vehicular maneuvering areas;
 - C. Existing topography and any proposed grading;
 - D. Proposed and existing lighting;
 - E. Proposed landscaping and screening;
 - F. Use of adjacent properties;
 - G. Scale, north arrow, and vicinity map
 - H. Additional information that may be requested by the Administrative Official due to unique conditions of the site.
 4. Development Plan Review: The application shall be reviewed by the Administrative Official and Development Review Committee. The Administrative Official shall provide a report and recommendation to the Planning Commission on the application's relation to and probable effect on the surrounding area as well as its compliance with the requirements of this Code and other applicable codes.
 5. Public Hearing and Planning Commission Action: The Planning Commission shall hold a public hearing to allow public comment regarding the application. Within sixty (60) days following the public hearing, the Planning Commission shall then make one of the following determinations: approve the permit as requested; approve the permit with modifications; refer the permit back to the Development Review Committee for additional consideration; or deny the permit. Applications referred back to Development Review Committee shall be subject to an additional public hearing and meet the notice requirements listed in Section 19.2, Paragraph D, item 2.
 6. Appeal: Any applicant or other affected party aggrieved by a decision of the Planning Commission as it relates to a conditional use permit shall have the right to appeal to the City Council. Such appeal must be filed in writing with the City Clerk within fifteen (15) days after the Planning Commission action. The City Council may affirm, modify, deny the application. The City Council may also refer the application back to the Planning Commission for reconsideration. Such action shall not be subject to a public hearing.

E. Standards of Review and Finding of Fact

Before any conditional use permit shall be approved, the Planning Commission shall make a finding of fact to support the following standards of review, where

applicable:

1. The establishment, maintenance, or operation of the proposed conditional use will not be detrimental to or endanger the public health, safety, or welfare;
2. The proposed conditional use will not harm other property in the vicinity;
3. The establishment of the Conditional Use will not impede the normal or orderly development and improvement of the surrounding properties;
4. The size of the site is adequate for the proposed use;
5. Traffic generated by the use will not unduly burden transportation facilities in the vicinity;
6. Adequate buffering devices such as fencing, landscaping, or grading are used to sufficiently protect adjacent property;
7. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust, and odor have been addressed in the proposed application;

F. Fees

The application fee for a conditional use permit shall be \$150. Such fee is non-refundable. No application shall be accepted and no action taken unless and until the application fee is paid in full.

G. Status and Revocation of a Conditional Use Permit

1. Construction: An approved conditional use permit must be commenced within six (6) months of the approval of the permit. If construction is required as part of the permit, construction must commence within six (6) months and must be completed within twenty-four (24) months.
2. Discontinuance: The permit for any use that has been discontinued for a period of greater than 365 days shall be considered invalid and revoked. Future use of the property must comply with the provisions of the underlying zoning district until a new Conditional Use Permit is obtained. The permit shall run with the land and shall be transferable from occupant/owner to occupant/owner.
3. Revocation: In the case where any of the specific terms and conditions of a conditional use permits are violated, ignored, or otherwise not observed the Administrative Official may revoke such permit. A 30-day written notice using certified mail shall be addressed to the applicant indicating the nature of the non-compliance and the applicant's right to file an appeal to the Board of Adjustment. If no appeal is filed within the 30-day period, and the non-compliance has not been corrected within 45 days of receipt of the written notice, the permit shall be revoked. Revocation shall be immediate and shall prevent use of the property in a general manner as specified within the original permit. The property shall revert to its use status prior to issuance of the conditional use permit.

H. Concurrent Applications

Conditional use permit applications and zoning amendment as well as site plan review applications may be processed by the city concurrently. However, approval for the zoning amendment or site plan shall not be considered effective unless and until and the conditional use permit is approved.

**AN ORDINANCE CHARGING AND AUTHORIZING THE STORMWATER
MANAGER TO ISSUE CITATIONS FOR VIOLATIONS OF THE CITY OF BRYANT
STORMWATER MANAGEMENT ORDINANCE AND REGULATIONS**

WHEREAS, The City of Bryant has the authority to appoint and employ inspectors and code enforcement officers under Arkansas Code § 12-9-108(b)(3) to enforce municipal codes, ordinances and/or regulations; and

WHEREAS, The City of Bryant employs inspectors and code enforcement officers who have general responsibility for inspection and enforcement of all code violations within the City of Bryant; and

WHEREAS, The City of Bryant employs a Stormwater Manager who oversees the Stormwater department which is responsible for public outreach, public education, Stormwater inspection and Stormwater reporting within the City of Bryant; and

WHEREAS, The City of Bryant has regulations that specifically apply to Stormwater inspection and enforcement; and

WHEREAS, The City of Bryant finds it necessary that its Stormwater Manager have the authority and ability to take enforcement actions for observed or determined violations of the City of Bryant Stormwater Ordinance and Regulations; and

WHEREAS, The City of Bryant Stormwater Manager has a specific responsibility to know and understand the intricacies of the City of Bryant Stormwater Management Ordinance and Regulations and is in the best position to take enforcement action on observed and determined violations of those Ordinances and Regulations; and

WHEREAS, The City of Bryant finds it appropriate to authorize and charge the Stormwater Manager with the authority to issue citations for violations of the City of Bryant Stormwater Management Ordinance and Regulations, as may be amended from time to time, under Arkansas Code Annotated § 12-9-108(b)(3).

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF
BRYANT, ARKANSAS**

Section 1. Authorization

The City of Bryant employee identified as the Stormwater Manager is hereby authorized and charged with the power and authority to issue citations for violations of the City of Bryant Stormwater Management Ordinance and Regulations, as may be amended from time to time, under Arkansas Code Annotated § 12-9-103(b)(3).

This authorization does not pertain to enforcement of the Criminal Statutes of the State of Arkansas, enforcement of which are vested in certified law enforcement officers. Further, the authority to issue citations in this Ordinance does not include arrest or apprehension authority.

Section 2. Severability

The provisions of this Ordinance are separable and if any section, phrase or provision shall be declared invalid, such declaration shall not affect the validity of the remainder of the Ordinance.

Section 3. Repealer

All ordinances and resolutions and parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

PASSED AND APPROVED this _____ day of _____, 2017.

Mayor Jill Dabbs

ATTEST:

Sue Ashcraft, City Clerk